

DRAWING INDEX-3

SHEET DRAWING TITLE

DRAWING INDEX-2

SHEET DRAWING TITLE

DRAWING INDEX-1

SHEET DRAWING TITLE

ARCHITECTURAL

A0.00	PROJECT DATA & COVER SHEET	X	X	X	X	X
A0.01	SHEET INDEX	X	X	X	X	X
A0.03	SITE PHOTOGRAPHS	X	X	X	X	X
A1.0	EXISTING SITE PLAN / DEMO PLAN	X	X	X	X	X
A1.1	EXISTING FIRST FLOOR / DEMO PLAN	X	X	X	X	X
A1.2	EXISTING EXTERIOR ELEVATIONS (NORTH & SOUTH)	X	X	X	X	X
A1.3	EXISTING EXTERIOR ELEVATIONS (EAST & WEST)	X	X	X	X	X
A2.0	PROPOSED SITE PLAN	X	X	X	X	X
A2.1	PROPOSED FIRST FLOOR PLAN	X	X	X	X	X
A2.2	PROPOSED SECOND FLOOR PLAN	X	X	X	X	X
A2.3	PROPOSED ROOF PLAN	X	X	X	X	X
A4.1	PROPOSED EXTERIOR ELEVATIONS (NORTH & SOUTH)	X	X	X	X	X
A4.2	PROPOSED EXTERIOR ELEVATIONS (EAST & WEST)	X	X	X	X	X
A5.1	SECTIONS LOOKING NORTH	X	X	X	X	X
A5.2	SECTIONS LOOKING EAST & WEST	X	X	X	X	X

TITLE	DATE
SCHEMATIC DESIGN - PRELIMINARY	11.22.23
PLANNING APPROVAL	02.02.24
PLANNING APPROVAL (REV1)	03.14.24
PLANNING APPROVAL (REV2)	05.22.24
PLANNING APPROVAL (REV3)	06.12.24

TITLE	DATE
SCHEMATIC DESIGN - PRELIMINARY	11.22.23
PLANNING APPROVAL	02.02.24
PLANNING APPROVAL (REV1)	03.14.24
PLANNING APPROVAL (REV2)	05.22.24
PLANNING APPROVAL (REV3)	06.12.24

TITLE	DATE
SCHEMATIC DESIGN - PRELIMINARY	11.22.23
PLANNING APPROVAL	02.02.24
PLANNING APPROVAL (REV1)	03.14.24
PLANNING APPROVAL (REV2)	05.22.24
PLANNING APPROVAL (REV3)	06.12.24

STAMP

CONSULTANTS

PROJECT

SILVERMAN-PAZ ADU

128 OLIVER ROAD
SANTA BARBARA, CA 93109
APN: 045-000-002

ISSUES/REVISIONS

1	03/14/2024
2	05/22/2024
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SHEET TITLE

SHEET INDEX

DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

A0.01

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#1 - LOOKING EAST @ PROJECT SITE (PRIMARY DWELLING)



#5 - LOOKING NORTH @ PROJECT SITE (DETACHED GARAGE)



#9 - LOOKING EAST @ 136 OLIVER ROAD



#2 - LOOKING NORTH @ PROJECT SITE (PRIMARY DWELLING)



#6 - LOOKING EAST @ PROJECT SITE (DETACHED GARAGE)



#10 - LOOKING WEST @ 121 OLIVER ROAD



#3 - LOOKING WEST @ PROJECT SITE (PRIMARY DWELLING)



#7 - LOOKING NORTH @ PROJECT SITE (DETACHED GARAGE)



#11 - LOOKING SOUTH @ 2035 EL CAMINO DE LA LUZ



#4 - LOOKING SOUTH @ PROJECT SITE (PRIMARY DWELLING)



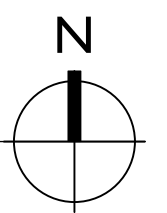
#8 - LOOKING WEST @ PROJECT SITE (DETACHED GARAGE)



#12 - LOOKING NORTH @ 2030 EL CAMINO DE LA LUZ



1 SITE MAP / DIAGRAM
A0.03 1" = 30'-0"



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- ▲ 03/14/2024
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- ▲ 06/12/2024

SHEET TITLE
SITE PHOTOGRAPHS

DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

SHEET
A0.03

(E) LOT COVERAGE	
BUILDING FOOTPRINT	2085 SF
HARDSCAPE (IMPEARMEABLE)	1206 SF
LANDSCAPE (PERMEABLE)	4132 SF
TOTAL LOT	7423 SF

(E) / (N) OPEN YARD	
REAR YARD	800 SF
800 SF MIN. REQ'D	
15'-0" x 15'-0" MIN. DIM.	

- KEYNOTES**
- UTILITY POLE
 - FIRE HYDRANT
 - OAK TREE
 - CONCRETE DRIVEWAY
 - CONCRETE COURTYARD
 - PAVED PATHWAY
 - FENCE & GATE TO BE REMOVED
 - PLANTER
 - GRASS, TYP.
 - NEIGHBORING FENCE
 - WOOD FENCE "RAIL" (+3'-6" MAX. HEIGHT)
 - BBO TO BE REMOVED
 - ROOF OVERHANG, TYP.
 - PORTION OF PAVING TO BE REMOVED
 - ROOF TO BE REMOVED TO ACCOMMODATE 2ND STORY OF PROPOSED 2-STORY ADU - SEE SHT A2.2
 - ORANGE TREE
 - AVOCADO TREE

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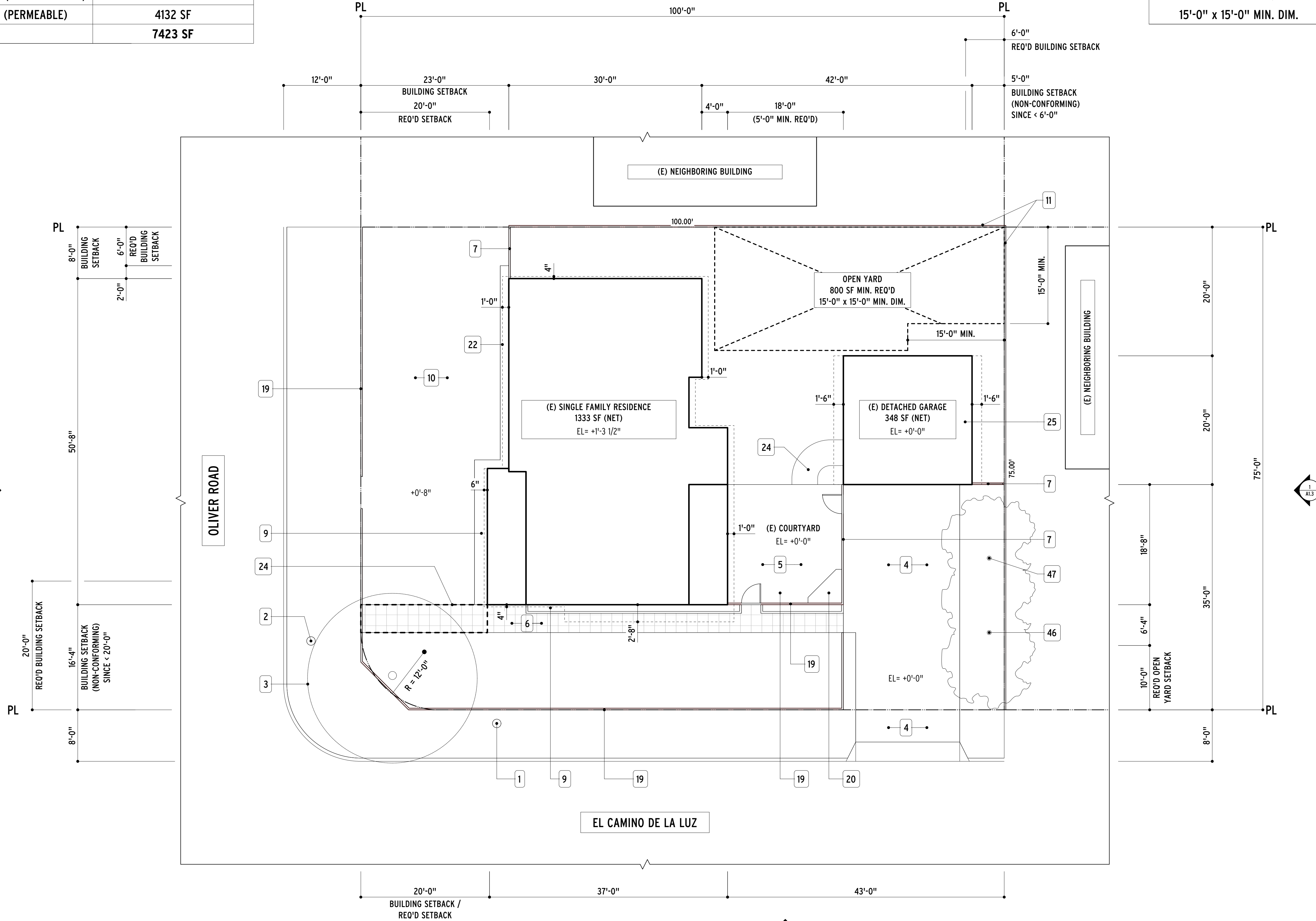
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SHEET TITLE
EXISTING SITE PLAN / DEMO PLAN

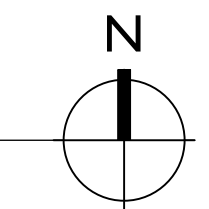
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SHEET
A1.0

