





FRONT OF BUILDING FROM STREET



LOOKING DOWN TO WEST SIDE OF AREA OF WORK



SOUTH END OF THE BUILDING AT THE AREA OF WORK



EAST SIDE OF THE BUILDING AT AREA OF WORK

# ULRICK DESIGN

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**PROJECT ADDRESS:**

2003  
RED ROSE WAY  
SANTA BARBARA  
CA 93109

**REVISIONS**

| NO. | DESCRIPTION | DATE |
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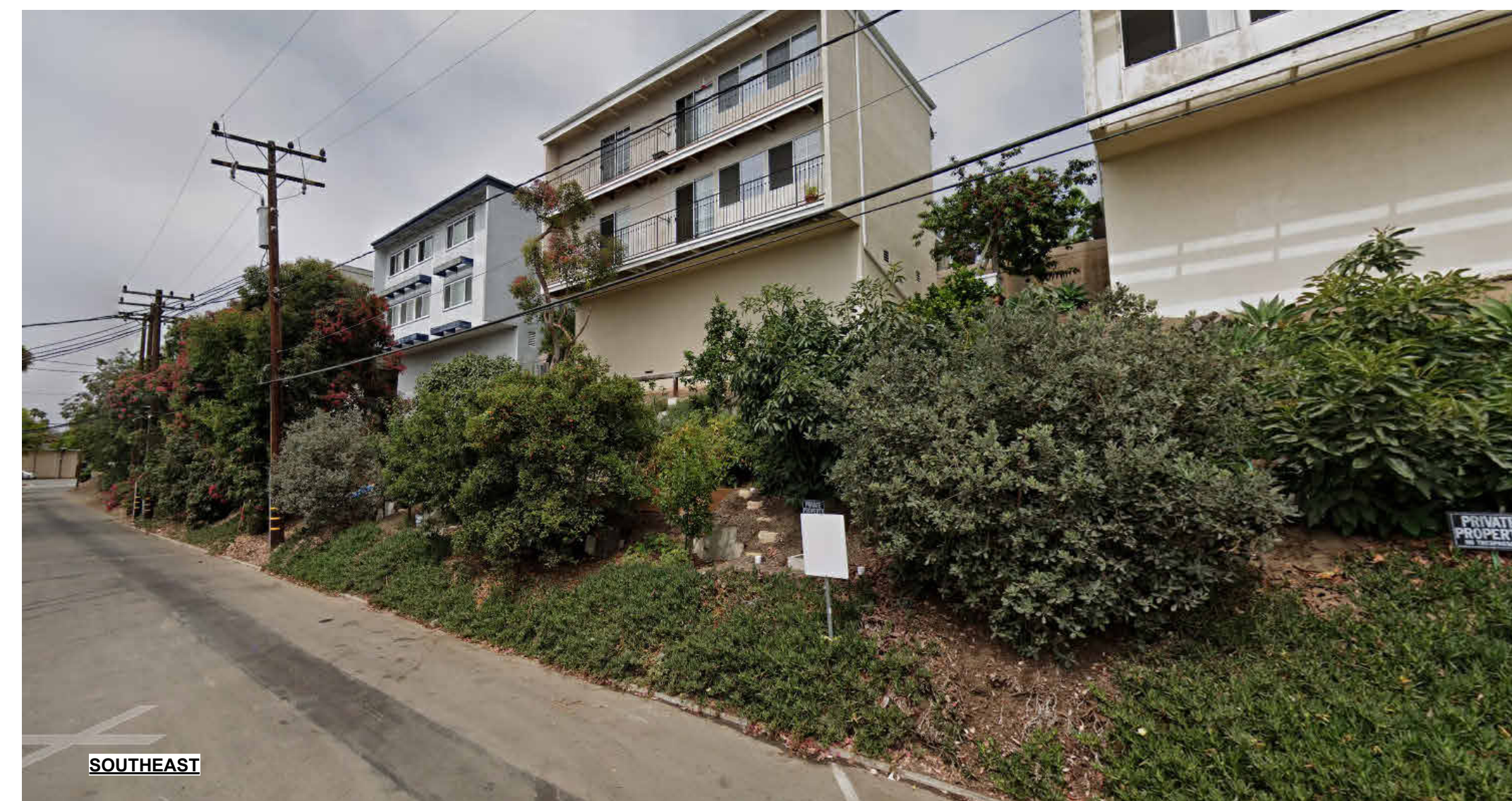
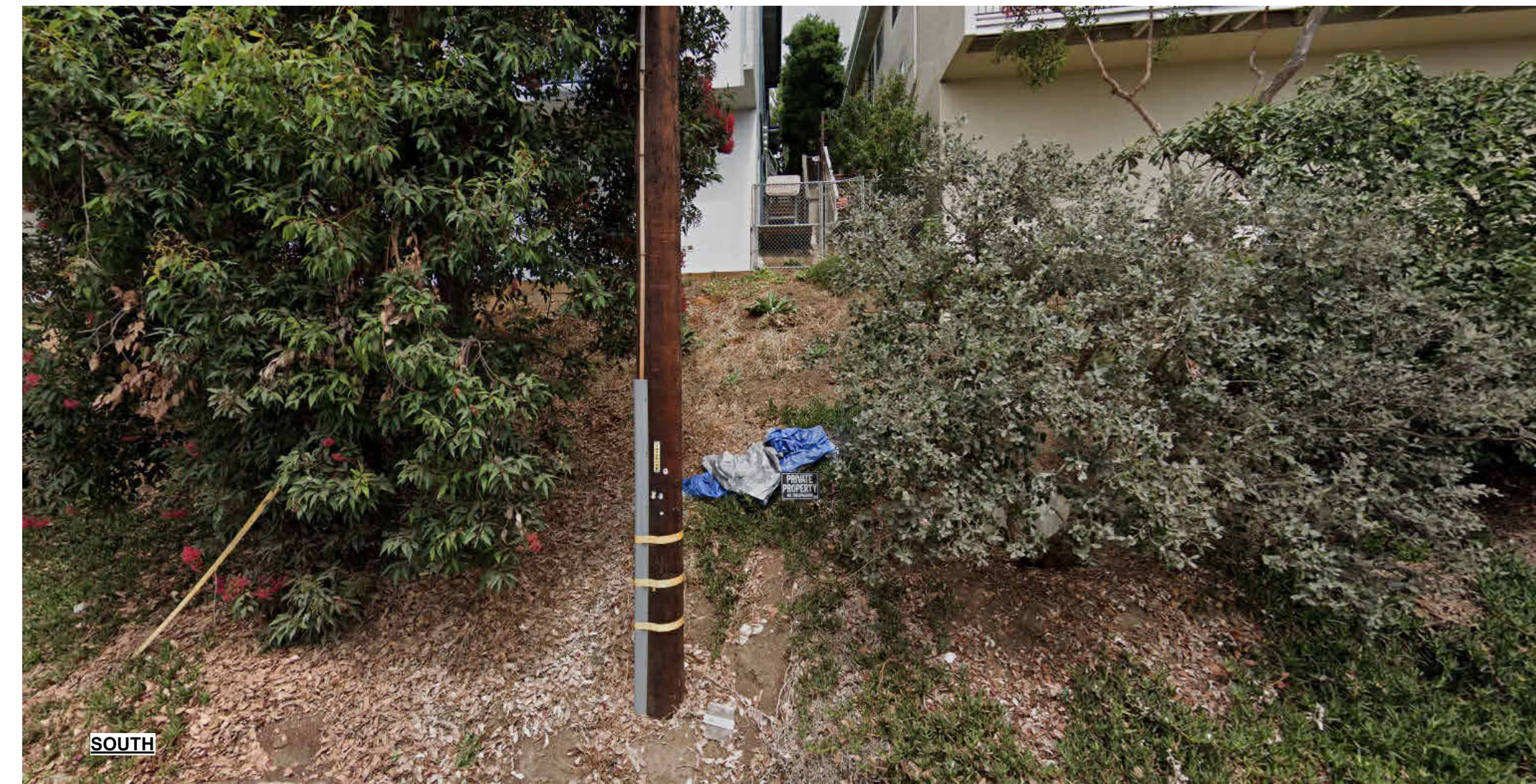
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SITE IMAGES

