

May 2022

Date: 4/26/2022

Requested by: John Coudray John@americansilkscreen.com

Address: 402 S. Salinas St., Santa Barbara, CA 93103

Location of Tree: 1334 Punta Gorda St., Santa Barbara, CA 93103

Tree Species: *Eucalyptus polyanthemos*, **Common Name:** Silver Dollar Gum

Requested Reason for Removal: Tree has lifted up the sidewalk, and fractured our concrete driveway. Tree could affect main water line, fire sprinkler line and gas line.

Current designated Street Tree: *Quercus agrifolia*, Coast Live Oak

Advisory Committee Recommendation: Approve Removal: ☐ Deny Removal: ☐

Staff Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Date Posted:

Comments:

PHOTO INVENTORY



Tree Removal Application

APPLICANT/OWNER DETAILS

<input type="text" value="Coudray"/>	<input type="text" value="John"/>
YOUR LAST NAME	YOUR FIRST NAME
<input type="text"/>	
OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)	
<input type="text" value="402 south salinas street"/>	
YOUR MAILING ADDRESS	
<input type="text" value="Santa Barbara"/>	<input type="text" value="Ca"/>
CITY	STATE
	<input type="text" value="93023"/>
	ZIP CODE
<input type="text" value="805 564-1264"/>	<input type="text" value="John@americansilkscreen.com"/>
DAYTIME PHONE	EMAIL ADDRESS

TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)** ☐ **STREET TREE(S)** ☐

<input type="text" value="1"/>	<input type="text" value="1334 Punta Gorda Street between the curb and sidewalk"/>
NUMBER OF TREES	LOCATION OF TREE(S) – please be sure to indicate the property address where the trees are located

<input type="text" value="not known"/>
SPECIES OF TREE(S), IF KNOWN

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

This Tree has lifted up the sidewalk, and fractured our concrete driveway. If not removed it will impact our Main Water Line, our Fire Sprinkler Line, & our Gas line, It is a major liability to foot traffic and we perceive it as a potential law suite, when someone trips and falls.

the city has recognized this potential liability and has taken action to correct the uplifted sidewalk by grinding down the concrete and patching and filling in the displaced concrete.

WILL YOU REPLACE THE TREE(S)? YES ☐ NO ☐

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

<input type="text" value="We hope to explore other options, such as paving stones, in the planter area, between the curb and the side walk, on the Salinas side."/>

From: [Nathan Slack](#)
To: [Patricia Herrera](#)
Subject: FW: follow up to meeting today
Date: Thursday, April 28, 2022 2:57:59 PM
Attachments: [DOC041522-04152022164458.pdf](#)

Nathan Slack

Urban Forest Superintendent

CITY OF SANTA BARBARA, P&R

(805) 564-5592 | nslack@SantaBarbaraCA.gov

From: John Coudray [mailto:johnc@americansilkscreen.com]
Sent: Friday, April 15, 2022 4:53 PM
To: Nathan Slack <nslack@SantaBarbaraCA.gov>
Cc: Ellen Coudray <ellenc@americansilkscreen.com>; Barbara Chehami <barbarac@americansilkscreen.com>
Subject: RE: follow up to meeting today

You don't often get email from johnc@americansilkscreen.com. [Learn why this is important](#)

EXTERNAL

Good afternoon Nathan,

Thank you for the application and your communication. I have filled this document out , and returned it with photographic support . Where do I drop off a check for 75.00.?

Further, please see attached scan of check to Lewis Plumbing from Year 2015. This tree , the one in question, as of this time, cracked the main water line, to a point where is was leaking, and impacting our business operatioin. This matter warranted immediate attention. Please understand, that this exact information just came to my attention, this afternoon, as the office people were responsible for the handling of this matter.

Thank you in advance for your efforts in our direction, in the resolution of this matter.

Please add this document, to our application.

Respectfully submitted.

JOHN C. COUDRAY

From: Nathan Slack <nslack@SantaBarbaraCA.gov>
Sent: Friday, April 15, 2022 2:09 PM
To: John Coudray <johnc@americansilkscreen.com>

2/10/2015

Lewis Plumbing

**777.80

Seven Hundred Seventy-Seven and 80/100*****

Lewis Plumbing, Inc.
115 West Mission St.
Santa Barbara, CA 93101

Lewis Plumbing	2/10/2015	
555 · MANUFACTURING OVERHEAD:5	Re-route main water line from shut-off valve to wall	777.80

Rabobank Checking	777.80
-------------------	--------

Lewis Plumbing	2/10/2015	
555 · MANUFACTURING OVERHEAD:5	Re-route main water line from shut-off valve to wall	777.80

Rabobank Checking	777.80
-------------------	--------









**FRONT YARD SET BACK TREE REMOVAL
REQUEST**

May 2022

Date: 4/26/2022

Requested by: Michelle Morris morris@nceas.ucsb.edu

Address: 760 Calabria Dr., Santa Barbara, CA 93105

Location of Tree: 760 Calabria Dr., Santa Barbara, CA 93105

Tree Species: *Pinus canariensis*, *Common Name:* Canary Island Pine

Zoning/Setback: RS-10 25'

Reason for Removal: Tree drops an extensive amount of needles and pinecones on the sidewalk below which is dangerous for both foot traffic walking past the house and cars parked.

Proposed Replacement: Yes ☐ No ☒

Advisory Committee Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Staff Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Date Posted:

Comments:

PHOTO INVENTORY



Tree Removal Application

APPLICANT/OWNER DETAILS

<input type="text" value="Morris"/>	<input type="text" value="Michelle"/>
YOUR LAST NAME	YOUR FIRST NAME
<input type="text" value="Tom Schultz"/>	
OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)	
<input type="text" value="760 Calabria Drive"/>	
YOUR MAILING ADDRESS	
<input type="text" value="Santa Barbara"/>	<input type="text" value="California"/>
CITY	STATE
<input type="text" value="805-452-0910"/>	<input type="text" value="93105"/>
DAYTIME PHONE	ZIP CODE
<input type="text" value="morris@nceas.ucsb.edu"/>	
EMAIL ADDRESS	

TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)** ☒ **STREET TREE(S)** ☐

<input type="text" value="1"/>	<input type="text" value="760 Calabria Drive, front of house"/>
NUMBER OF TREES	LOCATION OF TREE(S) – please be sure to indicate the property address where the trees are located

<input type="text" value="Pine Tree"/>
SPECIES OF TREE(S), IF KNOWN

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

<input type="text" value="This tree drops an extensive amount of needles and pine cones on the sidewalk below which is dangerous for both foot traffic walking past the house and cars parked on Calabria Drive."/>

WILL YOU REPLACE THE TREE(S)? YES ☐ NO ☒

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

<input type="text"/>



**FRONT YARD SET BACK TREE REMOVAL
REQUEST**

May 2022

Date: 4/26/2022

Requested by: Action Tree Care actiontreesb@gmail.com

Address: 897 Fellowship Rd., Santa Barbara, CA 93109

Location of Tree: 2541 Modoc Rd., Santa Barbara, CA 93105

Tree Species: *Eucalyptus camacamadulensis*, *Common Name:* River Red Gum

Zoning/Setback: RS-15 30'

Reason for Removal: Trees are growing into foundation causing serious damage/cracking.

Proposed Replacement: Yes ☐ No ☒

Advisory Committee Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Staff Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Date Posted:

Comments:

PHOTO INVENTORY



Tree Removal Application

APPLICANT/OWNER DETAILS

Action Tree Care	Deborah
YOUR LAST NAME	YOUR FIRST NAME
Hillshore Gardens DBA Messina C/O RCMI	
OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)	
897 Fellowship Road	
YOUR MAILING ADDRESS	
Santa Barbara	CA
CITY	STATE
	93109
	ZIP CODE
8059665969	actiontreesb@gmail.com
DAYTIME PHONE	EMAIL ADDRESS

TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)** ☒ **STREET TREE(S)** ☐

1	2541 Modoc Road 93105 on West side of building
NUMBER OF TREES	LOCATION OF TREE(S) – please be sure to indicate the property address where the trees are located

Red Gum Eucalyptus
SPECIES OF TREE(S), IF KNOWN

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

Tree is growing into foundation causing serious damage/cracking.

WILL YOU REPLACE THE TREE(S)? YES ☐ NO ☒

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?



**FRONT YARD SET BACK TREE REMOVAL
REQUEST**

May 2022

Date: 4/26/2022

Requested by: Kalley Liehr Kalley.ridgway@gmail.com

Address: 880 Cambridge Dr., Goleta CA 93111

Location of Tree: 229 Mohawk Rd., Santa Barbara, CA 93109

Tree Species: *Schinus molle*, *Common Name:* Pepper Tree

Zoning/Setback: E-3/SD-3 20'

Reason for Removal: Pepper tree is located in the middle of proposed driveway, and into the garage of the proposed new home.

Proposed Replacement: Yes ☒ No ☐

Advisory Committee Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Staff Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Date Posted:

Comments:

PHOTO INVENTORY



Tree Removal Application

APPLICANT/OWNER DETAILS

Liehr	Kalley	
YOUR LAST NAME	YOUR FIRST NAME	
OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)		
880 Cambridge Drive		
YOUR MAILING ADDRESS		
Goleta	CA	93111
CITY	STATE	ZIP CODE
(805) 895-3082	kalley.ridgway@gmail.com	
DAYTIME PHONE	EMAIL ADDRESS	

TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)** ☒ **STREET TREE(S)** ☐

1	229 Mohawk Road, Santa Barbara, CA 93109
NUMBER OF TREES	LOCATION OF TREE(S) – please be sure to indicate the property address where the trees are located

Chilean Pepper
SPECIES OF TREE(S), IF KNOWN

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

The Chilean Pepper tree is located in the middle of our proposed driveway into the garage of the proposed new home. We were only recently made aware of the need to get approval for this removal and it is now the only thing preventing us from moving forward with our SHO hearing. The Chilean Pepper is not a designated historic or specimen tree nor located on a lot designated Historic Landmark. We do plan to replace this tree with a similar tree of ultimate shape and size: our landscape plan (attached here) depicts the Gold Medallion we are proposing to plant in the front yard; we are hoping this species will suffice as an adequate replacement.

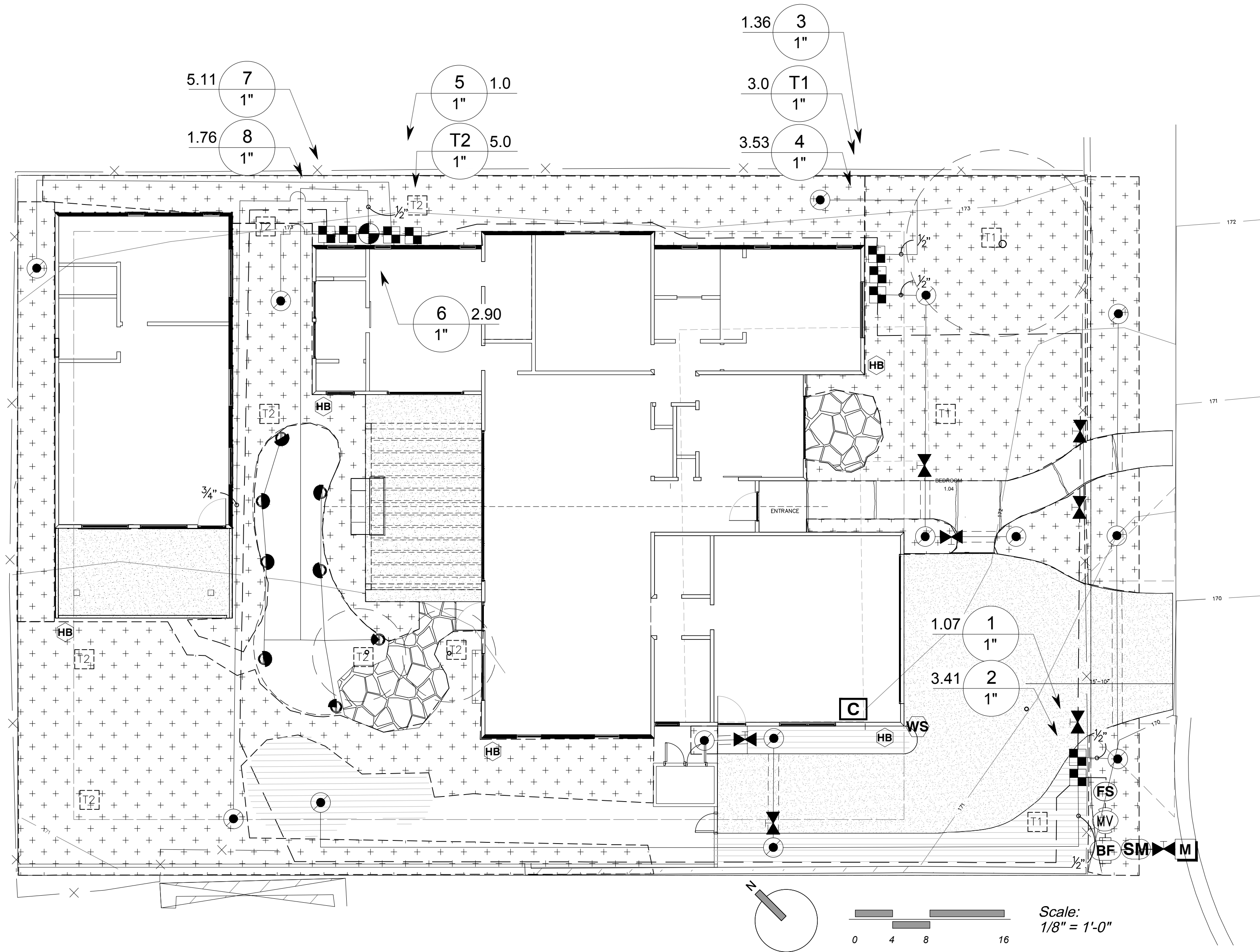
We hope this project will be considered as "reasonable and practical development of the property on which the tree is located" (SB Municipal Code 15.24.090) and therefore approved for removal. Thank you for your consideration.

