GENERAL NOTES

1) It is the responsibility of the contractor to become fully aware of any and all conditions related to the site and existing conditions that may effect the cost of scheduling construction activities, prior to submitting a bid.

2) Contractor shall verify all dimensions and conditions at the job site including soil conditions, and conditions related to the existing utilities and services before commencing work and be responsible for same. All discrepancies shall be reported to the owner immediately. 3) Do not scale drawings or details — Use given dimensions. Check details for location of all items

not dimensioned on plans. Dimensions on plans are to face of framing with new walls and face of finish material for existing walls or center line of columns typically. Door and cased openings without dimensions are to be four inches from face of adjacent wall or centered between walls. 4) The drawings indicate general and typical details of construction. Where conditions are not

specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by Ulrick Design and/or structural engineer. 5) Building systems and components not specifically detailed shall be installed, as per minimum manufacturers recommendations. Notify Ulrick Design of any resulting conflicts.

6) All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards of installation or the materials specified do no equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern.

7) Install dust barriers and other protection as required to protect installed finishes and facilities. **8)** Plumbing, mechanical and electrical drawings, etc. are supplementary to the architectural drawings. It shall be in the responsibility of each contractor to check with the architectural drawings before installation of their work. Any discrepancy between the architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the owner's attention in

writing. 9) This project contains glazing that will be subject to federal and local glazing standards and the glazing subcontractor shall be responsible for adherence to these requirements. If the glazing subcontractor finds anything in the documents not in compliance with the standards, he/she shall bring discrepancies to the attention of Ulrick Design before proceeding.

10) All glazing in hazardous locations, defined by the CRC Chapter 3, shall be safety glazing, including but not limited to the safety glazing identified in the construction documents. **11)** There shall be no exposed pipe, conduits, ducts, vents, etc. All such lines shall be concealed or furred and finished, unless noted as exposed construction on drawings. Offset studs where required,

so that finished wall surface will be flush. **12)** Contractor shall provide temporary bracing for the structure and structural components until all final connections have been completed in accordance with the plans.

13) Carry all footings to solid, undisturbed original earth. Remove all unsuitable material under footings and slab and replace with concrete or with compacted fill as directed by Ulrick Design. **14)** All wood framing details not shown otherwise shall be constructed to the minimum standards of the CBC.

15) All wood in direct contact with concrete or exposed to weather shall be pressure treated with an approved preservative unless decay resistant heartwood of cedar or redwood is used. Fasteners for pressure treated wood shall be hot dipped galvanized steel, stainless steel, silicon bronze, or copper. **16)** Nail gypsum wallboard to all studs, top and bottom plates and blocking with cooler nails @ 7 inches o.c. maximum spacing unless shown otherwise. Use 5d for 1/2 wallboard, 6d for 5/8 inch wallboard.

17) Provide galvanic insulation between dissimilar metals.

18) Structural, electrical, mechanical and energy notes are located within this set of drawings. **19)** The contractor is to verify the location of all utilities and services to the site prior to beginning any site improvements.

20) No materials from the work are to be stock piled on public right-of-ways. All rubbish and debris is to be removed from the site.

21) Adjacent properties, streets and walks are to be protected from damage at all times. **22)** All downspouts and roof drains to be connected to storm sewer by tightline unless (permitted by local jurisdicton) site conditions allow for drywells or surface drainage and unless noted otherwise in construction documents.

23) All dimensions are to face of stud wall, centerline of column, or face of concrete unless noted otherwise.

24) The contractor shall secure permits required by the fire department prior to building occupation. **25)** The contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times during the course of the project.

26) Approved plans shall be kept in a plan box and shall not be used by any workmen. All construction sets shall reflect the same information. The contractor shall also maintain in good condition, one complete set of plans with all revisions, addenda and changes orders on the premises

at all times. Said plans are to be under the care of the job superintendent. **27)** The contractor and/or the sub-contractors shall apply for , obtain and pay for all required permits

and fees except for the building permit. **28)** All construction shall comply with the applicable codes found on this cover sheet.

29) Construction hours, per jurisdiction, are to be observed for all phases of the project **30)** Class "A" roofing is required for fire protection.

31) Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum no. 26 gauge steel and shall have no openings in the

32) Remove all vegetation, organic material and wood formwork from under-floor grade before the

building is occupied for any reason. 33) Fireblocking shall be provided to cut off all concealed draft openings (both vertical & horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space, including the following; vertically at ceiling and floor levels, horizontally at intervals not exceeding 10 feet, at all interconnections between concealed vertical & horizontal spaces such as soffits, drop and cove ceilings, in concealed spaces between stair stringers at the top and bottom of the run, and at openings around vents, pipes and ducts at ceiling and floor level with an approved material to resist the free passage of flame.

34) Wall covering products sensitive to adverse weather shall not be installed until adequate weather protection for the installation is provided. Exterior sheathing shall be dry before applying exterior

35) Interior coverings or wall finishes shall be installed in accordance with CRC chapter 7 and tables R702.1(1). R702.1(2). R702.1(3) and R702.3.5. Interior masonry veneer shall comply with the requirements of section R703.7.1 for support and section R703.7.4 for anchorage, except when an air space is not required. Interior finishes and materials shall conform to the flame spread and smoke density requirements of section R302.9.

36) Unless specified otherwise, all wall coverings shall be fastened in accordance with table R703.4 or with other approved aluminum, stainless steel, zinc-coated or other corrosion-resistive fasteners. **37)** Asphalt shingle base and cap flashing shall be installed in accordance with manufacturer's installation instructions. Base flashing shall be of either corrosionresistant metal of .019 inch nominal thickness or mineral surface roll roofing weighing a minimum of 77 lbs. over 100 sf. Cap flashing shall be corrosionresistant metal of .019 minimum nominal thickness. Valley linings shall be installed in accordance with manufacturers installation instructions before applying shingles. See CRC

R905.2.8.2 for valley lining types allowed. **38)** When applicable, roofing requires an ice barrier that consists of at least two layers of underlayment cemented together or of a self-adhering polymer modified bitumen sheet used in lieu of normal underlayment and extend from the eaves edge to a point at least 24 inches inside the exterior wall line of the building.

39) Metal roofing shall be applied to solid sheathing. Metal roofing over structural decking shall comply with table R905.10.3. The minimum slope for standing seam metal roofing systems is per CRC905.10.2. Install in accordance with IRC905. The following fasteners shall be used: 1. Galvanized fasteners for galvanized roofing 2. Three hundred series stainless steel fasteners for copper roofs. 3. Stainless steel fasteners are acceptable for metal roofs

40) Installation of appliances shall conform to the conditions of their listing and label and manufacturer's installation instructions. The manufacturer's operating and installation instructions shall remain attached to the appliance.

