AB	BREVIAT	101	15
AB	Anchor Bolt	LAM	Laminate(d)
ABV	Above	LAV	Lavatory
AC	Asphaltic Concrete	LB	Lag Bolt
A/C	Air Conditioning	LF	Lineal Feet
ADJ	Adjustable	LH	Left Hand
AFF	Above Fin. Floor	LOC	Location, Locate(d)
ALUM	Aluminum	LSL	Laminated Strand Lumb
ANOD	Anodized	LT	Light
ANSI	American National Standards Institute	LVL	Laminated Veneer Lum
ARCH	Architect or Architectural Dwgs.	LWR	Low Wall Register
ARF	Above Rough Floor	MAS	Masonry
ASSY	Assembly	MATL	Material
BLDG	Building	MAX	Maximum
BLW	Below	MB	Machine Bolt, Moisture
ВМ	Beam	MDF	Med. Density Fiberboar
BOT	Bottom	MDO	Med. Density Overlay P
BUR	Built-Up Roof	MECH	Mechanical
BYND	Beyond	MEMB	Membrane
Ç	Centerline	MFD	Manufactured
C	Cold	MFR	Manufacturer
CA	Combustion Air	MIN	Minimum
CALGREI	EN California Green Building Standards	MISC	Miscellaneous
СВ	Catch Basin, Carriage Bolt	N	North

Not in Contract

Number

Over

Not to Scale

On Center

OC Both Ways

Outside Diameter, Dimension

Oriented Strand Board

Parallel Strand Lumber

Pressure-Treated Mudsill

Reinforced, Reinforcement

Round Head, Right Hand

Rough or Rough Opening

Pressure-Treated Douglas Fir

OC Ea. Way

Oval Head

Overhead

Opening

Opposite

Property Line

Radius, Riser

Roof Drain, Round

Return Air

Recessed

Required

Roof Joists

Roof Rafters

Resawn

South

Supply Air

Schedule

Storm Drain

Square Ft

Sheathing

Shear Panel

Shelf & Pole

Specification

Stainless Steel, Sanitary Sewer

Single

Similar

Square

Standard

Tread

T&G

Symmetrical

To be Determined

Top of Catch Basin

Tongue and Groove

Toe Kick Register

Top of Footing

Top of Paving

Underground

Utility Pole

Vertical

West

Window

Water Closet

Water Heater

Waterproof

Work Point

With

Without

Weatherstrip

Welded Wire Fabric

Western Red Cedar

Vitrified Clay Pipe

Vinyl Composition Tile

Vertical Grain Douglas Fir

Vent Thru Roof (Floor, Wall)

Wrought Iron (Ornamental Iron)

Wood Screw or Water Softener

Top of Curb or Concrete

Tempered, Temporary

Top of Slope, Toe of Slope

Top of Subfloor or Ro. Slab

Typical (Items Typical UON)

Unless Otherwise Noted

Top of Wall, Thinwall

Surfaced 4-sides

Requirement(s)

Reverse, Revised

Plate

Plywood

California Building Code California Electrical Code NIC California Energy Commission California Fire Code California Mechanical Code California Plumbing Code CRC California Residential Code C-C Center to center OCEW Ext. Plywd, Const. Grade CEC Calif. Energy Comm. Cast Iron Ceiling Joist, Control Joint CLG Ceiling CLR Clear

California Mechanical Code CMU Conc. Masonry Unit P.L., ₱ Cleanout, Conduit PLY, COL Column **PLYWD** CONC Concrete **PSL** CONST Construction CONT Continuous California Plumbing Code Ceiling Register DBL Double DEMO Demolish REC Douglas Fir **REINF** Dual Glazed, Decomposed Granite REQD Diameter REQMT Dimension(ed) **REV** Down Downspout Drawing

Existing Grade Expansion Joint Elevation EQ Equal EQPT. Equipment ICC Evaluation Service Report **SCHED** EXP Expanded, Expansion, Exposed EXT Exterior **EXSTG** Existing SGL FAU Forced Air Unit SHTG Furnished by Owner, to be installed by Contr. SIM Finish Ceiling FD Floor Drain Foundation **SPEC** Fin. Floor, Flush Frame Finish to Finish Finished Grade, Fuel Gas, or Fixed Glass STD Fiberglass Flat Head Finish(ed) Flow Level, Flow Line TC FLR Floor **TCB** FOC Face of Concrete Face of Finish

Face of Masonry

H.P.