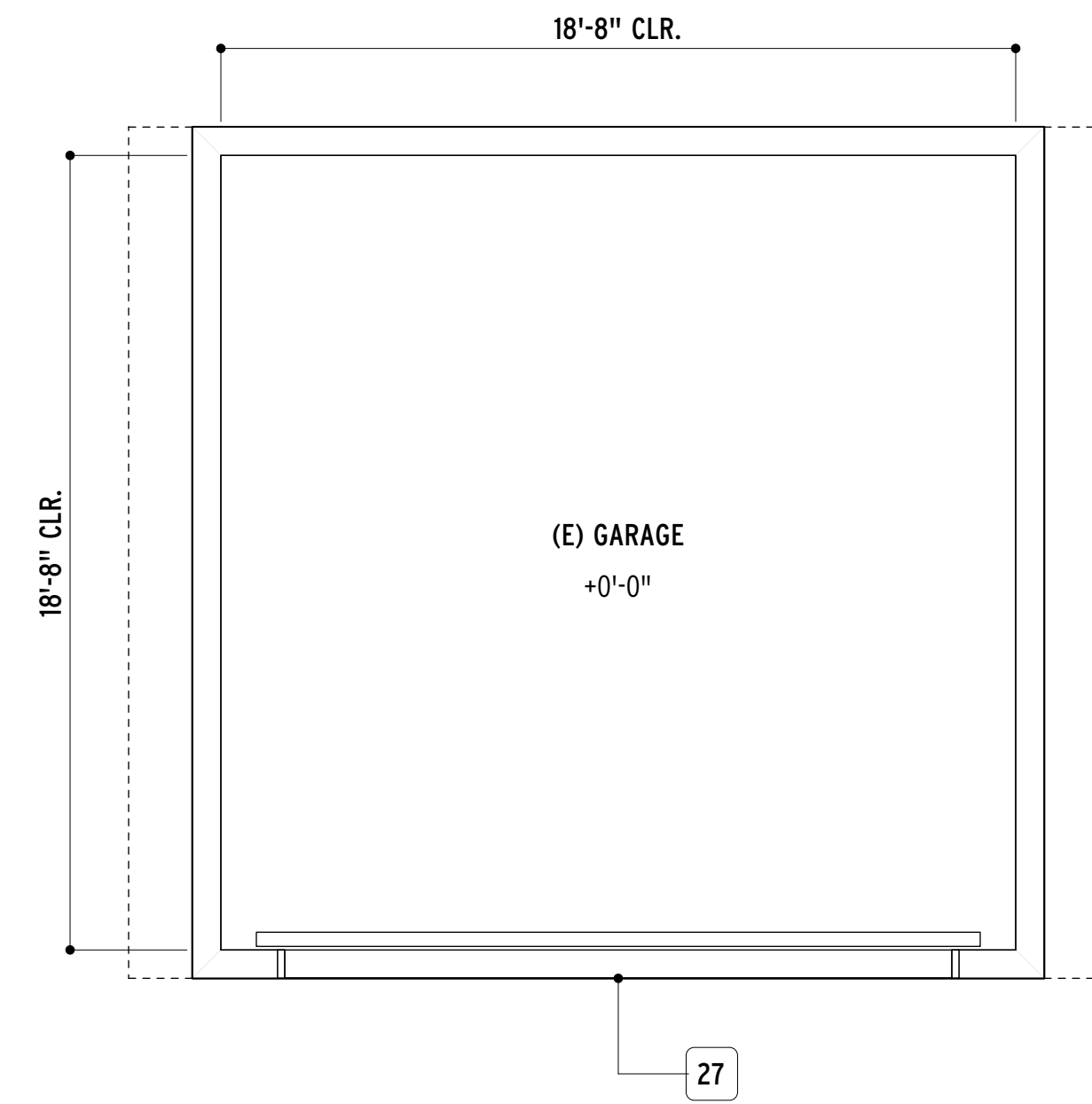
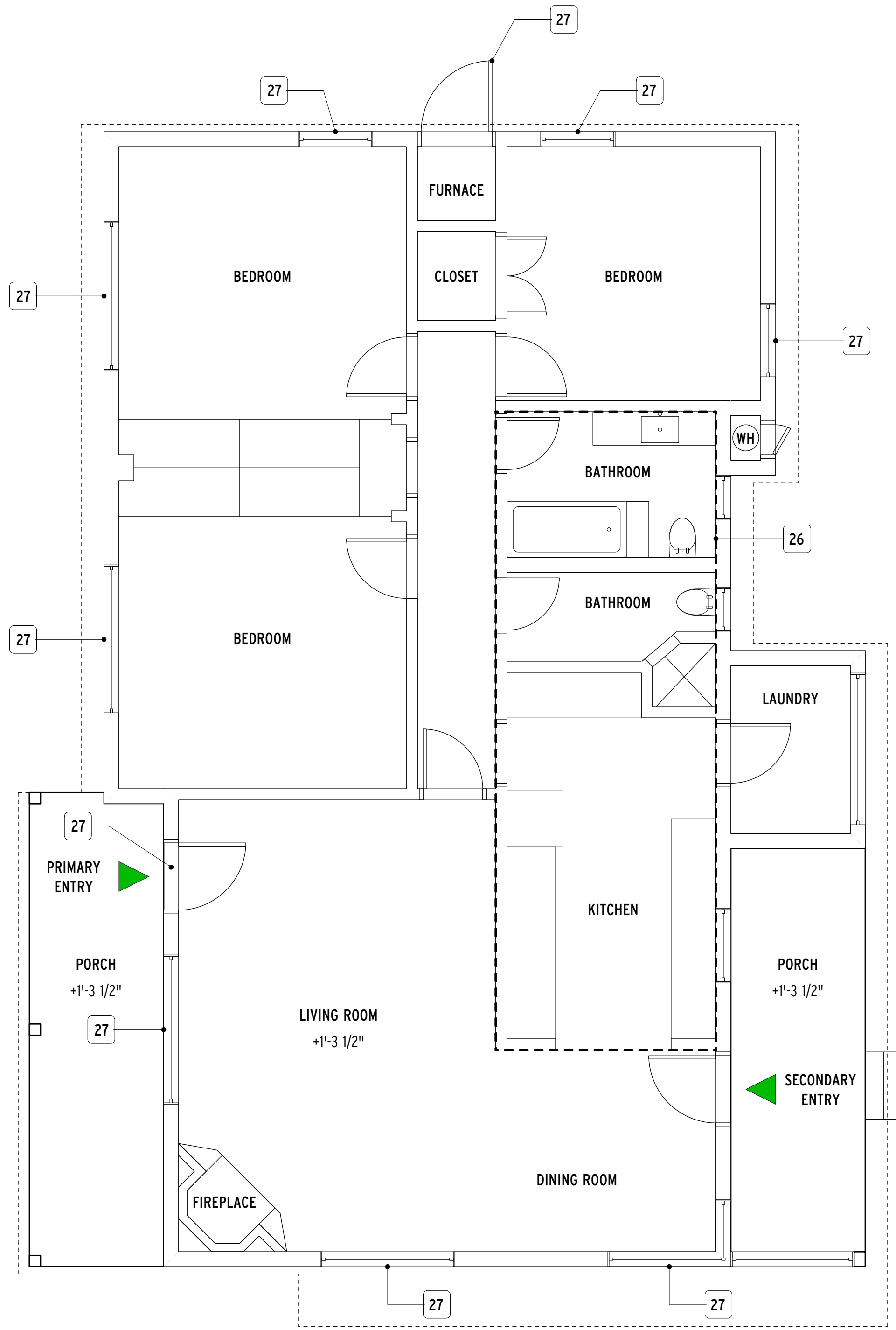
1
A1.0 EXISTING SITE PLAN / DEMO PLAN
 1/8" = 1'-0"



WALL LEGEND
 (N) WALL



1
A1.1 EXISTING FIRST FLOOR PLAN / DEMO PLAN
1/4" = 1'-0"



- KEYNOTES**
- 26. DEMO (E) KITCHEN & BATHROOMS
- SEE SHT A2.1 FOR (N) REMODELING WORK
 - 27. (E) METAL WINDOWS & DOORS TO BE REMOVED & REPLACED W/ ALUMINUM WINDOWS & DOORS
- SEE PROPOSED ELEVATIONS/SECTIONS SHTS A4.1, A4.2 & A5.1, A5.2

WALL LEGEND
 (N) WALL

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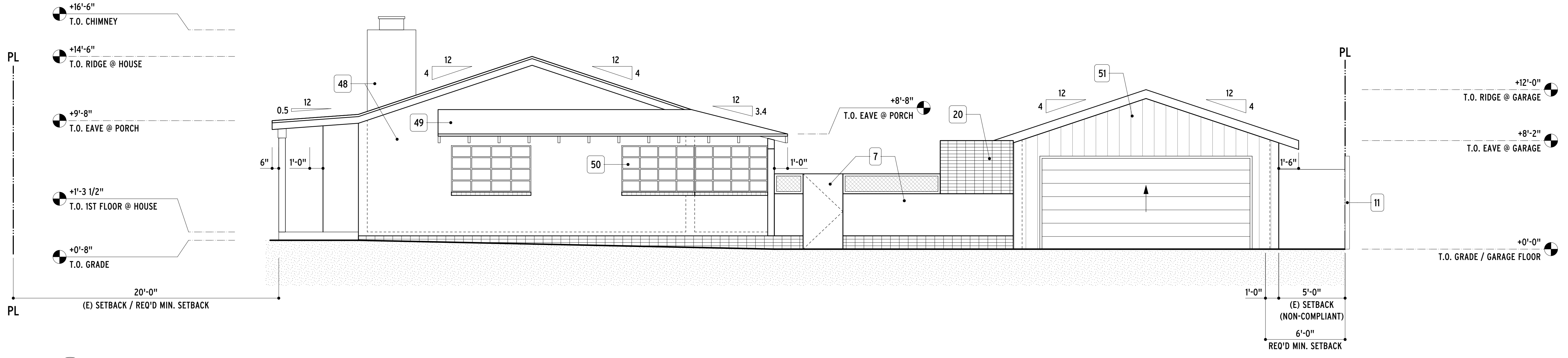
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EXISTING FIRST FLOOR PLAN /
DEMO PLAN

