

# EZ AUTOMOTIVE

## 808 E. COTA STREET, SANTA BARBARA, CA 93103

### CONVERSION OF A PORTION OF EXISTING COMMERCIAL BUILDING TO A NEW RESIDENTIAL UNIT

#### GENERAL REQUIREMENTS

ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL WORKMANLIKE MANNER BY A LICENSED CONTRACTOR AND SHALL COMPLY WITH THE FOLLOWING:

- THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- THIS PROJECT SHALL COMPLY WITH:
  - 2022 CALIFORNIA BUILDING CODE (TITLE 24)
  - 2022 CRC (OR CURRENT EDITION)
  - 2022 CMC (OR CURRENT EDITION)
  - 2022 CPC (OR CURRENT EDITION)
  - 2022 CEC (OR CURRENT EDITION)
  - CALIFORNIA EFFICIENCY STANDARDS
  - CALIFORNIA GREEN BUILDING STANDARDS 2022
  - THE NEW ZONING ORDINANCE TITLE 30
  - CITY OF SANTA BARBARA ORDINANCE #56399
- ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
- STANDARD SPECIFICATIONS OF ASTM.
- IN CASE OF CONFLICTS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- "OR EQUAL": THE CONTRACTOR SHALL SUBMIT FOR THE DESIGNER'S AND BUILDER'S APPROVAL ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED.

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. EACH CONTRACTOR AND SUBCONTRACTOR SHALL REPORT TO DESIGNER AND PROJECT SUPERINTENDENT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK. CLIENTS, ARCHITECT AND PROJECT SUPERINTENDENT TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR AND SUB-CONTRACTOR SHOULD ANY DISCREPANCY, ERROR, OMISSION, ADDITION, OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK. SUB-CONTRACTOR SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTOR PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT OR BUILDER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY. THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER, RAIN, WIND, STORMS, FROST, HEAT OR BREAKAGE SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FREE FROM INJURY OR DAMAGE. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS BELONGING TO HIM FROM IN AND ABOUT THE BUILDING AND LEAVE WORK SITE "BROOM CLEAN". AT THE END OF THE DAY'S WORK, ALL WORK LIKELY TO BE DAMAGED SHALL BE COVERED. ANY WORK DAMAGED DUE TO FAILURE OF PROTECTION AS DEFINED ABOVE SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE. WORKMANSHIP: COMPLIANCE WITH DRAWINGS AND/OR SPECIFICATIONS WITH REGARD TO MATERIALS AND METHODS OF ASSEMBLY WILL NOT, IN ITSELF, ASSURE ACCEPTANCE OF THE WORK OF EQUAL IMPORTANCE IS GOOD WORKMANSHIP, THE LACK OF WHICH WILL BE SUFFICIENT CAUSE TO REFUSE ACCEPTANCE OF THE WORK

#### PARKING CALCULATIONS

<b>EXISTING PARKING:</b>	<b>COMMERCIAL PARKING:</b>
	4 STANDARD PARKING SPACES
	1 VAN ACCESSIBLE PARKING SPACE
	<b>5 TOTAL</b>
<b>REQUIRED PARKING:</b>	<b>COMMERCIAL PARKING:</b>
	3 STANDARD PARKING SPACES
	1 VAN ACCESSIBLE PARKING SPACE
	3 BICYCLE PARKING SPACES
	<b>RESIDENTIAL PARKING:</b>
	1 STANDARD PARKING SPACE
	<b>8 TOTAL</b>
<b>PROPOSED PARKING:</b>	<b>808 E COTA, UNIT A:</b>
	3 STANDARD PARKING SPACES
	1 VAN ACCESSIBLE PARKING SPACE
	BICYCLE PARKING WAIVER
	<b>808 E COTA, UNIT B:</b>
	1 STANDARD PARKING SPACE
	<b>5 TOTAL</b>

#### BEST MANAGEMENT PRACTICES

City of Santa Barbara  
Building & Safety Division  
Best Management Practices

**Best Management Practices for Construction Activities:**

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their labeling and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete wastes on the until they can be disposed of as a solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and disposal by wind.
- Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or demanded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other \_\_\_\_\_

#### PROJECT DESCRIPTION

CONVERSION OF PORTION OF EXISTING COMMERCIAL STRUCTURE TO A NEW RESIDENTIAL UNIT:

- (N) KITCHEN AND ASSOCIATED APPLIANCES.
- (N) BATHROOM AND ASSOCIATED FIXTURES.
- (N) ELECTRICAL PER PLAN.
- (N) MINI SPLIT SYSTEM PER PLAN.
- (N) DOORS AND WINDOWS PER PLAN.
- REQUESTED PRIVATE OPEN YARD MODIFICATION PER PLAN
- (N) RECONFIGURATION OF PARKING SPACES PER PLAN

**INTERIOR COMMERCIAL ALTERATIONS:**

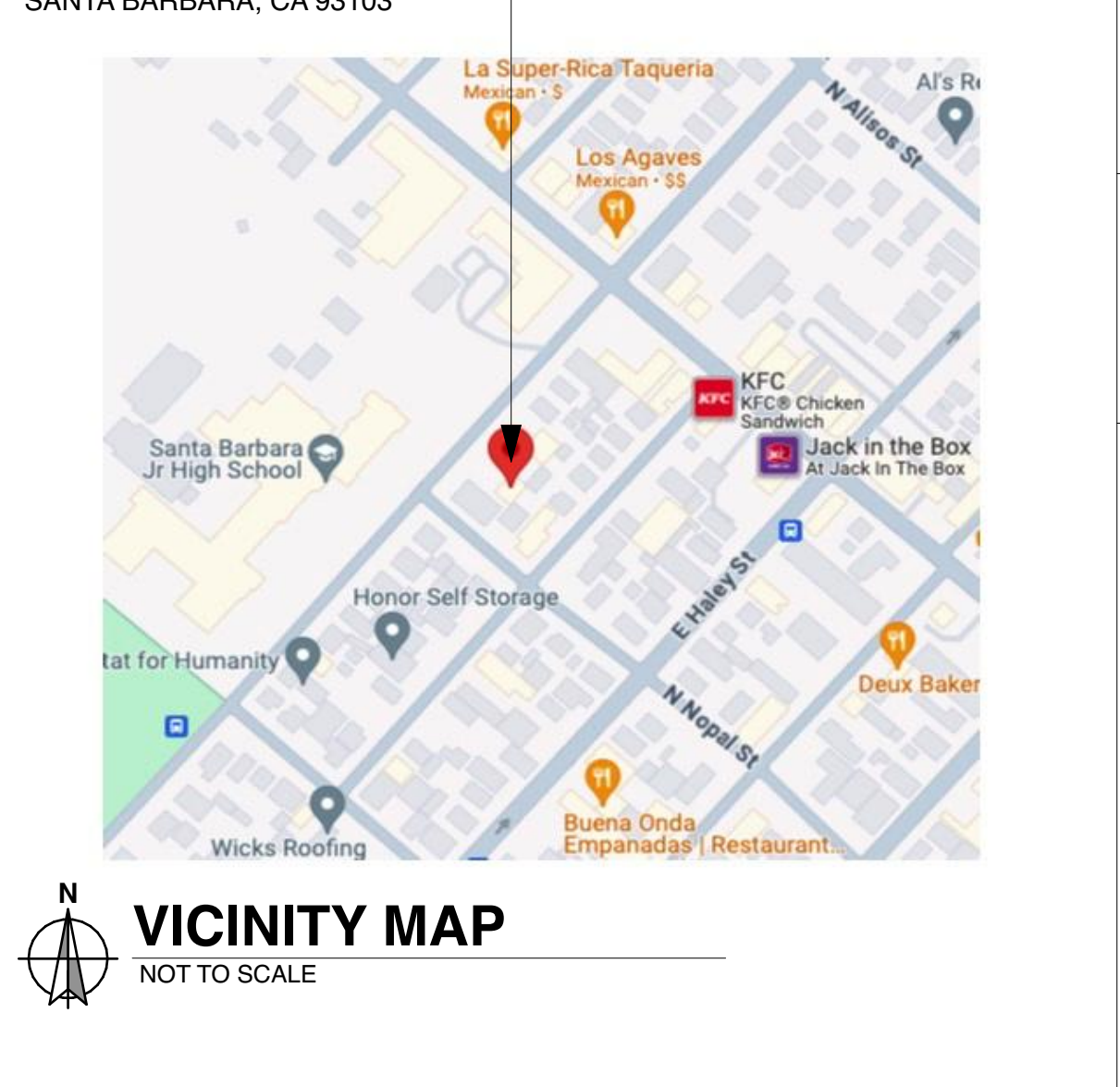
- (N) ACCESSIBLE BATHROOM AND (N) OFFICE IN (E) COMMERCIAL AUTO REPAIR SHOP

**EXTERIOR ALTERATIONS:**

- (N) 2ND FLOOR WINDOW TO REPLACE (E) WITH (N) SILL HEIGHT TO MEET EGRESS REQUIREMENTS.
- (N) CUSTOM DRIVEWAY GATE WITH TO REPLACE (E)
- (E) PAVERS TO BE RETURNED TO ITS ORIGINAL CONDITION

**MODIFICATION IS REQUIRED FOR OPEN YARD RELIEF AND/OR REDUCTION OF THE OPEN YARD REQUIREMENTS.**

**FIRE ALARM SYSTEM WILL BE PROVIDED UNDER SEPARATE PERMIT.**



#### SQUARE FOOTAGE BREAKDOWN

EXISTING SQUARE FOOTAGE:	NET	GROSS
(E) COMMERCIAL AUTO REPAIR GARAGE:	± 983 SF	± 1,046 SF
(E) COMMERCIAL OFFICE - 1ST FLOOR:	± 270 SF	± 315 SF
(E) COMMERCIAL OFFICE - 2ND FLOOR:	± 270 SF	± 315 SF
<b>(E) SITE TOTAL:</b>	<b>± 1,522 SF</b>	<b>± 1,675 SF</b>

PROPOSED PROJECT SQUARE FOOTAGE:	NET	GROSS
(E) COMMERCIAL AUTO REPAIR GARAGE:	± 983 SF	± 1,046 SF
(N) COMMERCIAL ADA BATHROOM:	± 52 SF	± 61 SF
(N) RESIDENTIAL UNIT - 1ST FLOOR:	± 113SF	± 130 SF
(N) RESIDENTIAL UNIT - 2ND FLOOR:	± 294SF	± 340 SF
(N) COMMERCIAL OFFICE:	± 80SF	± 98 SF
<b>(N) SITE TOTAL:</b>	<b>± 1,522 SF</b>	<b>± 1,675 SF</b>

**AREA OF REMODEL/RENOVATION= ± 539SF**

PROPOSED NEW OR REDEVELOPED IMPERVIOUS AREA:	
NEW IMPERVIOUS AREA:	0 SF
REMOVED IMPERVIOUS AREA:	0 SF
REDEVELOPED IMPERVIOUS AREA: RECONSTRUCTED GARAGE/ADU	0 SF

#### PROFESSIONALS

**ARCHITECT:** SHERRY & ASSOCIATES ARCHITECTS, INC. 608 ANACAPA STREET, STE. B SANTA BARBARA, CA 93101 (805) 963-0986

**CITY OF SANTA BARBARA:** COMMUNITY DEVELOPMENT 630 GARDEN STREET SANTA BARBARA, CA 93101 BUILDING DEPT: (805) 564-5485 PLANNING DEPT: (805) 564-5470

**ELECTRICAL AGENCY:** SOUTHERN CALIFORNIA EDISON 333 LOVE PLACE SANTA BARBARA, CA 93117 (805) 683-5252

**GAS AGENCY:** SOUTHERN CALIFORNIA GAS P.O. BOX 6466 SANTA BARBARA, CA 93160-6466 (805) 681-8060

**SEWER/WATER AGENCY:** CITY OF SANTA BARBARA PUBLIC WORKS DEPT 630 GARDEN STREET SANTA BARBARA, CA 93101 (805) 564-5377

#### AGENCY CONTACT

**CITY OF SANTA BARBARA:** COMMUNITY DEVELOPMENT 630 GARDEN STREET SANTA BARBARA, CA 93101 BUILDING DEPT: (805) 564-5485 PLANNING DEPT: (805) 564-5470

**ELECTRICAL AGENCY:** SOUTHERN CALIFORNIA EDISON 333 LOVE PLACE SANTA BARBARA, CA 93117 (805) 683-5252

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#### FIRE SPRINKLER NOTE:

A MIXED-USE FIRE ALARM SYSTEM IS REQUIRED. THE ALARM SHALL NOTIFY ALL OCCUPANTS IN THE EVENT OF A FIRE. THE SYSTEM SHOULD INCLUDE AUTOMATIC SMOKE DETECTION THROUGHOUT THE ENTIRE COMPLEX AND BE PROVIDED WITH A NOTIFICATION SYSTEM WHICH INDICATES THE PRESENCE OF RESIDENTIAL DWELLING UNITS. PLEASE NOTE ON PLANS THAT A MIXED-USE FIRE ALARM SYSTEM WILL BE PROVIDED UNDER A SEPARATE PERMIT.

MIXED USE OCCUPANCY SIGNS ARE REQUIRED PER CITY OF SANTA BARBARA MUNICIPAL CODE. PLEASE NOTE ON PLANS THAT MIXED-USE ADDRESSING WILL BE PROVIDED.