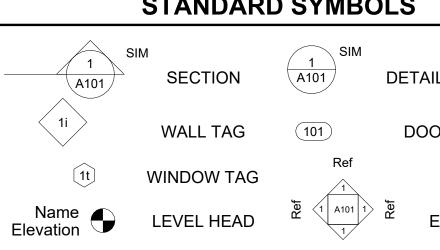
41) A permanent factory-applied nameplate shall be affixed to appliances on which shall appear, in legible lettering, the manufacturer's name or trademark, the model number, serial number, and the seal or mark of the testing agency. The hourly rate in btu/h(w), type of fuel or electrical rating and other information as described in CRC M1303.1and G2404.3 shall be required on the label. **42)** Where conflicts occur between the IRC and the conditions of listing or the manufacturer's installation instructions occur, the provisions of the code shall apply.

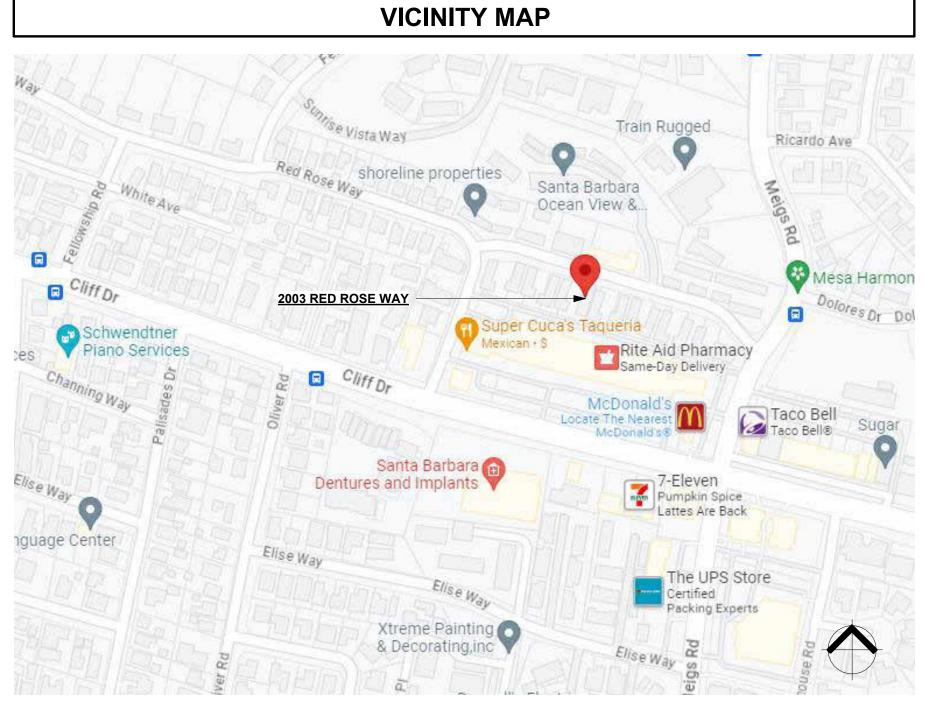
43) Fuel-fired appliances shall be designed for use with the type of fuel to which they will be connected and the altitude at which they are installed. Appliances that comprise parts of the building mechanical system shall not be converted. The fuel input rate shall not be increased or decreased beyond the limit rating for the altitude at which the appliance is installed.

44) The building or structure shall not be weakened by the installation of mechanical systems. Where floors, walls, ceilings or any other portion of the building or structure are required to be altered or replaced in the process of installing or repairing any system, the building or structure shall be left in a safe structural condition in accordance with the CRC.

45) Heat-producing equipment and appliances shall be installed to maintain the required clearances to combustible construction as specified in the listing and manufacturer's instructions. Reduction of clearances shall be in accordance with manufacturer's instructions and table M1306.2 (CRC) or CMC section 308. Clearances to combustibles shall include such considerations as door swing, shutters, coverings and drapes. Devices such as door stops or limits, closers, drapery ties or guards shall not be used to provide adequate clearances.

ABBREVIATIONS		PROJECT DATA		
#Pound OR Number⩓@AtACTAcoustic Ceiling TileADArea DrainAFFAbove Finished FloorALUMAluminumANODAnodizedBSMTBasementBYNDBeyondBOTBottomCIPCast In PlaceCHNLChannelCJControl JointCLGCeilingCLRClearCMUConcrete Masonry UnitCOLColumnCOMPRCompressibleCONCConcreteCONTContinuousCPTCarpetCTCeramic TileCTYDCourtyardDBLDoubleDEMODemolish or DemolitionDIADiameterDIMDimensionsDNDownDRDoorDWGDrawingEAEachEJExpansion JointELECElectricalELEVElvationEQEqualEXISTExistingEXPJTExpansion JointEXTExteriorFDFloor Drain or Fire DepartmentFECFire Extinguisher CabinetFIXTFixtureFLRFloorFMFilled MetalFOFoundationGAGaugeGALVGalvanizedGWBGypsum Wall BoardHCHollow Metal	HR Hour HVAC Heating, Ventilating, And Air Conditioning IRGWB Impact Resistant Gypsum Wall Board ILO In Lieu Of INSUL Insulated or Insulation INT Interior LO Low MAX Maximum MO Masonry Opening MECH Mechanical MEMBRMembrane MIN Minimum MTL Metal NIC Not In Contract NO Number NOM Nominal OC On Center OH Overhang or Opposite Hand OPP Opposite or Opposite Hand OPP Opposite or Opposite Hand OZ Ounce PCC Pre-Cast Concrete PLUMB Plumbing PLYD Plywood PT Pressure Treated PNT Paint or Painted PVC Polyvinyl Chloride RBR Rubber RCP Reflected Ceiling Plan RD Roof Drain REQD Required RM Similar SPEC Specified OR Specification SPK Sprinkler or Speaker SSTL Stainless Steel STC Sound Transmission Coefficient STL Steel STRUCT Structure or Structural T&G Tog Of TOC Top Of Concrete TLT Toilet TME To Match Existing TO Top Of TOC Top Of Steel TPD Toilet Paper Dispenser T/D Telephone/Data TYP Typical UNO Unless Noted Otherwise U/S Underside VIF Verify In Field VP Vision Panel W/ With WD Wood	SCOPE OF WORK: PROPOSAL TO CREATE NEW STORAGE ROOM BELOW EX NON-PERMITTED STAIRS, DOOR AND LANDING ON THE E TO THE FIRST/STORAGE LEVEL AS ALLOWED IN SBMC30. MODIFICATION FOR THE ADDITION OF NEW FLOOR AREA BULDING DATA : APN: 035-342-008 ZONING: ZONE: R-2 (SBMC TITLE 30 - INLAND). OCCUPANCY GROUP: R - MULTI FAMILY CONSTRUCTION TYPE: VB STORIES: 2 DT SIZE: .12 ACRES = 5227.2 S.F. LOT SLOPE: EST FROM CITY'S GIS (%): 25 FEMA FLOOD ZONE DESIGNATION: X HIGH FIRE AREA: NO FIRE SPRINKLERS: NO FIRE SPRINKLERS : NO FIRE SPRINKLERS : NO FIRE SPRINKLERS : NO EVOTO FIOR 409 (ST) 435 Gross Unit 1 (Existing Primary Residence) - 1st Floor: 739 Net / 790 Gross Unit 2 - 2nd Floor: 409 Net / 436 Gross Unit 2 - 2nd Floor: 409 Net / 436 Gross Unit 4 - 2nd Floor: 148 Net / 180 Gross Carport 1 - 1st Floor: 153 Net / 174 Gross Carport 2 - 1st Floor: 153 Net / 174 Gross Carport 3 - 1st Floor: 153 Net / 174 Gross Carport 3 - 1st Floor: 153 Net / 174 Gross Carport 3 - 1st Floor: 153 Net / 174 Gross Carport 4 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 153 Net / 180 Gross Carport 5 - 1st Floor: 154 Net / 180 Gross Carport 6 - 1st Floor: 154 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 7 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor: 148 Net / 180 Gross Carport 6 - 1st Floor Area: 374 Net / 559 Gross Existing Shared Laundry ROOM - 1st Floor: 302 SF Ne	AST SIDE OF THE BUILDING. NEW 3 ' WIDE STAIRS .140.090.C.6. PROPOSED FLOOR AREA	CITY OF S COMMUN SAFETY D CA 93101 DRAFTSM ZACHARY 112 OAKS BUELLTOI (805) 350- PROPERT HAMID FA 2003 RED SANTA BA GENERAL T.B.D. STRUCTU TIMOTHY 7395 EL C ATASCAD C89934 ATASCAD C89934
			 Required Parking: 4 long term spaces – existing nonconforming Accessory Dwelling Unit Existing Parking: N/A Proposed Parking: 0 Required Parking: 0 	
All I STANDA	G 101 DOOR TAG AG Ref	CODE INFORMATION: 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE CURRENT CITY OF SANTA BARBARA ORDINANCES AND M AT THE TIME OF FINAL INSPECTION, AN OPERATION AND BASED REFERENCE SHALL BE PLACED IN THE BUILDING. LISTED ON CALIFORNIA GREEN BUILDING STANDARDS CO MASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF CONSTRUCTION AND DEMOLITION WASTE IN ACCORDAN STANDARDS CODE (CALGREEN), CHAPTER 4, DIVISION 4. PRIOR TO ISSUANCE OF PERMIT, A COMPLETE WASTE M	AUNICIPAL CODES MAINTENANCE MANUAL, COMPACT DISC OR WEB THIS MANUAL SHALL INCLUDE ALL OF THE ITEMS ODE SECTION 4.410.1. [CBBSC 4.410] 55 PERCENT OF THE NON-HAZARDOUS ICE WITH THE CALIFORNIA GREEN BUILDING 4 WASTE MANAGEMENT PROVIDED BY MARBORG. ANAGEMENT PLAN SHALL BE SUBMITTED TO THE	
			ANAGEMENT PLAN SHALL BE SUBMITTED TO THE VM - WASTE MANAGMENT"	