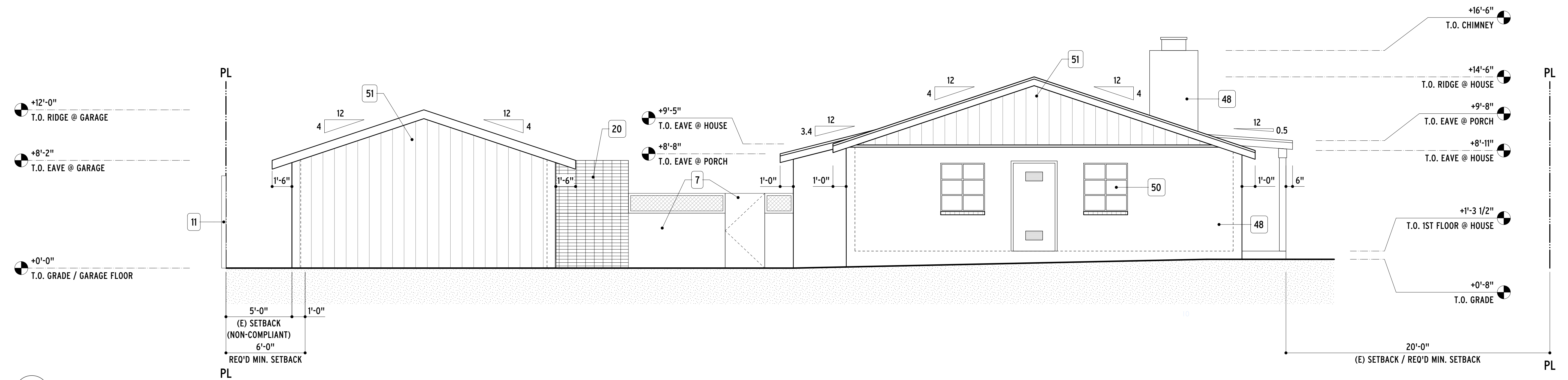
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PHASE	PLANNING APPROVAL
SCALE	AS NOTED

SHEET

A1.1



2 EXISTING SOUTH ELEVATION
 A1.2 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
 A1.2 1/4" = 1'-0"

- KEYNOTES**
- 7. FENCE & GATE TO BE REMOVED
 - 11. NEIGHBORING FENCE
 - 20. BBQ TO BE REMOVED
 - 48. STUCCO PARGING - OVER CMU
 - 49. ASPHALT SHINGLES ("REDDISH-BROWN"), TYP.
 - 50. METAL WINDOWS (PTD. "GREEN")
 - 51. BOARD & BATTEN (PTD. "WHITE"), TYP.

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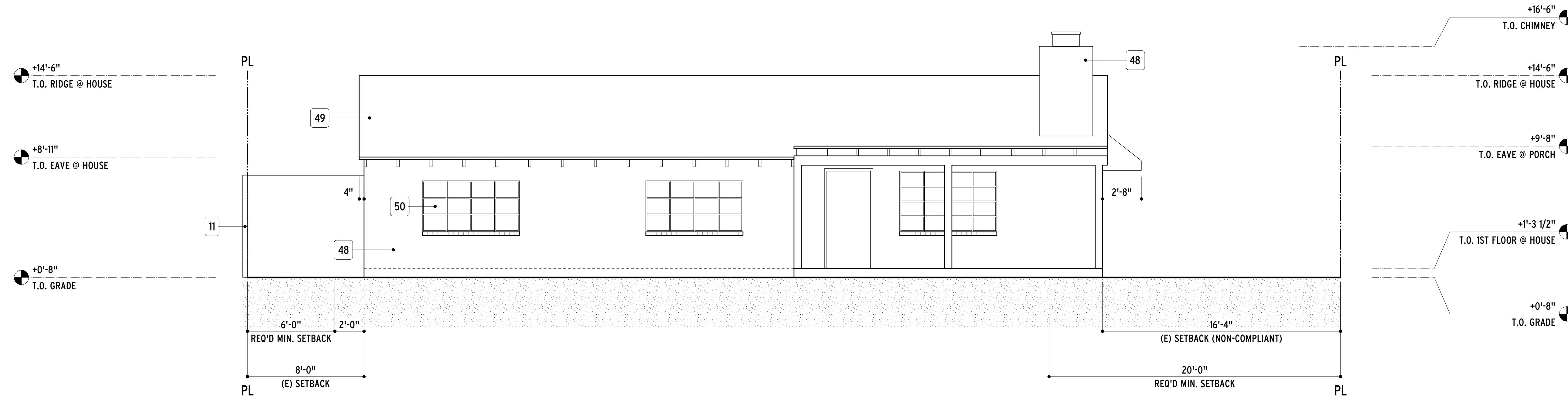
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06/12/2024	

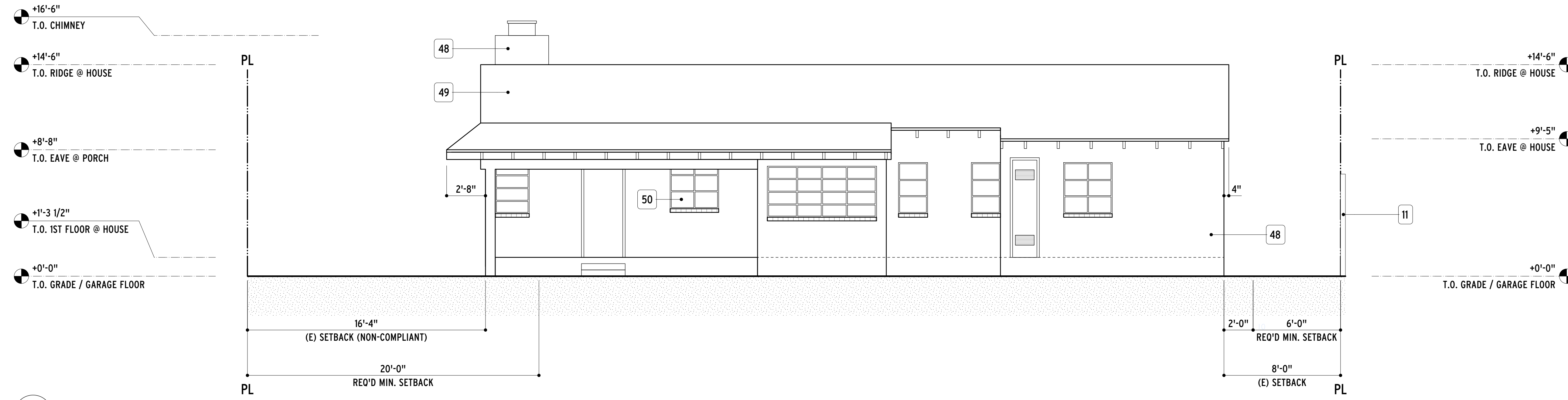
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EXISTING EXTERIOR ELEVATIONS (NORTH & SOUTH)	
DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

SHEET
A1.2



2 EXISTING WEST ELEVATION
 A1.3 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
 A1.3 1/4" = 1'-0"

- KEYNOTES**
- 11. NEIGHBORING FENCE
 - 48. STUCCO PARGING - OVER CMU
 - 49. ASPHALT SHINGLES ("REDDISH-BROWN"), TYP.
 - 50. METAL WINDOWS (PTD. "GREEN")

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ISSUES/REVISIONS

03/14/2024	
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SHEET TITLE
**EXISTING EXTERIOR ELEVATIONS
 (EAST & WEST)**

DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

SHEET

A1.3

(N) LOT COVERAGE	
BUILDING FOOTPRINT	2393 SF
HARDSCAPE (IMPEARMEABLE)	1145 SF
LANDSCAPE (PERMEABLE)	3885 SF
TOTAL LOT	7423 SF