#### PROJECT STATISTICS

<b>OWNER:</b>	JOHN & PAMELA BIRCHALL 808 E COTA STREET SANTA BARBARA, CA 93103
<b>PROJECT ADDRESS:</b>	808 E COTA STREET SANTA BARBARA, CA 93103
<b>APN:</b>	031-233-002
<b>LAND USE ZONE:</b>	C-G (SBMC TITLE 30)
<b>GP OR LCP LAND USE DESIGNATION:</b>	COMMERCIAL- HIGH DENSITY RESIDENTIAL
<b>EXISTING LAND USE:</b>	COMMERCIAL
<b>PROPOSED LAND USE:</b>	MIXED USE
<b>CONSTRUCTION TYPE:</b>	V-N
<b>AVERAGE SLOPE:</b>	+/- 5%
<b>HIGH FIRE:</b>	NO
<b>HILLSIDE DESIGN DISTRICT:</b>	NO
<b>FLOOD ZONE:</b>	NO
<b>LOT SIZE:</b>	± 0.11 ACRES/ ± 5,000 SF
<b>SPRINKLERED:</b>	NO

#### SHEET INDEX

T	DESCRIPTION
T 1.0	TITLE SHEET/ GENERAL NOTES/ PROJECT STATISTICS
T 2.0	EXISTING & PROPOSED SITE PLAN
T 3.0	REFERENCE PHOTOS
A 1.0	EXISTING/DEMO FLOOR PLAN - 1ST FLOOR
A 1.1	PROPOSED FLOOR PLAN - 1ST FLOOR
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A 1.3	PROPOSED FLOOR PLAN- 2ND FLOOR
A 2.1	EXISTING & PROPOSED ELEVATIONS
A 2.2	EXISTING & PROPOSED ELEVATIONS
A 5.0	ACCESSIBLE PARKING DETAILS

**10 SHEETS TOTAL**

CONVERSION OF PORTION OF (E) COMMERCIAL BUILDING TO NEW RESIDENTIAL UNIT  
**808 E. COTA STREET**  
 SANTA BARBARA, CA 93103  
 THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.

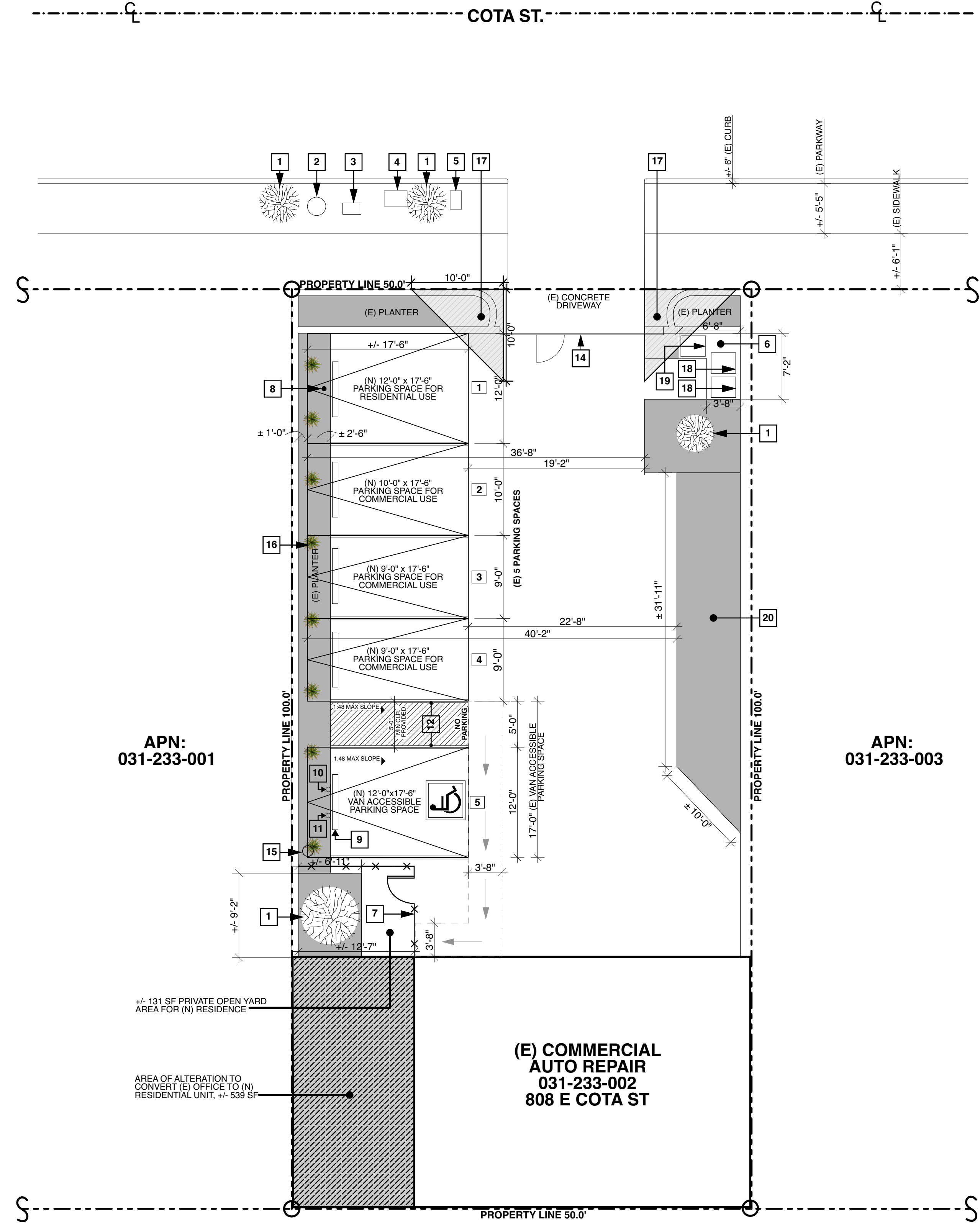
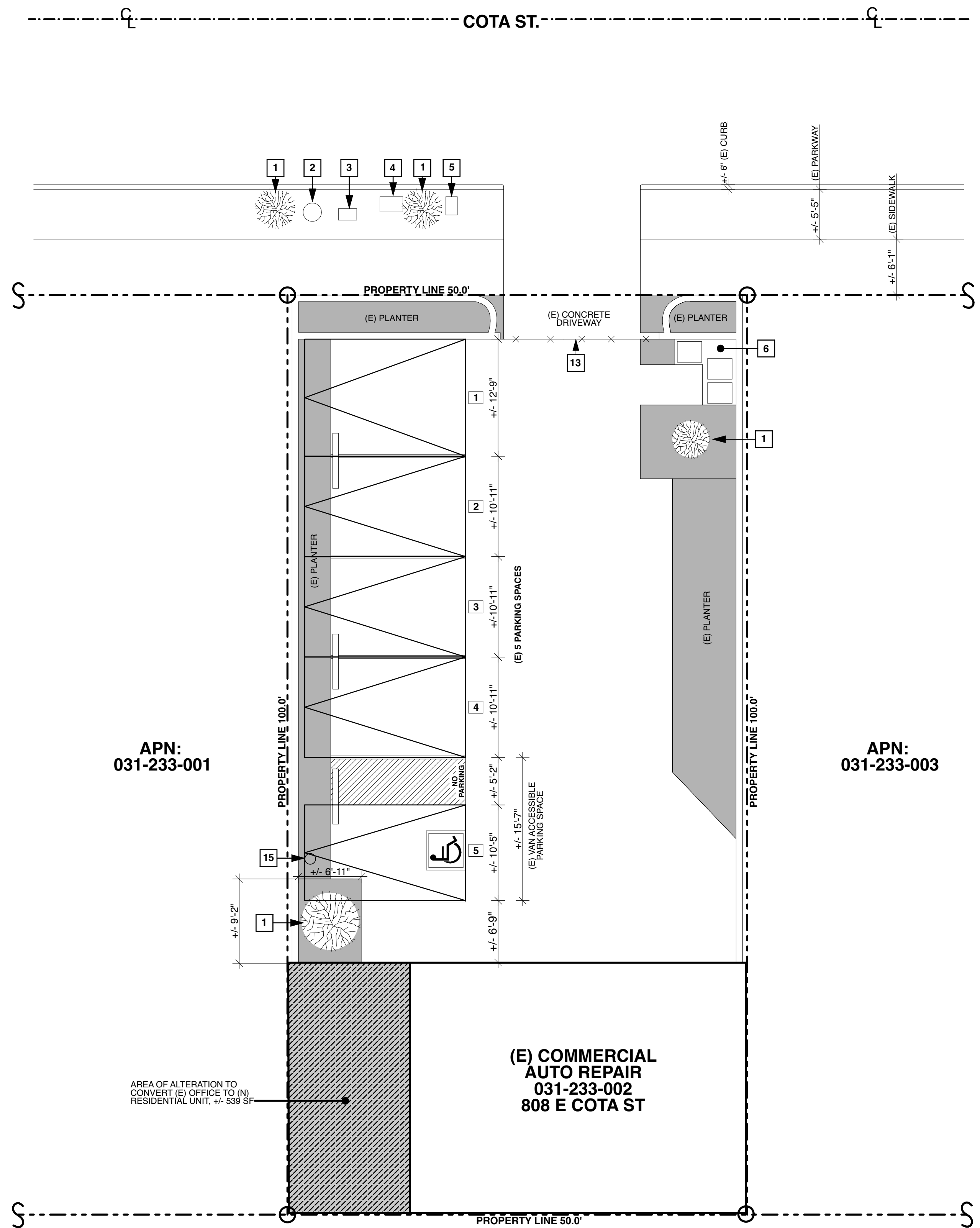
DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL

# T 1.0

TITLE SHEET

**SITE PLAN REFERENCE NOTES:**

- |  |   |   |
|--|---|---|
| 1 (E) TREE TO REMAIN   | 11 (N) TOW AWAY SIGNAGE. (N) ADA PARKING SIGNAGE SHALL NOT ENCR OACH INTO THE PARKING SPACE REFER TO DETAIL 03, SHEET AD 1.0  | 17 NO FENCE, SCREEN, WALL, HEDGE, OR OTHER LANDSCAPING MATERIALS SHALL EXCEED A HEIGHT OF 3'-6" LOCATED WITHIN THE VISIBILITY TRIANGLE. ANY LANDSCAPE MATERIAL WITHIN TRIANGLE THAT EXCEEDS 42" HIGH SHALL BE REDUCED AND MAINTAINED TO NOT EXCEED A MAXIMUM OF 42" IN HEIGHT |
| 2 (E) POWER POLE   | 12 (N) 5'-0" W. MIN. VAN STALL UNLOADING, 2% MAX SLOPE. SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND PERIMETER, HATCHED LINES TO BE PAINTED WHITE AND AT 35° O.C. MAX. "NO PARKING" SHALL BE PAINTED WHITE IN 12" HIGH MIN LETTERING. REFER TO DETAIL 05, AD 1.0 | 18 (E) 95-GAL RECYCLE CAN TO REMAIN. 29"W, 34" DEEP, AND 46" H.   |
| 3 (E) ELECTRIC METER   | 13 (E) 5'-0" H STEEL SLIDING GATE   | 19 (E) 95-GAL TRASH CAN TO REMAIN. 29"W, 34" DEEP, AND 46" H.   |
| 4 (E) GAS METER  | 14 (N) CUSTOM 5'-0" H MOTORIZED GATE WITH 36" W BUILT-IN PEDESTRIAN GATE ACCESS   | 20 AS-BUILT PAVERS TO BE RETURNED AND MAINTAINED TO ITS ORIGINAL PLANTER CONDITION  |
| 5 (E) WATER METER  | 15 (E) FIRE HYDRANT   |   |
| 6 (E) 5' H WOOD TRASH ENCLOSURE TO REMAIN. WHITE PLASTER FINISH WITH MISSION TILE ROOF COVER   | 16 (E) YUCCA SHRUB PLANT  |   |
| 7 (N) 6'-0" H WOOD FENCE AND GATE  |   |   |
| 8 (N) SIGN FOR RESIDENCE ONLY PARKING  |   |   |
| 9 (N) WHEEL STOP REFER TO DETAIL 04, SHEET AD 1.0  |   |   |
| 10 (N) ACCESSIBLE PARKING SIGNAGE. (N) ADA PARKING SIGNAGE SHALL NOT ENCR OACH INTO THE PARKING SPACE REFER TO DETAIL 02, SHEET AD 1.0 |   |   |