HVAC

HVY

Face of Plywood FOS Face of Stud T.O.S. Face of Shear Panel Finished Paving **TSF** Floor Register FT Foot or Feet TYP FTG Footing U/G GA Gauge UON GALV Galvanized Glue-Lam. Beam Galv. Sheet Metal VCT Gypsum Wallboard **VERT** Gypsum **VGDF** Hot Hose Bibb Heavy Duty Header Hot Dipped Galvanized Horizontal

Horse Power, Heat Pump High Point W.P. Heating/Ventilating/Air Conditioning Heavy Hot Water (return) High Wall Register

HW(R) HWR International Code Council **WRC** Inside Diameter, Dimension I.G. Insulating Glass Interior Invert

GENERAL NOTES

▶ All work shall comply with the 2022 Energy Standards of the California Code of Regulations, Title 24; the Americans with Disabilities Act; the 2022 edition of the California Residential Code, 2022 Green Building Standards, 2022 California Mechanical Code, 2022 California Plumbing Code, 2022 California Electrical Code; and all ordinances of the local jurisdiction in which the project is located, and all laws of the State of California. ► All notes, recommendations, and requirements contained within structural engineering calculations, foundation exploration and soils analysis reports, energy compliance forms, and similar documents submitted to the Building Department are

► All written dimensions shall take precedence over scaled dimensions, details shall take precedence over small-scale drawings, and specifications shall take precedence over ▶ Dimensions are to face of framing, unless otherwise noted. Where shear panel

occurs, face of framing is face of shear panel. ► Check mechanical, electrical, and floor plans, and interior elevations for fixture and equipment locations and coordinate with subtrades for special framing requirements. ▶ No changes shall be made in the project which deviate from the plans and specifications without the written consent of the Owner.

▶ No structural changes shall be made without the written consent of the Engineer. ► The Architect and/or Engineer shall be notified of any unusual or unforeseen conditions or situations which may affect the structural integrity or safety of the project, as well as any discrepancies within the plans.

▶ Subcontractors must visit the building site and must verify existing conditions and ► Each subcontractor shall perform, supply, and install any and all work, labor, and materials which are necessary, implied, or required to produce the intended result of a

complete job. ▶ The intent of these drawings and specifications is to provide a building complete in every detail and ready for occupancy. Any discrepancies in these drawings and specifications which would appear to call for less than a complete job should be brought to the attention of the Architect for clarification before submitting bids. Failure to clarify deficiencies and discrepancies does not relieve the contractor from providing a complete

▶ Where there is a discrepancy within the drawings or between the drawings and specifications or notes, the more restrictive condition, or the higher grade of material or workmanship, shall be assumed unless directed otherwise by the Architect or Engineer.

NOTICE TO OWNER & CONTRACTORS

► The Engineer and Architect do not warrant or guarantee the accuracy and completeness of the work contained in these drawings and the engineering calculations beyond a reasonable diligence.

▶ If any omissions, mistakes, or discrepancies are found to exist within the work product, the Engineer and Architect shall be promptly notified so that they may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the Engineer and Architect of such conditions shall absolve them of any responsibility for

the consequences of such failure. ▶ The Contractor shall be required to perform and install any and all work, labor, and materials which are necessary, implied, or required to produce the intended results. ▶ All Contractors shall be licensed and insured, otherwise the Engineer and Architect do

► Contractors shall verify all dimensions, elevations, and existing conditions prior to starting any work. The Contractor shall promptly and before such conditions are disturbed, notify the Architect and the Engineer in writing of subsurface or latent physical conditions at the site differing materially from those indicated in the documents, or unknown physical conditions at the site of an unusual nature differing materially from those ordinarily encountered and generally recognized as inherent in work of the character provided for in the work product.

► All work shall conform to local, state, and national codes, and the work herein is deemed to be an addition to the California Building Code.

not assume any responsibility for the Engineer's and Architect's work product.

▶ Engineer always recommends that a soils report be provided by the Owner. If one is not provided, the Engineer shall design footings per Chapters 18 and 19 of the California Building Code. ▶ The plans and engineering calculations do not cover latent defects in existing

structures; the evaluation of geologic conditions; exterior drainage except as noted on the plans; or damage resulting from insect infestation or rot. ▶ No assurance is given that existing structures and systems are built or maintained in accordance with current building codes.