PROJECT DIRECTORY

SANTA BARBARA

JNITY DEVELOPMENT DEPARTMENT - BUILDING & DIVISION IS 630 GARDEN STREET, SATNA BARBARA,

<u>SMAN</u> **RY ULRICK** KSIDE LN. TON, CA 93427 50-0669

RTY OWNER:

-ALLAHI ED ROSE WAY BARBARA, CA 93109

RAL CONTRACTOR:

TURAL ENGINEER:

IY PUERLING, PE CAMINO REAL #369 ADERO, CA 93422

SHEET INDEX

TECTURAL

COVER SHEET SITE IMAGES SITE PLAN FLOOR PLAN (DEMOLITION) FLOOR PLAN (PROPOSED) EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS



805.350.0669 ZACHARYULRICK@GMAIL.COM **ULRICK-DESIGN.COM**

PROJECT ADDRESS:

2003 **RED ROSE WAY** SANTA BARBARA CA 93109

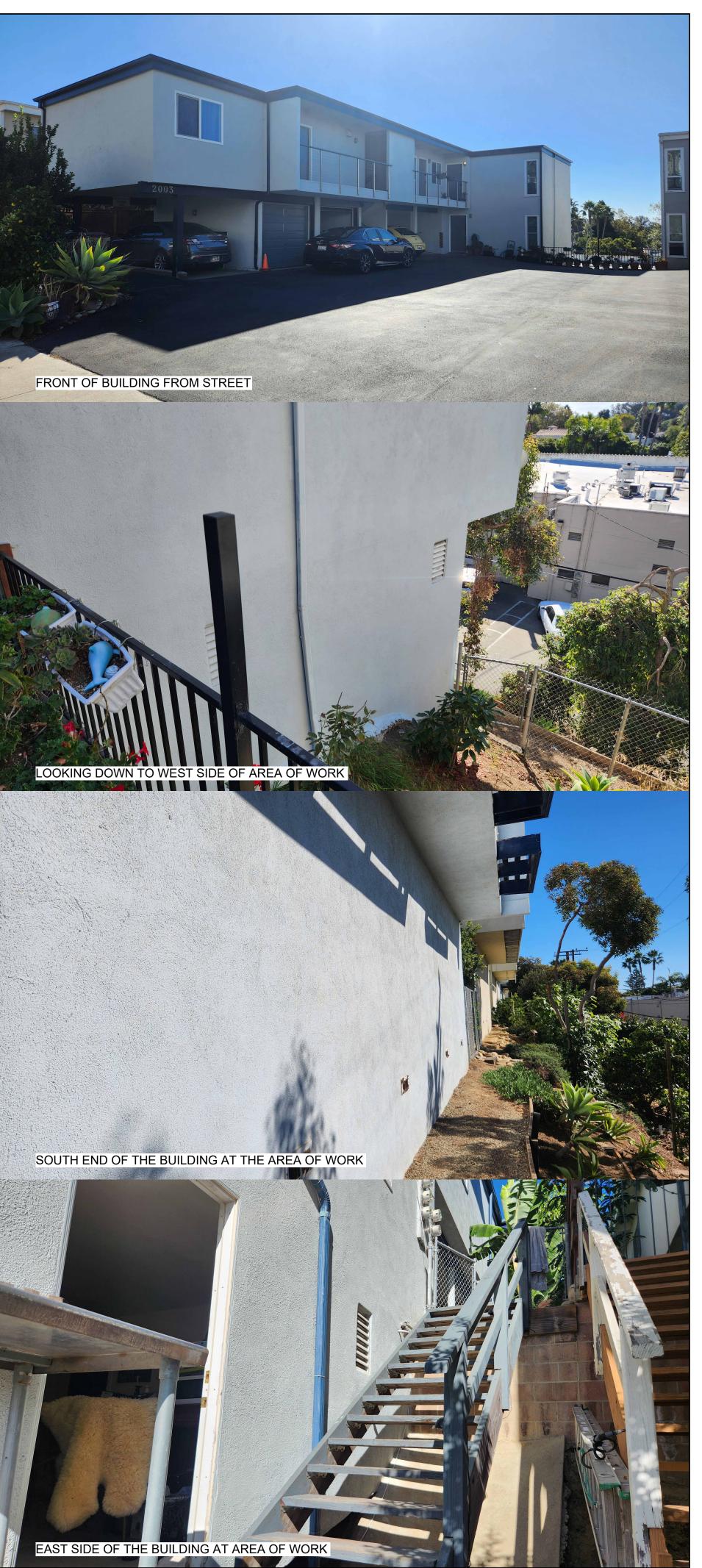
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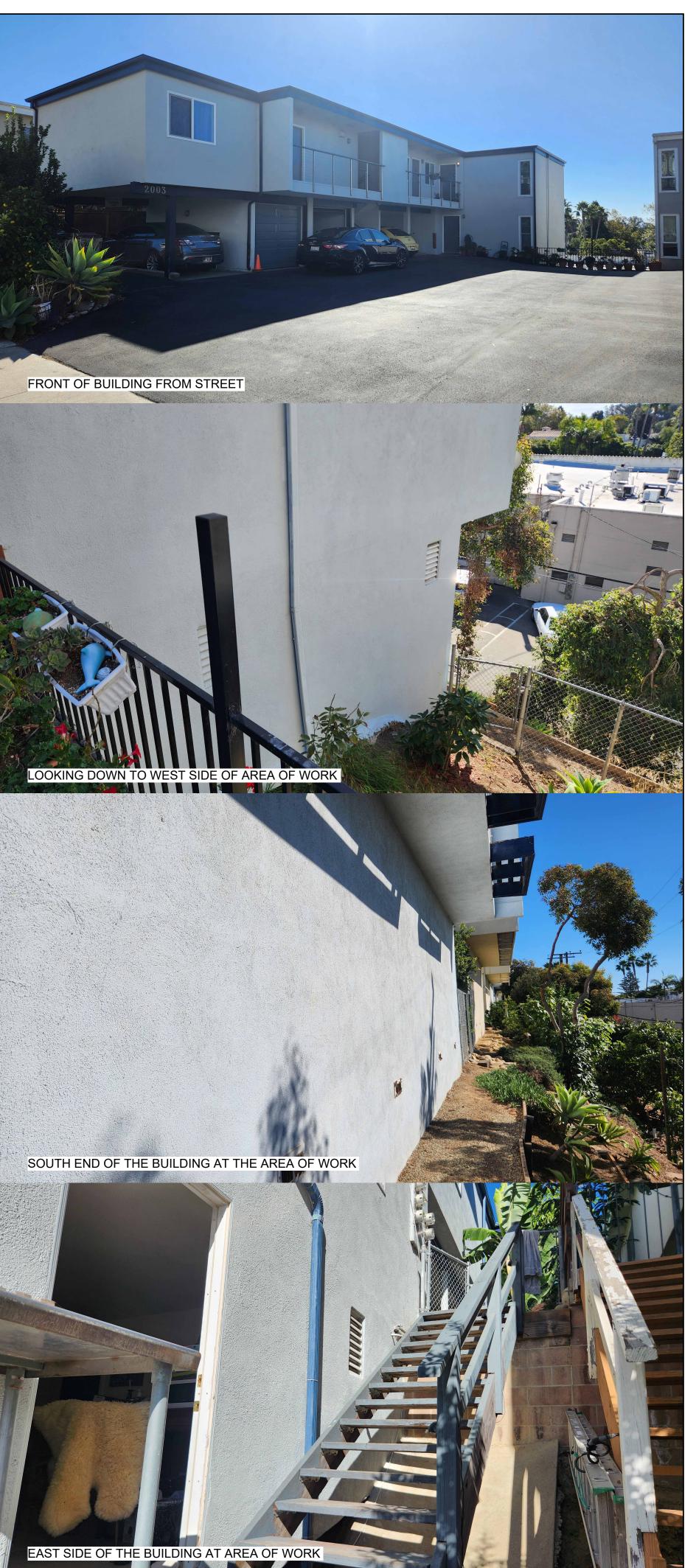
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SITE IMAGES