PROJECT NUMBER 231  
ISSUE DATE 11/20/23

**A0.4**



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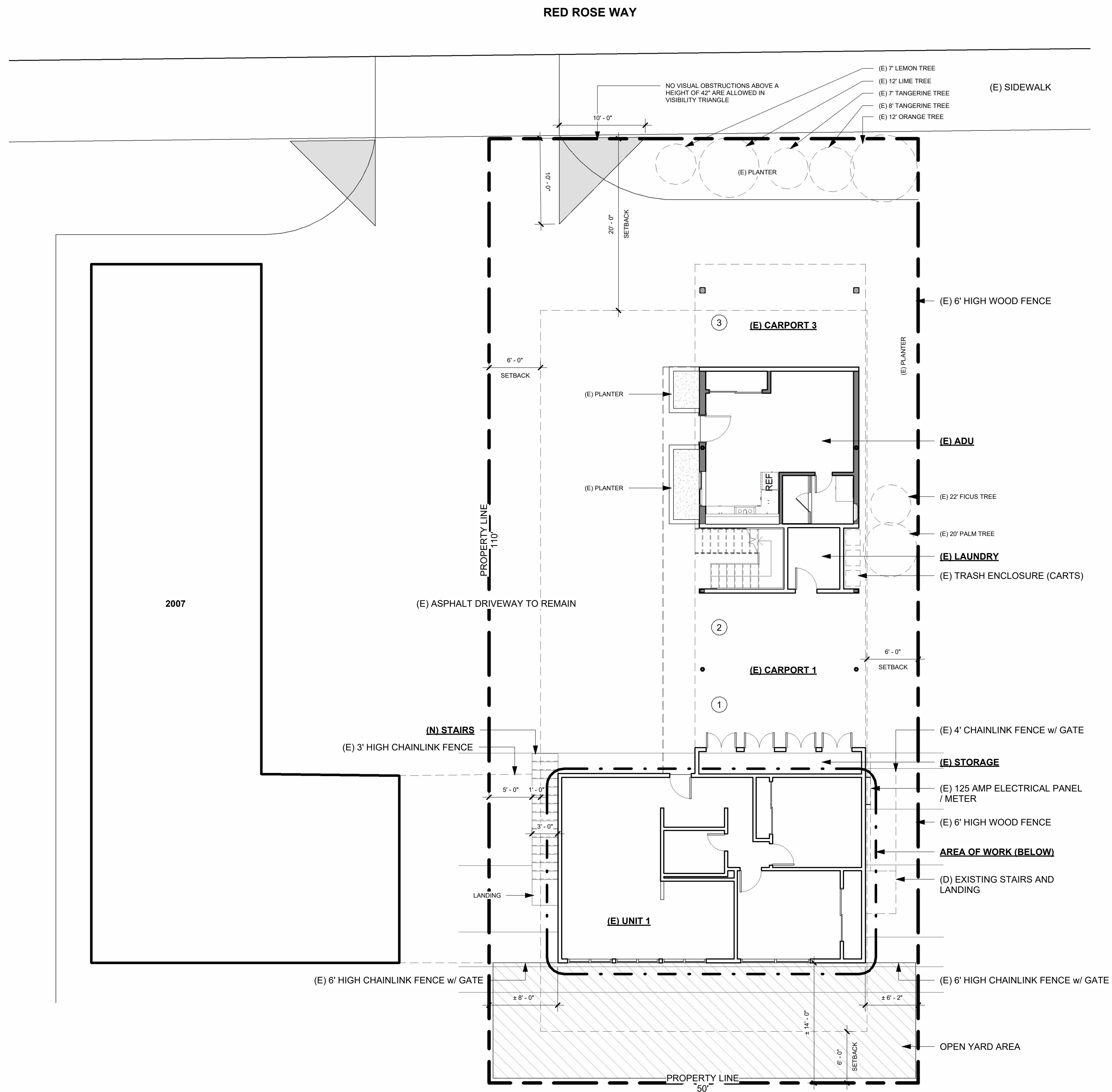
SITE IMAGES  
(ALLEY)