▶ The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work. Neither the professional activities nor the presence of the Architect at the construction site whall

relieve the contractor of his obligation. ► The work shall be in strict accordance with the best standard specifications of materials and applications. All finish material shall be approved by the owner prior to

▶ The contractor is responsible for installing and maintaining all necessary temporary bracing and shoring to ensure the safety of the work until it is completed. He shall ensure that all applicable safety laws are strictly enforced. ▶ The contractor shall ensure that all work and materials are protected from damage from natural forces and other trades.

▶ Special inspections required by Section 1701 of the CBC shall be performed by an inspector of the owner's choice approved by the Building Authority, and fees for such services shall be paid by the owner. ▶ Should any dispute arise regarding this work, all parties agree that the sole remedy

for any such dispute shall be decided by the procedures provided by the American Arbitration Association and this arbitration shall be binding upon all parties. If the Engineer and/or Architect is found to have performed his work per contract or agreement the Engineer and/or the Architect shall be reimbursed for reasonable attorneys' fees. In addition, if it is found that a 'bad-faith' claim was filed or owner cardinal changes made, punitive or treble damages shall be recovered from the claimant and said claimant shall be responsible for consequential or direct impact and loss of efficiency damages to the Engineer and/or the Architect. Under no circumstances shall Engineer or Architect pay

claimant attorney fees or other costs associated with this project. ► Fees or costs assocuated with the redesign or modification of these plans by Architect as a result of deviation by the contractor from the plans, or due to errors, faulty materials,

or faulty workmanship, are to be paid to the Architect by the contractor. ▶ Use of the plans and specifications constitutes acceptance by owner and contractor of these terms and conditions.

New detached garage and Accessory Dwelling Unit Replacement residence under separate permit PLN2019-00291 - New Accessory Dwelling Unit F.A.R. CALCULATOR

ENTER Project Address:	3333 Braemar Drive	
Is there a basement or cellar existing or proposed?	No	
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	6,329	
ENTER Zone ONLY from drop-down list:	A-1 or RS-1A	
ENTER Net Lot Area (in sq. ft.):	50,779	
Is the height of existing or proposed buildings 17 feet or greater?	Yes	
Are existing or proposed buildings two stories or greater?	Yes	
The FAR Requirements are:	GUIDELINE**	
ENTER Average Slope of Lot:	3.00%	
Does the height of existing or proposed buildings exceed 25 feet?	No	
Is the site in the Hillside Design District?	No	
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No	
An FAR MOD is not required per SB	MC §28.15 or §30.20.030	
FLOOR AREA RATIO (FAR):	0.125	
Lot Size Range:	>= 20,000 sq. ft.	
MAX FAR Calculation (in sq. ft.):	4,430 + (0.013 x lot size in sq. ft.)	
100% MAX FAR:	0.100	
100% MAX FAR (in sq. ft.):	5,090	
85% of MAX FAR (in sq. ft.):	4,327	
80% of MAX FAR (in sq. ft.):	4,072	

NOTE: FAR Calculator includes: the main residence, the detached garage, the ADU, the existing horse barn, and the existing shed.

The 6329 square foot proposed total is 125% of the MAX FAR.*

CONSULTANTS

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Phone 805-448-2987 E: evensteven33101@yahoo.com **CIVIL/STRUCTURAL ENGINEER:**

Mike Gones - Civil Engineer Mike Gones 1219 1/2 Laguna Street Santa Barbara, CA 93101

Phone 805-966-2259 E: mikegonesce@outlook.com

SOILS ENGINEERING, SPECIAL INSPECTIONS: Pacific Materials Laboratory Ron Pike

> Phone 805-964-6901 E: pml@pml.sbcoxmail.com

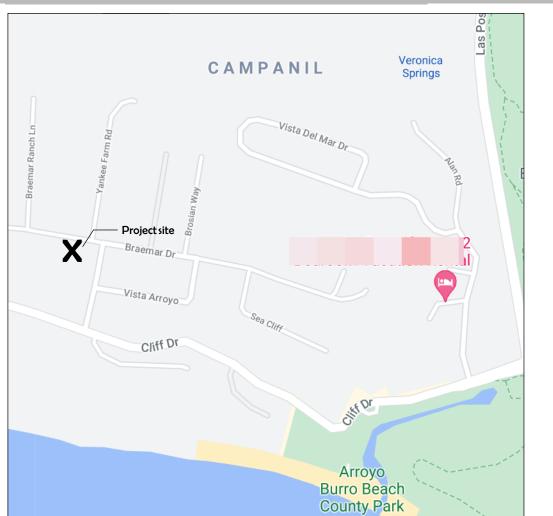
ENERGY COMPLIANCE SUMMARY: Inger Associates David Inger