STORMWATER MANAGEMENT	
PROPOSED NEW IMPERVIOUS AREA	370 SF
PROPOSED REDEVELOPED IMPERVIOUS AREA	0 SF
TOTAL LOT	370 SF

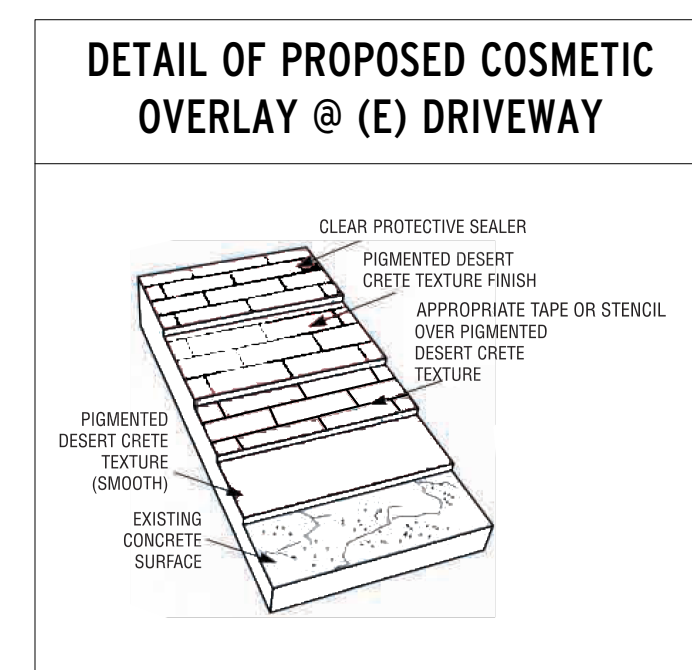
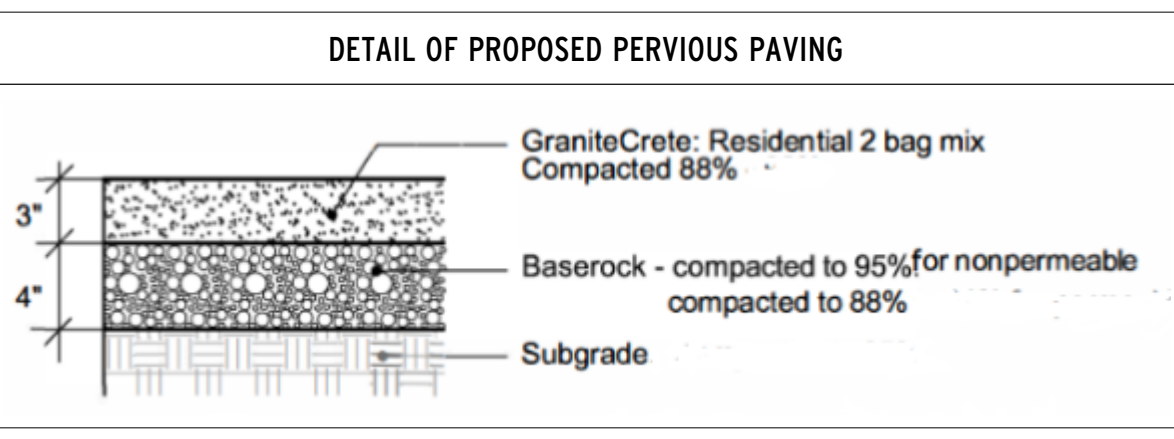
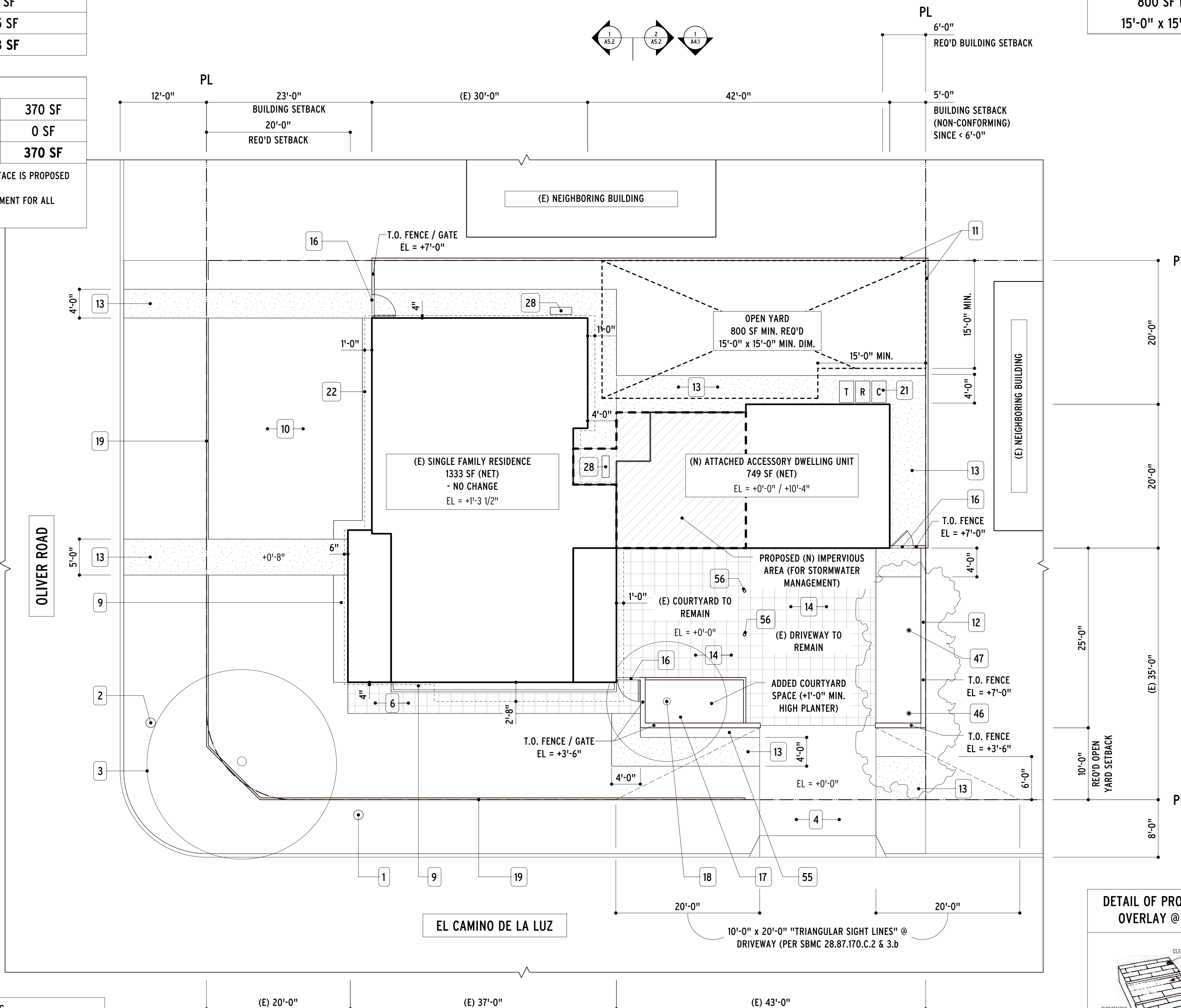
SINCE LESS THAN 500 SF OF NEW OR REPLACED IMPERVIOUS SURFACE IS PROPOSED (376 SF), THE PROJECT IS "TIER 1". ACCORDINGLY, THE SELECTED TIER 1 BMP IS PERMEABLE PAVEMENT FOR ALL NEW/PROPOSED EXTERIOR WALKWAY PATHS.

(E) / (N) OPEN YARD	
REAR YARD	800 SF
800 SF MIN. REQ'D	
15'-0" x 15'-0" MIN. DIM.	

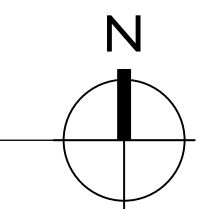
- KEYNOTES**
- (E) UTILITY POLE
 - (E) FIRE HYDRANT
 - (E) OAK TREE TO REMAIN
 - (E) CONCRETE DRIVEWAY
 - (E) PAVED PATHWAY
 - (E) PLANTER TO BE REMAIN
 - (E) GRASS, TYP.
 - (E) NEIGHBORING FENCE
 - (N) +3'-6" FENCE
 - (N) PERMEABLE PAVING
 - (N) COSMETIC OVERLAY ATOP (E) CONCRETE PAVING
 - (N) WOOD GATE & FENCE
 - (N) +1'-0" HIGH PLANTER
 - (N) TREE T.B.D.
 - (E) WOOD FENCE "RAIL" (+3'-6" MAX. HEIGHT)
 - TRASH / RECYCLING / COMPOST STORAGE AREA
 - EDGE OF ROOF ABOVE, TYP.
 - (N) ELECTRIC HEAT PUMP CONDENSING UNIT
 - (E) ORANGE TREE TO REMAIN
 - (E) AVOCADO TREE TO REMAIN
 - (N) +0'-0" PLANTER
 - (N) 4.5" DIAMETER MTL. BOLLARD