9 APPROACHING TRASH ENCLOSURE FROM PARKING LOT



10 APPROACHING TREE ALONG EASTERN PROPERTY LINE



11 LOOKING AT EAST ELEVATION FROM PARKING LOT



6 APPROACHING NORTH ELEVATION FROM PARKING LOT



7 APPROACHING NORTH ELEVATION FROM PARKING LOT



8 LOOKING AT PLANTERS FROM COTA STREET SIDE WALK



2 LOOKING AT WEST ELEVATION FROM COTA STREET SIDE WALK



3 LOOKING AT NORTH ELEVATION FROM PARKING LOT



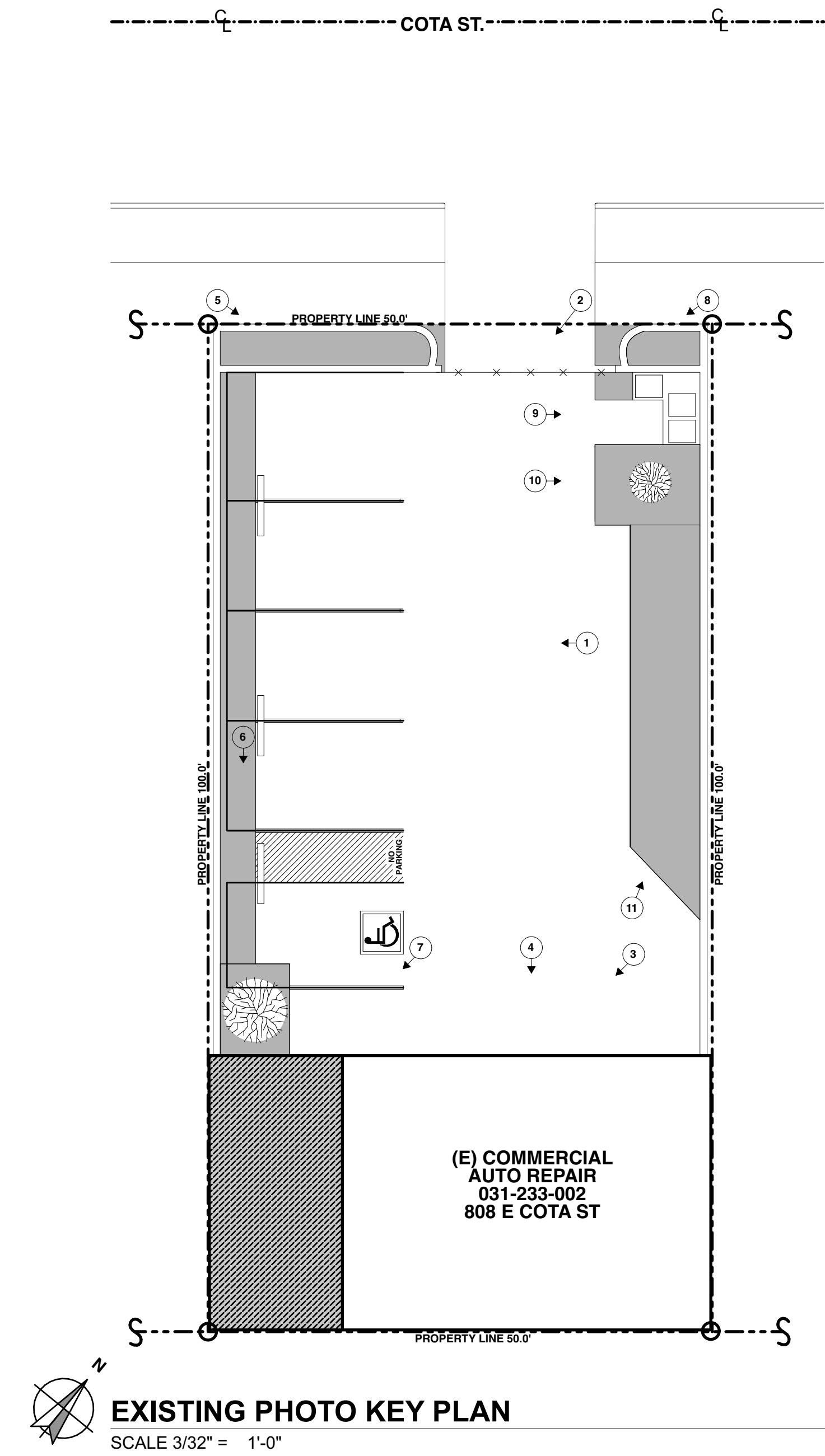
4 LOOKING AT NORTH ELEVATION FROM PARKING LOT



5 LOOKING AT PLANTERS FROM COTA STREET SIDEWALK



1 LOOKING AT WEST ELEVATION FROM PARKING LOT



CONVERSION OF PORTION OF (E)  
COMMERCIAL BUILDING TO NEW  
RESIDENTIAL UNIT

808 E. COTA STREET  
SANTA BARBARA, CA 93103

S H E R R Y &  
A R C H I T E C T S

S S O C I A T E S

608 ANACAPA STREET, SUITE B  
MAIL TO: 23634  
P.O. BOX 23634  
SANTA BARBARA, CA 93121  
TEL: (805) 963-0988  
FAX: (805) 963-0178  
E-MAIL:  
DAWN@DAWN-SHERRY.COM  
DAWN@DAWN-SHERRY.COM

DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL

T 3.0

REFERENCE PHOTOS

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**WATER CONSERVING PLUMBING FIXTURES:**

WATER CLOSET FLUSH: WATER CLOSETS EITHER FLUSH TANK, FLUSHOMETER TANK OR FLUSHOMETER VALVE OPERATED, SHALL HAVE AN AVERAGE CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH.

LAVATORY FAUCETS: MAXIMUM FLOW RATE OF 1.2 GPM AT 60 PSI.

KITCHEN FAUCETS: MAXIMUM FLOW RATE OF 1.8 GPM AT 60 PSI.

SHOWERHEADS: MAXIMUM FLOW RATE OF 1.8 GPM AT 80 PSI AND MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF ALL SHOWERHEADS OF 1.8 GPM AT 80 PSI.

2022 CALIFORNIA GREEN BUILDING CODE SECTION 4.303

**PLUMBING NOTES:**

1. ALL NEW AND RELOCATED PLUMBING FIXTURES SHOWN ON PLAN TO BE TIED INTO EXISTING WATER/SEWER SYSTEMS POINT OF CONNECTION.
2. NEW PLUMBING FIXTURES TO BE WATER CONSERVING DEVICES AS SPECIFIED IN FLOOR PLAN GENERAL NOTES.
3. ALL PLUMBING FIXTURES ON PLAN ARE EXISTING U.N.O.

**DEMOLITION NOTES:**

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL.

DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION OF THESE PLANS, OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR CITY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL.

STRUCTURAL ITEMS SHOWN "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER FOR APPROPRIATE SHORING (IF APPLICABLE).

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION

ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS

EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF: FINISHES

- STRUCTURAL ELEMENTS
- MECHANICAL SYSTEMS
- PLUMBING SYSTEMS
- ELECTRICAL SYSTEMS

EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION.

NO STRUCTURAL WALLS OR ELEMENTS SHALL BE DEMOLISHED WITHOUT PROPER SHORING, AS PROVIDED BY THE STRUCTURAL ENGINEER.

ANY REMOVAL OF EXISTING FOUNDATION SHALL BE DETERMINED BY COUNTY OF SANTA BARBARA AND BASED ON COUNTY REQUIREMENTS. COUNTY BUILDING INSPECTOR SHALL DETERMINE EXTENT OF REMOVAL ON SITE AT THE TIME OF (BUT PRIOR TO) ANY DEMOLITION.

**WINDOW AND DOOR NOTES:**

ALL EXISTING DOORS AND WINDOWS ARE TO BE REPLACED, UNLESS NOTED OTHERWISE.

VERIFY ALL WINDOWS AND DOORS (TYPES, MATERIAL, DIRECTION OF OPERABILITY, IF ANY, ETC.) WITH OWNER PRIOR TO PURCHASE AND INSTALLATION

DWELLINGS SHALL BE PROVIDED WITH AT LEAST ONE EGRESS DOOR. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. THE MEANS OF EGRESS TO THE REQUIRED EGRESS DOOR SHALL NOT BE REQUIRED TO TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL NOT OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. CRC R311

FIELD VERIFY AT LEAST 1 BEDROOM WINDOW IN EACH BEDROOM MEETS EGRESS REQUIREMENTS.

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR ALL OTHER THRESHOLDS.

ALL NEW EXTERIOR FRENCH DOORS AND WINDOWS SHALL BE DUAL GLAZED W/ MIN OF ONE TEMPERED PANE, LOW E.

GLAZING WITHIN 18" OF FINISH FLOOR SHALL BE TEMPERED GLASS.

EVERY SLEEPING ROOM SHOULD HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. CONTRACTOR TO V.I.F. OR PROVIDE.

-ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.

- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

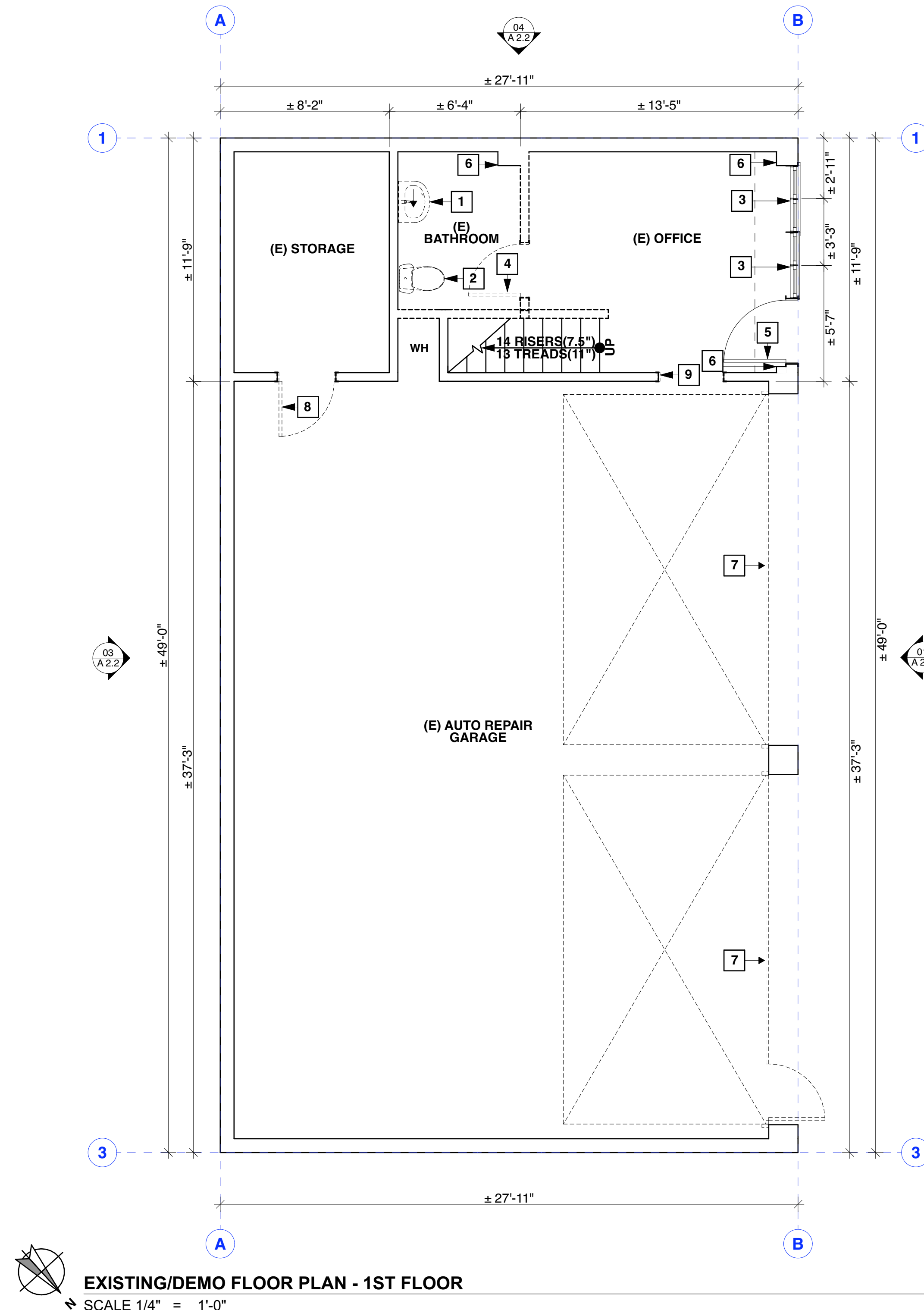
-THE MAXIMUM SILL HEIGHT SHALL BE 44 A.F.F. TO ACTUAL WINDOW OPENING

**FLOOR PLAN REFERENCE NOTES:**

- 1 (E) BATHROOM SINK TO BE REPLACED AND RELOCATED
- 2 (E) TOILET TO BE REPLACED AND RELOCATED
- 3 (E) WINDOW TO REMAIN
- 4 (E) DOOR TO BE REMOVED
- 5 (E) DOOR TO REMAIN
- 6 (E) WALL BUMP OUT TO REMAIN
- 7 (E) GARAGE DOOR TO BE REMOVED AND REPLACED
- 8 (E) DOOR TO BE REMOVED AND REPLACED
- 9 (E) OPENING FRAME TO BE INFILLED TO MATCH (E) INTERIOR WALL