Address Phone Fax

P.O. Box 96

Goleta, CA 93116

VICINITY MAP



PROJECT DATA

► ASSESSORS PARCEL NUMBER- 047-081-006 ▶ PROPERTY OWNER- Lani & Tim Collins 3333 Braemar Drive Santa Barbara, CA 93110 805-570-2193

▶ PROJECT ADDRESS- 3333 Braemar Drive ▶ PROJECT DESCRIPTION- New 558 SF Accessory Dwelling Unit above a detached garage. (Garage is under a separate permit, BLD21-02945.) The Accessory Dwelling Unit is proposed pursuant to SBMC Ch. 28.86. The ADU application is PLN2023-00452. Concurrently, under application PLN2023-00510, the existing barn and remaining shed are to be demolished and replaced with a new barn. The Project Data for both projects will show the same statistics for

existing, demo, and new building areas to be consistent with the FAR Calculator. ► LAND USE ZONE- A-1 ► COASTAL ZONE- Yes

HIGH FIRE HAZARD AREA- Yes ► OCCUPANCY- R3

► CONSTRUCTION TYPE- V-B LOT AREA- 50.779 SF. 1.16 Ac ► LOT SLOPE- +/- 3% EXISTING BUILDING AREA-

4777 SF gross 4359 SF net Residence* Detached garage* 796 SF gross 749 SF net 585 SF gross 550 SF net Horse barn Shed #1 (previously demo'd) 120 SF gross TOTAL EXSTG. BLDG. AREA 6278 SF gross 5771 SF net ► EXISTING BUILDING AREA TO BE DEMOLISHED-550 SF net 585 SF gross Shed #2*** TOTAL DEMO 113 SF net 120 SF gross 663 SF net ▶ PROPOSED NEW BUILDING AREA-558 SF net 623 SF gross 1174 SF gross 1063 SF net

WATER TANK** 113 SF gross 113 SF net OTAL NEW BLDG. AREA 1797 SF gross TOTAL BUILDING AREA-6278 SF gross 5771 SF net EXSTG. BLDG. AREA LESS DEMO AREA -705 SF gross -663 SF net **NEW BUILDING AREA** 1910 SF gross 1734 SF net TOTAL BLDG. AREA

▶ OPEN YARD AREA- 1250 SF with 20' x 20' minimum dimension provided, see Site Plan, Sheet A1 0 PARKING CALCULATION **EXISTING** REQUIRED PROPOSED RESIDENCE 2 covered

1 uncovered TOTAL PROVIDED: 5 SPACES PROPOSED UNCOVERED STALL FOR ADU IS UNDER PLN2023-00452 * Residence & garage are under a separate permit, BLD21-02945.

** ADU is >.5 mi. from public transit ***Barn is under application PLN2023-00510

SHEET INDEX

Project Data, Vicinity Map, Notes

A1.0 Site Plan A2.0 Detached Garage Plan, Second Floor ADU Plan, Building Sections A3.0 Elevations

ATTACHMENTS:

FIRE SPRINKLERS: Under separate permit

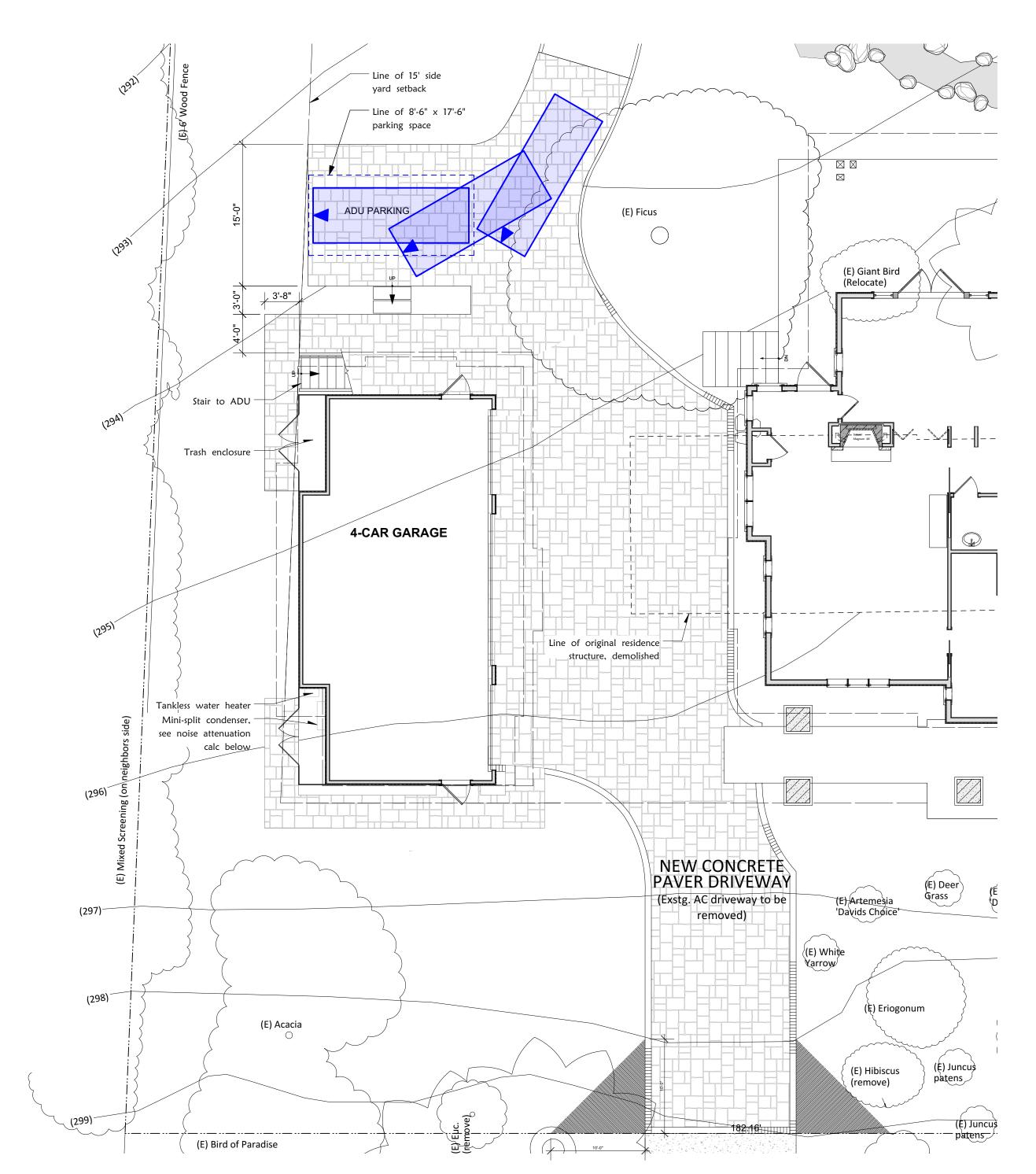
RESIDENTIA COMMERCIA LIGHTIN 329 DE LA VINA STREE ANTA BARBARA. CA 9310 CELL 805-886-251 STEVEHAUSZ@GMAIL.COM pyright laws. These plans may not be pied or used for any other project