WALL LEGEND

(N) WALL



1 PROPOSED SITE PLAN
1/8" = 1'-0"



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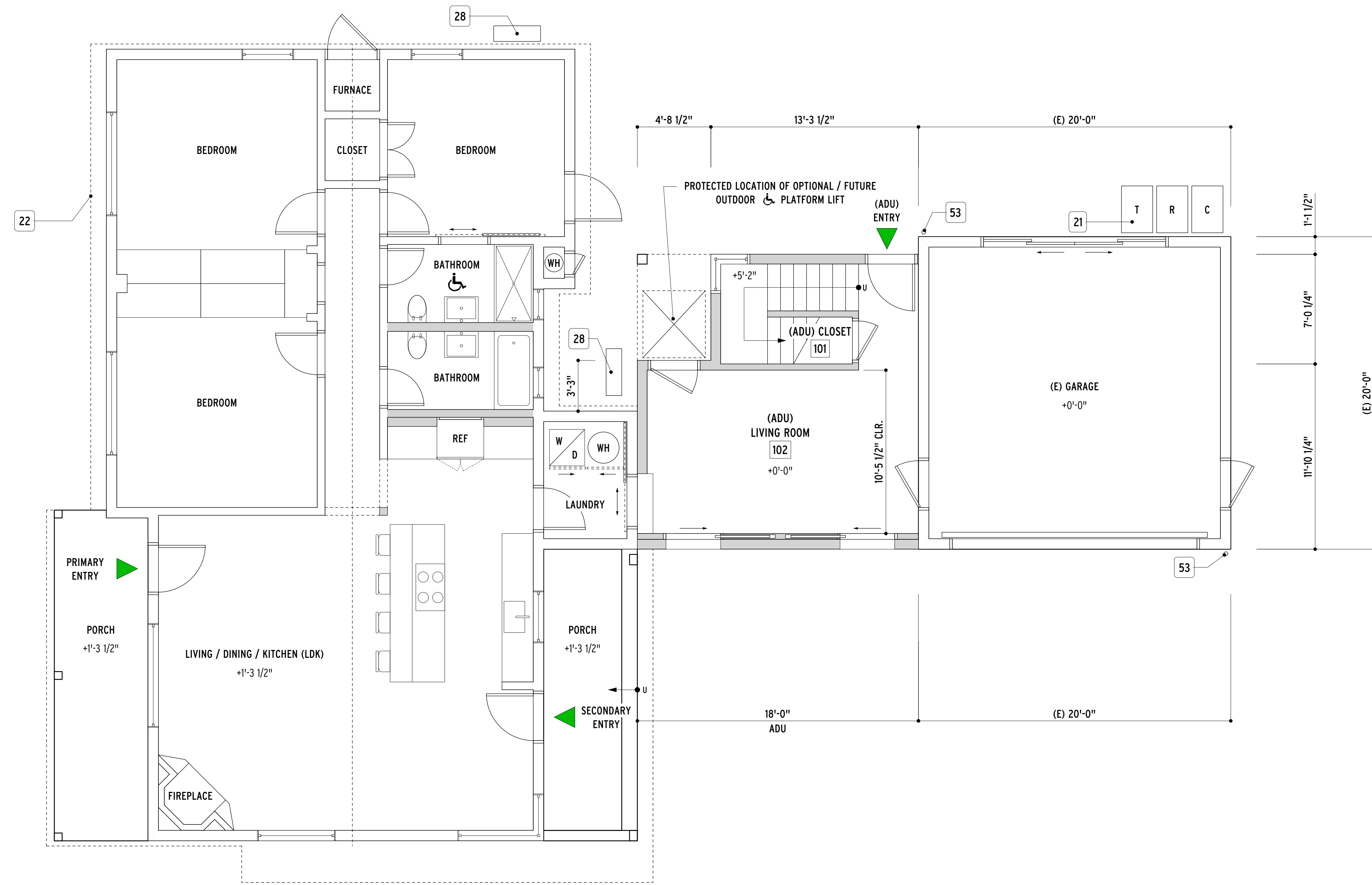
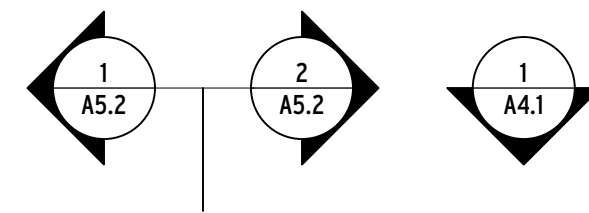
ISSUES/REVISIONS

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SHEET TITLE
PROPOSED SITE PLAN

DATE: 06/12/2024
PHASE: PLANNING APPROVAL
SCALE: AS NOTED

SHEET
A2.0



- KEYNOTES**
- 21. TRASH / RECYCLING / COMPOST STORAGE AREA
 - 22. EDGE OF ROOF ABOVE, TYP.
 - 28. (N) ELECTRIC HEAT PUMP CONDENSING UNIT
 - 53. DOWNSPOUT

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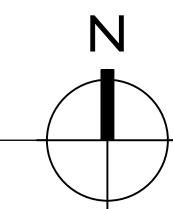
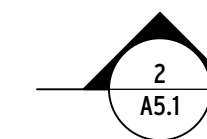
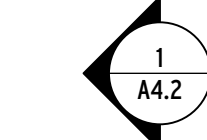
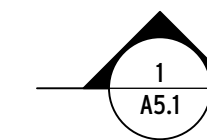
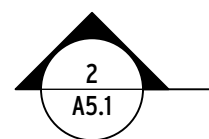
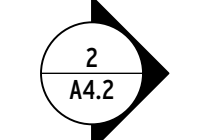
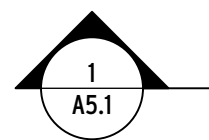
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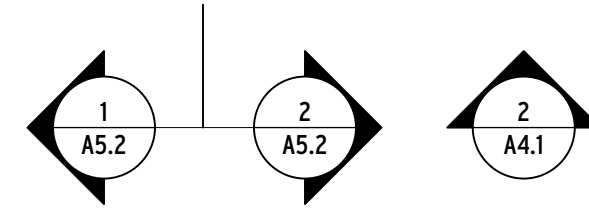
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WALL LEGEND
 (N) WALL



1 A2.1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"



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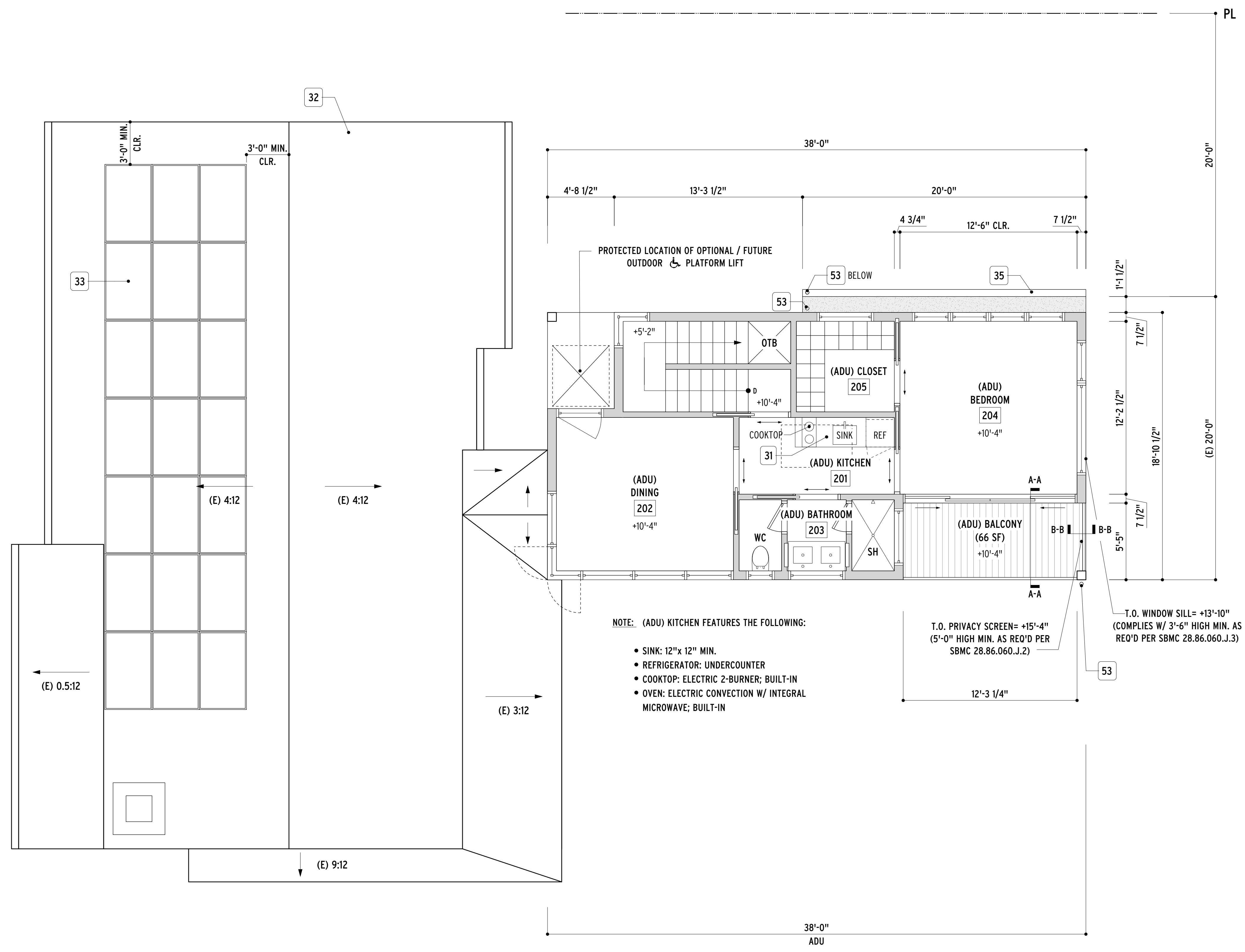
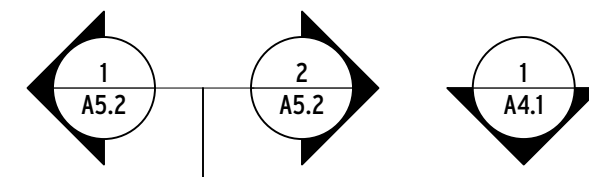
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PROPOSED FIRST FLOOR PLAN

DATE	06/12/2024
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SCALE	AS NOTED