PROJECT NUMBER 225  
ISSUE DATE 10/18/23

**A0.4B**

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CA 93109



1 SITE PLAN (PROPOSED)  
1/8" = 1'-0"

REVISIONS

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SITE PLAN

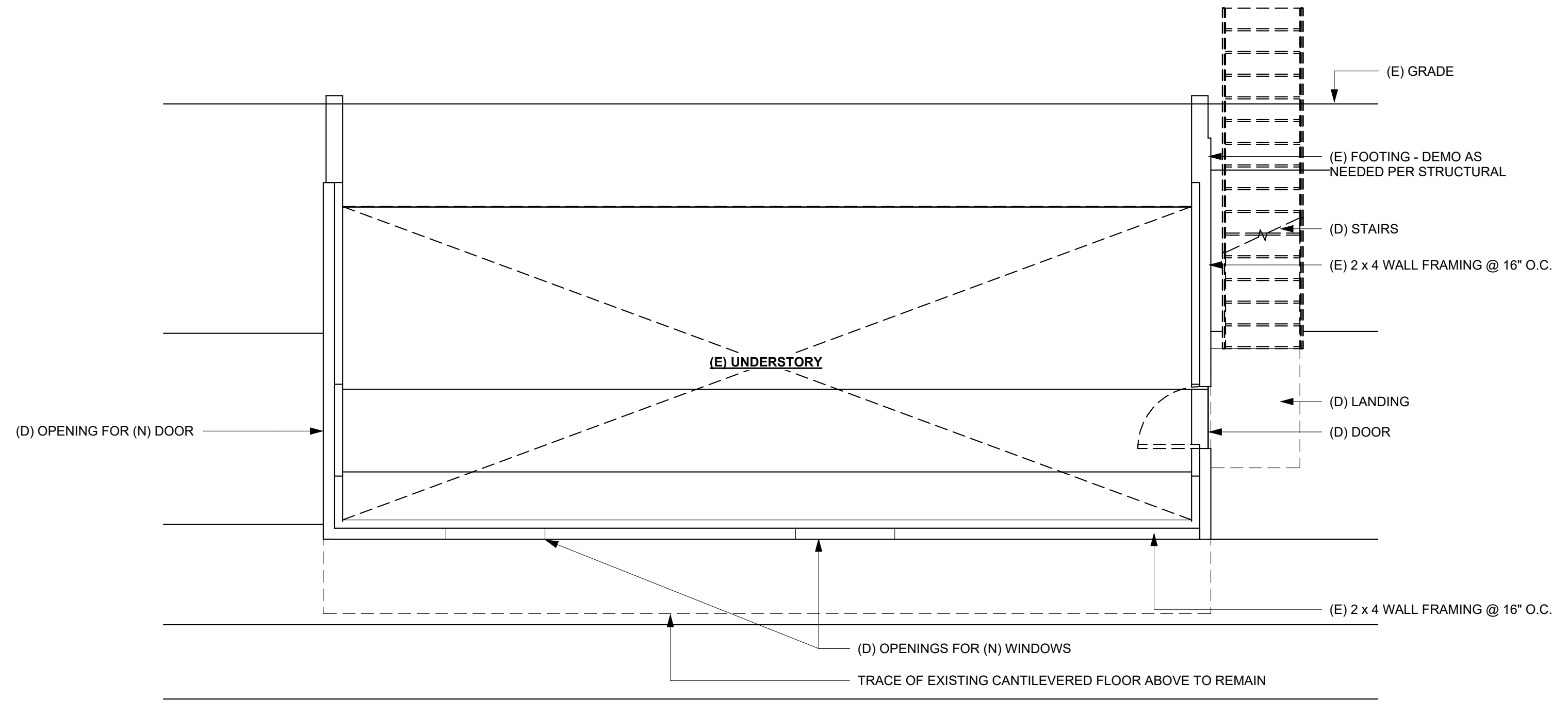
PROJECT NUMBER 231  
ISSUE DATE 11/20/23