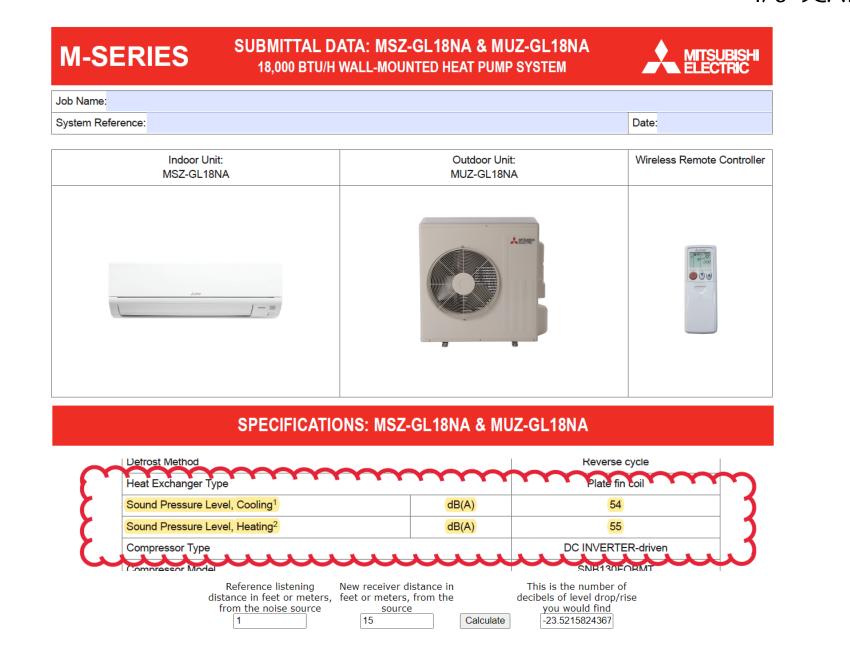


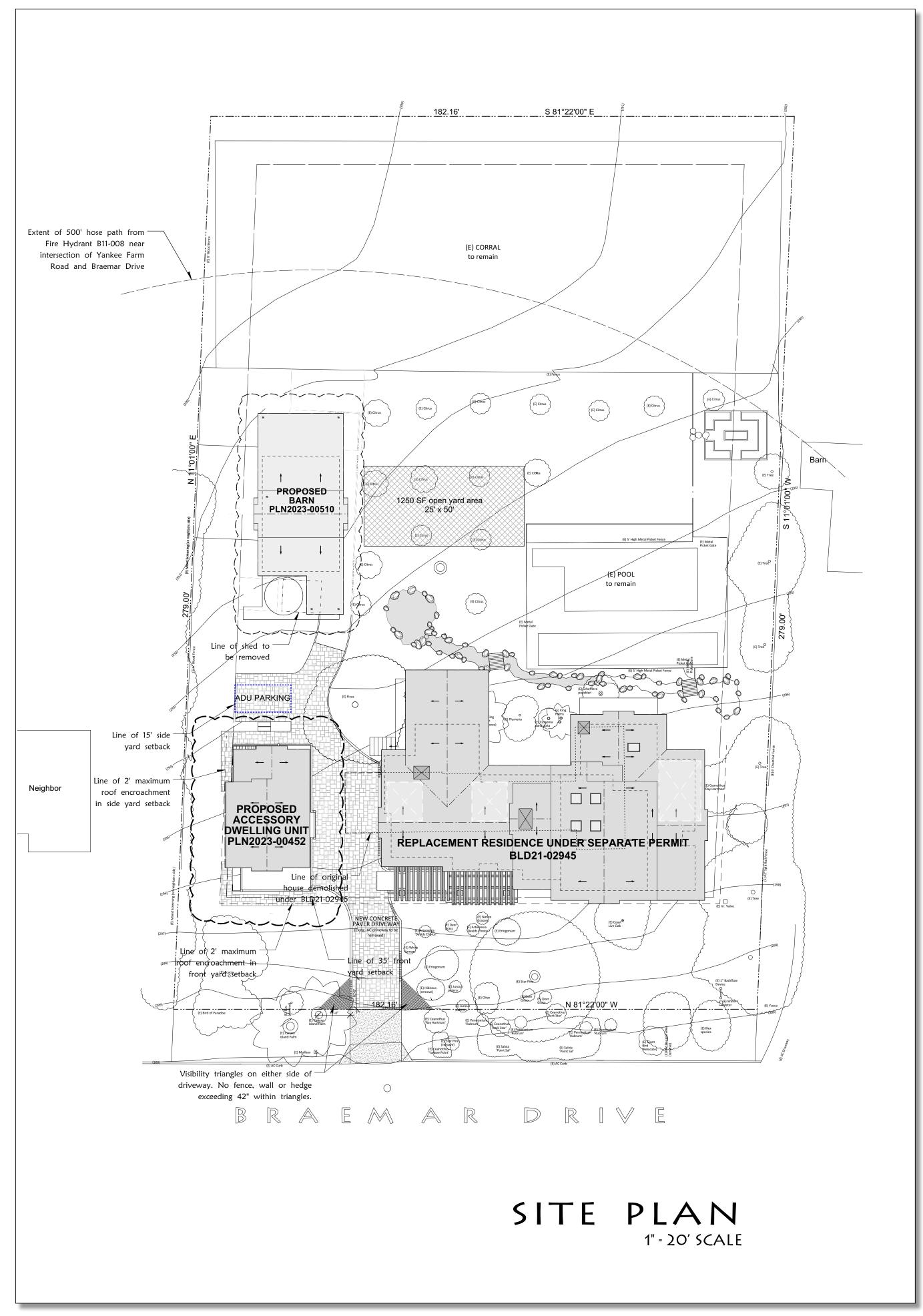
EVISIONS

PROJECT DATA SHEET INDEX VICINITY MAP GENERAL NOTES



PARTIAL SITE PLAN 1/8" SCALE