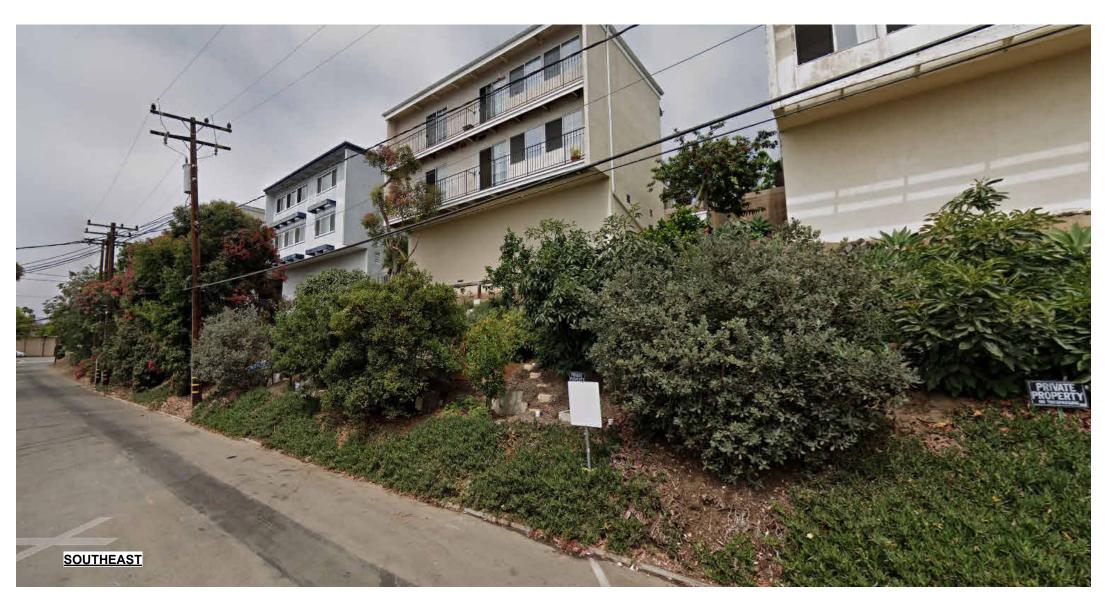
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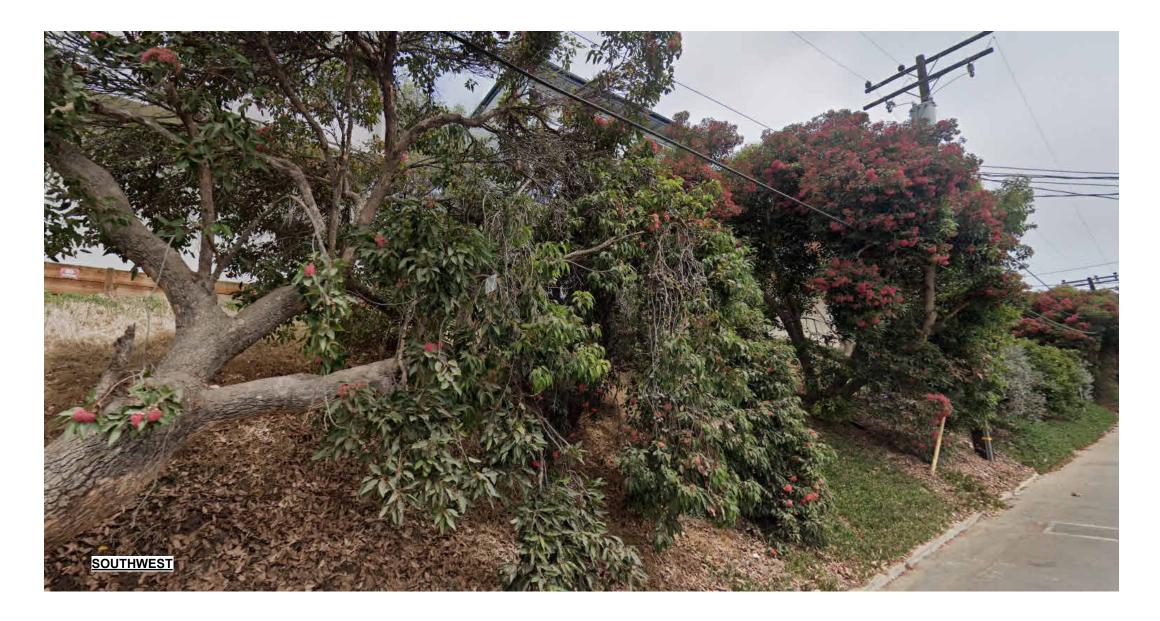
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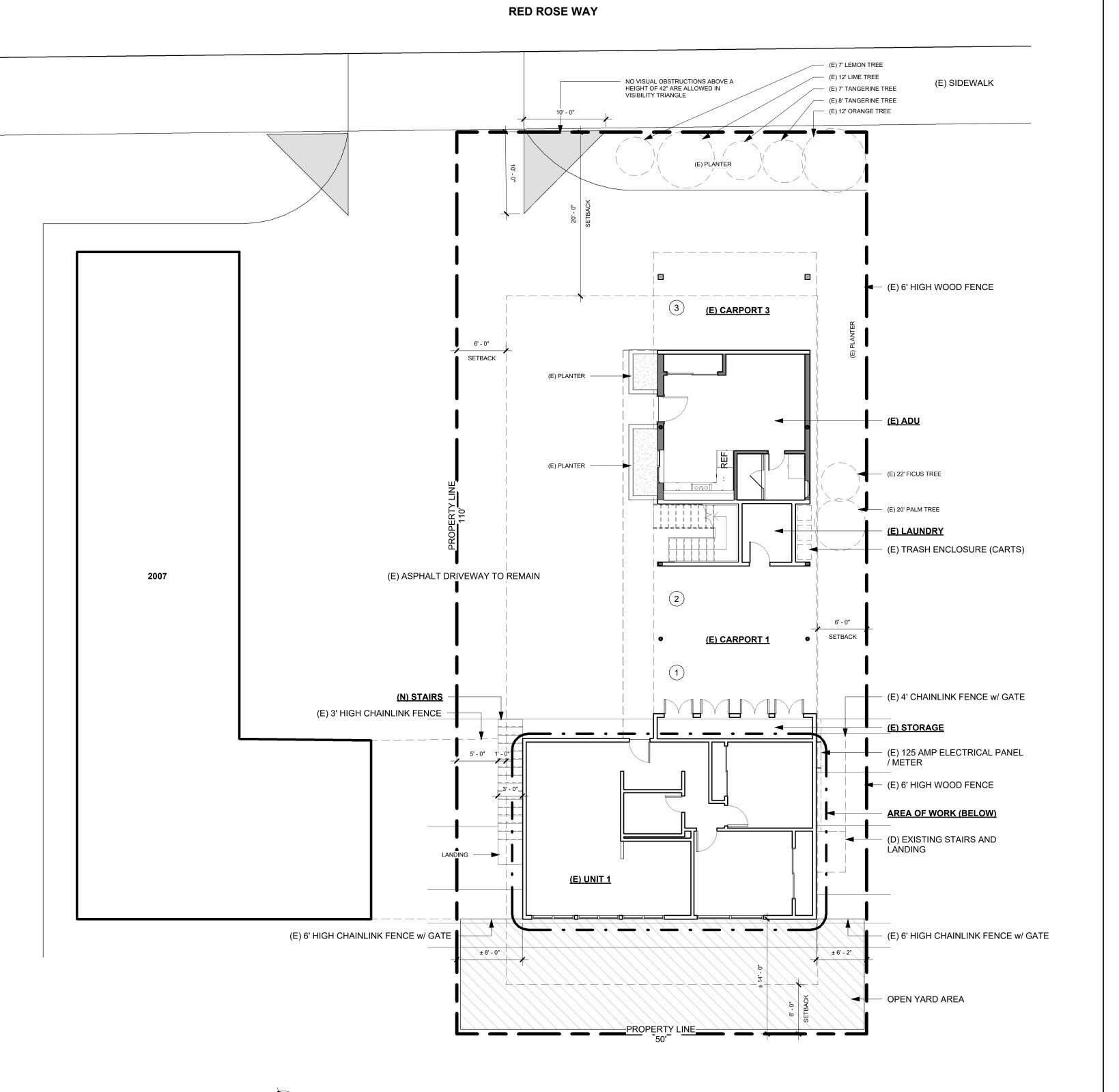