**WALL LEGEND**

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED

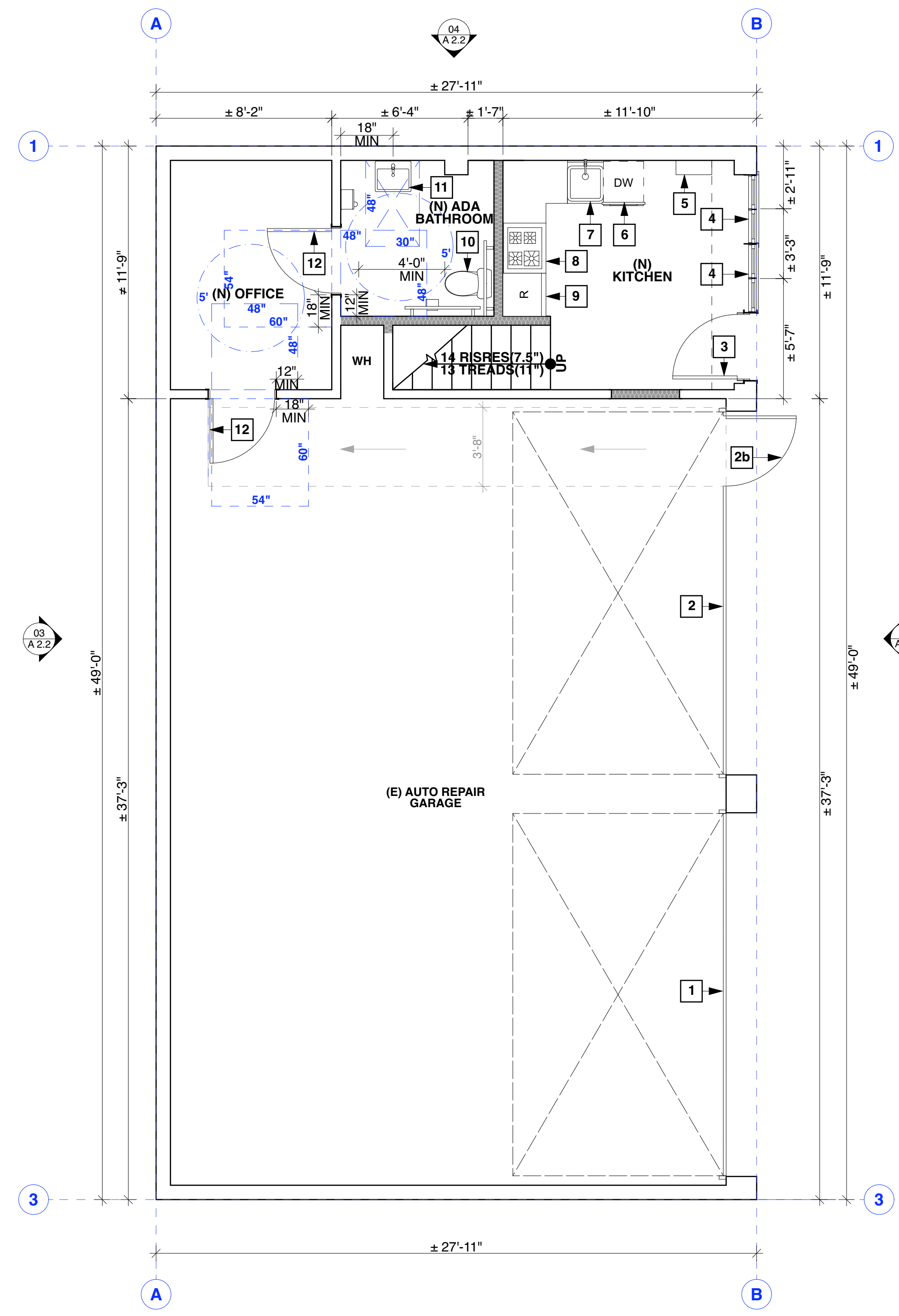


**EXISTING/DEMO FLOOR PLAN - 1ST FLOOR**  
SCALE 1/4" = 1'-0"

808 ANACAPA STREET, SUITE B  
 MAIL TO:  
 P.O. BOX 23634  
 SANTA BARBARA, CA 93121  
 TEL: (805) 963-0998  
 FAX: (805) 963-0178  
 EMAIL:  
 DAWN@DAWNHERRY.COM

S H E R R Y & A R C H I T E C T S  
 CONVERSION OF PORTION OF (E) COMMERCIAL BUILDING TO NEW RESIDENTIAL UNIT  
**808 E. COTA STREET**  
 SANTA BARBARA, CA 93103

DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL



**PROPOSED FLOOR PLAN - 1ST FLOOR**  
 SCALE 1/4" = 1'-0"

**PLUMBING NOTES:**

ALL NEW AND RELOCATED PLUMBING FIXTURES SHOWN ON PLAN TO BE TIED INTO EXISTING WATER/ SEWER SYSTEMS LOCATED ON PARCEL/ NEW PLUMBING FIXTURES TO BE WATER CONSERVING DEVICES AS SPECIFIED BELOW

NON-COMPLIANT (E) PLUMBING FIXTURES WILL BE RELOCATED TO COMPLY WITH CURRENT CPC REQUIREMENTS PER 2019 CCC 1101

- NON-COMPLIANT PLUMBING FIXTURE:
- WATER CLOSET MORE THAN 1.6 GALLONS/ FLUSH
  - SHOWERHEAD MORE THAN 2.5 GALLONS/ MIN
  - INTERIOR FAUCET MORE THAN 2.2 GALLONS/ MINUTES

ALL NEW PLUMBING FIXTURES TO BE WATER CONSERVING DEVICES AS SPECIFIED BELOW:

- CPC REQUIREMENTS:
- **WATER CLOSET:** WATER CLOSETS, EITHER FLUSH TANK, FLUSHOMETER TANK, OR FLUSHOMETER VALVE OPERATED, SHALL HAVE AN AVERAGE CONSUMPTION OF NOT MORE THAN 1.28 GALLONS MAX/ FLUSH.
  - **SINGLE SHOWER HEAD:** MAXIMUM FLOW RATE OF 1.8 GPM AT 60 PSI AND MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF ALL SHOWERHEADS OF 1.8 GPM AT 60 PSI. PER 2019 CALIFORNIA GREEN BUILDING CODE SECTION 4.303.1.4
  - **LAVATORY:** MINIMUM FLOW RATE OF 0.8 GPM AT 20 PSI. MAXIMUM FLOW RATE OF 1.2 GPM AT 60 PSI.
  - **KITCHEN FAUCET:** MAXIMUM FLOW RATE OF 1.8 GPM AT 60 PSI. FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

**FLOOR PLAN GENERAL NOTES:**

FRENCH DOORS, SWINGING, AND SLIDING DOORS SHALL BE TEMPERED AND DUAL-GLAZED.

(N) WINDOWS SHALL BE DUAL-GLAZED.

ALL EXTERIOR OPENINGS SHALL BE FLASHED IN ORDER TO MAKE THEM WATERPROOF.

ALL CONCEALED PLUMBING JOINTS SHALL BE NON-SLIP CONNECTIONS.

PROVIDE ACCESS PANEL (MIN. 12" X 12") OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP JOINT CONNECTIONS.

PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER PER C.P.C. SECTION 609.10.

WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 P.S.I. OR LESS.

ALL PLUMBING WALLS SHALL BE 2 X 6 STUDS.

NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND, UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST SIX (6) INCHES ABOVE GRADE OR STRUCTURE.

ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACK FLOW PREVENTION DEVICES. FIELD VERIFY AND RELOCATE AS REQUIRED TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION.

WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN CBC TABLE 803.11

PROVIDE BATTERY-OPERATED DETECTORS IN ALL RETRO-FIT CONDITIONS (I.E. ALL RESIDENTIAL ADDITIONS, ALTERATIONS, OR REMODELS); ONE IN EVERY SLEEPING ROOM AND ONE IN EVERY HALLWAY LEADING TO EVERY SLEEPING ROOM. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE RESIDENCE.

PROVIDE CARBON MONOXIDE DETECTOR AT HALLWAY.

**FIRE SPRINKLER NOTES:**

A MIXED-USE FIRE ALARM SYSTEM IS REQUIRED. THE ALARM SHALL NOTIFY ALL OCCUPANTS IN THE EVENT OF A FIRE. THE SYSTEM SHOULD INCLUDE AUTOMATIC SMOKE DETECTION THROUGHOUT THE ENTIRE COMPLEX AND BE PROVIDED WITH A NOTIFICATION SYSTEM WHICH INDICATES THE PRESENCE OF RESIDENTIAL DWELLING UNITS. PLEASE NOTE ON PLANS THAT A MIXED-USE FIRE ALARM SYSTEM WILL BE PROVIDED UNDER A SEPARATE PERMIT.

MIXED USE OCCUPANCY SIGNS ARE REQUIRED PER CITY OF SANTA BARBARA MUNICIPAL CODE. PLEASE NOTE ON PLANS THAT MIXED-USE ADDRESSING WILL BE PROVIDED.

**WALL LEGEND**

- (E) WALL TO REMAIN
- (N) 2x INTERIOR WALL TO MATCH (E)

**NOTES REGARDING AS-BUILT CONSTRUCTION:**

THE AS-BUILT INFORMATION CONTAINED ON THESE DOCUMENTS DEPICTS EXISTING PROPERTY CONDITIONS AS OBSERVED BY SHERRY & ASSOCIATES, ARCHITECTS

SHERRY & ASSOCIATES, ARCHITECTS INC HAS MADE EVERY EFFORT TO ACCURATELY DOCUMENT THE EXISTING CONDITIONS AND NOTE ANY ALTERATIONS REQUIRED FOR CODE COMPLIANCE, IF DEMOLITION AND DETAILED STRUCTURAL, WATERPROOFING, ENERGY OR OTHER INSPECTION CANNOT BE UNDERTAKEN PRIOR TO PERMIT ISSUANCE. ASSUMPTIONS HAVE BEEN MADE REGARDING EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ON SITE FIELD INSPECTION OF CODE COMPLIANCE DURING CONSTRUCTION.

THE CONTRACTOR SHOULD IMMEDIATELY NOTIFY THIS OFFICE OF ANY NONCOMPLIANCES, DISCREPANCIES, ERRORS, OMISSIONS, ADDITIONS OR IN THE EVENT OTHER QUESTIONS ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

**SHOWER NOTES:**

SHOWER SIZE: ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF ONE THOUSAND TWENTY-FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE. THESE DIMENSIONS TO BE KEPT FOR AT LEAST 70" ABOVE THE DRAIN OUTLET PER 2019 CPC 408.6

SHOWER DOORS: SHOWER AND/OR TUB ENCLOSURES SHALL BE TEMPERED GLAZING OR OTHER APPROVED SHATTER PROOF MATERIAL SPECIFICALLY FOR THE USE. CRC R307.1 & CPC 408.5

PROVIDE PRESSURE BALANCING VALVES AT ALL SHOWERS

SHOWER FLOOR AND WALLS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE. SUCH SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET.

SHOWER RECEPTOR SHALL BE WATERTIGHT AND SHALL BE CONSTRUCTED FROM APPROVED-TYPE DENSE, NON-ABSORBENT, AND NON-CORROSIVE MATERIALS. EACH RECEPTOR SHALL BE ADEQUATELY REINFORCED, SHALL BE PROVIDED WITH AN APPROVED FLANGED FLOOR DRAIN DESIGNED TO MAKE A WATERTIGHT JOINT IN THE FLOOR, AND SHALL HAVE SMOOTH, IMPERVIOUS, AND DURABLE SURFACES. SHOWER LINING AND RECEPTORS TO COMPLY WITH 2019 CPC 408.7

**WINDOW AND DOOR NOTES:**

ALL EXISTING DOORS AND WINDOWS ARE TO BE REPLACED, UNLESS NOTED OTHERWISE.

VERIFY ALL WINDOWS AND DOORS (TYPES, MATERIAL, DIRECTION OF OPERABILITY, IF ANY, ETC.) WITH OWNER PRIOR TO PURCHASE ANND INSTALLATION

DWELLINGS SHALL BE PROVIDED WITH AT LEAST ONE EGRESS DOOR. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. THE MEANS OF EGRESS TO THE REQUIRED EGRESS DOOR SHALL NOT BE REQUIRED TO TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL NOT OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. CRC R311

FIELD VERIFY AT LEAST 1 BEDROOM WINDOW IN EACH BEDROOM MEETS EGRESS REQUIREMENTS.

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR ALL OTHER THRESHOLDS.

ALL NEW EXTERIOR FRENCH DOORS AND WINDOWS SHALL BE DUAL GLAZED W/ MIN OF ONE TEMPERED PANE, LOW E.

GLAZING WITHIN 18" OF FINISH FLOOR SHALL BE TEMPERED GLASS.

EVERY SLEEPING ROOM SHOULD HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. CONTRACTOR TO V.I.F. OR PROVIDE.

-ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.

- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

-THE MAXIMUM SILL HEIGHT SHALL BE 44 A.F.F. TO ACTUAL WINDOW OPENING

**FLOOR PLAN REFERENCE NOTES:**

- 1 (N) GARAGE DOOR TO REPLACE (E), CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 2 (N) CUSTOM GARAGE DOOR WITH PEDESTRIAN ACCESS (REFER TO 2b) TO REPLACE (E), CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 2b 36" W PEDESTRIAN ACCESS MAN DOOR TO BE ADA COMPLIANT PER CBC 2022 11B.403.5.1.2, 11B-302.2, 11B-303.2, & 11B-303.3, REFER TO DETAIL 07 SHEET AD1.0
- 3 (E) DOOR TO REMAIN
- 4 (E) WINDOW TO REMAIN
- 5 (N) ELECTRIC WALL MOUNT HEATER
- 6 (N) DISHWASHER, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 7 (N) KITCHEN SINK, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 8 (N) STOVE/RANGE WITH VENT HOOD PER ASHRAE 62.2 SECTION 150(a) MIN 100 CFM MAX. SONE OF 3. VENT TO OUTSIDE, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 9 (N) REFRIGERATOR, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 10 (N) TOILET, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 11 (N) BATHROOM SINK, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 12 (N) DOOR, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION

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CONVERSION OF PORTION OF (E) COMMERCIAL BUILDING TO NEW RESIDENTIAL UNIT

DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL

A 1.1

PROPOSED FLOOR PLAN - 1ST FLOOR

**DEMOLITION NOTES:**

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL.

DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA.

NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION OF THESE PLANS, OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR CITY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL.

STRUCTURAL ITEMS SHOWN "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER FOR APPROPRIATE SHORING (IF APPLICABLE).

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION.

ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS.

EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF FINISHES  
 STRUCTURAL ELEMENTS  
 MECHANICAL SYSTEMS  
 PLUMBING SYSTEMS  
 ELECTRICAL SYSTEMS

EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION.

NO STRUCTURAL WALLS OR ELEMENTS SHALL BE DEMOLISHED WITHOUT PROPER SHORING, AS PROVIDED BY THE STRUCTURAL ENGINEER.

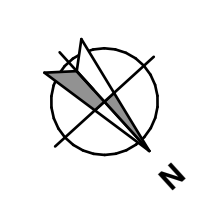
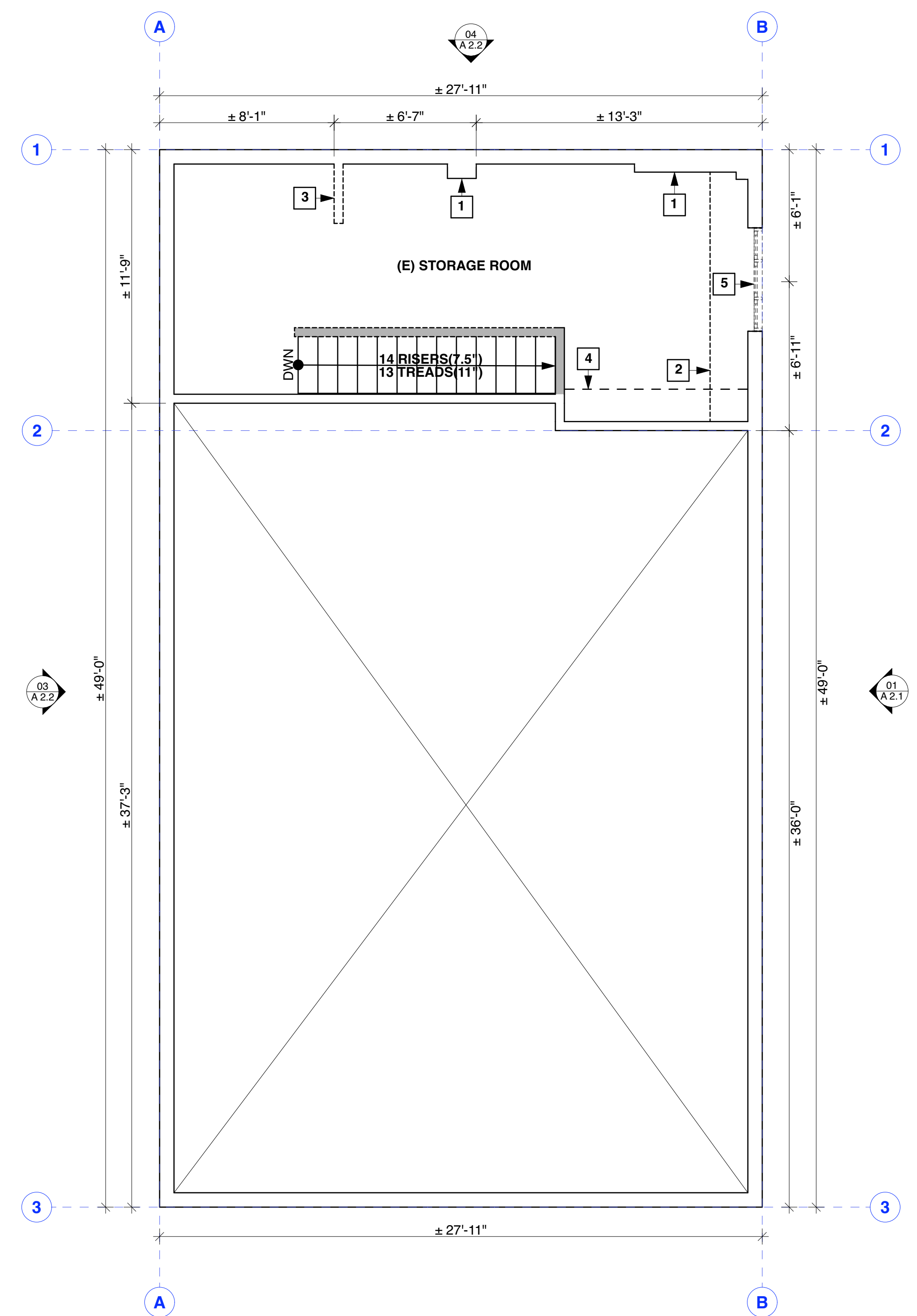
ANY REMOVAL OF EXISTING FOUNDATION SHALL BE DETERMINED BY COUNTY OF SANTA BARBARA AND BASED ON COUNTY REQUIREMENTS. COUNTY BUILDING INSPECTOR SHALL DETERMINE EXTENT OF REMOVAL ON SITE AT THE TIME OF (BUT PRIOR TO) ANY DEMOLITION.

**FLOOR PLAN REFERENCE NOTES:**

- 1 (E) WALL BUMP OUT TO REMAIN
- 2 (E) 24" WINDOW SEAT TO BE REMOVED
- 3 (E) WING WALL TO BE REMOVED
- 4 (E) PONY WALL TO REMAIN
- 5 (E) TIMBER FRAMED WINDOW TO BE REMOVED AND REPLACED

**WALL LEGEND**

- [———] (E) WALL TO REMAIN
- [ - - - - ] (E) WALL TO BE REMOVED
- [=====] (E) 42" H PONY WALL TO REMAIN
- [=====] (E) 42" H PONY WALL TO BE REMOVED & REPLACED



**EXISTING/DEMO FLOOR PLAN - 2ND FLOOR**  
 SCALE 1/4" = 1'-0"

DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL

**FIRE SPRINKLER NOTES:**

A MIXED-USE FIRE ALARM SYSTEM IS REQUIRED. THE ALARM SHALL NOTIFY ALL OCCUPANTS IN THE EVENT OF A FIRE. THE SYSTEM SHOULD INCLUDE AUTOMATIC SMOKE DETECTION THROUGHOUT THE ENTIRE COMPLEX AND BE PROVIDED WITH A NOTIFICATION SYSTEM WHICH INDICATES THE PRESENCE OF RESIDENTIAL DWELLING UNITS. PLEASE NOT ON PLANS THAT A MIXED-USE FIRE ALARM SYSTEM WILL BE PROVIDED UNDER A SEPARATE PERMIT.

MIXED USE OCCUPANCY SIGNS ARE REQUIRED PER CITY OF SANTA BARBARA MUNICIPAL CODE. PLEASE NOTE ON PLANS THAT MIXED-USE ADDRESSING WILL BE PROVIDED.

**FLOOR PLAN REFERENCE NOTES:**

- 1 (N) WINDOW TO REPLACE (E) WINDOW TO MEET EGRESS REQUIREMENTS. LOWER SILL TO MEET EGRESS REQUIREMENTS. THIS SHEET, CONFIRM EXACT MAKE, MODEL, AND OPERABILITY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 2 (N) ELECTRIC WALL MOUNT HEATER
- 3 (N) TOILET, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 4 (N) BATHROOM SINK, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 5 (N) BATHTUB, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 6 (N) POCKET DOOR, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 7 (N) CLOSET SLIDING DOOR, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 8 (E) PONY WALL TO REMAIN
- 9 (N) WINDOW, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION

**FLOOR PLAN GENERAL NOTES:**

FRENCH DOORS, SWINGING, AND SLIDING DOORS SHALL BE TEMPERED AND DUAL-GLAZED.

(N) WINDOWS SHALL BE DUAL-GLAZED.

ALL EXTERIOR OPENINGS SHALL BE FLASHED IN ORDER TO MAKE THEM WATERPROOF.

ALL CONCEALED PLUMBING JOINTS SHALL BE NON-SLIP CONNECTIONS. PROVIDE ACCESS PANEL (MIN. 12" X 12") OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP JOINT CONNECTIONS.

PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER PER C.P.C. SECTION 609.10.

WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 P.S.I. OR LESS.

ALL PLUMBING WALLS SHALL BE 2 X 6 STUDS.

NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND, UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST SIX (6) INCHES ABOVE GRADE OR STRUCTURE.

ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACK FLOW PREVENTION DEVICES. FIELD VERIFY AND RELOCATE AS REQUIRED TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION.

WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN CBC TABLE 803.11

**PROVIDE BATTERY-OPERATED DETECTORS IN ALL RETRO-FIT CONDITIONS (I.E. ALL RESIDENTIAL ADDITIONS, ALTERATIONS, OR REMODELS); ONE IN EVERY SLEEPING ROOM AND ONE IN EVERY HALLWAY LEADING TO EVERY SLEEPING ROOM. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE RESIDENCE.**

**PROVIDE CARBON MONOXIDE DETECTOR AT HALLWAY.**

**WINDOW AND DOOR NOTES:**

ALL EXISTING DOORS AND WINDOWS ARE TO BE REPLACED, UNLESS NOTED OTHERWISE.

VERIFY ALL WINDOWS AND DOORS (TYPES, MATERIAL, DIRECTION OF OPERABILITY, IF ANY, ETC.) WITH OWNER PRIOR TO PURCHASE AND INSTALLATION

DWELLINGS SHALL BE PROVIDED WITH AT LEAST ONE EGRESS DOOR. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. THE MEANS OF EGRESS TO THE REQUIRED EGRESS DOOR SHALL NOT BE REQUIRED TO TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL NOT OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. CRC R311

FIELD VERIFY AT LEAST 1 BEDROOM WINDOW IN EACH BEDROOM MEETS EGRESS REQUIREMENTS.

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR ALL OTHER THRESHOLDS.

ALL NEW EXTERIOR FRENCH DOORS AND WINDOWS SHALL BE DUAL GLAZED W/ MIN OF ONE TEMPERED PANE, LOW E.

GLAZING WITHIN 18" OF FINISH FLOOR SHALL BE TEMPERED GLASS.

EVERY SLEEPING ROOM SHOULD HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. CONTRACTOR TO V.I.F. OR PROVIDE.

-ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.

- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

-THE MAXIMUM SILL HEIGHT SHALL BE 44 A.F.F. TO ACTUAL WINDOW OPENING

**NOTES REGARDING AS-BUILT CONSTRUCTION:**

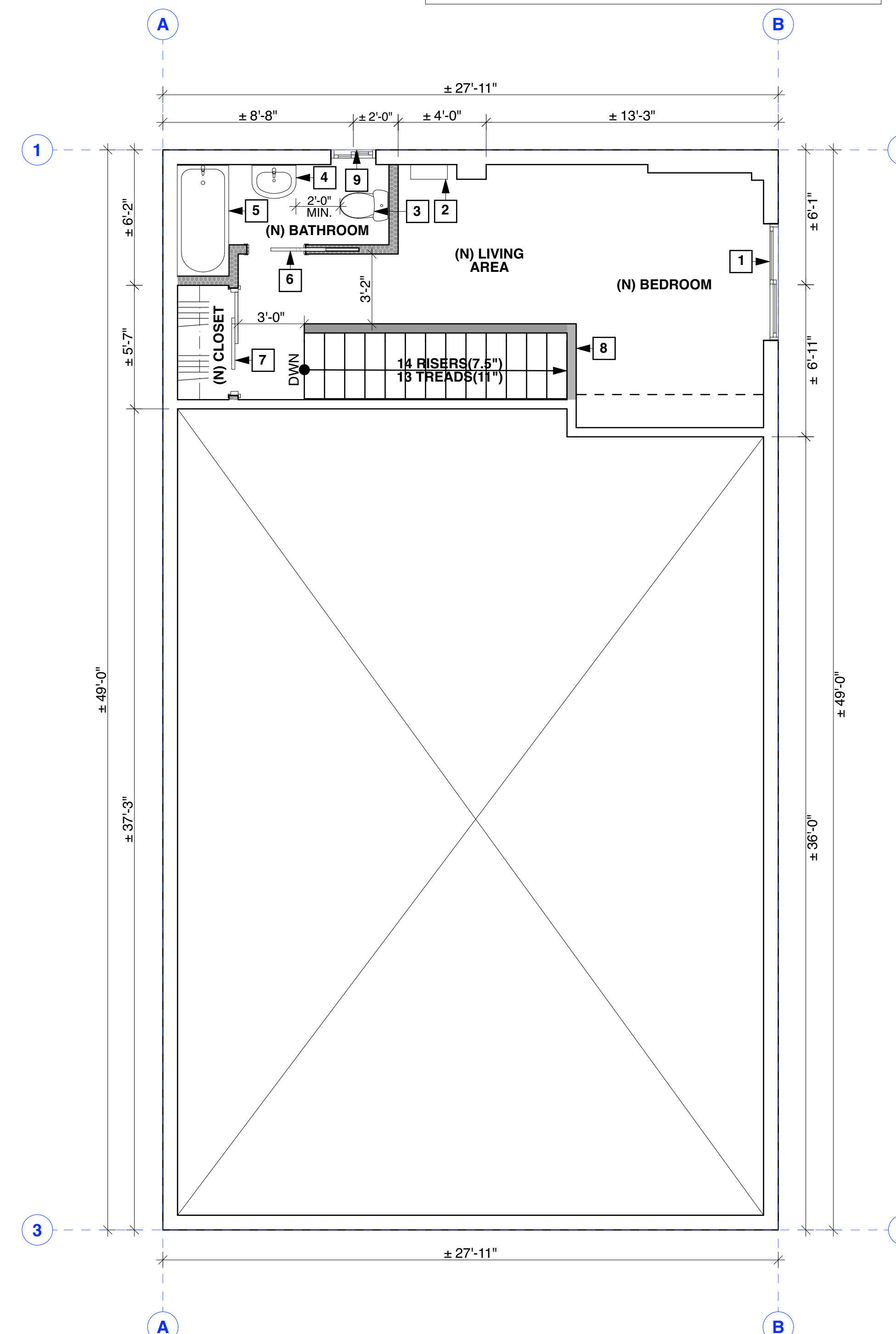
THE AS-BUILT INFORMATION CONTAINED ON THESE DOCUMENTS DEPICTS EXISTING PROPERTY CONDITIONS AS OBSERVED BY SHERRY & ASSOCIATES, ARCHITECTS