WILL YOU REPLACE THE TREE(S)? YES ☒ NO ☐

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

Casia Splendida aka "Gold Medallion"





Irrigation Notes:

1. See irrigation legend for complete descriptions of all symbols shown on irrigation plan.
2. Point of connection is at the approximate location shown on plan.
3. Install all valves in locking plastic valve boxes in groundwater area adjacent to pavement (2'-0" maximum) for ease of access. 1 Group valves in valve boxes; 2-4 valves per box where possible. Identify locations and flag on site for Landscape Architect's approval **BEFORE** excavating for installation.
5. **All irrigation emission devices shall meet the criteria as set forth in MWELO Section 492.7(a)(1)(M).** Install irrigation system in accordance with manufacturer's specifications, irrigation details, and local codes.
6. **Install pressure regulating devices when necessary to ensure that the dynamic pressure at each emission device is withinth manufacturer's recommended pressure range for optimal performance per MWELO Section 492.7(a)(1)(C).**
7. Indicated pipe locations are schematic. Do not place pipe under paving except where absolutely necessary. Coordinate pipe installation with other trades.
8. All piping installed under paving, through walls or footings must be placed inside Schedule 40 PVC sleeves of adequate size to allow free movement of the pipe in the sleeve. All pipe runs in sleeves must be straight, with no bends or angles. Sleeves for recycled-water irrigation lines shall be colored to match the pipe.
9. Locate irrigation controller at approximate location shown on plan. 110-volt box by others. Obtain Landscape Architect's approval of location before installing.
10. Emitters shall be located on grade and staked a maximum of 6" (six inches) from the center of the plant, or at edge of rootball, whichever is greater.
11. Install flush end valves at the ends of all $\frac{3}{8}$ " polyethylene drip tubing in round valve boxes with gravel fill.
12. Install irrigation lines at the following minimum depths:

13. Emitter layout:
 - 1 gallon plant: 2-1 GPH (Hunter 10HE-B) emitters per plant
 - 1 gallon plant: 2-2 GPH (Hunter 20HE-B) emitters per plant
 - 5 gallon plant: 2-3GPH (Hunter 20HE-B) emitters per plant
 - 5 gallon plant: 3-6GPH (Hunter 60HE-B) emitters per plant
 - 24" tree: 4-6GPH (Hunter 60HE-B) emitters per plant
 - 36" box tree: 5-6 GPH (Hunter 60HE-B) emitters per plant
 - 48" box tree: 5-6 GPH (Hunter 60HE-B) emitters per plant
14. Punch emitter into polyethylene tubing. Attach microtubing to emitter. Attach bag cap to open end of microtubing. Bring microtubing to edge of rootball. Stake end of microtubing with plastic stake manufactured for that purpose.
14. In the event of discrepancies in irrigation equipment count, quantities indicated by symbols on the plan prevail.
13. Include in the contract price a sufficient amount to allow for supply and installation of additional irrigation equipment to be used. Include 50 linear feet of lateral line, 50 linear feet of mainline, 4 additional spray heads and bodes, and 4 additional bubbler heads and bodes. Provide the unit price for such irrigation equipment in the bid and credit the owner for each piece of equipment not installed.
14. Include in the contract price a sufficient amount to allow for supply and installation of additional irrigation equipment to be used.
15. In vicinity of existing trees, use discretion to route lateral lines and mainline as necessary to avoid root damage. Under canopies of existing trees, excavate using hand tools, and route pipe under roots with a minimum 4" clearance. Do not cut roots larger than 2" (two inches) in diameter, unless approved by the Landscape Architect.
16. Use variable arc nozzles and / or pressure compensating screens as necessary to prevent overspray in areas where standard nozzles would not be efficient.
17. Verify location of backflow preventer, master control valves, controller and point of connection with Landscape Architect prior to installation.
18. Install and adjust all spray and bubbler heads to prevent water contact with all built elements.
19. Adjust all spray and bubbler heads to minimize overspray onto paved areas.
20. Install sprinklers on a 12" pop-up body in shrub areas, on a 12" pop-up body in no-mow turf areas such as Agrostis pallens, UC Verde Buffalo Grass, Carex species, and Festuca rubra) on a 6" pop up body in Marathon II (or other traditional turf) areas, and on a 4" pop-up body in planters directly adjacent to parking spaces.
21. Install check valves at the low end of all irrigation lines to prevent low head drainage.
22. A 'Certificate of Completion' in accordance with MWEO section 492.9 will be submitted for review and approval by the Building and Safety Division prior to final occupancy of the project.
23. Landscape Contractor to coordinate with project planner, and ensure all necessary stub-out locations for podium or raised planters are correct during construction.

Irrigation Pipe Sizing Guidelines

Schedule 40 mainline up to 1-1/2"

0-4 gpm	1/2"
5-8 gpm	3/4"
9-12 gpm	1"
13-22 gpm	1-1/4"
23-30 gpm	1-1/2"

Class 315 mainline 2" and up

30-50 gpm	2"
51-70 gpm	2- 1/2"
71-100 gpm	3"

Schedule 40 lateral line

0-4 gpm	1/2"
5-10 gpm	3/4"
11-16 gpm	1"
17-26 gpm	1-1/4"
27-35 gpm	1-1/2"
36-55 gpm	2"
56-80 gpm	2-1/2"
81-120 gpm	3"

Weathermatic valves

0-20 gpm	1"
20-40 gpm	1-1/2"
40-80 gpm	2"

Rainbird XCZ drip valves





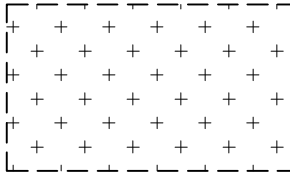
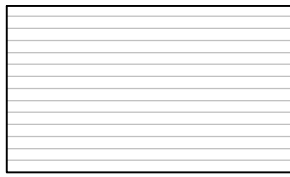










0-15 gpm	1"
15-40 gpm	1-1/2"

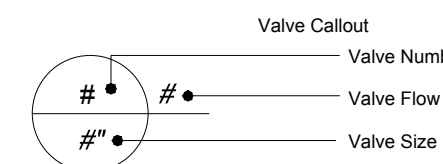
20. *Install sprinklers on a 12" pop-up body in shrub areas, on a 12" pop-up body in no-mow turf areas such as Agrostis pallens, UC Verde Buffalo Grass, Carex species, and Festuca rubra) on a 6" pop up body in Marathon II (or other traditional turf) areas, and on a 4" pop-up body in planters directly adjacent to parking spaces.*
21. *Install check valves at the low end of all irrigation lines to prevent low head drainage.*
22. **A 'Certificate of Completion' in accordance with MWELosection 492.9 will be submitted for review and approval by the Building and Safety Division prior to final occupancy of the project.**
23. *Landscape Contractor to coordinate with project plumber, and ensure all necessary stub-out locations for podium or raised planters are correct during construction.*

*"I HAVE COMPLIED WITH THE CRITERIA
IN MWEO AND APPLIED THEM FOR THE
EFFICIENT USE OF WATER IN THE
IRRIGATION DESIGN PLAN".*

Derrik Tate Eichelberger

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter MP800SR PROS-04-PRS40-CV Turf Rotator, 4" pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	8	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird XCB-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3 GPM-20 GPM	9	
	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	14	
	Tree Ring Dripline Number correlates with Valve Number	10	
	Area to Release Drip Emitters Hunter HE-B Point Source Drip Emitter with Self Piercing Barb. Color coded emitters for flow rates of 0.5, 1.0, 2.0, 4.0, and 6.0 GPH. Can be inserted into 1/2" and 3/4" tubing and have pressure compensating from 15-50 PSI. Optional diffuser cap (HE) available.	3,334 s.f.	
	Emitter Notes: 10HE-B emitters (2 assigned to each 1 gal plant)		
	20HE-B emitters (2 assigned to each 5 gal plant)		
	20HE-B emitters (3 assigned to each 15 gal plant)		
	60HE-B emitters (3 assigned to each 24"box plant)		
	Area to Receive Dripline Netafim TLHCVXR-CS-053-12 Teehline HCVXR-CS Pressure Compensating Landscape Dripline with Copper Stripe, Check Valve and Anti-Siphon feature. 0.53 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. 17mm.	387.1 i.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird PESB-PRS-D 1", -1/12", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulating Module, and Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	1	
	Hose Bibb Run hose bibs off of domestic line. Coordinate with General Contractor.	5	
	Ball Valve Spears - True Union I-200. Line size.	8	
	Buckner-Superior 3200 3/4" Normally Closed Brass Master Valve that Provides Dirty Water Protection and No Minimum Flow Feature, which ensures reliable opening and closing of the valve in extreme high or low flow scenarios. Available in 3/4", 1"-1/2", 2", 2"-1/2" and 3".	1	
	Febco 825Y 3/4" Reduced Pressure Backflow Preventer	1	
	Hunter IC-1200-M Modular Controller, 12 stations, Outdoor Model, Metal Cabinet. Commercial Use. With one ICM-600 module included.	1	
	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.	1	
	Hunter HC-075-FLOW 3/4" Sub meter/Flow meter for use with Hydrawise enabled controller to monitor flow and provide system alerts. Also functions as stand alone flow totalizer/sub meter on any residential or commercial irrigation system.	1	
	Hunter HFS-100 Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.	1	
	Water Meter 1" Verify location/pressure in field.	1	
	Irrigation Lateral Line: PVC Schedule 40	493.4 i.f.	
	Irrigation Mainline: PVC Schedule 40	332.5 i.f.	
	Pipe Sleeve: CPVC Schedule 40	37.4 i.f.	



202 East Cota Street
Santa Barbara, CA 93101
Tel 805.962.9055
Fax 805.962.5658
arcadiastudio.com



Revisions

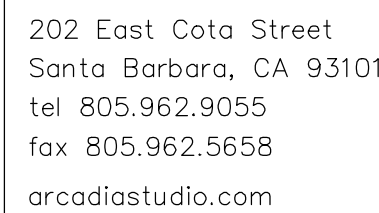
229 MOHAWK
Santa Barbara

IRRIGATION PLAN

Issue

Date 2/28/2022	Job Number 22.015
Drawn By MD	Checked by MD
Sheet - of # -	

LI-1



PLANTING PLAN

Date 2/28/2022	Job Number 22.015
Drawn By MD	Checked by MD
Sheet -	of # -

THIS IS A COPYRIGHTED DOCUMENT AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION OF ARCADIA STUDIO INC. COPYRIGHT 2011



*Landscape Design for Water Conservation
Compliance Statement*

Mandatory Measures:
(Show calculations of required areas on referenced sheets.)