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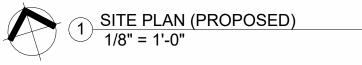
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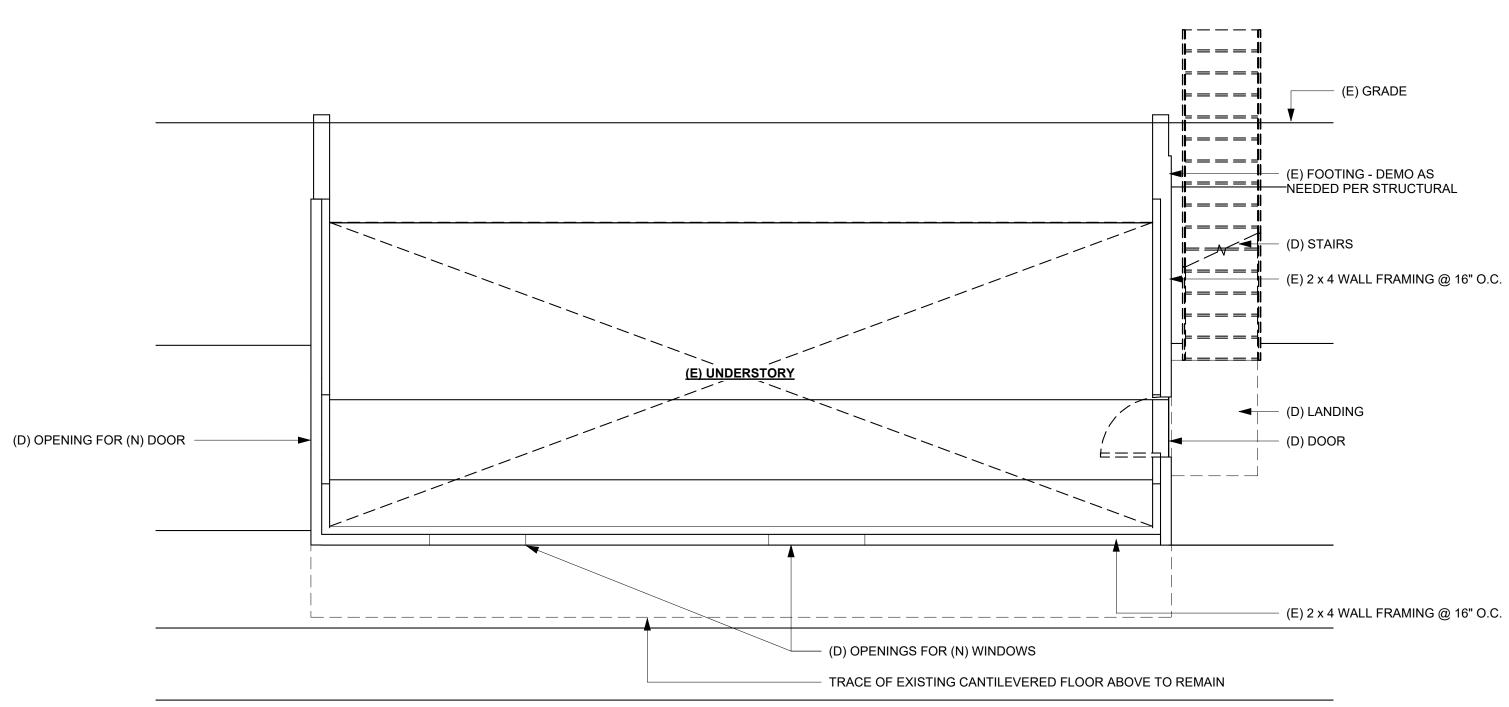
SITE PLAN