A1.0



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① STORAGE (DEMOLITION)  
1/4" = 1'-0"

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FLOOR PLAN  
(DEMOLITION)

PROJECT NUMBER 231  
ISSUE DATE 11/20/23

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| NEW WINDOW SCHEDULE |       |               |         |            |           |           |             |          |
|---------------------|-------|---------------|---------|------------|-----------|-----------|-------------|----------|
| Type Mark           | Count | Rough Opening |         | Material   | Operation | Glazing   |             | Comments |
|                     |       | Width         | Height  |            |           | Thickness | Head Height |          |
| 68                  | 2     | 4' - 0"       | 3' - 0" | FIBERGLASS | SLIDER    | DUAL      | 6' - 8"     |          |

ALL WINDOW GLAZING MUST HAVE AN SGHC OF .32 AND A U-FACTOR OF .45

THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS AND/OR DOORS UNTIL FINAL INSPECTION

| DOOR SCHEDULE |               |               |          |
|---------------|---------------|---------------|----------|
| Door Number   | Door Size     | Frame Type    | Finish   |
|               |               |               | Comments |
| 11            | 3'-0" x 6'-8" | FLUSH - ENTRY |          |

ALL DOORS WITH GLAZING MUST HAVE AN SGHC OF .32 AND A U-FACTOR OF .45 EXTERIOR DOORS SHALL BE SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING: STILE AND RAILS SHALL NOT BE LESS THAN 1-3/8 INCHES THICK, RAISED PANELS SHALL NOT BE LESS THAN 1-1/4 INCHES THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8 INCH THICK

**WALL SCHEDULE:**

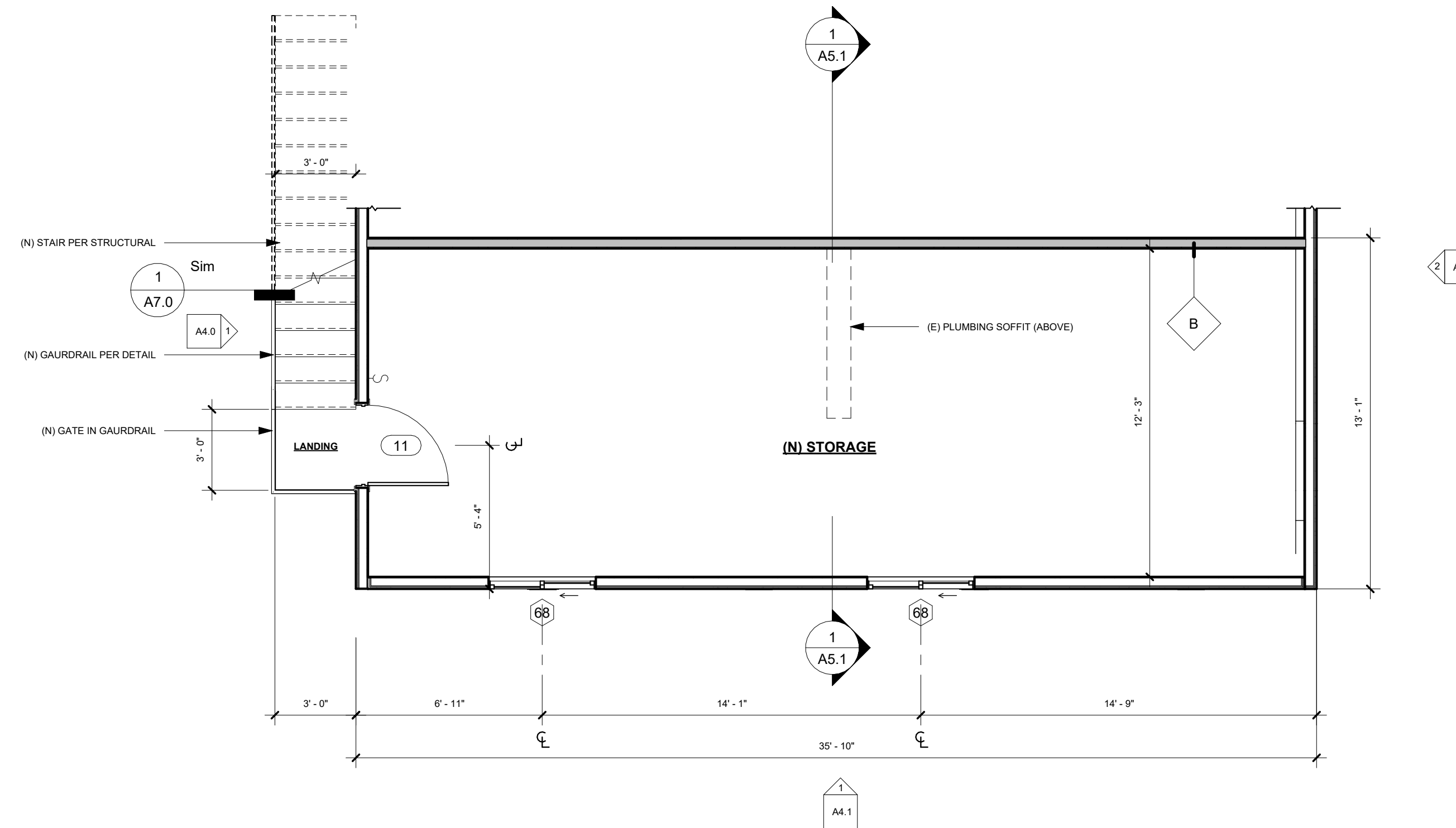
- A 2 x 4 D.F. WALL FRAMING @ 16" O.C. w/ 7/8" STUCCO OVER EXPANDED METAL LATH OVER 1/2" SHEATHING w/ 5/8" TYPE 'X' GYP BD.
- B 2 x 4 D.F. WALL FRAMING @ 16" O.C. w/ 5/8" TYPE 'X' GYP BD. ONE SIDE