No turf in parkways, medians or other areas with any dimension of < 8 feet

No turf on >20% slope

Residential, mixed-use & institutional projects, ≥80% of site's landscaped area in water wise plants; Commercial projects, 100% of landscaped area planted with water wise plants

Three inches of mulch, specified as required

Areas of sprinkler coverage avoids overspray and runoff including optimum distribution uniformity, head-to-head spacing and setbacks from walkways and pavement

Sprinklers have matched precipitation rates within each valve and circuit

Valves separated for individual hydrozones based on plant water needs and sun/shade requirements

Weather based irrigation controller with a rain shutoff sensor for the entire irrigation system if including an automatic irrigation system

Areas less than 8' wide irrigated only with bubblers, rotating nozzles on pop-up bodies, subsurface, or drip irrigation.

Drip/low volume irrigation system on >25% of landscaped area

check valves (inline or integrated) located to prevent unwanted draining of irrigation lines

Pressure regulator(s) scheduled for mainline(s) if necessary,
inline regulators at each valve

grading encourages water retention and infiltration by preserving open space and creating depressed areas/swales

Grading mimics natural, pre-development hydrologic flow paths and maintains and/or increases the width of flow paths in order to decrease flow rates

Calculations:
Drip irrigation is provided on greater than 80 percent of landscape area
Total landscape area: 4,365 square feet

Low water use 3,517 sf = 80%
 Species Phoenix roebelenii: 77 sf x 2 = 154 sf
 Species: Howea forsteriana x 203 sf x 1 = 203 sf
 Species: Mahonia 'Soft Caress' x 13 sf x 1 = 13 sf
 Species: Existing Syzygium hedge 131 sf x 1 = 131 sf
 Species: Fescue Lawn: 266 sf x 1 = 266 sf
 Total medium water use plants= 767 sf / 4,365 sf = 17.5%

I state that I am familiar with the Landscape Design Standards for Water Conservation as most recently adopted by the Santa Barbara City Council and that the landscape design for this project complies with those standards. It is my understanding that verification of compliance will be necessary upon final building inspection. I shall inspect the completed installation and I will submit in writing that the installation substantially conforms to the approved plans.

Signature *Derrik Tate Eichelberger* Name Derrik Tate Eichelberger

License # 3513 Exp. Date 10/31/2022

1. All plants are identified by typical symbols. Plant quantities are approximate and provided for the contractor's convenience. In the event of discrepancies in plant count, quantities indicated by plant symbols on the plan prevail.
2. At completion of rough grading, take representative soil samples (minimum of two per acre) from the project site and source of any imported topsoil. Locations and number of soil samples must be approved by the Landscape Architect. Send soil samples to Wallace Soil Testing Laboratory 310-615-0116 or an approved equal for testing of suitability for ornamental planting as specified on the drawings. Submit a copy of the results of this analysis to the Landscape Architect for approval and comment. Make adjustments to the rate and analysis of fertilizer & amendments as recommended to provide a suitable medium for plant growth. Follow all recommendations in agronomic soil report, including leaching if recommended. Notify the Landscape Architect of any potential problems which may result due to harmful substances found in the soil. Failure to act as specified may result in contractor assuming financial responsibility for any damage to plants.
3. Specification Section 032 93 00, Landscape Planting, 32 92 23, Sodding, are integral to the intent of the planting plan. Do not bid planting plan without reference to applicable specification section.
4. Contractor is responsible for finish grades and for line grading required for surface drainage and uniformity to the satisfaction of the Landscape Architect. Advise Landscape Architect of drainage problems and make recommendations for solution. Final grades for planting to a tenth of a foot must be established prior to commencing planting operations.
5. Grades and flow lines must be maintained during irrigation and planting operations. Contractor may not alter established grade and flow lines without the knowledge and permission of the Landscape Architect.
6. Install North American Green SC150BN (Erosion) Control Fabric (Pacific Soil Stabilization Santa Maria, CA 93454 PH 800) 473-1965) on all slopes of 5:1 or steeper, per manufacturer's specification.
7. The Landscape Architect reserves the right to review all plant material at the nursery prior to delivery to job site. In the event of nursery review the Landscape Architect may request photos and/or specifications of plant material to be provided prior to delivery.
8. Landscape Architect reserves the right to refuse plants delivered to site that are substandard. Replacement plants are to be supplied by contractor at no additional cost to owner.
9. Plant materials and installation to meet highest quality industry standard. Locate and secure all specified plants within two weeks of award of contract and show proof of to Landscape Architect in writing that plants have been secured. Notify Landscape Architect immediately of any plant sourcing difficulty.
10. Include in the contract price a sufficient amount to allow for supply and installation of additional plants to be used at the direction of the Landscape Architect. Include: 5- 15 gallon, 15- 5 gallon, 20- 1 gallon. Provide the unit price for such plants in the bid and credit the owner for each plant not installed.

23. *Guaranty plant material 5 gallon or smaller except transplants for a period of 90 days from date of final review. Replace dead plants and plants not in vigorous condition, without cost to owner, as determined by Landscape Architect at the end of warranty period. Guaranty 15" gallon plants and larger, for 1 year from date of final review.*
24. *Notify Landscape Architect of intended planting schedule a minimum of two weeks prior to planting.*
25. *Set out all plant materials as shown on plan. Final locations must be approved by the Landscape Architect prior to planting.*
26. *Plant crown to be 2" above adjacent grade for 15 gallon and larger plants; 1" above adjacent grade or plants smaller than 15 gallon.*
27. *Install all plants per details.*
28. *Stake trees according to industry standards per details. Review with Landscape Architect prior to work.*
29. *Contact Landscape Architect for decision regarding proposed plant substitutions 4 weeks prior to installation.*
30. *All plants delivered to the site must have legible identification tags.*
31. *Any tree shown on plan to be installed in less than 8" (eight feet) clear distance from any curb, walkway, foundation, domestic water line, fire line, storm drain, or sewer line, or any underground utility is to be installed with root control barriers UB 24-2 by Deep Root Corp. 800-458-7868. Install a minimum of 16 linear feet of root barrier centered on the tree adjacent to any underground utility. Install as directed by detail. Install per manufacturer's instructions. Palm trees do not require root control barriers. Landscape Architect may alter or waive requirement.*
32. *Plant groundcovers adjacent to shrubs and/ or trees 1.5 times the distance of their specified spacing away from the stems of the adjacent shrubs and trees. Groundcovers adjacent to curbs and pavement shall be spaced at specified spacing away from paved areas.*
33. *Plant backfill: See Specifications*
34. *Completely eradicate all bermuda, kikuyu grass, and other weed growth or other visible or alleged invasive weeds from areas within project limits prior to installing planting.*
35. *Provide and install bark mulch over all shrub and groundcover areas. Use walk-on bark mulch. Walk on Bark mulch shall be a virgin forest product consisting of shredded fir bark and bark nuggets. Source from Agromin (800) 247-6646 or as listed in the specifications. Spread mulch evenly over all shrub and groundcover areas to a depth of 3" (three inches). Keep mulch away from plant stems. Submit mulch samples to Landscape Architect for approval prior to purchase and delivery.*
36. *Preserve and protect all existing trees unless otherwise noted.*
37. *Any tree or plant containing pathogens, bacteria or viruses harmful to plant health shall be replaced at the Contractor's expense.*
38. *All plant material is to be placed in an appropriately sized gopher basket. Turf areas are to be installed over a single layer of gopher wire. Overlap all seams by 6" and stake wire on 6'-0" centers throughout. Contractor to include cost of baskets and wire in all bids and planting estimates.*

<i>Botanic Name</i>	<i>Common Name</i>	<i>Quantity</i>	<i>Symbol</i>
---------------------	--------------------	-----------------	---------------

ON SITE TREES PROPOSED TO BE REMOVED: 1

Schinus molle *Chilean Pepper*

ON SITE TREES PROPOSED TO BE PROTECTED: 3

<i>Syagrus romanzoffianum</i>	Queen Palm
<i>Araucaria heterophylla</i>	Norfolk Island Pine

ON SITE TREES PROPOSED: 8

<i>Cassia leptophylla</i>	Gold Medallion Tree
<i>Howea forsterana</i>	Kentia Palm
<i>Phoenix roebelenii</i>	Pigmy Date Palm
<i>Strelitzia nicolai</i>	Giant Bird of Paradise
<i>Tecoma stans</i>	Yellow Bells

ON SITE TREES PROPOSED: 8

<i>Cassia leptophylla</i>	Gold Medallion Tree
<i>Howea forsterana</i>	Kentia Palm
<i>Phoenix roebelenii</i>	Pigmy Date Palm
<i>Strelitzia nicolai</i>	Giant Bird of Paradise
<i>Tecoma stans</i>	Yellow Bells

Drawing Name: Z:\Shared\Projects\2022 Projects\22.015 229 Mohawk Road\22.015 Civil\22.015 In Progress\229 Mohawk\Sheets\Construction Drawings\PL-1 Plant Images.dwg, Plot date: 2022-03-01 1:10 PM



ACCENT
Cycas revoluta / Sago Palm



ACCENT PALM
Phoenix roebelenii / Pigmy Date Palm



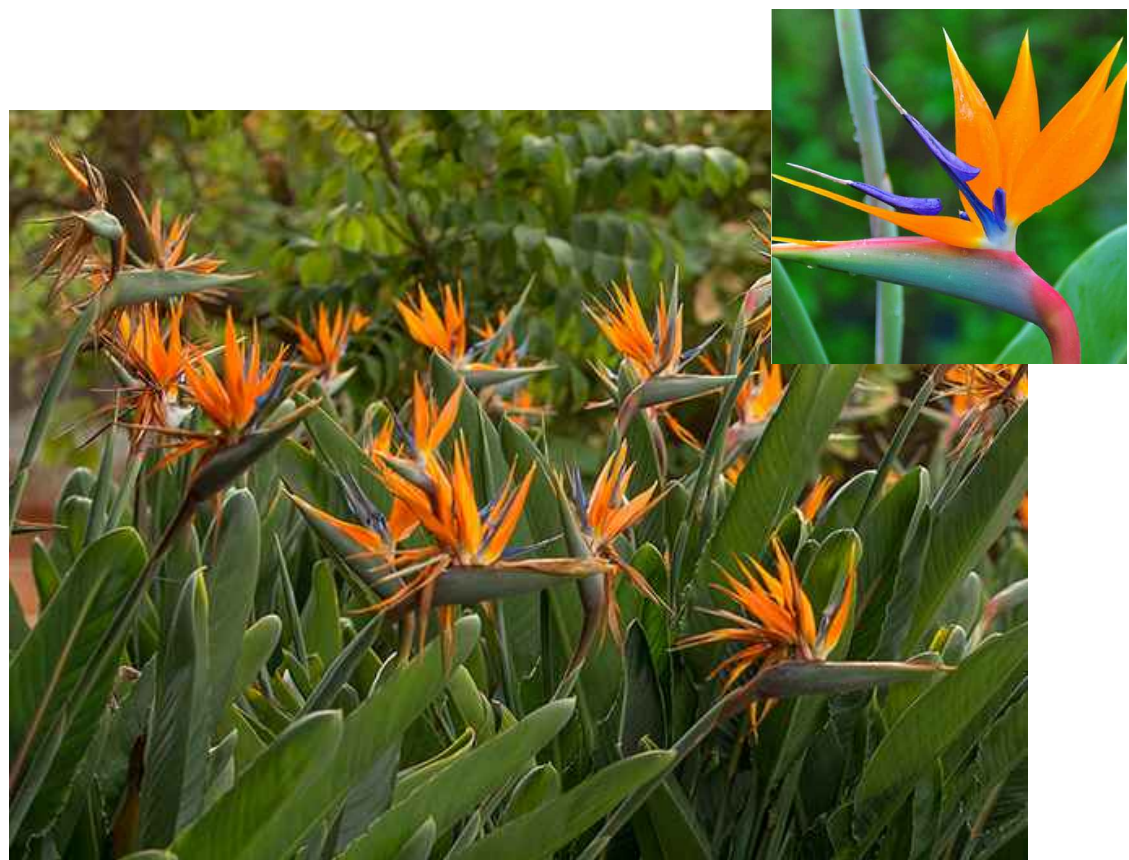
ACCENT PALM
Howea forsterana / Kentia Palm