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**WALL LEGEND**

- (E) WALL TO REMAIN
- (N) 2x INTERIOR WALL TO MATCH (E)
- (N) 42" H PONY WALL



**PROPOSED FLOOR PLAN -2ND FLOOR**

SCALE 1/4" = 1'-0"

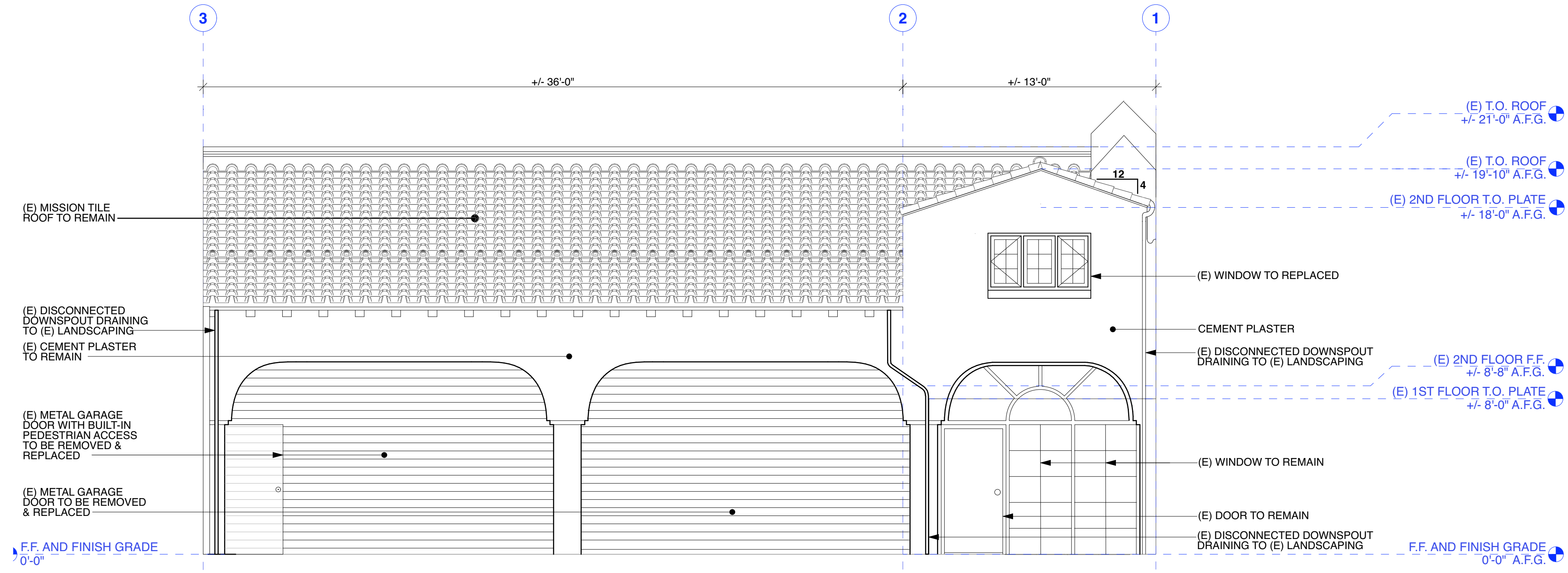
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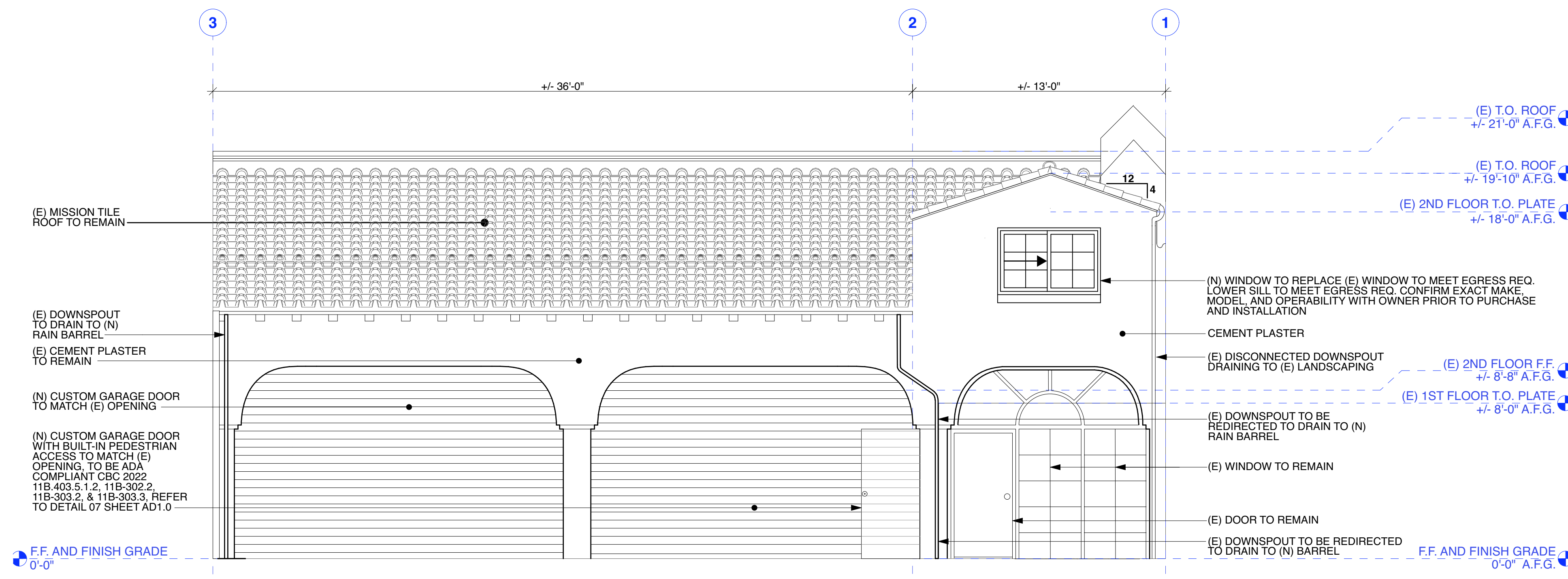
DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL

A 1.3

PROPOSED FLOOR PLAN - 2ND STORY



**01 EXISTING NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



**02 PROPOSED NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

S H E R R Y & A R C H I T E C T S  
 S H E R R Y & A R C H I T E C T S  
 S H E R R Y & A R C H I T E C T S

608 ANACAPA STREET, SUITE B  
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CONVERSION OF PORTION OF (E)  
 COMMERCIAL BUILDING TO NEW  
 RESIDENTIAL UNIT  
**808 E. COTA STREET**  
 SANTA BARBARA, CA 93103

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DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL

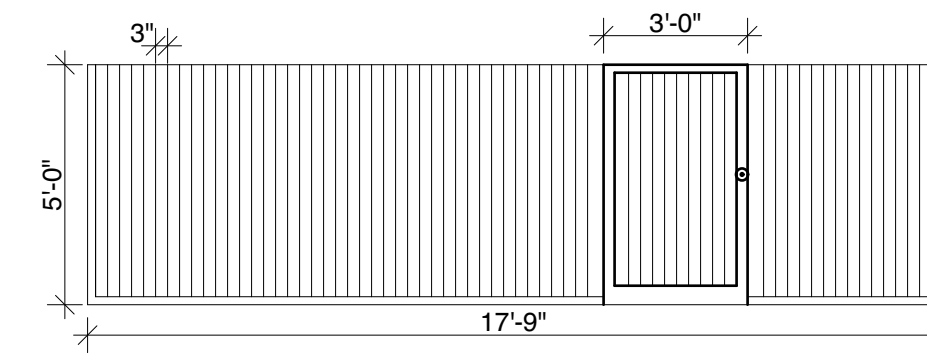
**A 2.1**  
 EXISTING & PROPOSED  
 ELEVATIONS





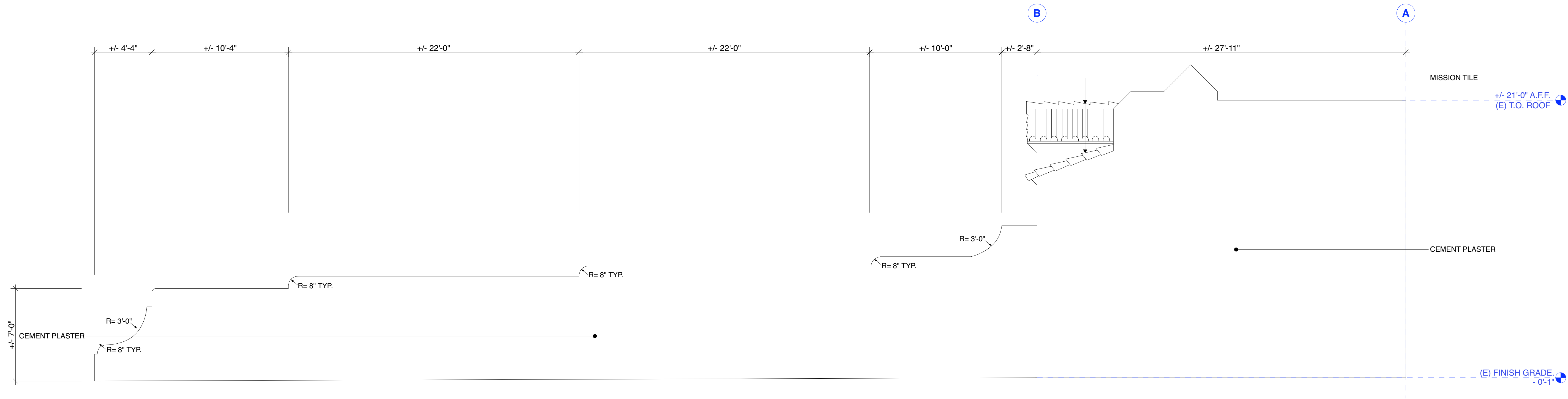
**03 EXISTING & PROPOSED SOUTH ELEVATION -NO CHANGES**

SCALE 1/4" = 1'-0"



**PROPOSED CUSTOM DRIVEWAY GATE**

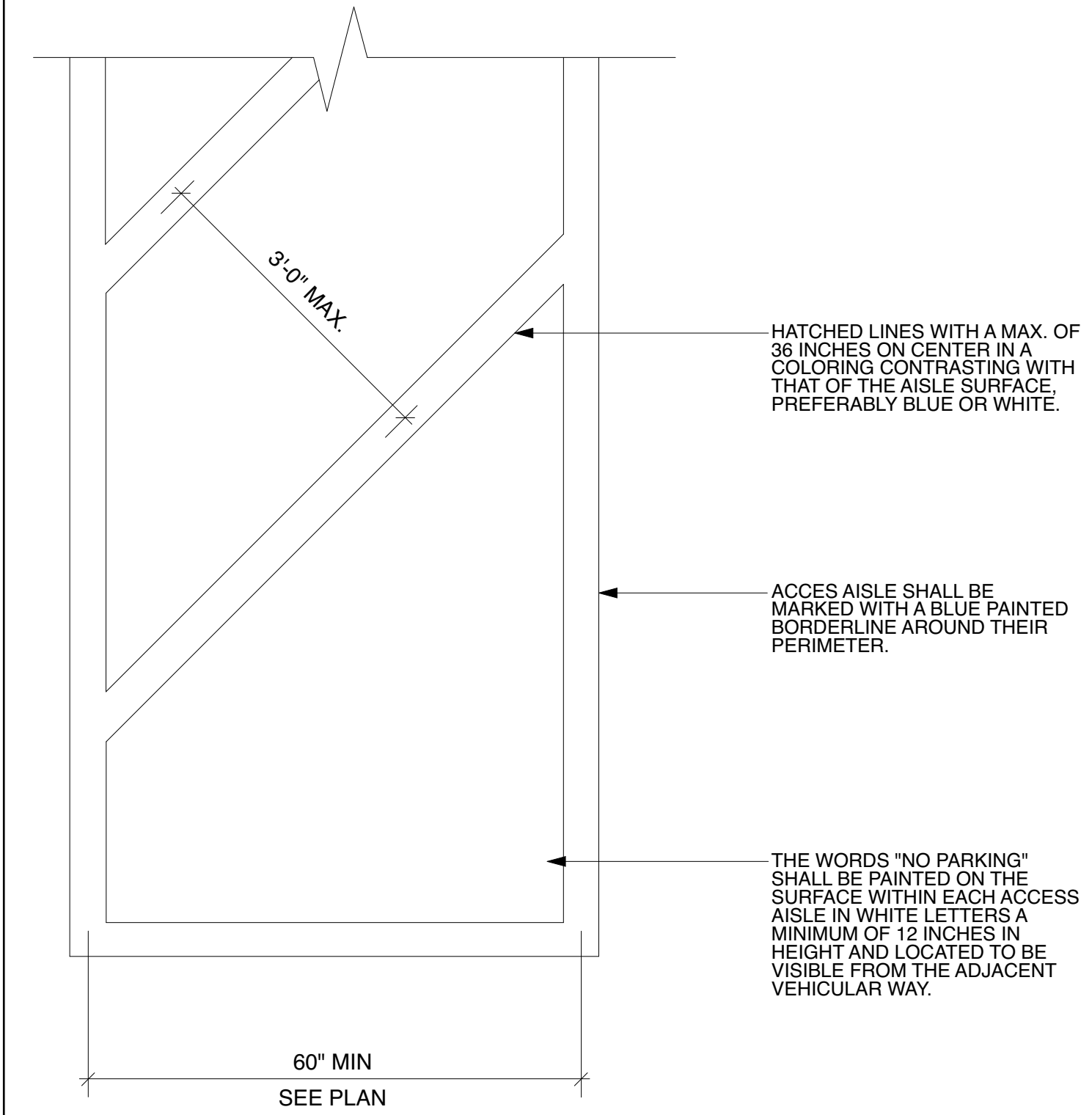
SCALE 1/4" = 1'-0"