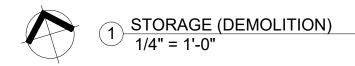
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FLOOR PLAN (DEMOLITION)

PROJECT NUMBER ISSUE DATE

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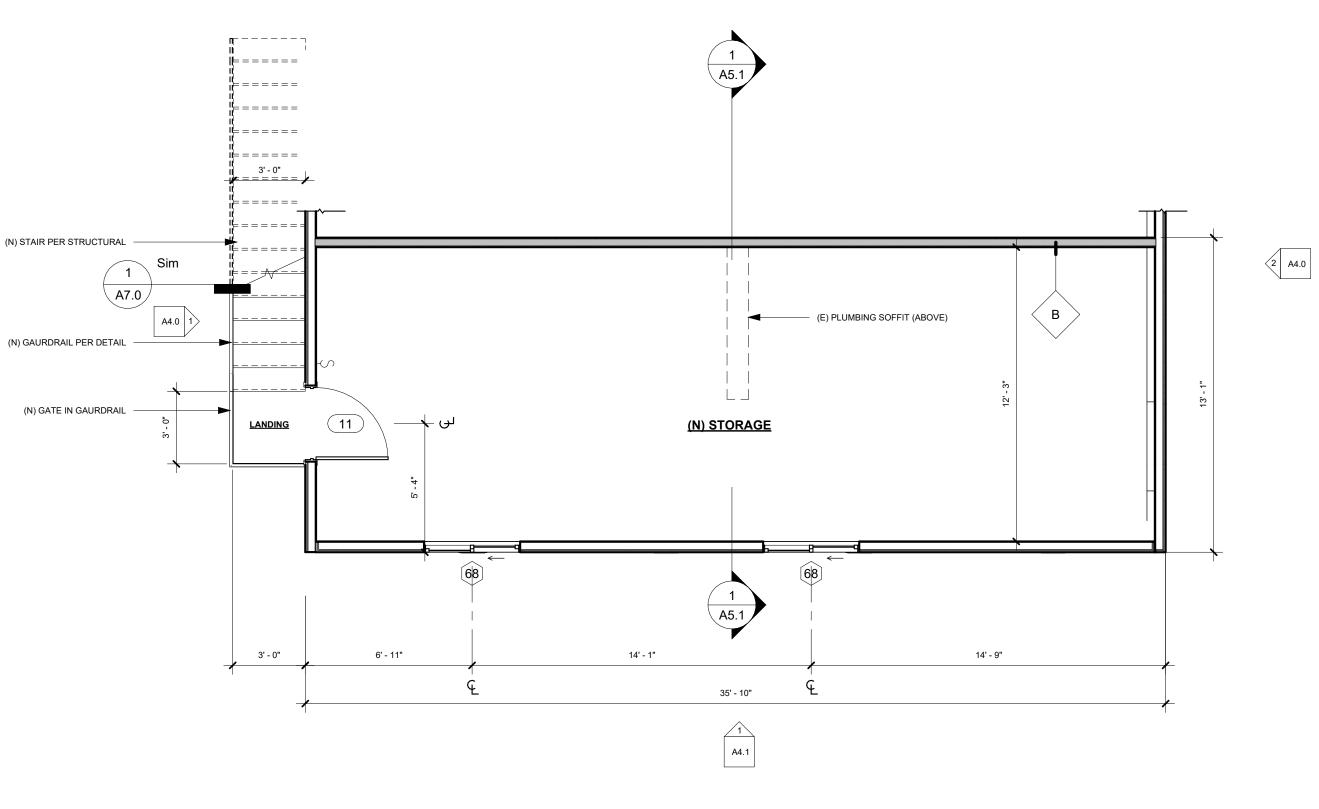
					NEW WINDOW	SCHEDUL	E	
Type Mark	Count	Rough (Width	Opening Height	Material	Operation	Glazing Thickness	Head Height	
68	2	4' - 0"	3' - 0"	FIBERGLASS	SLIDER	DUAL	6' - 8"	

ALL WINDOW GLAZING MUST HAVE AN SGHC OF .32 AND A U-FACTOR OF .45

THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS AND/OR DOORS UNTIL FINAL INSPECTION

			DOOR SCHEDULE
Door			Finish
Number	Door Size	Frame Type	Comments
		FLUSH - ENTRY	Comments

ALL DOORS WITH GLAZING MUST HAVE AN SGHC OF .32 AND A U-FACTOR OF .45 EXTERIOR DOORS SHALL BE SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING: STILE AND RAILS SHALL NOT BE LESS THAN 1-3/8 INCHES THICK, RAISED PANELS SHALL NOT BE LESS THAN 1-1/4 INCHES THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8 INCH THICK

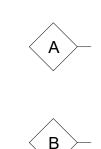




STORAGE 1/4" = 1'-0"

NOTES: ALL DIMESNIONS TO EXISTING WALLS ARE TO FINISH FACE OF MATERIAL. ALL DIMENSIONS TO NEW WALLS ARE TO CORE FACE OF FRAMING. VERIFY EXISTING CONDITIONS AND MEASUREMENTS.