FLOWERING CANOPY TREE
Cassia leptophylla / Gold Medallion Tree



ACCENT TREE
Streltzia nicolai / Giant Bird of Paradise



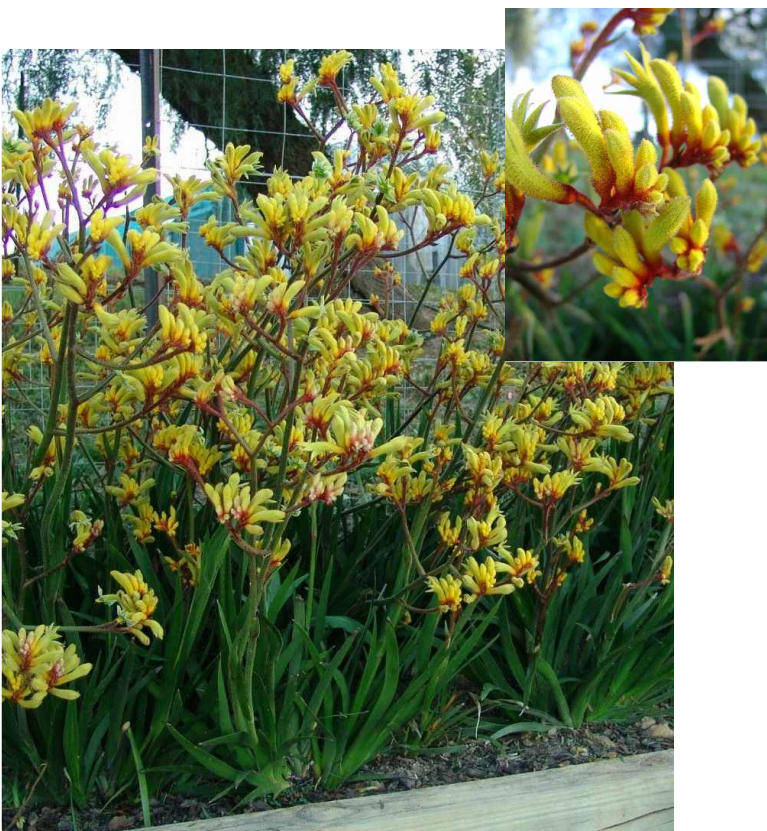
ACCENT SHRUB
Strelitzia reginae / Bird of Paradise



ACCENT SHRUB
Leucospermum 'Gold Strike' / Yellow Pincushion



ACCENT SUCCULENT
Agave attenuata 'Ray of Light' / Variegated Foxtail Agave



ACCENT SHRUB
Anigozanthos 'Gold Velvet' / Yellow Kangaroo Paw



SHADE ACCENT SHRUB
Mahonia 'Soft Caress' / Soft Caress Barberry



ACCENT SHRUB
Nandina 'Obsession' / Heavenly Bamboo



ACCENT SHRUB
Leucadendron 'Safari Sunset' / Conebush



ACCENT SHRUB
Phormium cookianum 'Cream Delight' / Mountain Flax



FLOWERING SHRUB
Polygala 'More Mesa Grande' / Sweet Pea Shrub



FLOWERING VINE
Hardenbergia 'Canoelands' / Sweet Pea Vine



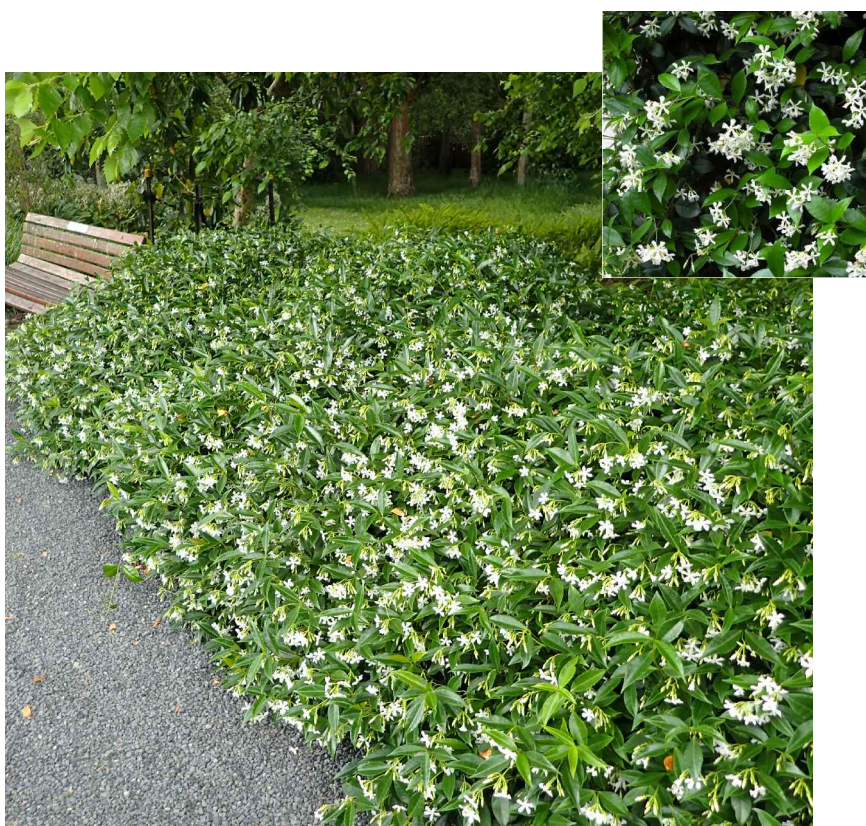
FLOWERING PERENNIAL
Agapanthus 'Queen Anne' / Lily of the Nile



CASCADING GROUNDCOVER
Rosmarinus 'Huntington Cascade' / Trailing Rosemary



FLOWERING PERENNIAL
Salvia leucantha / Mexican Sage



FLOWERING GROUNDCOVER
Trachelospermum jasminoides / Star Jasmine



LOW GROWING GROUNDCOVER
Myoporum parvifolium 'Pink' / Prostrate Myoporum



BIORETENTION BASIN PLANTING
Carex flacca aka *Carex glauca* / Blue Sedge



202 East Cota Street
Santa Barbara, CA 93101
tel 805.962.9055
fax 805.962.5658
arcadiastudio.com



Revisions

229 Mohawk Road
Santa Barbara, CA
93109

PLANT IMAGES

Issue
02.2022

Date 02.2022	Job Number 22.015
Drawn By MD	Checked by MD
Sheet	of #

PL-2

**FRONT YARD SET BACK TREE REMOVAL
REQUEST**

May 2022

Date: 4/26/2022

Requested by: Michael Fedyk famfedyk@verizon.net

Address: 1325 Mountain Ave., Santa Barbara, CA 93101

Location of Tree: 1325 Mountain Ave., Santa Barbara, CA 93101

Tree Species: *Tipuana tipu*, *Common Name:* Tipu Tree

Zoning/Setback: RS-6/R-1 20'

Reason for Removal: Tree roots have grown excessively and are destroying the driveway and surrounding pathway. Raised concrete slabs are dangerous presenting a trip hazard.

Proposed Replacement: Yes ☐ No ☒

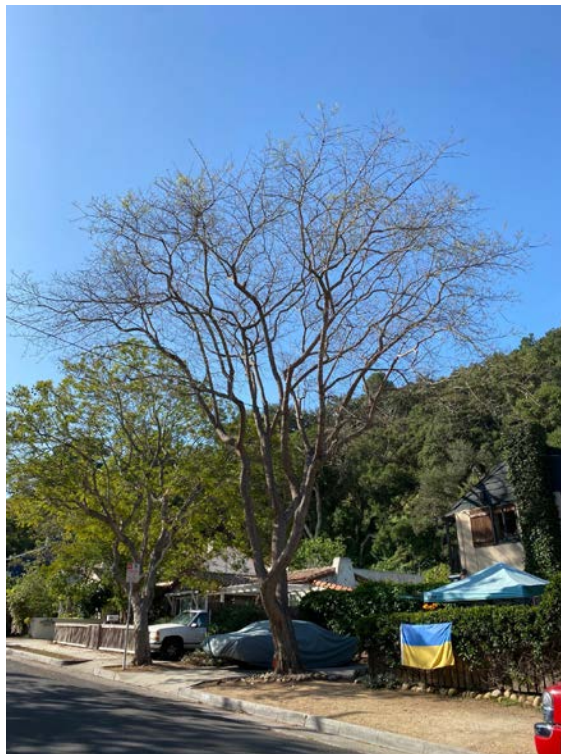
Advisory Committee Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Staff Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Date Posted:

Comments:

PHOTO INVENTORY



Tree Removal Application

APPLICANT/OWNER DETAILS

YOUR LAST NAME

YOUR FIRST NAME

OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)

YOUR MAILING ADDRESS

CITY

STATE

ZIP CODE

DAYTIME PHONE

EMAIL ADDRESS

TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)** **STREET TREE(S)**

NUMBER OF TREES LOCATION OF TREE(S)) – please be sure to indicate the **property address** where the trees are located

SPECIES OF TREE(S), IF KNOWN

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

WILL YOU REPLACE THE TREE(S)? YES NO

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?



**FRONT YARD SET BACK TREE REMOVAL
REQUEST**

May 2022

Date: 4/26/2022

Requested by: Adam Sharkey sharkey@bbird.com

Address: 235 Palm Ave., Santa Barbara, CA 93101

Location of Tree: 650 Rockwood Dr., Santa Barbara, CA 93103

Tree Species: 16 various species *Common Name:* various.

Zoning/Setback: RS-1A 30'

Reason for Removal: Application review underway for new single-family residence and special ADU. Site design requires removal of these Acacias for desired site grading pathways, fencing, and new landscaping.

Proposed Replacement: Yes ☒ No ☐

Advisory Committee Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Staff Recommendation: Approve Removal: ☐ Deny Removal: ☐ N/A ☐

Date Posted:

Comments:

PHOTO INVENTORY



Tree Removal Application

APPLICANT/OWNER DETAILS

<input style="width: 95%;" type="text" value="Sharkey"/>	<input style="width: 95%;" type="text" value="Adam"/>	
YOUR LAST NAME	YOUR FIRST NAME	
<input style="width: 98%;" type="text" value="Shawna & Brook Reeder"/>		
OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)		
<input style="width: 98%;" type="text" value="Blackbird Architects, 235 Palm Avenue"/>		
YOUR MAILING ADDRESS		
<input style="width: 95%;" type="text" value="Santa Barbara"/>	<input style="width: 95%;" type="text" value="CA"/>	<input style="width: 95%;" type="text" value="93101"/>
CITY	STATE	ZIP CODE
<input style="width: 95%;" type="text" value="805-957-1315"/>	<input style="width: 95%;" type="text" value="sharkey@bbird.com"/>	
DAYTIME PHONE	EMAIL ADDRESS	

TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)** ☒ **STREET TREE(S)** ☐

<input style="width: 95%;" type="text" value="19"/>	<input style="width: 95%;" type="text" value="650 Rockwood Drive, at Northwest corner of property"/>
NUMBER OF TREES	LOCATION OF TREE(S) – please be sure to indicate the property address where the trees are located

<input style="width: 95%;" type="text" value="Acacias"/>
SPECIES OF TREE(S), IF KNOWN

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

- Application review underway for new single family residence and special ADU. PLN2021-00491.
- Site design requires removal of these acacias for desired site grading, pathways, fencing, and new landscaping.
- Project arborist Duke McPherson confirmed that the trees are not protected, saw no issues with their removal to allow the proposed development.
- Project arborist report prepared by Duke McPherson was submitted and reviewed by City staff.
- Arborist report and project landscape plans identified removal of acacias, but did not indicate size.
- In consultation with Nathan Slack of City of Santa Barbara, acacia sizes were verified and is over 4" diameter, therefore requiring removal application.
- Arborist Duke McPherson said he could update his report with a letter identifying his approval for removal if needed. Blackbird will follow up with Nathan Slack to see if this is needed/helpful.

WILL YOU REPLACE THE TREE(S)? YES ☒ NO ☐

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

- The project has full proposed landscape plan that new tree types including Avocado, Fruit Trees, Olive Trees, Palm Trees, Pepper Trees, and Coast Live Oak Trees.
- The project design was reviewed with all positive comments by the Single Family Design Board.
- In the site area that was occupied by the acacias, there are proposed to be (3) Coast Live Oak trees, one Olive Tree, boulders, a special ADU, and an outdoor patio, pathway, low seat wall and sitting area.