SITE PLAN

RESIDENTIA COMMERCIA

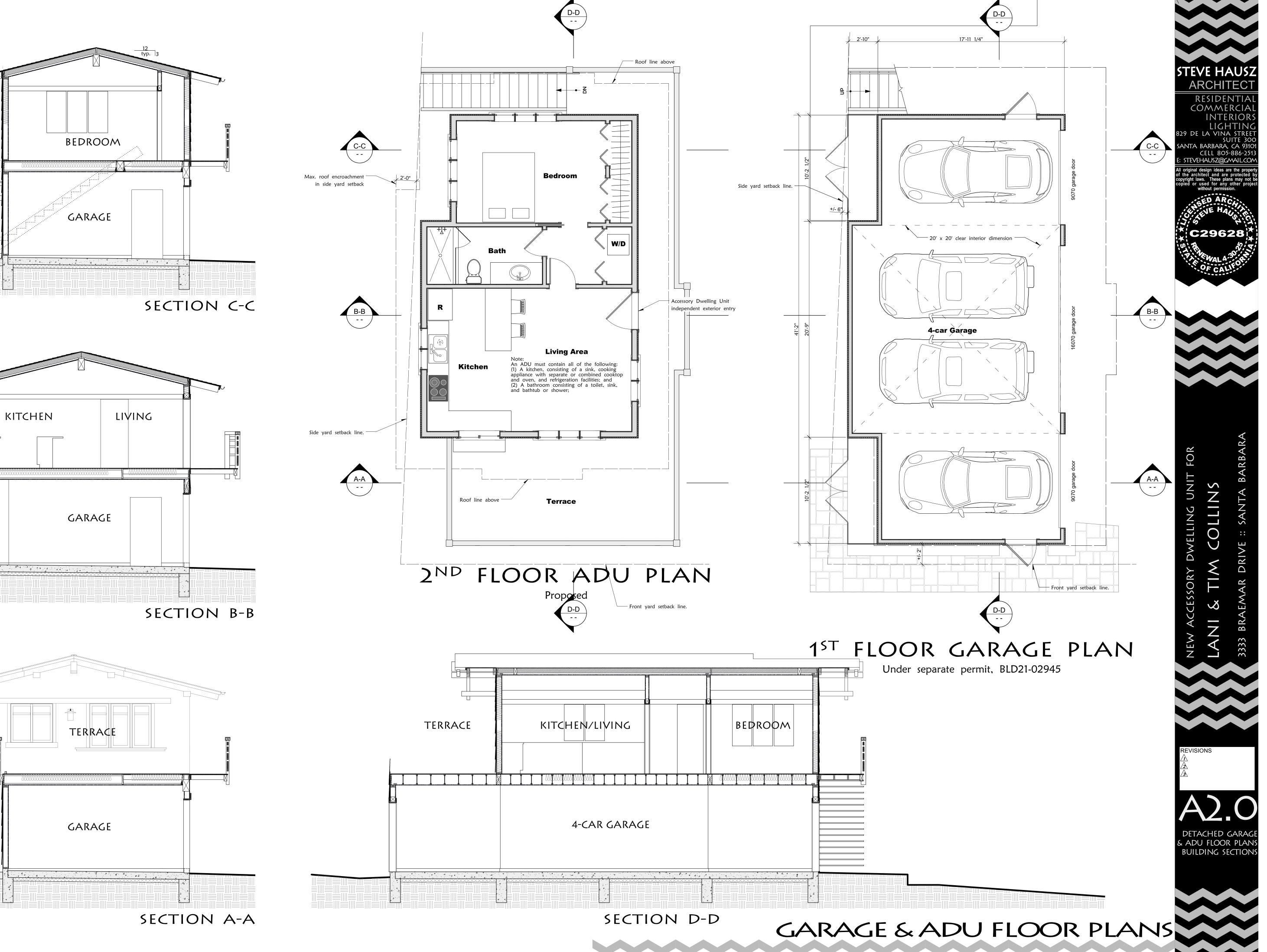
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SUITE 300 SANTA BARBARA, CA 93101