2 x 4 D.F. WALL FRAMING @ 16" O.C. w/ 7/8" STUCCO OVER EXPANDED METAL LATH OVER 1/2" SHEATHING w/ 5/8" TYPE 'X' GYP BD.

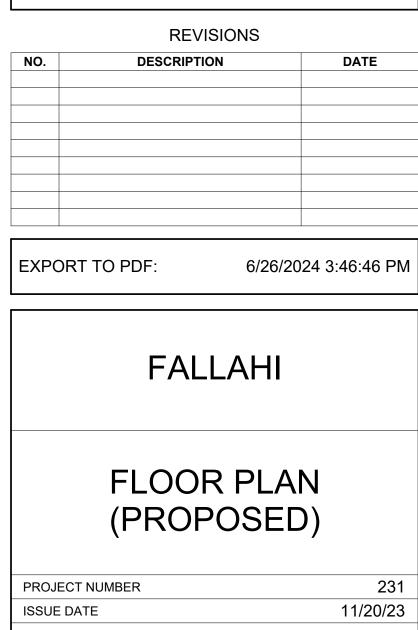
B 2 x 4 D.F. WALL FRAMING @ 16" O.C. w/ 5/8" TYPE 'X' GYP BD. ONE SIDE



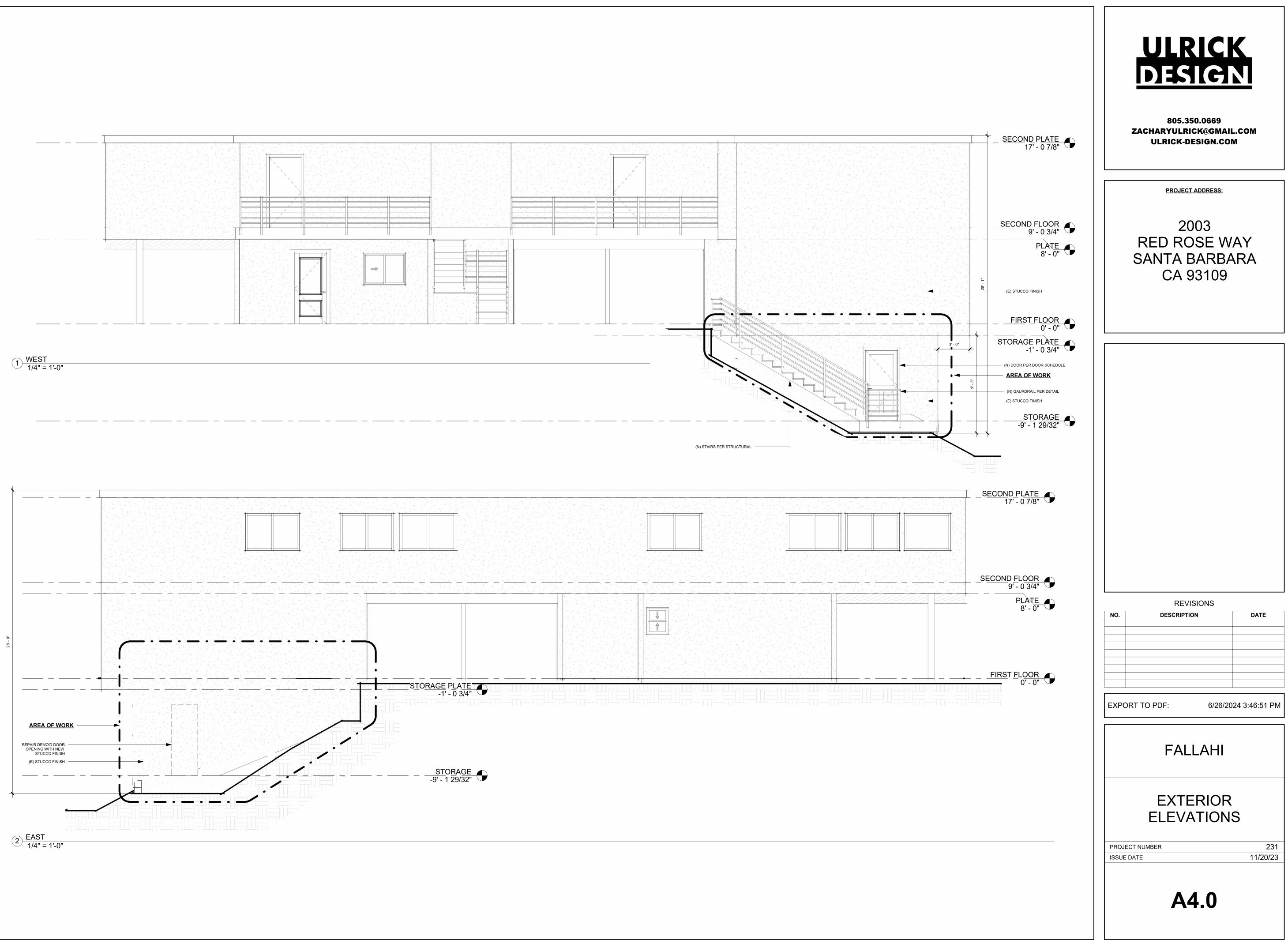
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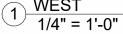
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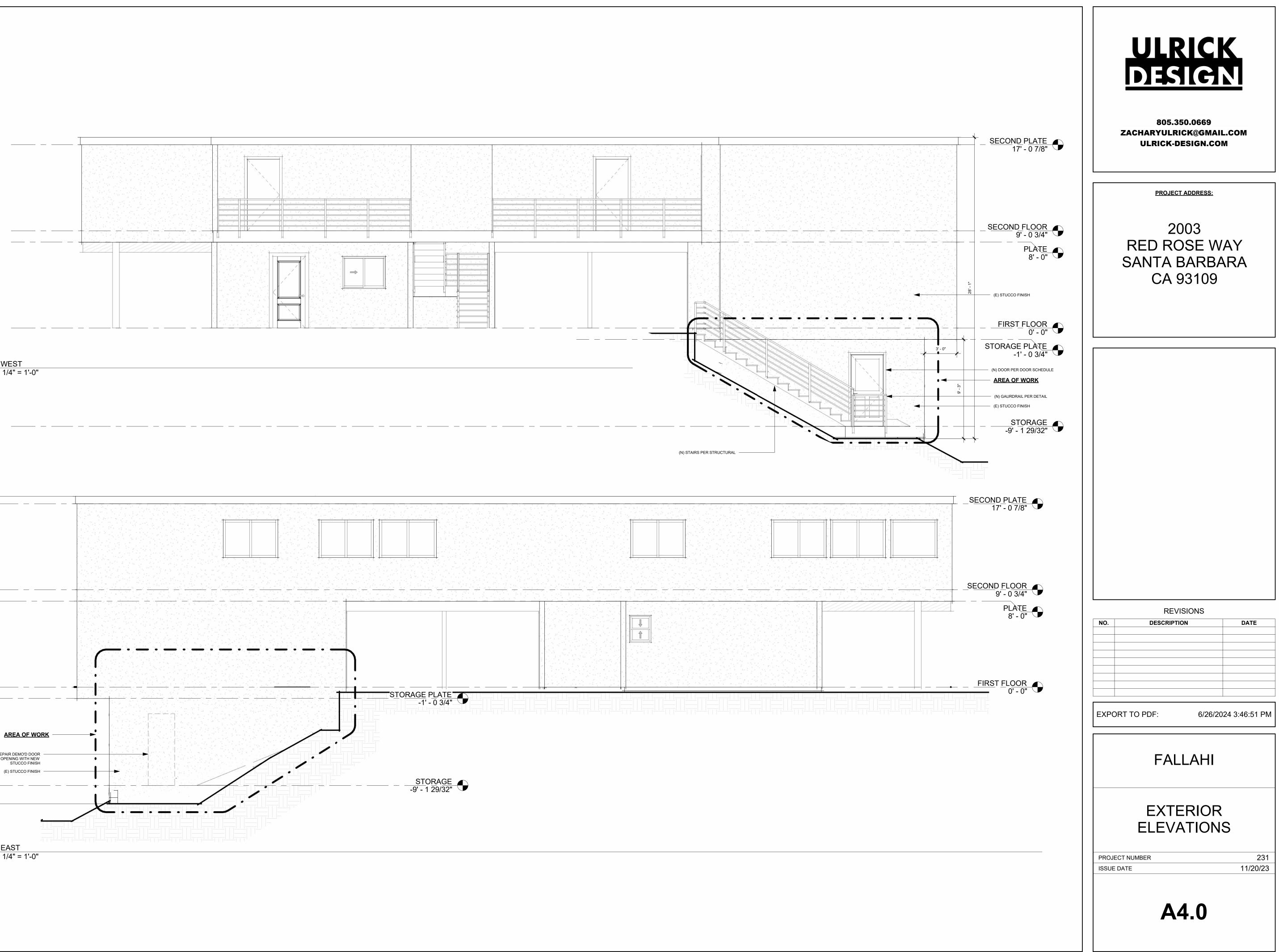
2003 **RED ROSE WAY** SANTA BARBARA CA 93109