Duke McPherson, Arborist

201 East Mountain Drive

Santa Barbara, CA 93108

Phone 805 705-9529

E-mail: treemanduke@cox.net

September 23, 2021

Brook Reeder

brookreeder@gmail.com

Shawna Reeder

shawna.reeder@gmail.com

Arborist Report/Tree Protection Plan

Regarding: 650 Rockwood Drive, City of Santa Barbara, California

Introduction

At the request of the owners, I met with Ken Radtkey and Ambikesh Mishra of Blackbird Architects on June 24 of this year on the property. Though the site is populated with a variety of native and non-native trees, most are located out at the perimeter which will accommodate building and landscape hardscape construction with a minimum of impact to valued trees. We concluded that one of the major goals will be to keep the fire hazardous nature of the site low through the removal of selected trees. Also, careful planning will be needed in order to populate the open areas with trees and plants without adding to the high fire danger found here.

The Site and Trees

The property is located on gently sloping land which is known as the fanglomerate formation. It is a kind of ancient debris flow with rocks and boulders mixed in with soil. It spans the elevations of 672' at the lowest point up to 693' at Rockwood Drive.

There is an abundance of Coast Live Oak trees, *Quercus agrifolia*, plus some native shrubs and shrub like trees such as Toyon, *Heteromeles arbutifolia* and Lemonade Berry, *Rhus integrifolia*. Non-native include a species of Acacia, the Peruvian Pepper, *Schinus molle*, and a single mature specimen of a Eucalyptus variety, *Eucalyptus polyanthemos*.

Determining Tree Critical Root Zones (CRZ's)

Where native oaks are encroached upon by construction, a means of determining what impact that activity may have on them needs to be applied. Generally, with fairly symmetrical canopies, the measurement of the distance from the center of the tree trunk to the dripline is taken. Adding 6' gives a rough perimeter of the outer circle of the area protected.

As trees on this site in most cases have asymmetrical canopies, I opted to use what I call the trunk measurement method for determining protected or Critical Root Zones instead of the trunk center to the canopy dripline plus 6' method. A trunk diameter measurement is taken at the standard height at 4.5' up or Diameter at Breast Height (DBH) in inches which is equated with the radius in feet from the trunk center out to its root zone perimeter. In cases where there are multiple trunks, the diameters in inches are squared, added together and the square root of the resulting number is used for the radius in feet.

The CRZ's of two specimens (#'s 11 and 15) were found to be affected by over 20% due to the construction of an Accessory Dwelling Unit (ADU).

Site Plan Showing All Trees

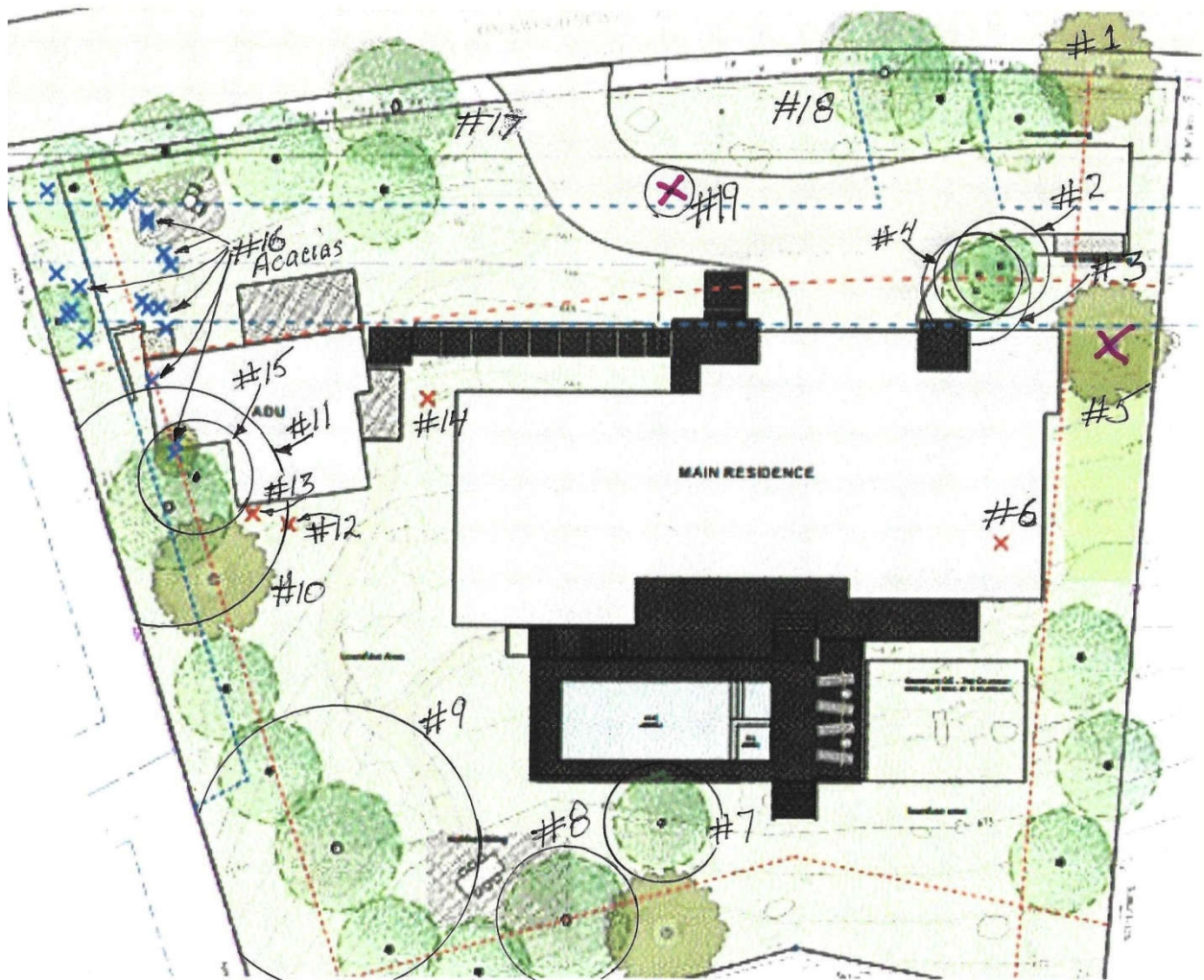


Figure 1. The proposed removals are shown with red X's. I determined that the CRZ of two trees, # 11 and 15, would be encroached upon by construction. Five native and one mature specimen non-native (# 5) are proposed for removal. Tree representations shown with solid centers were initially proposed locations for new mitigation oaks. Graphic taken from a site plan drawn up by Blackbird Architects at a 1/8"=1' scale.

Tree Inventory

Tree health was determined by eye. All trees appeared to be free of pests and diseases and were growing normally. One tree, the non native Eucalyptus (tree #5) qualifies as a specimen tree which would normally have been designated as protected. In this circumstance, the fire hazardous nature of it supersedes that value and no mitigation for its loss has been offered. Trunk diameters are taken at 4.5' up from ground level and referred to as Diameter at Breast Height (DBH).

Tree Number	Name	Health	Trunk Diameter at in inches Critical Root Zone in Feet	Location (Beginning at NE Corner and Moving Counterclockwise)	Comments
1	Peruvian Pepper <i>Schinus molle</i>			NE corner of property slightly outside property line.	City of SB street tree. To be preserved.
2	Coast Live Oak, <i>Quercus agrifolia</i>	Good	8" 8'	South of tree number one by 48'.	Minor grading in CRZ for driveway. No mitigation needed.
3	Coast Live Oak, <i>Quercus agrifolia</i>	Good	6", 7" 9'	In cluster of trees with #'s 2 and 4.	Building construction to encroach CRZ under 20%. No mitigation needed.
4	Coast Live Oak, <i>Quercus agrifolia</i>		6" 6'	In cluster of trees with #'s 2 and 3.	Minor grading in CRZ for driveway. No mitigation needed.
5	<i>Eucalyptus polyanthemos</i>		36" trunk diameter		Non-native proposed for removal without mitigation.

Tree Inventory (continued)

Tree Number	Name	Health	Trunk Diameter in inches Critical Root Zone in Feet	Location	Comments
6	Coast Live Oak, <i>Quercus agrifolia</i>	Good	11" 11'	Thirty eight SW of #5.	To be removed for house construction. To be mitigated for.
7	Coast Live Oak, <i>Quercus agrifolia</i>	Good	10" 10"	Near southern edge of future pool.	Root zone affected by less than 20% by pool construction.
8	Coast Live Oak, <i>Quercus agrifolia</i>	Good	12" 12'	Immediately west of #6.	Root zone not affected by construction. No grading will occur in this area.
9	Coast Live Oak, <i>Quercus agrifolia</i>	Good	6, 10, 3X12" 24'	Thirty six north of lower property line. Twenty one feet east of western line.	
10	Peruvian Pepper <i>Schinus molle</i>	Good. Lush green growth.		Fourteen feet south of #11.	A non-native tree (sometimes mistakenly called a California Pepper).

Tree Inventory (continued)

Tree Number	Name	Health	Trunk Diameter in inches Critical Root Zone in Feet	Location	Comments
11	Coast Live Oak, <i>Quercus agrifolia</i>		10, 10, 10, 10" 20'	In an oak cluster with #'s 12, 13, and 15.	Over 20% percent of CRZ affected by construction. Mitigation required.
12	Coast Live Oak, <i>Quercus agrifolia</i>	Good	16"	In an oak cluster with #'s 11, 13, and 15.	Proposal for removal. Mitigation needed.
13	Coast Live Oak, <i>Quercus agrifolia</i>	Good	8, 12" 14'	In an oak cluster with #'s 11, 12, and 15.	Proposal for removal. Mitigation needed.
14	Coast Live Oak, <i>Quercus agrifolia</i>	Good health with a deformed structure.	9, 10" 13'	Fifty nine feet east of property line.	Proposal for removal. Mitigation needed.
15	Coast Live Oak, <i>Quercus agrifolia</i>	Good	10" 10'	In an oak cluster with #'s 12, 13, and 15.	Over 20% percent of CRZ affected by construction. Mitigation required.
16	Group of twenty one <i>Acacia</i> sp.	Variable health.	Variable sizes.		Non-native trees proposed for removal due to fire hazardous condition. Space to be used for oak mitigation planting.

Tree Inventory (continued)

Tree Number	Name	Health	Trunk Diameter at 4.5' up (DBH) Critical Root Zone	Location	Comments
17	Coast Live Oak, <i>Quercus agrifolia</i>	Good	12"	In roadside strip sixty eight feet from western property line.	City of SB street tree. To be preserved.
18	Coast Live Oak, <i>Quercus agrifolia</i>	Good	10"	In roadside strip 49' from NE property corner.	City of SB street tree. To be preserved.
19	Coast Live Oak, <i>Quercus agrifolia</i>	Good	A multi-trunk re-sprout. Ten stems varying from 1-3" in diameter. Original tree removed by a previous owner.	Approx. 18' south of northern line.	To be removed for driveway installation. Mitigation required.

Tree Mitigation Table

A total of five oaks are proposed for removal. Two more will have their critical root zones affected by 20% or more. The locations for the nursery grown native oaks will be found in a follow up landscape plan prepared by Sam Maphis of Earthform Design.

Tree Number	Name	Reason for Removal or Mitigation	Size: Trunk diameter at 4.5' up - DBH (Critical Root Zone)	Mitigation Tree Replacements, Size and Number
6	Coast Live Oak	To be removed for residence construction.	11" DBH (11')	One 24" boxed specimen.
11	Coast Live Oak	ADU construction encroaching over 20% of CRZ..	Four 10" DBH trunks. (20')	One 36" boxed specimen.
12	Coast Live Oak	ADU construction is too close to the tree to preserve it.	16" DBH (16')	One 36" boxed specimen.
13	Coast Live Oak	ADU construction is too close to the tree to preserve it.	8" + 12" DBH (14')	One 36" boxed specimen.
14	Coast Live Oak	House construction is too close to the tree to preserve it.	9" + 10" DBH (13')	One 36" boxed specimen.
15	Coast Live Oak	Over 20% CRZ encroachment from ADU construction.	10" (10')	One 24" box.
19	Coast Live Oak	To be removed for driveway construction.	A small multi trunk specimen.	One 15 gallon nursery oak.