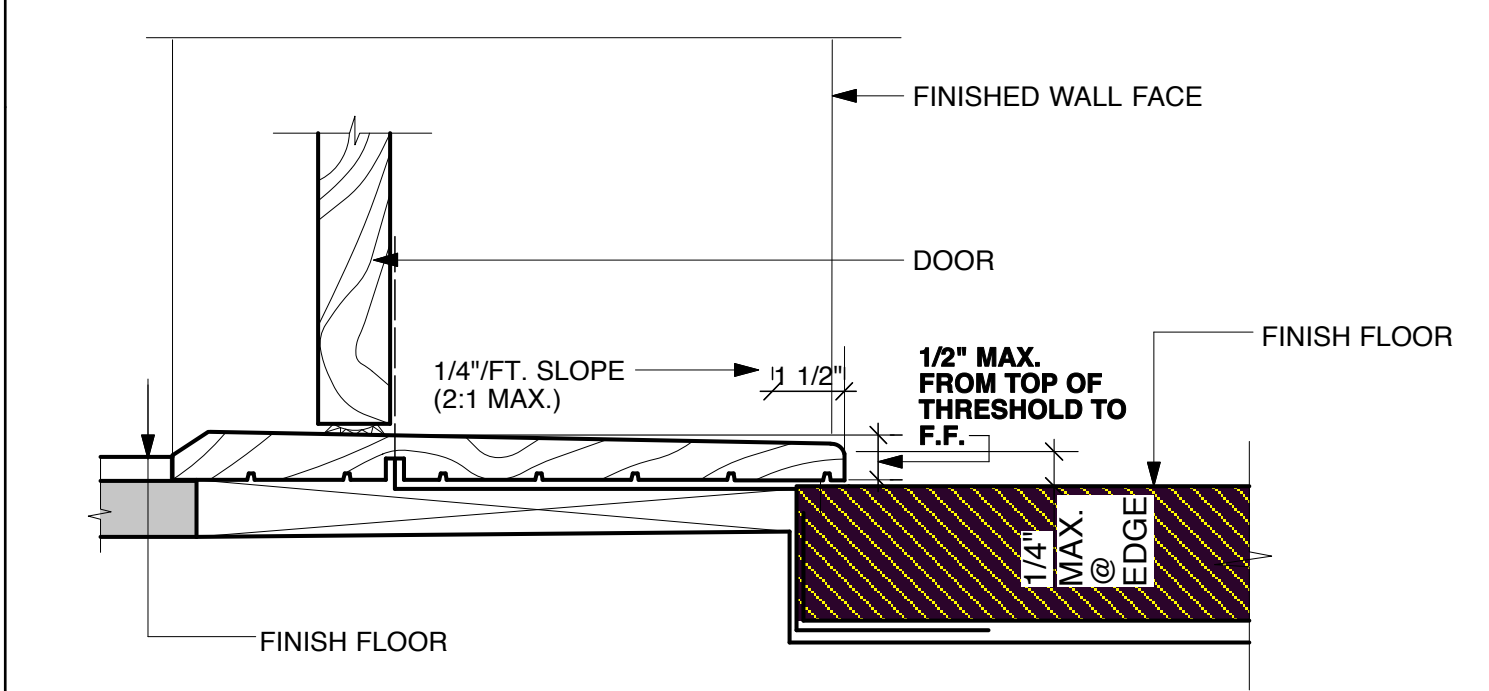
**04 EXISTING & PROPOSED WEST ELEVATION- NO CHANGES**

SCALE 1/4" = 1'-0"

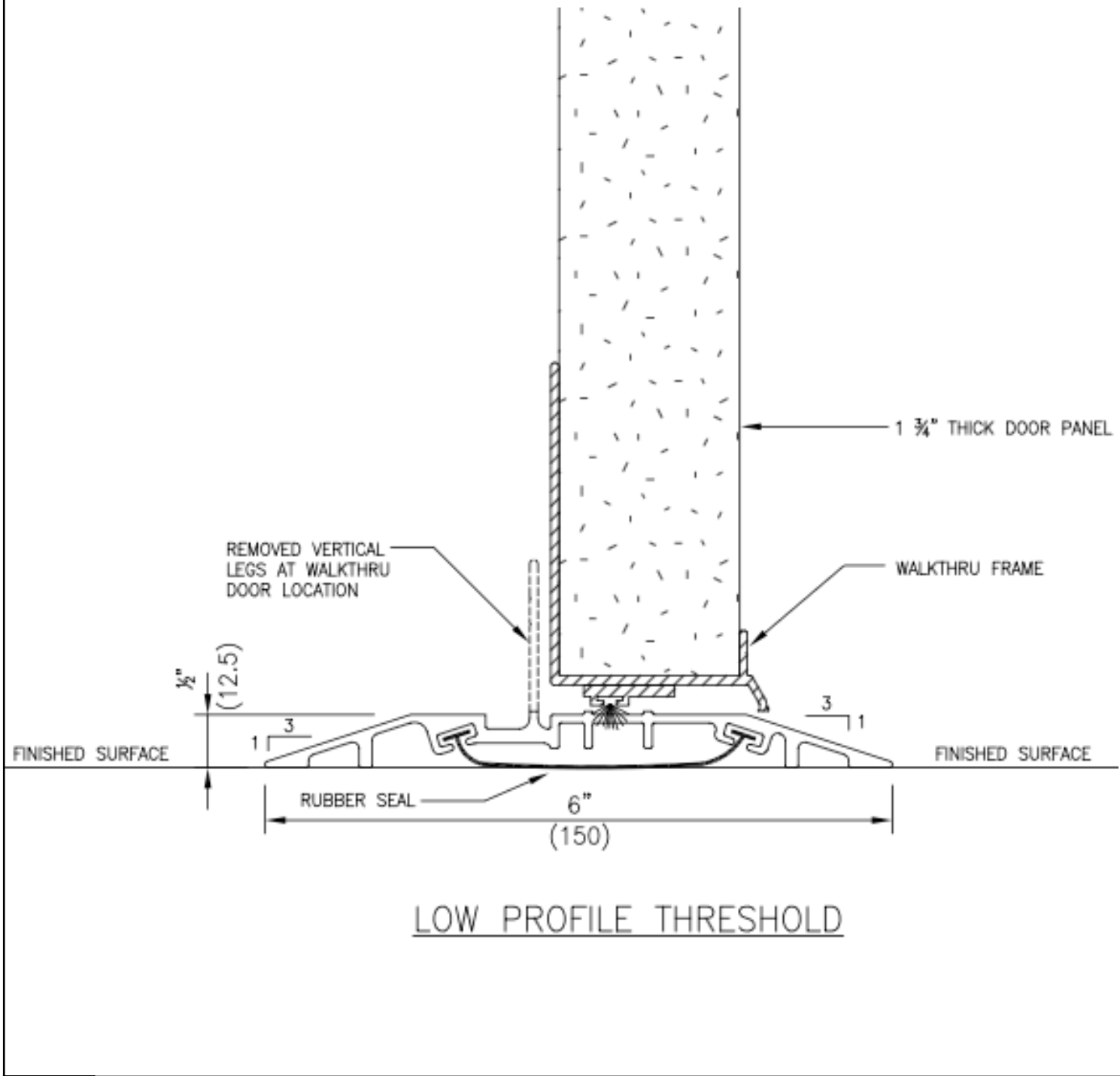
DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL



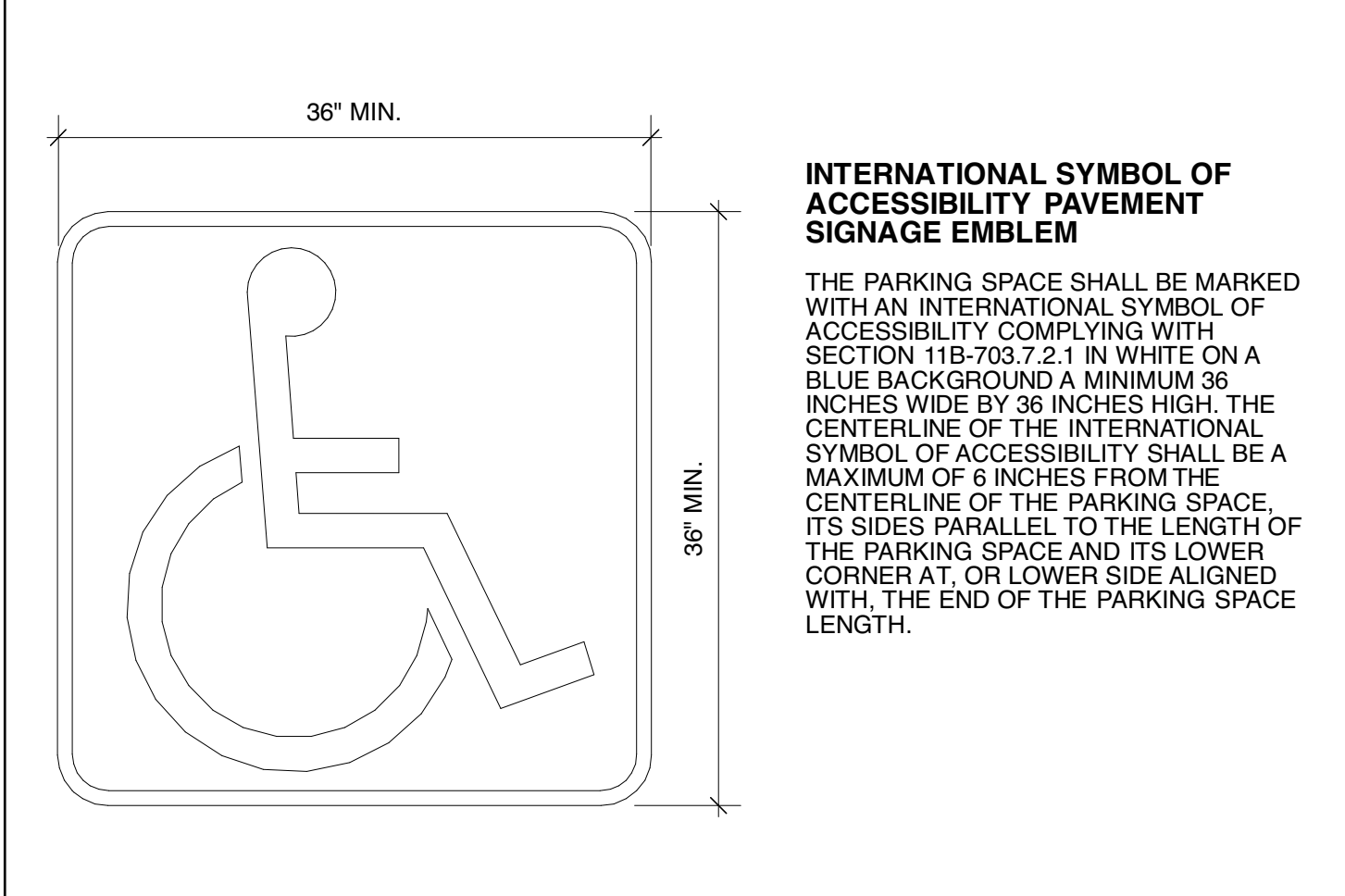
**05 ACCESSIBLE AISLE DETAIL**  
NOT TO SCALE