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1 STORAGE  
1/4" = 1'-0"

**NOTES:**  
ALL DIMENSIONS TO EXISTING WALLS ARE TO FINISH FACE OF MATERIAL.  
ALL DIMENSIONS TO NEW WALLS ARE TO CORE FACE OF FRAMING.  
VERIFY EXISTING CONDITIONS AND MEASUREMENTS.

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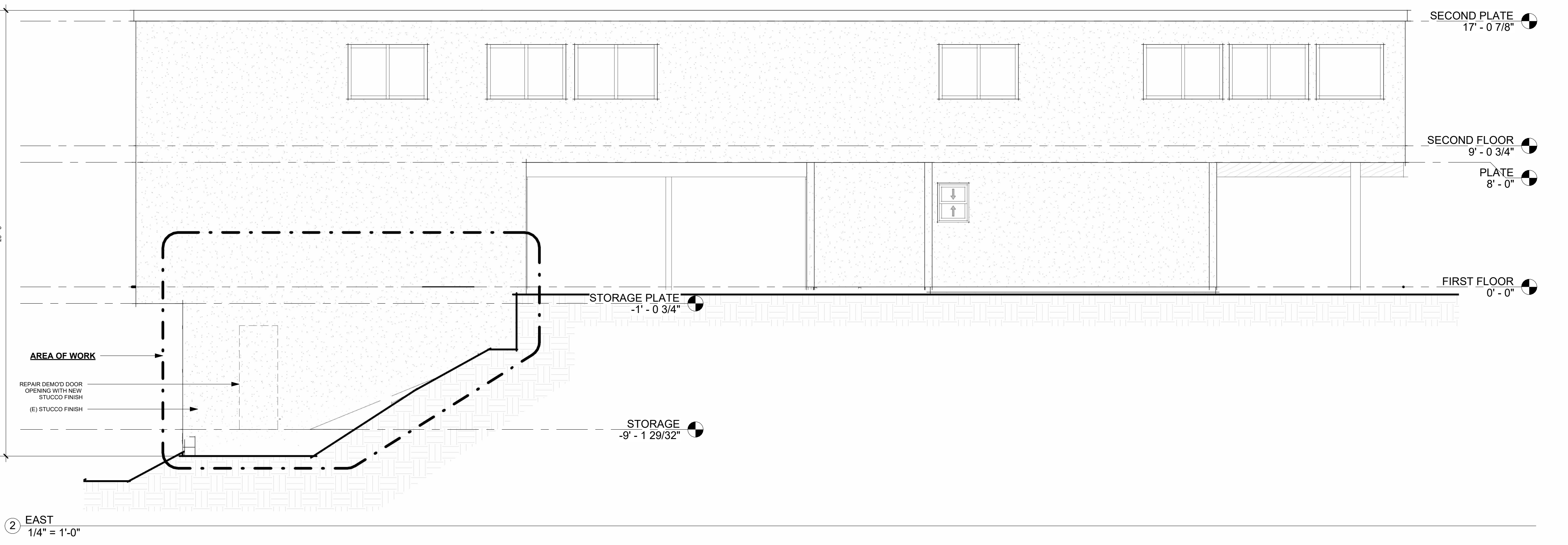
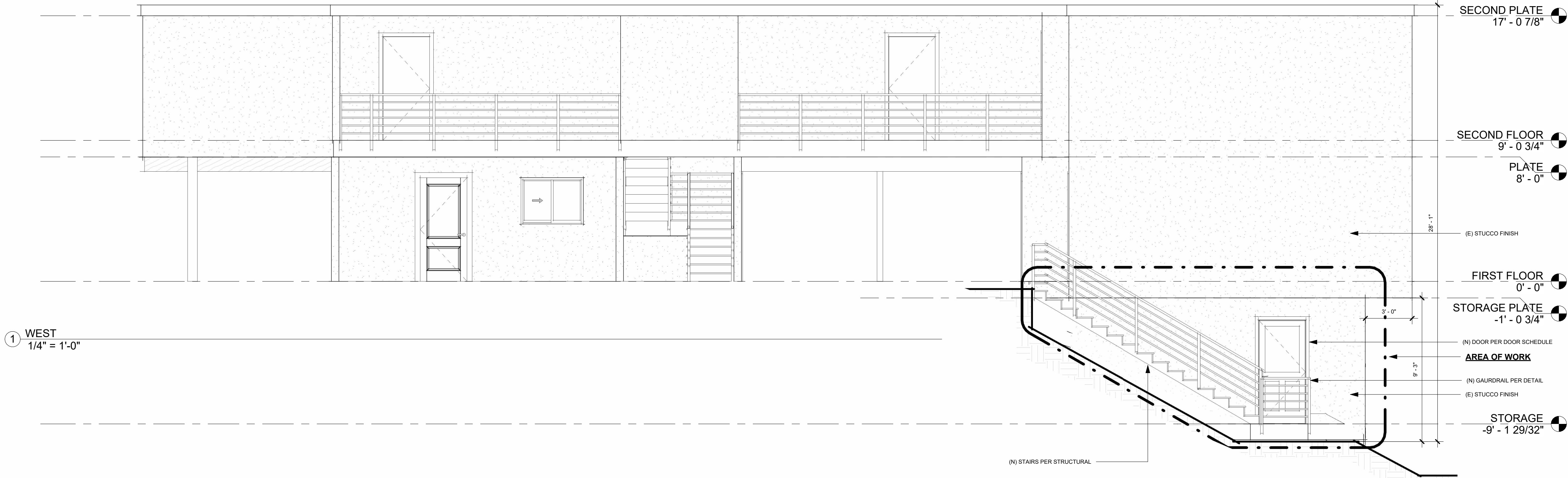
FLOOR PLAN  
(PROPOSED)