Tree Protection Measures to be Taken During the Construction Phase

1. It will be imperative to place strongly staked tree protection fencing as outlined in the graphic shown on page 9. The project arborist is to be on hand to supervise the installation.
2. All heavy equipment must be prevented from entering protected areas.
3. No storage of materials of any kind is to occur within tree CRZ's.
4. The locations for portable tool washout basins are to be supervised by the project arborist to insure no liquid material spills into root zones.
5. No ditching for utility lines is to occur within protected tree root zones without the project arborist present.
6. Any tree roots cut during construction operations are to be cut even to help prevent decay.

Routing of Tree Protection Fencing

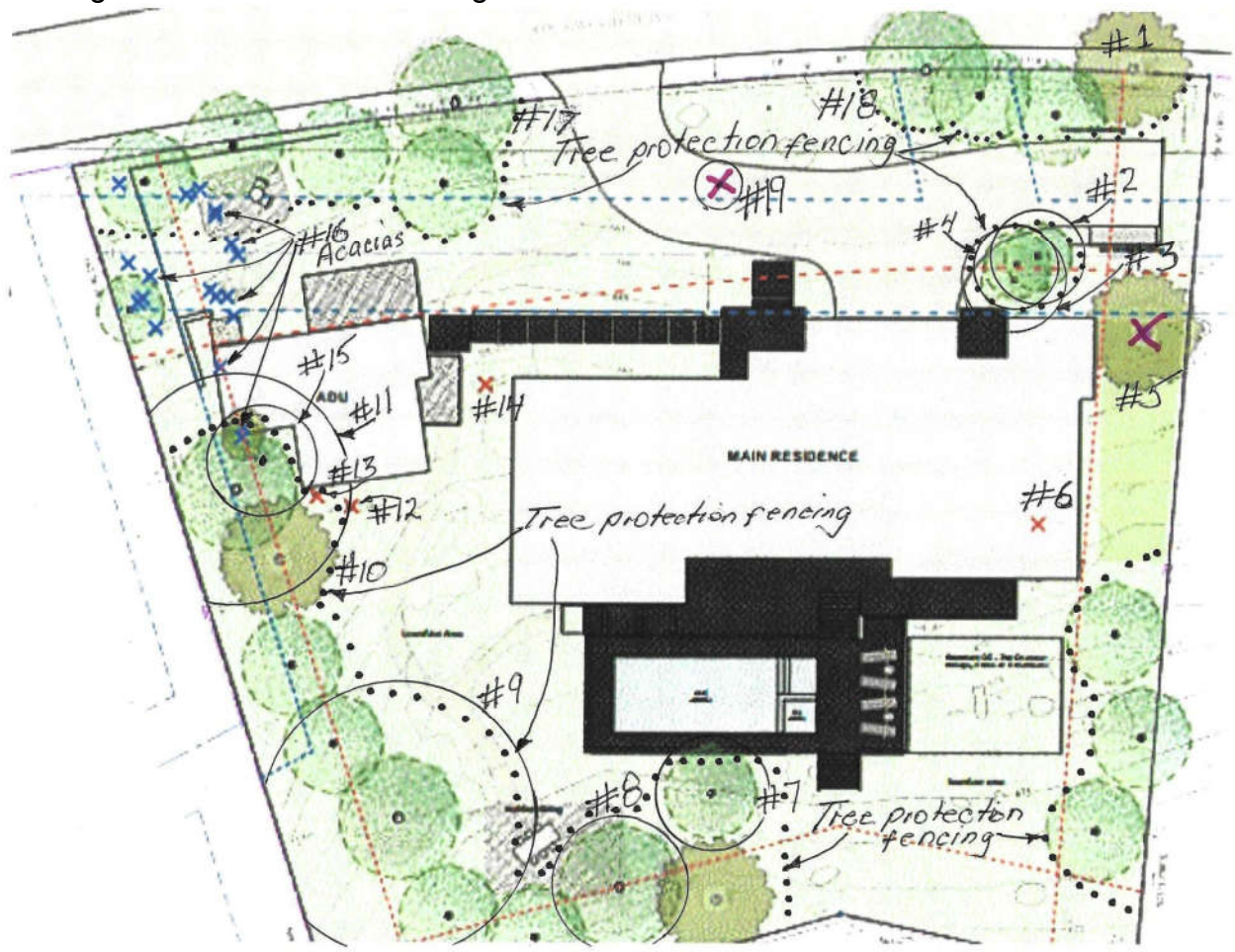


Figure 2. The graphic shows five locations for the routing of tree protection fencing shown with lines of black dots.

Report prepared by:

Duke McPherson

A handwritten signature in black ink, appearing to read 'Duke McPherson'.

Certified Arborist with the
International Society of Arboriculture
Certification # WE-0690A

Duke McPherson, Arborist

201 East Mountain Drive

Santa Barbara, CA 93108

Phone 805 705-9529

E-mail: treemanduke@cox.net

March 29, 2022

Brook Reeder

brookreeder@gmail.com

Shawna Reeder

shawna.reeder@gmail.com

Arborist Report Addendum

Regarding: 650 Rockwood Drive, Santa Barbara, CA

Introduction

This report is a addendum to one I prepared on September 29, 2021 which was titled Arborist Report/Tree Protection Plan. Its purpose was to provide an inventory of all the significant trees on the property and how proposed building, ADU, and hardscape construction would have affected their health. Some trees were designated for removal for various reasons, mainly to facilitate a whole new use of the property.

I did not consider the fact that some of the removals are located within the setback zone that the City of Santa Barbara has jurisdiction over. Specifically, there are 16 young Acacia specimens in a group in the northwest corner of the property which the architects and owners would like to replace with native oak trees (Refer to a site plan section on page 2). Just as important, the area has been set aside for new outdoor living infrastructure.

Conclusions and Recommendations

I would like to request that the City of Santa Barbara grant the owners permission to remove the specified trees in order to develop the area for outdoor living.

Plan Section

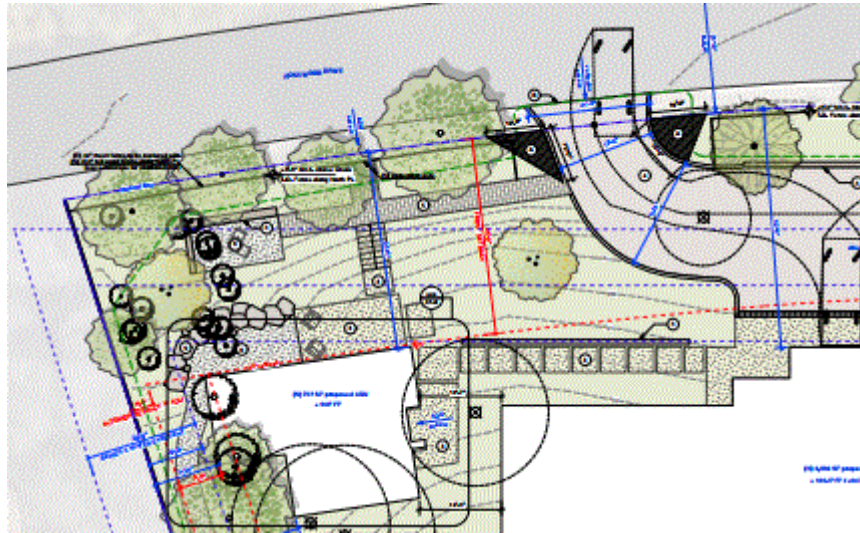


Figure 1. A plan section of the site shows existing and proposed new trees. The subject trees can be seen at the left side of the plan as small black circles. The red dashed line paralleling Rockwood Drive and running left to right represents the City's setback line.

Report prepared by:

Duke McPherson

A handwritten signature in black ink, appearing to read "Duke McPherson".

Certified Arborist with the
International Society of Arboriculture
Certification # WE-0690A



LEGEND: PROPOSED SITE PLAN

- property line
- setback
- easement
- approximate limit of work
- (E) contour
- (N) contour
- feature above
- (N) proposed residence
- (N) concrete hardscape, integral color
- TBD, sandcast finish, ref. Civil and Landscape - impervious
- (N) permeable paver driveway, color TBD, ref. Civil and Landscape - permeable
- (N) paver walkway, color TBD, ref. Civil and Landscape - impervious
- (N) decomposed granite walkway, ref. Civil and Landscape - impervious
- (N) pool, under separate permit
- (N) CONC. retaining wall, per Civil
- (N) dry stack retaining wall, per Civil
- visibility triangle
- existing tree to remain
- proposed tree
- existing tree to be removed
- critical root zone
- existing Acacia tree to be removed

KEY NOTES: SITE PLAN

- A. 10' x 10' visibility triangle - no fence, screen, wall, hedge or other landscaping material exceeding a height of 3'-6" shall be located within the visibility triangle
- B. New driveway concrete apron to comply with City of Santa Barbara Public Works Standard Construction Details
- C. New free standing 12'-0" x 8'-0" mechanical and pool equipment enclosure. Per SBMC, Section 30.140.130. Freestanding equipment, and associated screening or enclosures, may be located within the front yard and may encroach into any setback or open yard, except private open yard, and as follows: a. Residential Uses. On lots developed with residential uses only, freestanding equipment and enclosures shall be no closer than 10 feet to any front lot line, and no closer than five feet to any interior lot line adjacent to property zoned for residential use or developed with residential uses.
- D. Approximate location of (N) Stormtech Infiltration Chamber, reference Grading and Drainage Plan C-2.1 for additional information.

Rockwood Dr.
Residence

650 Rockwood Drive
Santa Barbara, CA 93101
021-163-001

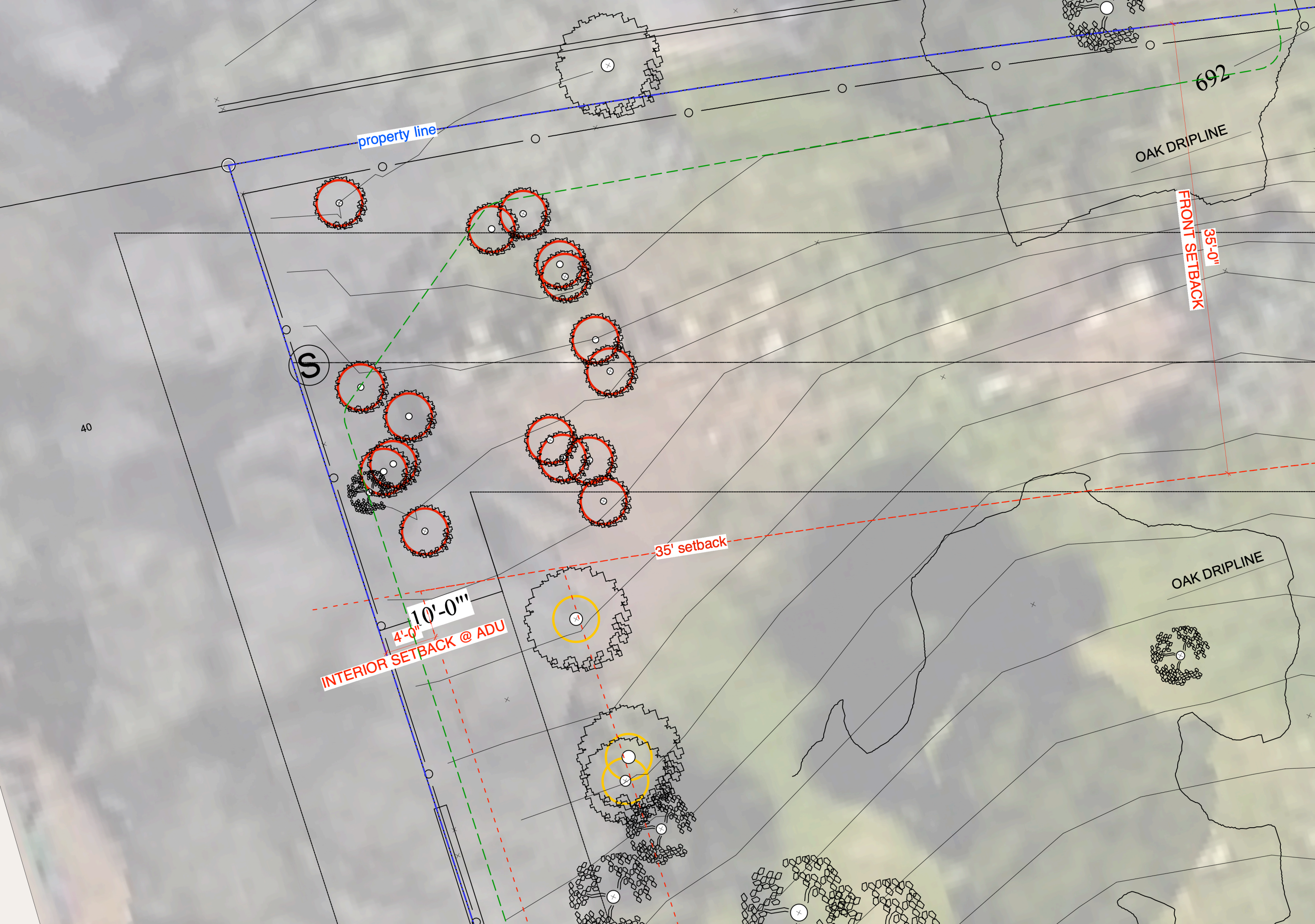
Revisions

© 2022 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copy is permitted by contract only. The use or revisions of these ideas or plans is prohibited without the written permission of Blackbird Architects, Inc.