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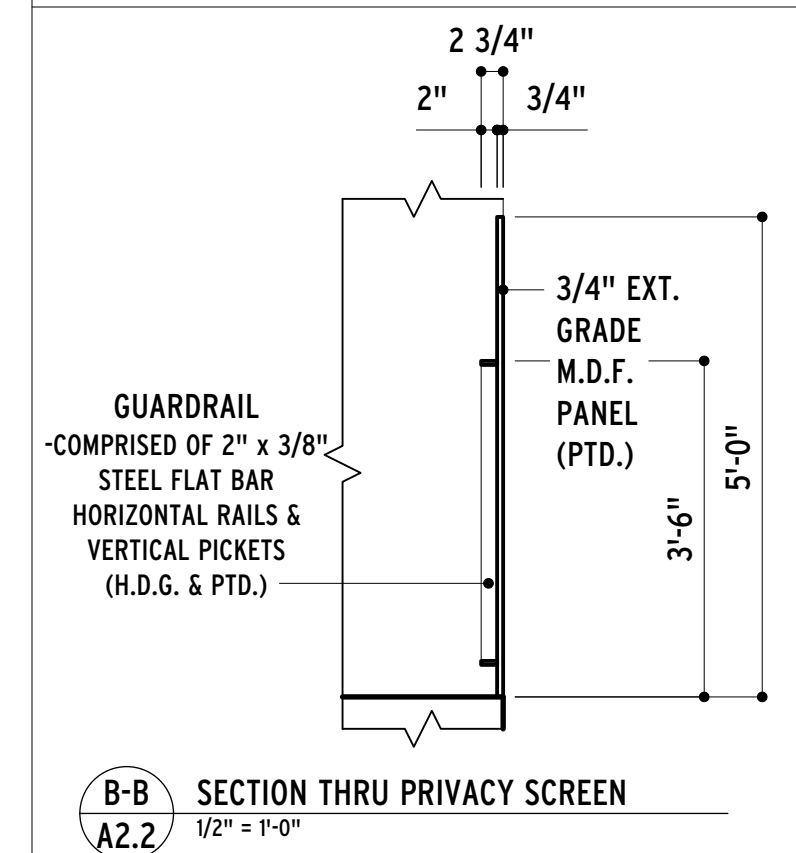
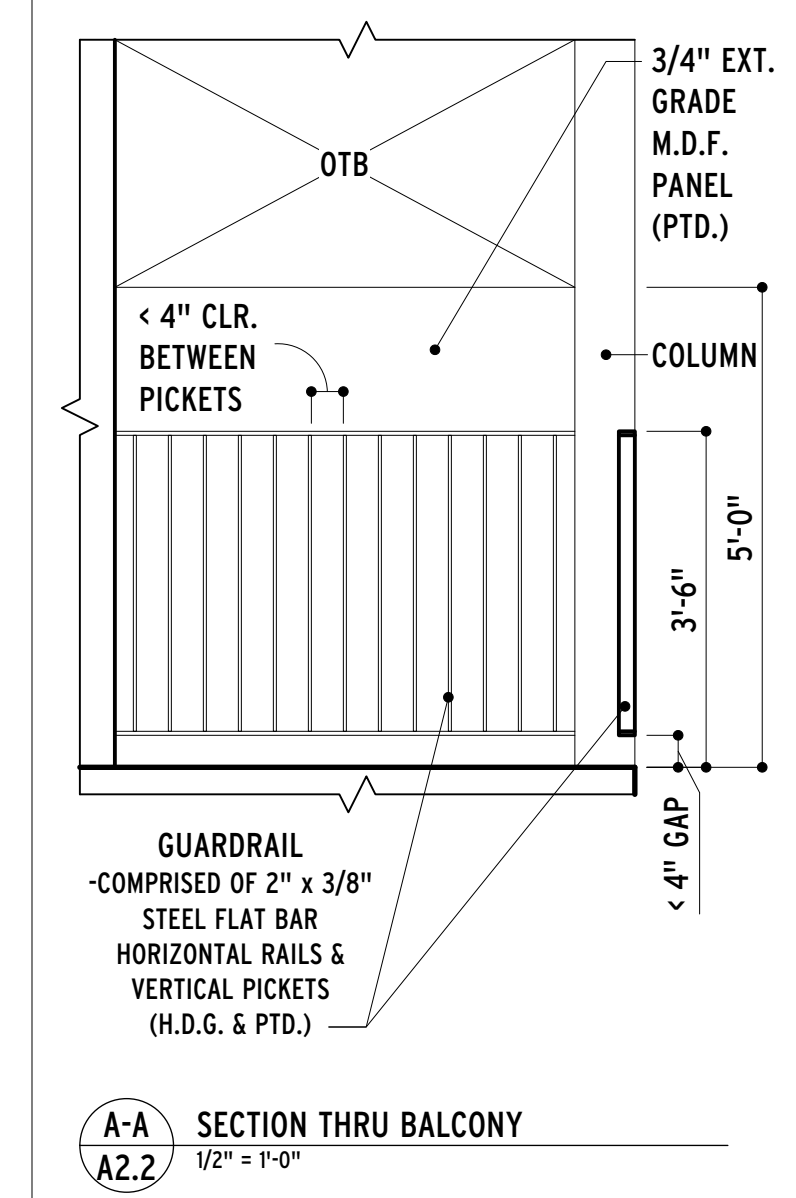
A2.1



- NOTE: (ADU) KITCHEN FEATURES THE FOLLOWING:**
- SINK: 12" x 12" MIN.
 - REFRIGERATOR: UNDERCOUNTER
 - COOKTOP: ELECTRIC 2-BURNER; BUILT-IN
 - OVEN: ELECTRIC CONVECTION W/ INTEGRAL MICROWAVE; BUILT-IN

- KEYNOTES**
- NOTE: ADU KITCHEN EQUIPPED W/ SINK, UNDER COUNTER REFRIGERATOR, 2-BURNER COOKTOP & CONVECTION/MICROWAVE OVEN ABOVE
 - RE-ROOF W/ (N) ASPHALT SHINGLES TO MATCH EXISTING ("REDDISH-BROWN")
 - PHOTOVOLTAIC PANELS, TYP.
 - SHT. METAL GUTTER
 - DOWNSPOUT

WALL LEGEND
 (N) WALL



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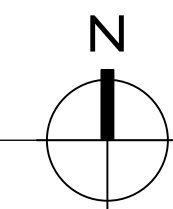
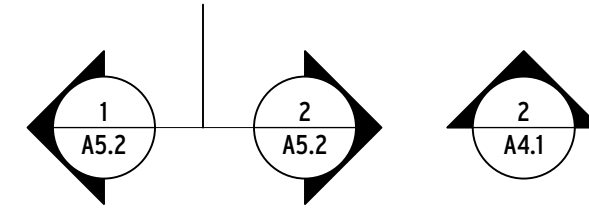
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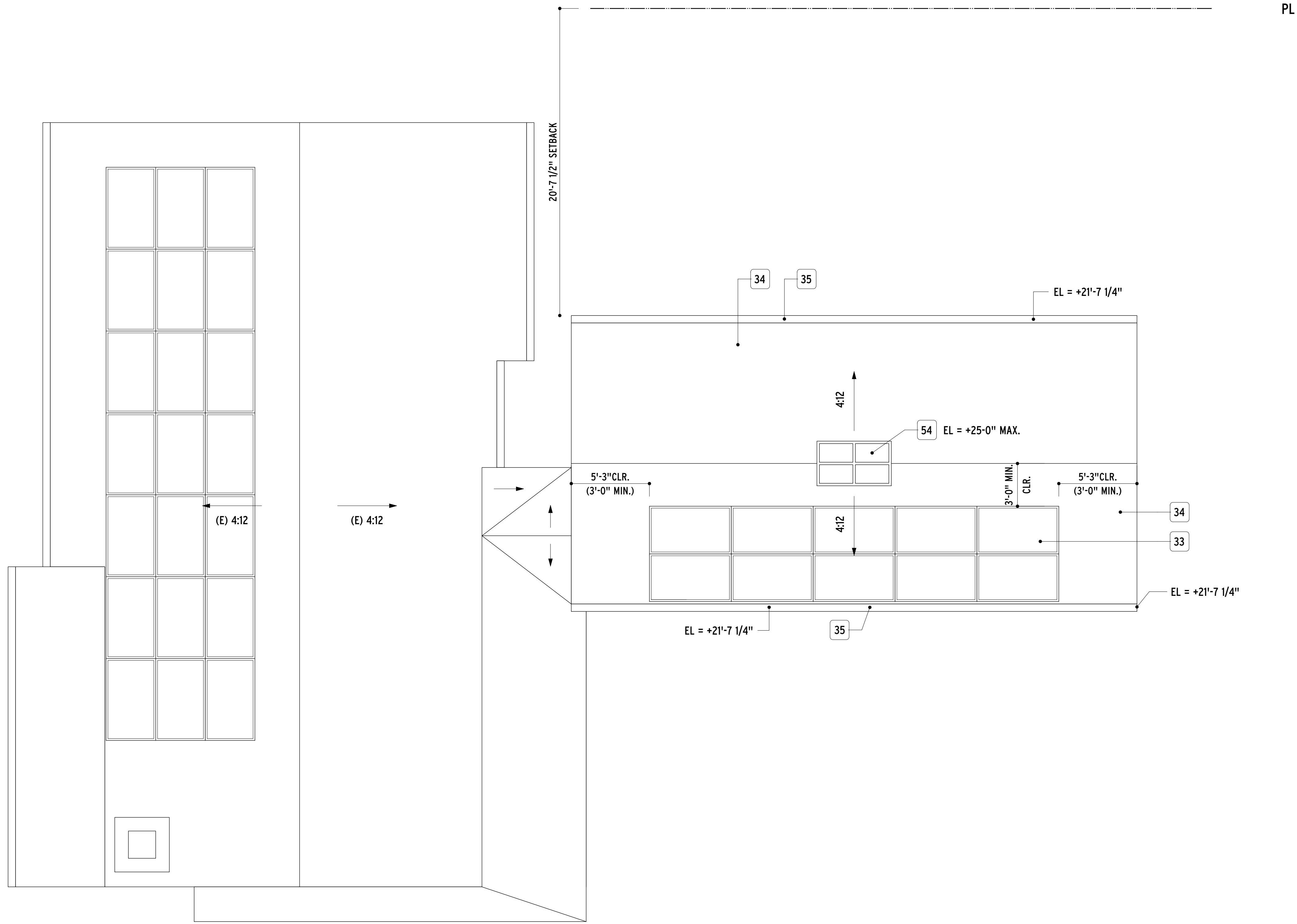
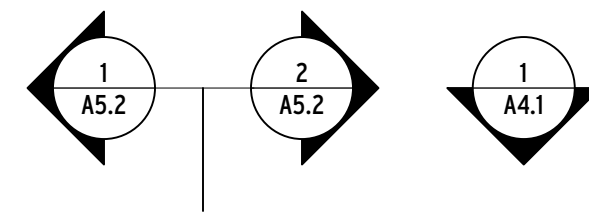
SHEET TITLE
PROPOSED SECOND FLOOR PLAN

DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

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A2.2

2
 A2.2
 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"





PL

KEYNOTES

- 33. PHOTOVOLTAIC PANELS, TYP.
- 34. ASPHALT SHINGLES TO MATCH (E) ROOF ("REDDISH-BROWN")
- 35. SHT. METAL GUTTER
- 54. (N) SKYLIGHT (GLASS)

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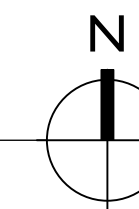
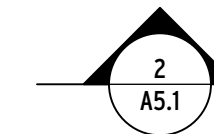
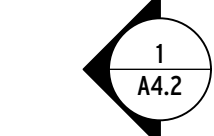
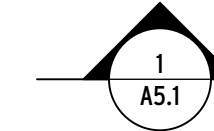
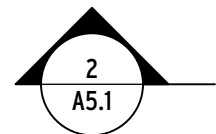
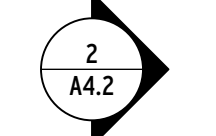
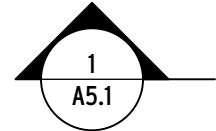
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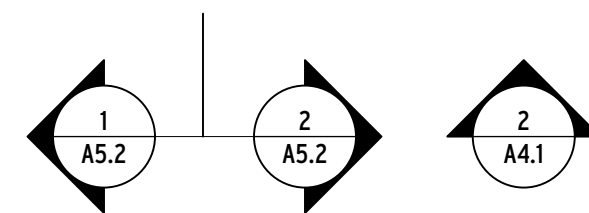
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WALL LEGEND

(N) WALL



1
A2.3
PROPOSED ROOF PLAN
 1/4" = 1'-0"



ISSUES/REVISIONS

1	03/14/2024
2	05/22/2024
3	06/12/2024

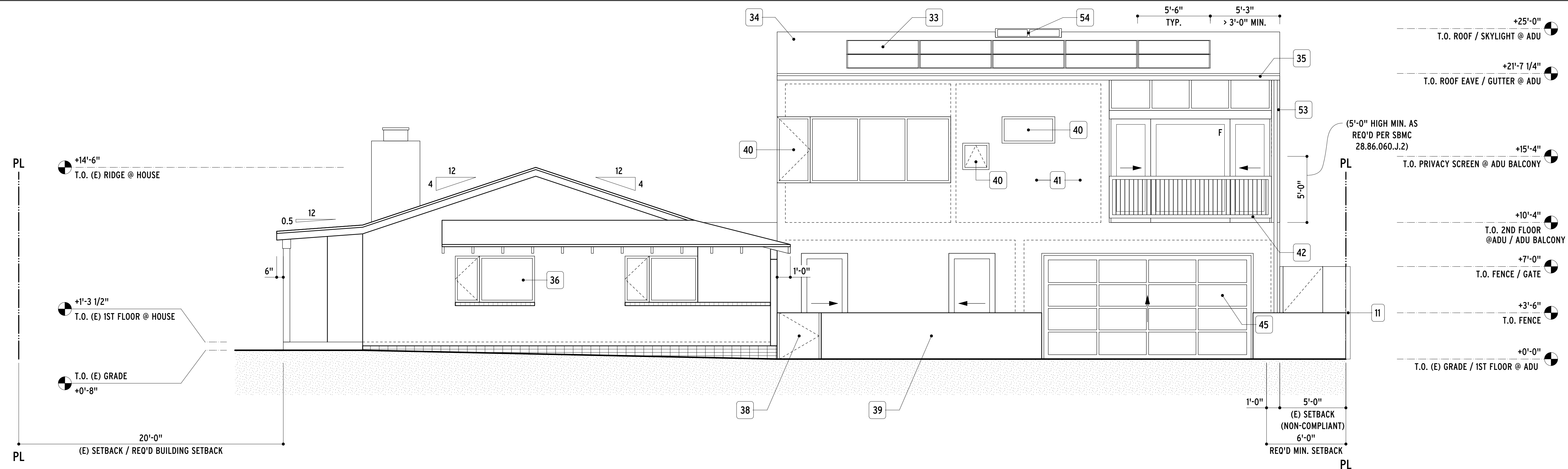
SHEET TITLE

PROPOSED ROOF PLAN

SHEET

A2.3

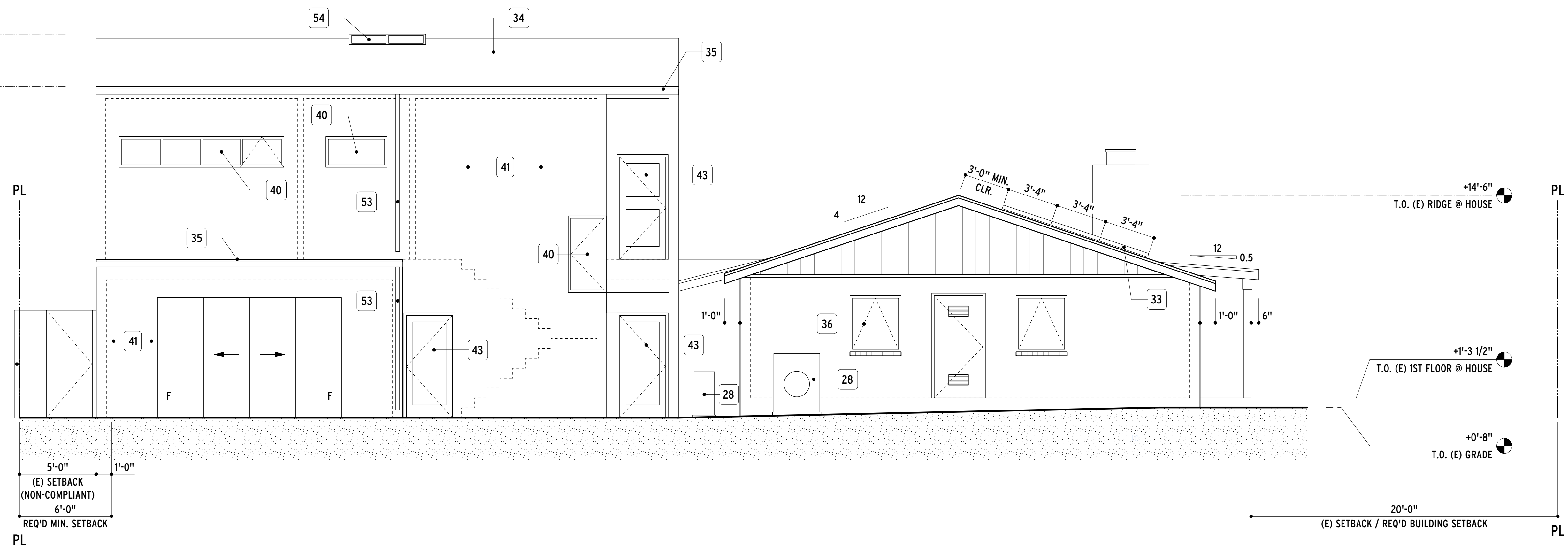
DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED



2 PROPOSED SOUTH ELEVATION
A4.1 1/4" = 1'-0"

- +25'-0" T.O. ROOF / SKYLIGHT @ ADU
- +21'-7 1/4" T.O. ROOF EAVE / GUTTER @ ADU

- +10'-4" T.O. 2ND FLOOR @ ADU / ADU DECK
- +7'-0" T.O. FENCE / GATE
- +5'-2" T.O. LANDING
- +0'-0" T.O. (E) GRADE / 1ST FLOOR @ ADU



1 PROPOSED NORTH ELEVATION
A4.1 1/4" = 1'-0"

- KEYNOTES**
- 11. (E) NEIGHBORING FENCE
 - 28. (N) ELECTRIC HEAT PUMP CONDENSING UNIT
 - 33. PHOTOVOLTAIC PANELS, TYP.
 - 34. ASPHALT SHINGLES TO MATCH (E) ROOF ("REDDISH-BROWN")
 - 35. SHT. METAL GUTTER
 - 36. (N) ALUMINUM REPLACEMENT WINDOW ("GREEN" OR "DARK-BRONZE"), TYP.
 - 38. COMPOSITE WOOD GATE
 - 39. CMU FENCE (STUCCO-PARGED CMU +3'-6" HIGH) - TO MATCH (E) RESIDENCE ("WHITE")

- 40. ALUMINUM WINDOW / DOOR ("GREEN" OR "DARK-BRONZE" TO MATCH (E) RESIDENCE), TYP.
- 41. STUCCO ("WHITE" TO MATCH (E) RESIDENCE), TYP.
- 42. METAL GUARDRAILING (PTD.), TYP.
- 43. (N) REPLACEMENT DOOR ("GREEN" OR "DARK-BRONZE"), TYP.
- 45. (N) SECTIONAL GARAGE DOOR ("GREEN" OR "DARK-BRONZE")
- 53. DOWNSPOUT
- 54. (N) SKYLIGHT (GLASS)