PROJECT NUMBER 231  
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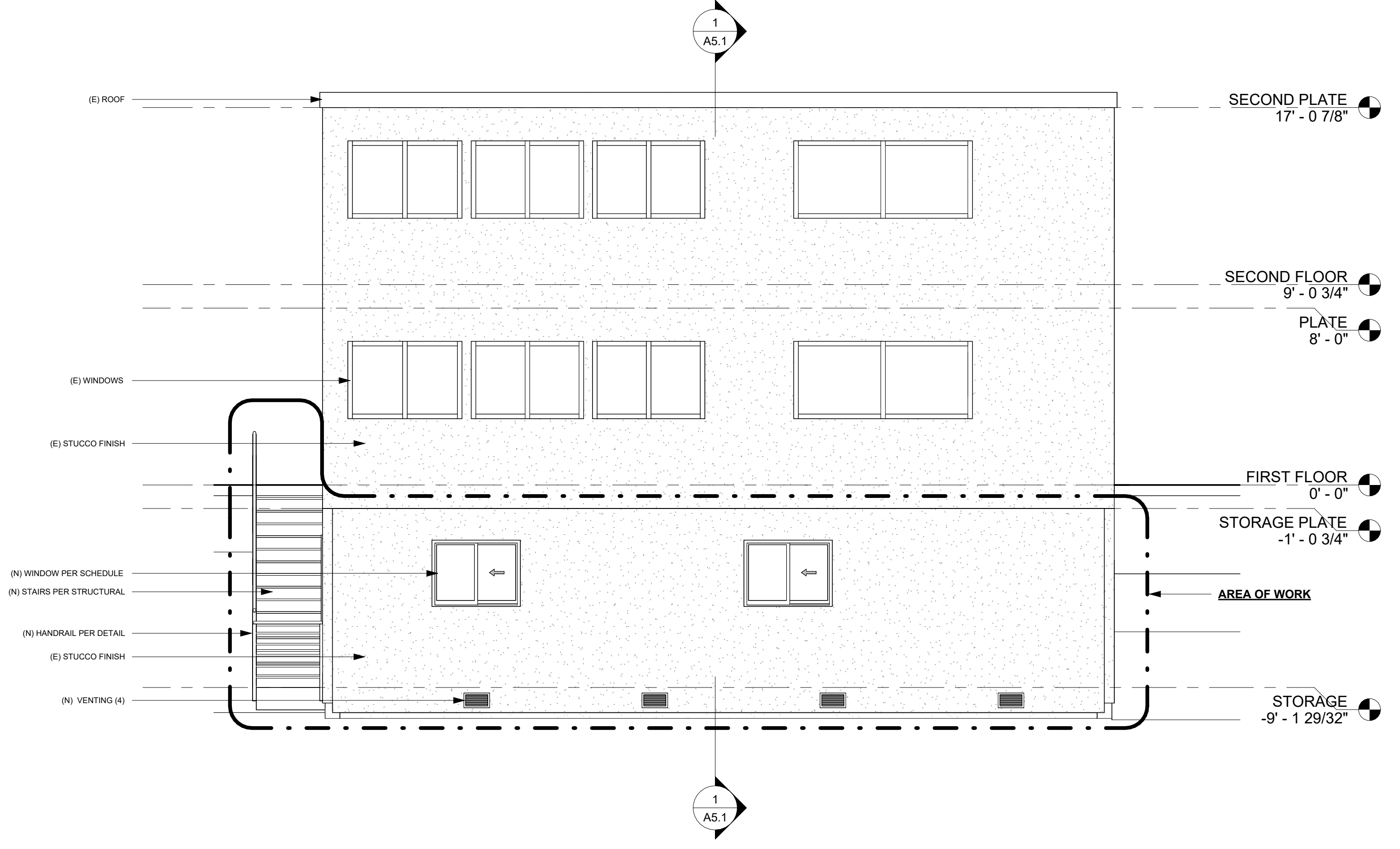
EXTERIOR  
ELEVATIONS

PROJECT NUMBER 231  
ISSUE DATE 11/20/23

**A4.0**

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1 SOUTH  
1/4" = 1'-0"

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EXTERIOR  
ELEVATIONS

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