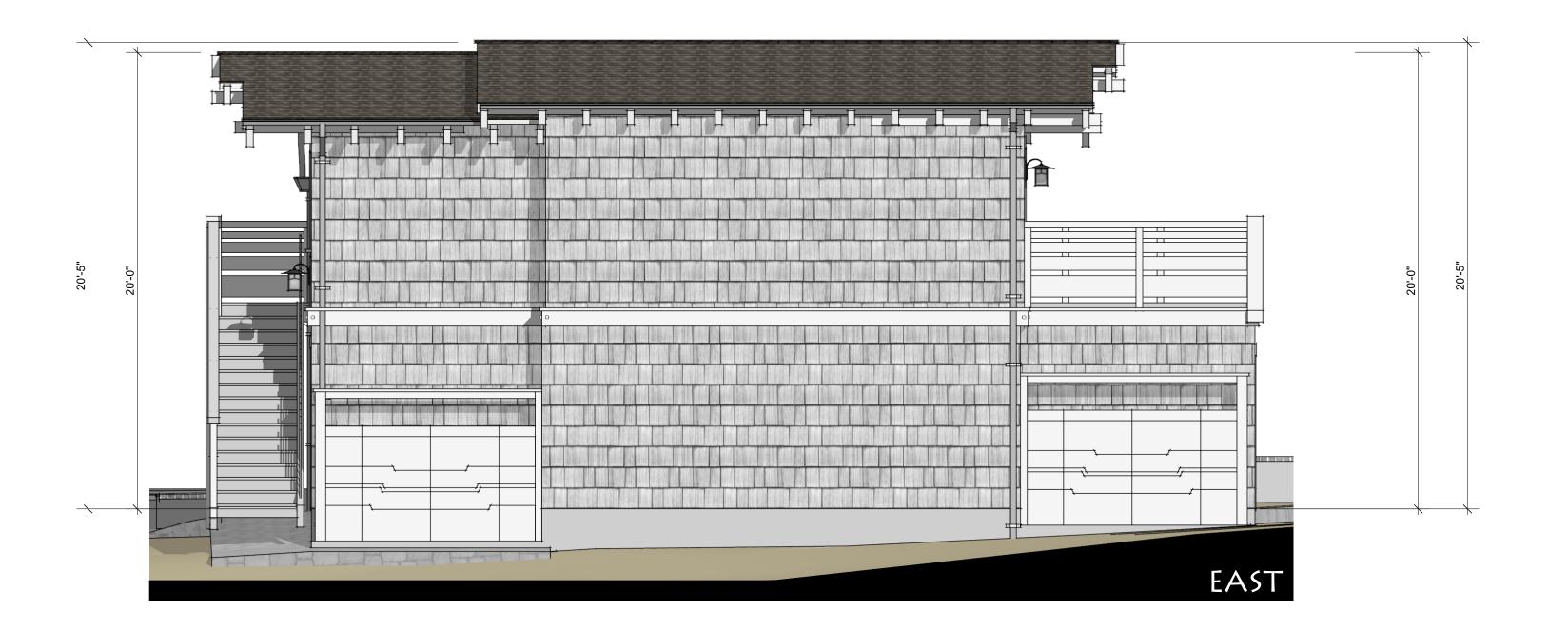
STEVEHAUSZ@GMAIL.COM

CELL 805-886-251

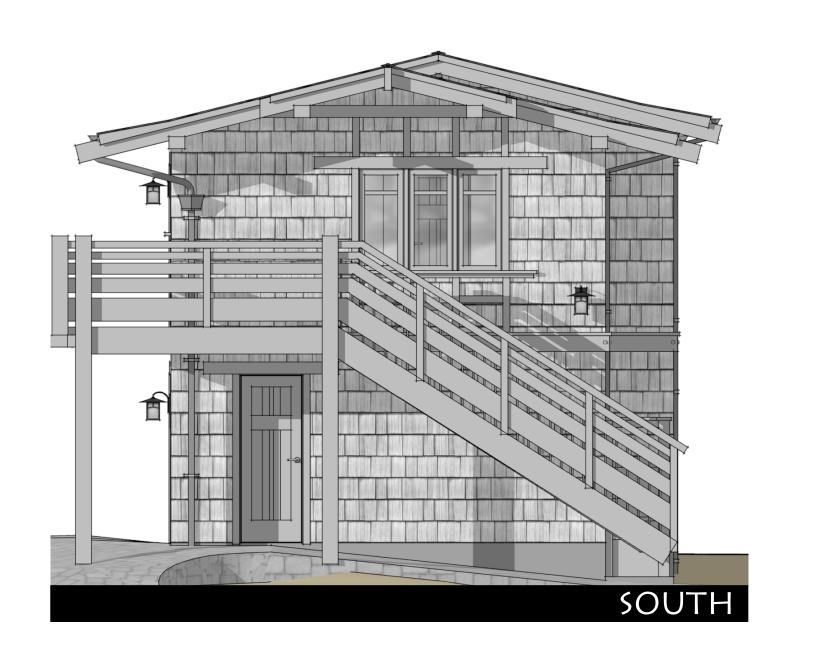
INTERIOR



KITCHEN







GARAGE & ADU



















SITE PHOTOS















NEIGHBORHOOD PHOTOS