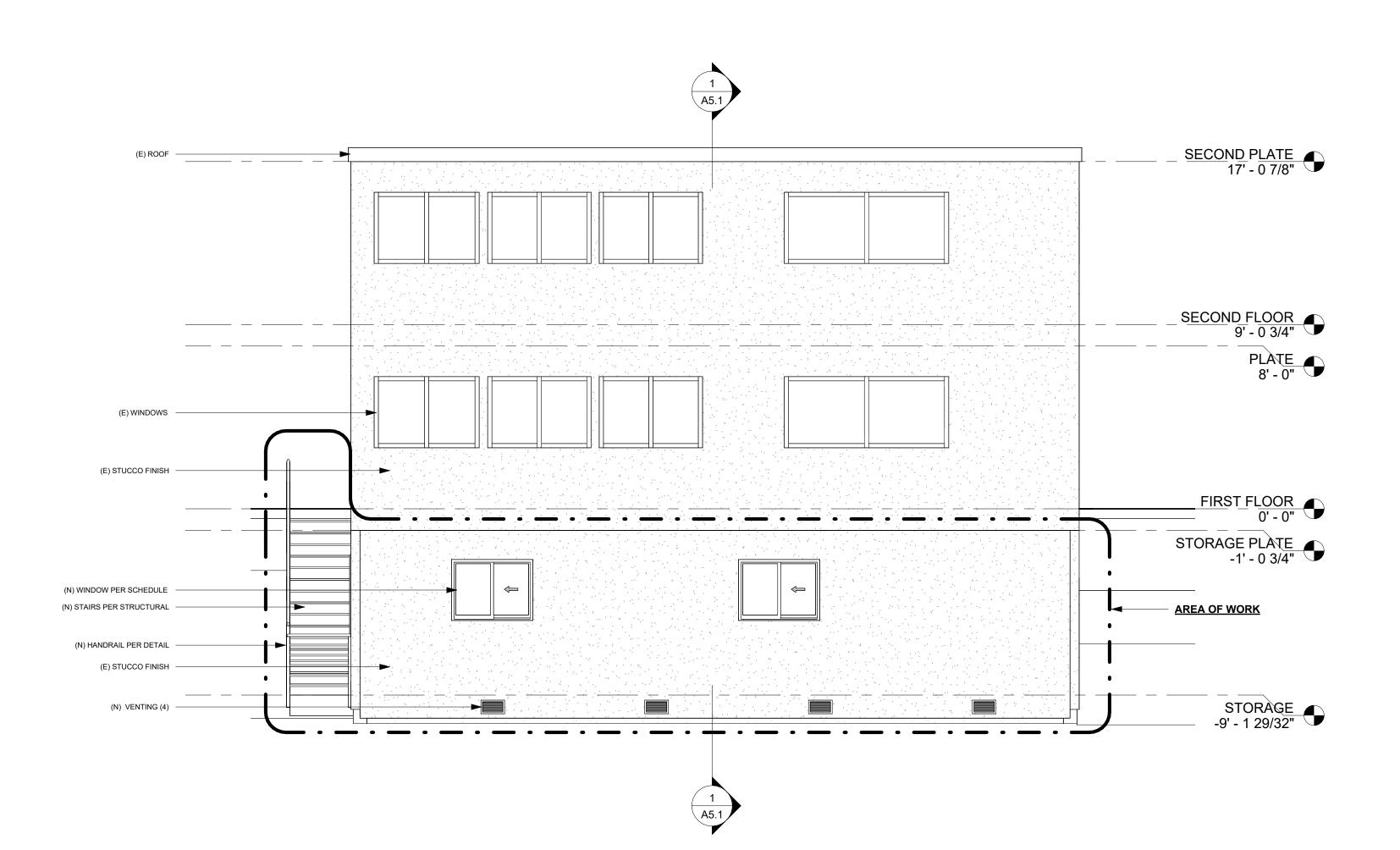
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1 SOUTH 1/4" = 1'-0"



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PROJECT ADDRESS:

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REVISIONS

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DESCRIPTION

DESCRIPTION

DATE

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EXTERIOR ELEVATIONS

PROJECT NUMBER

231 11/20/23

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