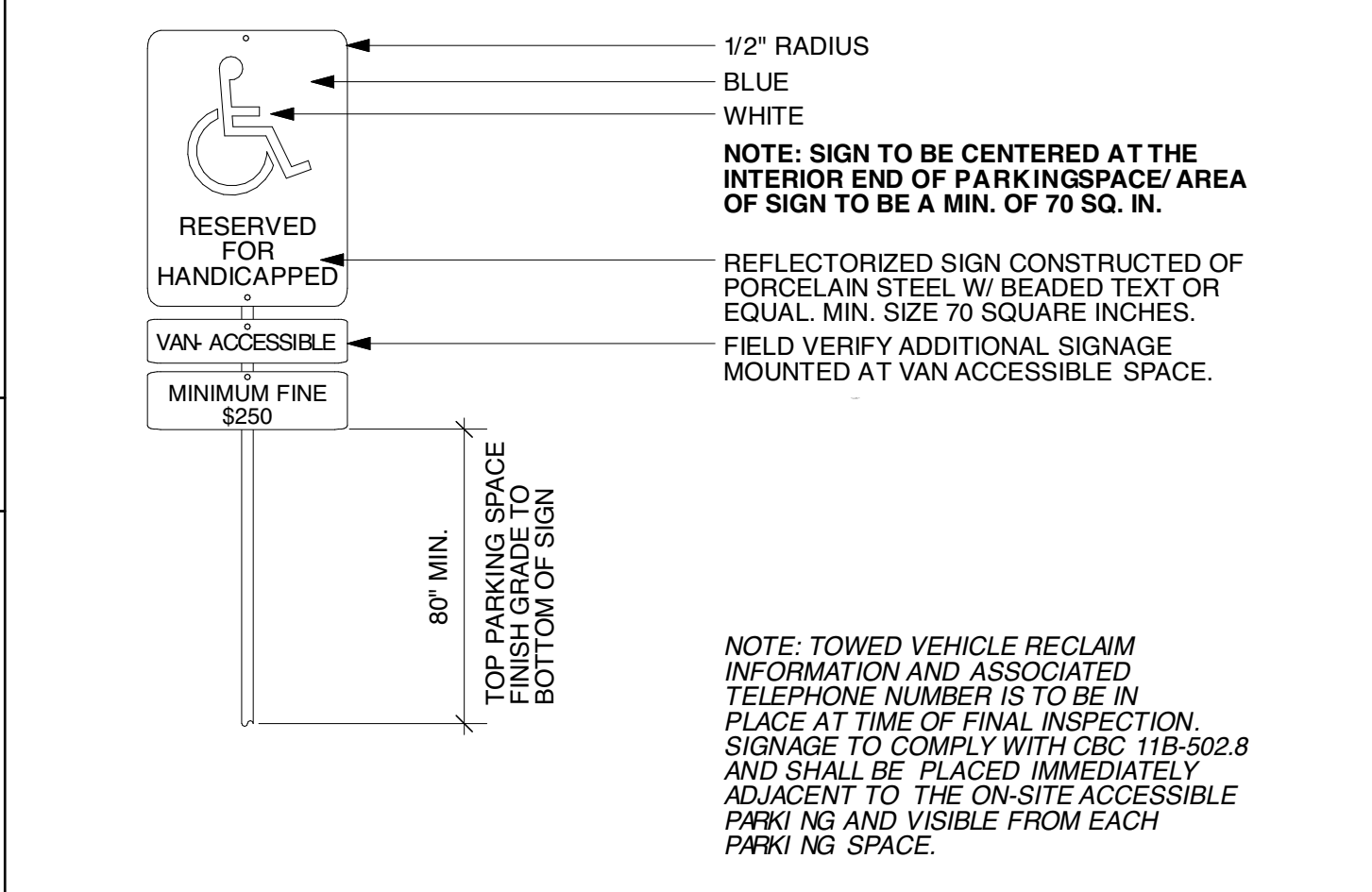
**06 TYP. THRESHOLD DETAIL**  
NOT TO SCALE



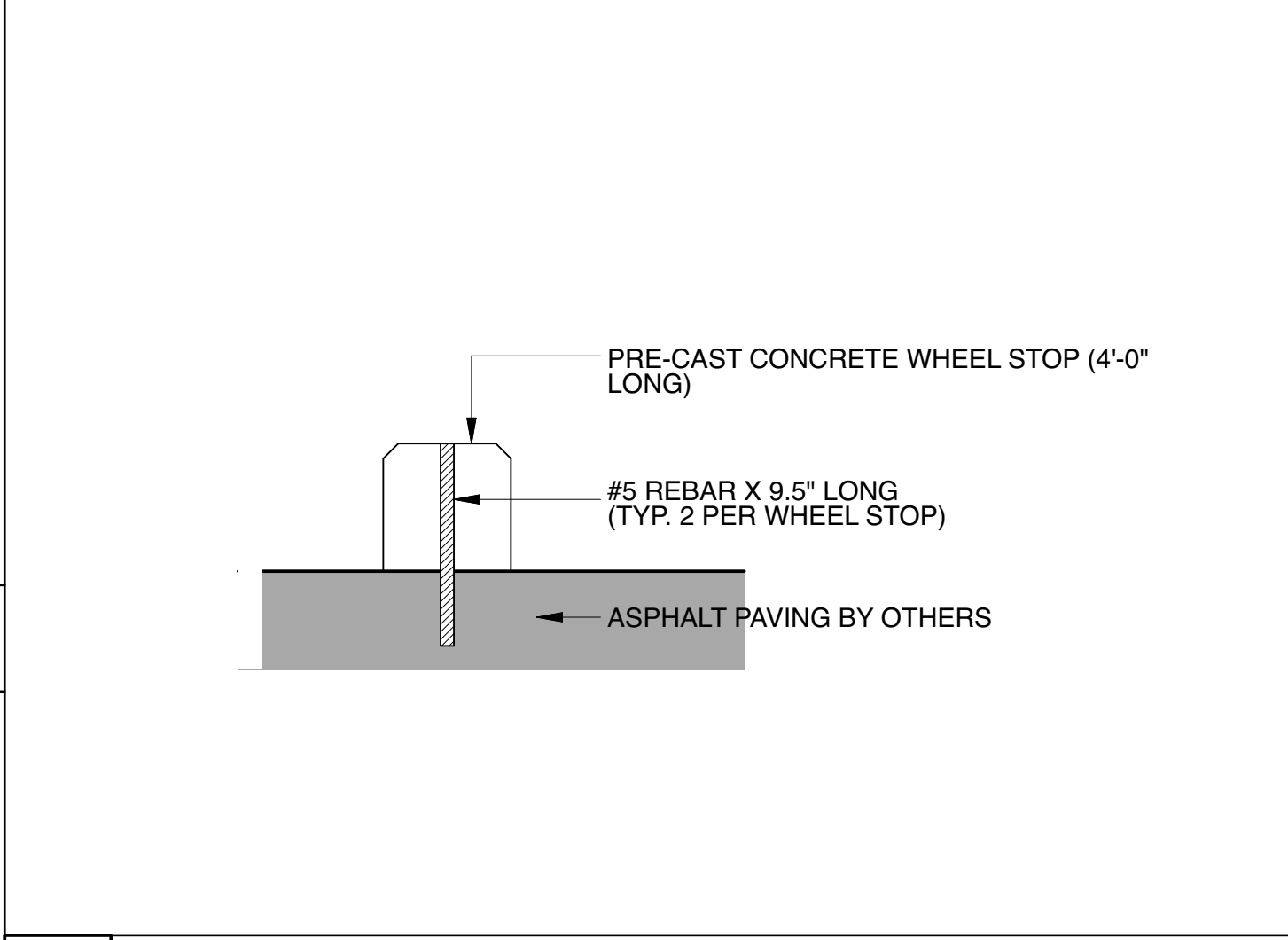
**07 CUSTOM GARAGE DOOR THRESHOLD DETAIL**  
NOT TO SCALE



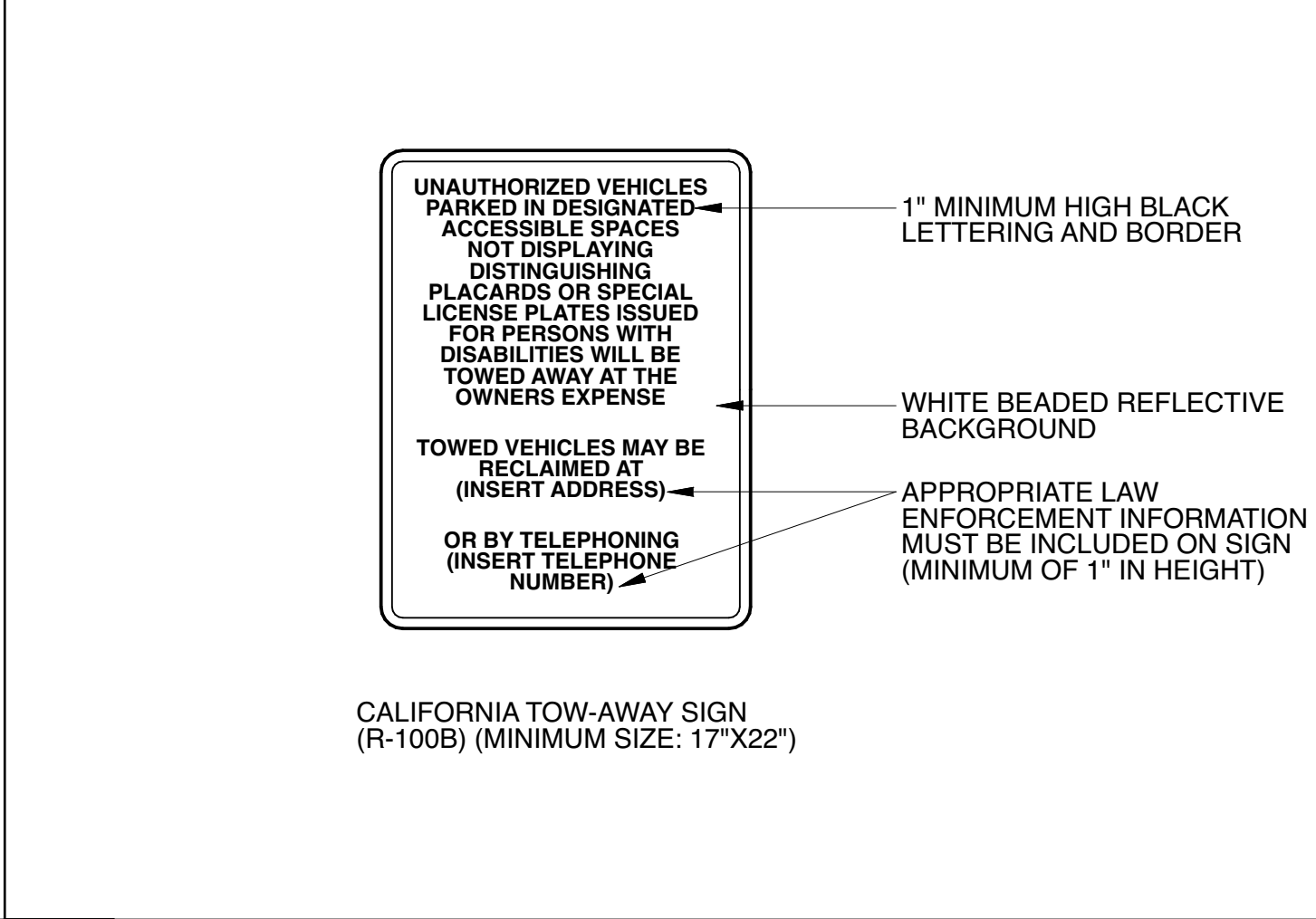
**01 STALL SIGNAGE DETAILS**  
NOT TO SCALE



**02 ACCESSIBLE SIGN DETAILS**  
NOT TO SCALE



**03 WHEEL STOP DETAIL**  
NOT TO SCALE



**04 TOW AWAY SIGN DETAIL**  
NOT TO SCALE

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S H E R R Y & A R C H I T E C T S  
 A S S O C I A T E S

CONVERSION OF PORTION OF (E)  
 COMMERCIAL BUILDING TO NEW  
 RESIDENTIAL UNIT

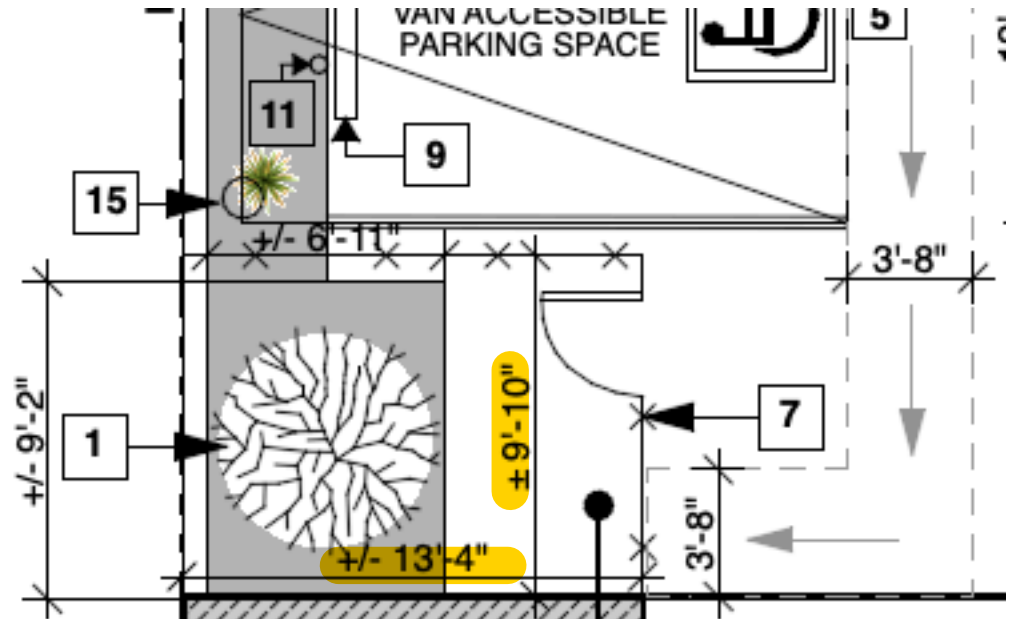
**808 E. COTA STREET**  
 SANTA BARBARA, CA 93103

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DATE	DESCRIPTION
08/22/23	MODIFICATION SUBMITTAL
04/18/24	MOD. RE-SUBMITTAL

AD 1.0

ARCHITECTURAL DETAILS



**$\pm 131$  SF PRIVATE OPEN YARD AREA FOR (N) RESIDENCE**

AREA OF ALTERATION TO CONVERT (E) OFFICE TO (N) RESIDENTIAL UNIT,  $\pm 539$  SF