NOT FOR
CONSTRUCTION

Site Plan

A1.0
Backgrounds 03.25.2022



property line

692

OAK DRIPLINE

FRONT SETBACK

35'-0"

35' setback

10'-0"

INTERIOR SETBACK @ ADU

4'-0"

OAK DRIPLINE

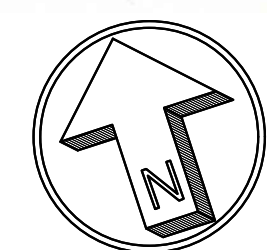
40

S

N:\EPD\1\Projects\Reeder\Anocad\Base.dwg, 3/23/2022 9:52:19 AM



PRELIMINARY LANDSCAPE PLAN
AND TREE PROTECTION PLAN



NORTH

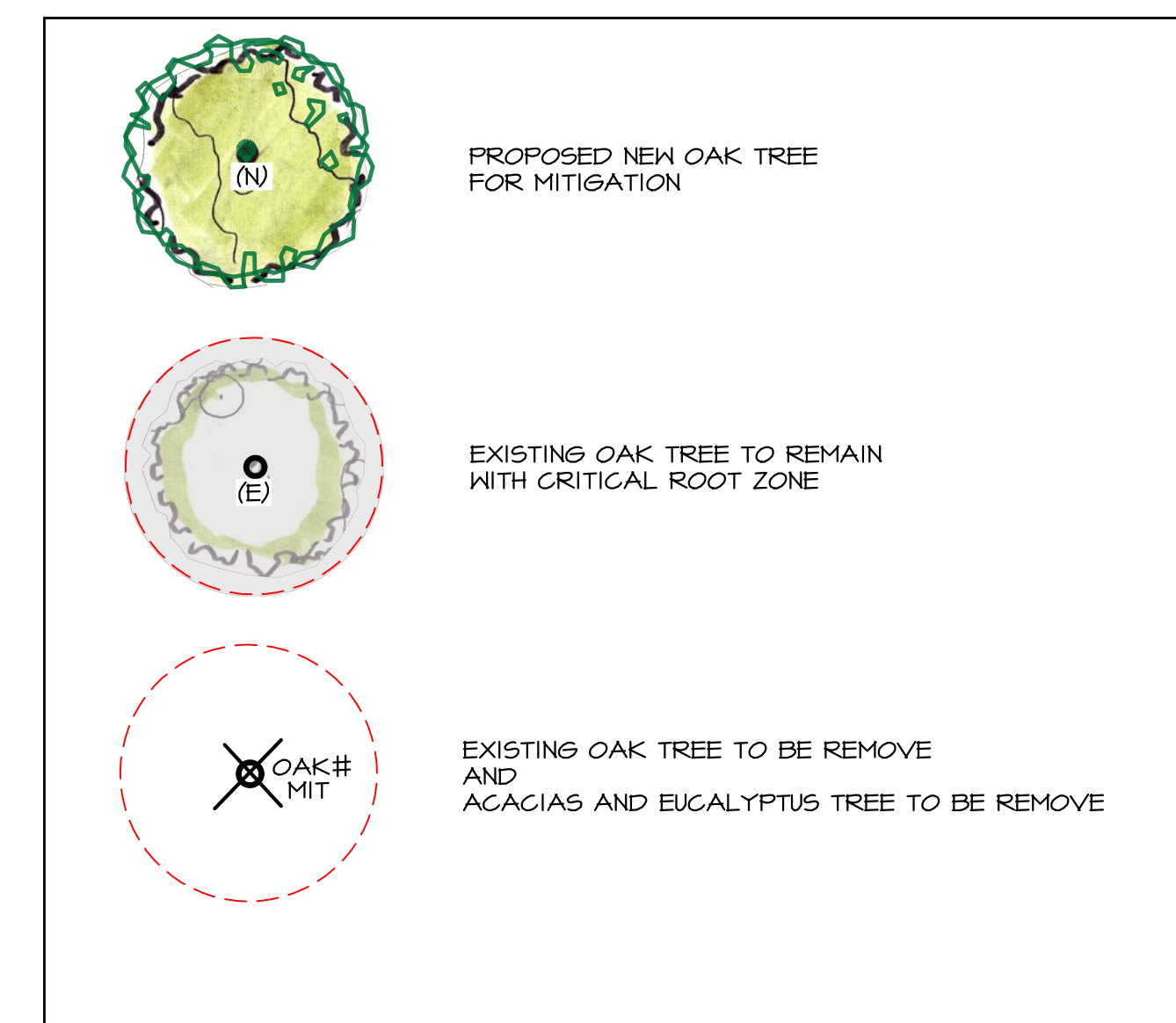
SCALE: 1" = 10'-0"

PLANT LIST

QTY.	SIZE	WUCOLS PLANT FACTOR	BOTANICAL NAME	COMMON NAME	NOTES
TREES:					
such as:					
15g-24"	box	M	AVOCADO - HASS		
15g-24"	box	M	FRUIT TREES, OWNERS CHOICES		
15g-24"	box	L	OLEA OLIVE CHOICE OF FRUITLESS OR FRUITING	OLIVE	
15g-24"	box	L	PALM TREES		
24"	box	L	SCHINUS MOLLE	CALIFORNIA PEPPER	
24"-36"	box	L	QUERCUS AGRIIFOLIA	COASTAL LIVE OAK	FOR MITIGATION TREES
SHRUBS and HERBACEOUS:					
such as:					
5g	L		ALOE SP.	NON	
1g/15g	L		AGAVE SP.	BOUGAINVILLEA	
5g	L		BOUGAINVILLEA SP.	DRACAENA	
15g	L		CORDYLINE SP.	PINEAPPLE GUAVA	
5g	L		FELICIA SELLOWIANA	BAY LAUREL	
5g/15g	L		LAURUS NOBILIS	LAVENDER (WHITE)	
5g	L		LAVENDULA ALBA	LAVENDER (PURPLE)	
5g	L		LAVENDULA 'GROSSO'	TEXAS PRIVET	
5g/15g	L		LIGUSTRUM TEXANUM	'LITTLE BUNNY' FOUNTAIN GRASS	
1g	M		PERNISETUM ALOPECUROIDES	NEW ZEALAND FLAX VARIETIES	
5g	L		PHORATUM TENAX	HOLLY LEAF AND CATALINA CHERRY	
5g/15g	L		PRUNUS SP.	EVERGREEN CURRENT	
5g	L		RIBES VIBURNIFOLIUM	ROSA VARIETIES	
5g/15g	M		ROSA VARIETIES	GRANDIFLORA, SHRUB, AND GROUNDCOVER ROSES	
5g	L		ROSMARINUS 'TUSCAN BLUE'	ROSEMARY 'TUSCAN BLUE'	
5g	L		WESTRINGIA FRUTICOSA, WYNABBIE GEM, SP.	COASTAL ROSEMARY VARIETIES	
VINES AND GROUND COVERS					
such as:					
1g	L		CARISSA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	
1g	L		CEANOTHUS G. YANKEE POINT	WILD LILAC	
1g	L		CRASSULA MULTILAVA	FAIRY CRASSULA	
1g	L		CRASSULA MULTILAVA		
1g	L		HESPERALOE VAR.		
1g-5g	VL		HEPERALOE VAR.	HONEYSUCKLE	
5g	M		LONGICERNA HALLIANA	ROSEMARY 'TUSCAN BLUE'	
1g	M		MULLENBERGIA, HELICTOTRICHON, CALAMAGROSTIS, SP, ETC	GRASSES	
1g	L		MYOPORUM PARVIFOLIA, PINK, AND PACIFICUM	CREeping ROSEMARY	
1g	L		ROSMARINUS 'HUNTINGTON CARPET'		
1g	L		SUCCULENTS, VARIETIES		

NOTE:
ALL NEW LANDSCAPE SHALL COMPLY WITH SANTA BARBARA
FIRE HIGH FIRE LANDSCAPE REQUIREMENTS

TREE LEGEND



NOTE:
ARBORIST WILL BE PRESENT ON SITE DURING CONSTRUCTION
TO MONITOR OAK TREES CRITICAL ROOT ZONES

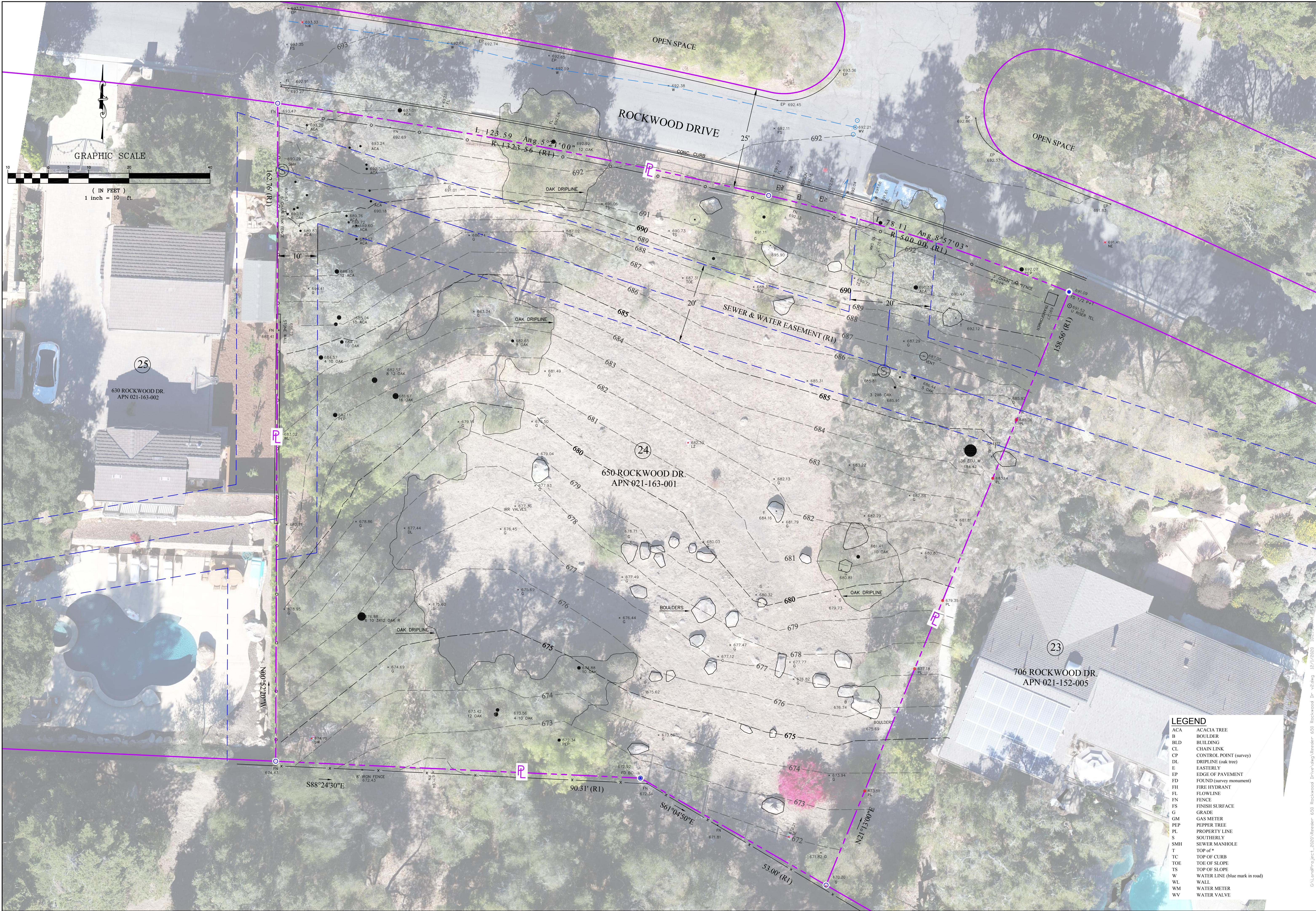
SITE LEGEND

SYMBOL	DESCRIPTION	SQ. FT. TOTALS
	NON-PERMEABLE SMOOTH ACID WASH COLORED CONCRETE- TBD	2,451 SQ. FT.
	PERMEABLE PAVERS AQUALINA BY ANGELUS BLOCK INC. WITH ROCK CHIPS INSTALLED IN THE PAVER JOINTS TO ALLOW WATER TO FLOW INTO THE BASE UNDERNEATH THE PAVERS	2,314 SQ. FT.
	PERMEABLE SMOOTH ACID WASH COLORED CONCRETE- TBD	613 SQ. FT.
		2,427 SQ. FT.



PERMEABLE PAVERS AQUALINA BY ANGELUS BLOCK INC.
WITH ROCK CHIPS INSTALLED IN THE PAVER JOINTS TO ALLOW
WATER TO FLOW INTO THE BASE UNDERNEATH THE PAVERS

PROGRESS DRAWING- NOT FOR CONSTRUCTION



PROBER
Land Surveying

Jeffrey K. Prober
12345
12-31-20
STATE OF CALIFORNIA

650 Rockwood Drive
Santa Barbara, CA
Topographic Survey

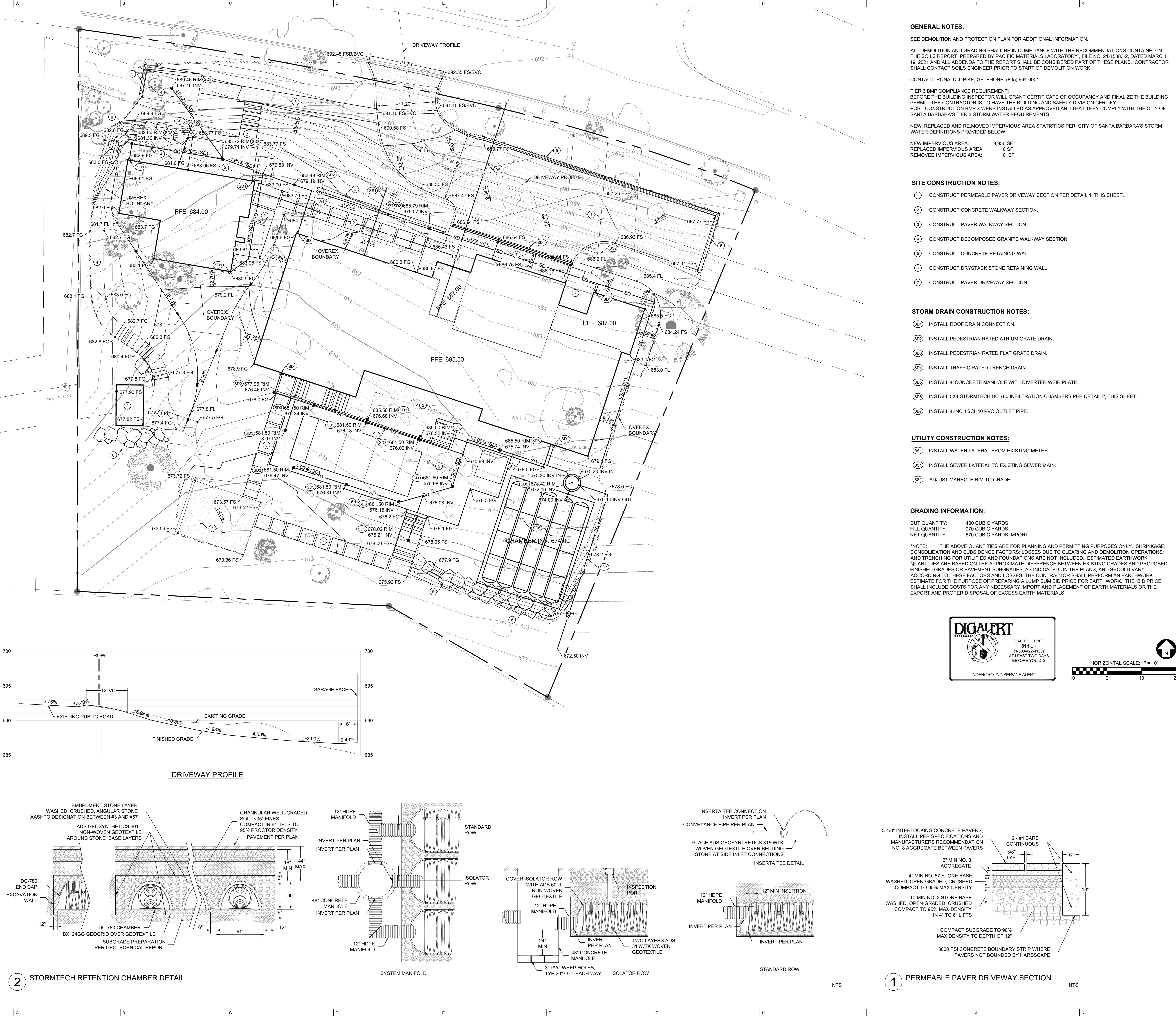
Surveyor's Notes:
1. BOUNDARY DATA SHOWN HEREON: CHILITO OAKS BK 7 PGS 32-34 (R1)
2. HORIZONTAL DATUM: NAD83, COORD SYSTEM: SPC CA 05-01, EPOCH 1991.35
3. VERTICAL DATUM: NAVD83, COORD SYSTEM: SPC CA 05-01, EPOCH 1988.00
4. PARCEL SIZE: 26,445 SF, 0.61 AC, CALCULATED FROM R1
5. ORTHOMOSAIC DRONE IMAGE: PHANTOM 4 PRO DRONE - PIX4D MAPPIERS
6. A CURRENT TITLE REPORT IS REQUIRED TO VERIFY AND PLOT ALL EASEMENTS AFFECTING SUBJECT PARCEL.

Drawn By
JKP

Field Work Performed
11-30-2020

Scale
1 inch = 10 ft.

S:\M_Jobs\2021\121 - Rockwood Drive Residence - Blackstar\02_Working Drawings\Grading\Sheet\AV C-2.1 Apr 25, 2022 1:25pm_Bruce



GENERAL NOTES:

SEE DEMOLITION AND PROTECTION PLAN FOR ADDITIONAL INFORMATION.

ALL DEMOLITION AND GRADING SHALL BE IN COMPLIANCE WITH THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT PREPARED BY PACIFIC MATERIALS LABORATORY, FILE NO. 21-15383-2, DATED MARCH 19, 2021 AND ALL ADDENDA TO THE REPORT SHALL BE CONSIDERED PART OF THESE PLANS. CONTRACTOR SHALL CONTACT SOILS ENGINEER PRIOR TO START OF DEMOLITION WORK.

CONTACT: RONALD J. PIKE, GE PHONE: (805) 964-6901

TIER 3 BMP COMPLIANCE REQUIREMENT:

BEFORE THE BUILDING INSPECTOR WILL GRANT CERTIFICATE OF OCCUPANCY AND FINALIZE THE BUILDING PERMIT, THE CONTRACTOR IS TO HAVE THE BUILDING AND SAFETY DIVISION CERTIFY POST-CONSTRUCTION BMP'S WERE INSTALLED AS APPROVED AND THAT THEY COMPLY WITH THE CITY OF SANTA BARBARA'S TIER 3 STORM WATER REQUIREMENTS.

NEW, REPLACED AND RE-MOVED IMPERVIOUS AREA STATISTICS PER CITY OF SANTA BARBARA'S STORM WATER DEFINITIONS PROVIDED BELOW:

NEW IMPERVIOUS AREA: 9,956 SF
REPLACED IMPERVIOUS AREA: 0 SF
REMOVED IMPERVIOUS AREA: 0 SF

SITE CONSTRUCTION NOTES:

1. CONSTRUCT PERMEABLE PAVER DRIVEWAY SECTION PER DETAIL 1, THIS SHEET.
2. CONSTRUCT CONCRETE WALKWAY SECTION.
3. CONSTRUCT PAVER WALKWAY SECTION.
4. CONSTRUCT DECOMPOSED GRANITE WALKWAY SECTION.
5. CONSTRUCT CONCRETE RETAINING WALL.
6. CONSTRUCT DRYSTACK STONE RETAINING WALL.
7. CONSTRUCT PAVER DRIVEWAY SECTION.

STORM DRAIN CONSTRUCTION NOTES:

- SD1. INSTALL ROOF DRAIN CONNECTION.
- SD2. INSTALL PEDESTRIAN RATED ATRIUM GRATE DRAIN.
- SD3. INSTALL PEDESTRIAN RATED FLAT GRATE DRAIN.
- SD4. INSTALL TRAFFIC RATED TRENCH DRAIN.
- SD5. INSTALL 4" CONCRETE MANHOLE WITH DIVERTER WEIR PLATE.
- SD6. INSTALL 5X4 STORMTECH DC-780 INFILTRATION CHAMBERS PER DETAIL 2, THIS SHEET.
- SD7. INSTALL 4-INCH SCH40 PVC OUTLET PIPE.

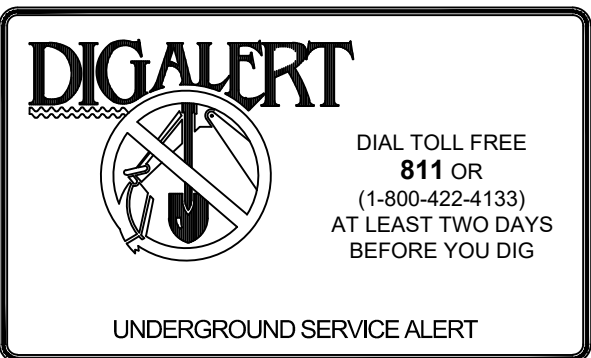
UTILITY CONSTRUCTION NOTES:

- W1. INSTALL WATER LATERAL FROM EXISTING METER.
- SS1. INSTALL SEWER LATERAL TO EXISTING SEWER MAIN.
- SS2. ADJUST MANHOLE RIM TO GRADE.

GRADING INFORMATION:

CUT QUANTITY: 400 CUBIC YARDS
FILL QUANTITY: 970 CUBIC YARDS
NET QUANTITY: 570 CUBIC YARDS IMPORT

*NOTE: THE ABOVE QUANTITIES ARE FOR PLANNING AND PERMITTING PURPOSES ONLY. SHRINKAGE; CONSOLIDATION AND SUBSIDENCE FACTORS; LOSSES DUE TO CLEARING AND DEMOLITION OPERATIONS; AND TRENCHING FOR UTILITIES AND FOUNDATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISHED GRADES OR PAVEMENT SUBGRADES, AS INDICATED ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES. THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS.



HORIZONTAL SCALE: 1" = 10'

Revisions:

1	
2	
3	
4	
5	

Project Engineer: BWV Ext: 130

Project Manager: JVG

Date: 04.25.2022 Scale: PER PLAN

AV Job No: 21129 Sheet Size: 30" x 42"

GRADING AND DRAINAGE PLAN

C-2.1

Plan Prepared By:

The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

Ashley & Vance
ENGINEERING, INC.

1413 Monterey Street
San Luis Obispo, CA 93401
(805) 545-9010
www.ashleyvance.com

CIVIL • STRUCTURAL