- +25'-0" T.O. ROOF / SKYLIGHT @ ADU
- +21'-7 1/4" T.O. ROOF EAVE / GUTTER @ ADU
- +15'-4" T.O. PRIVACY SCREEN @ ADU BALCONY
- +10'-4" T.O. 2ND FLOOR @ ADU / ADU BALCONY
- +7'-0" T.O. FENCE / GATE
- +3'-6" T.O. FENCE
- +0'-0" T.O. (E) GRADE / 1ST FLOOR @ ADU

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APN: 045-000-002

ISSUES/REVISIONS

03/14/2024	
05/22/2024	
06/12/2024	

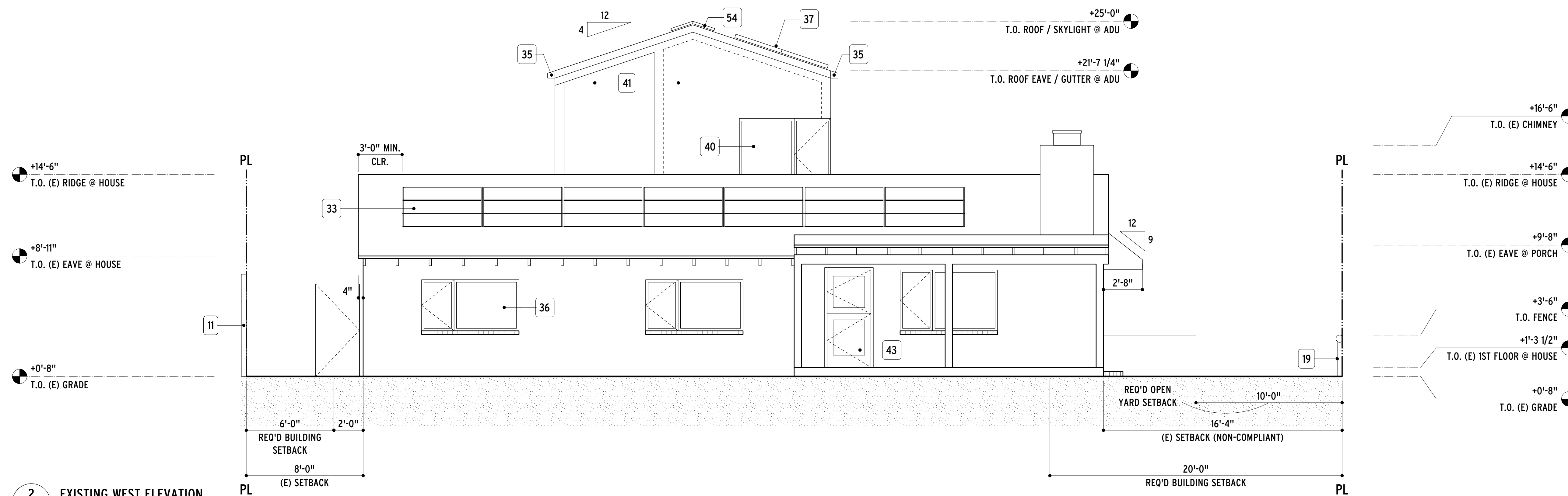
SHEET TITLE

PROPOSED EXTERIOR ELEVATIONS (NORTH & SOUTH)

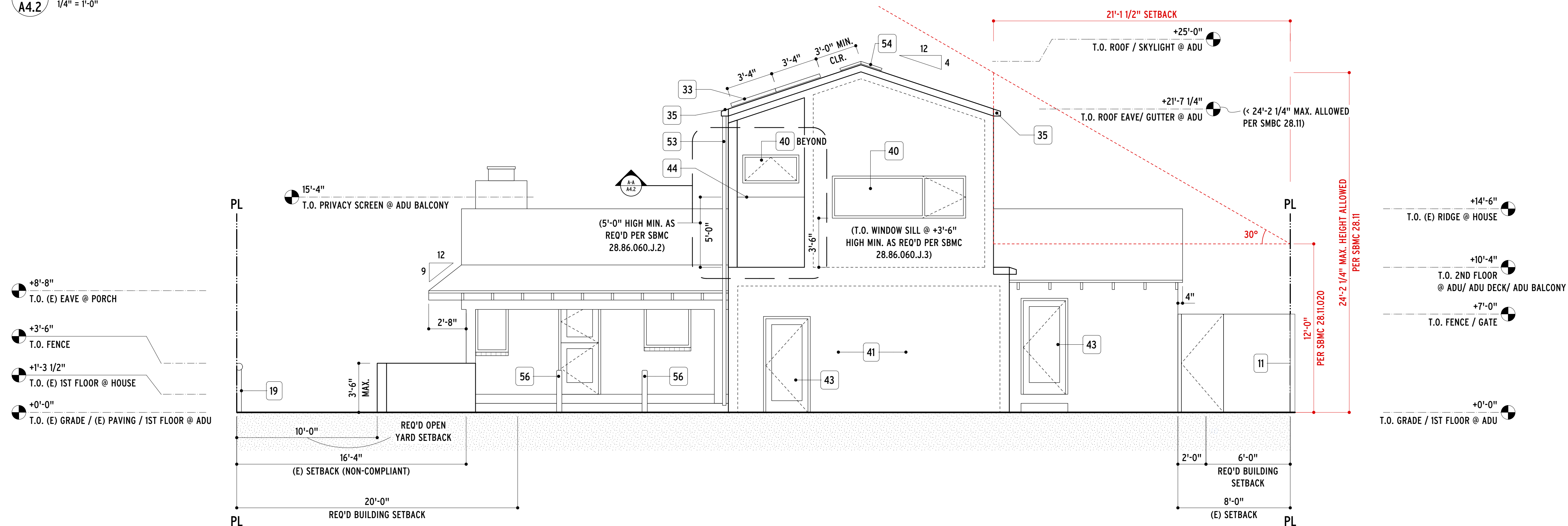
DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

SHEET

A4.1



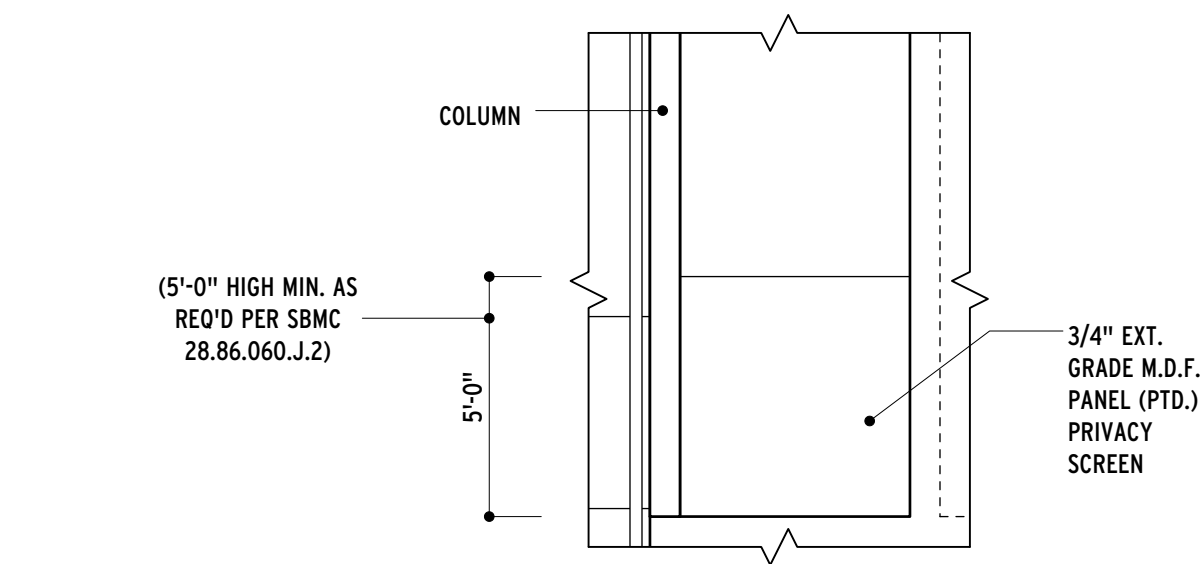
2 EXISTING WEST ELEVATION
A4.2 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
A4.2 1/4" = 1'-0"

KEYNOTES

- 11. (E) NEIGHBORING FENCE
- 19. (E) WOOD FENCE "RAIL" (+3'-6" MAX. HEIGHT)
- 33. PHOTOVOLTAIC PANELS, TYP.
- 35. SHT. METAL GUTTER
- 36. (N) ALUMINUM REPLACEMENT WINDOW ("GREEN" OR "DARK-BRONZE"), TYP.
- 37. SHT. MTL. COPING / FLASHING, TYP.
- 40. ALUMINUM WINDOW / DOOR ("GREEN" OR "DARK-BRONZE" TO MATCH (E) RESIDENCE), TYP.
- 41. STUCCO ("WHITE" TO MATCH (E) RESIDENCE), TYP.
- 43. (N) REPLACEMENT DOOR ("GREEN" OR "DARK-BRONZE"), TYP.
- 44. 5'-0" HIGH SOLID PRIVACY SCREEN @ BALCONY
- 53. DOWNSPOUT
- 54. (N) SKYLIGHT (GLASS)
- 56. (N) 4.5" DIAMETER MTL. BOLLARD



A-A ELEVATION OF PROPOSED BALCONY PRIVACY SCREEN
A4.2 1/4" = 1'-0"

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ISSUES/REVISIONS

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS (EAST & WEST)

DATE: 06/12/2024
PHASE: PLANNING APPROVAL
SCALE: AS NOTED

SHEET

A4.2

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ISSUES/REVISIONS

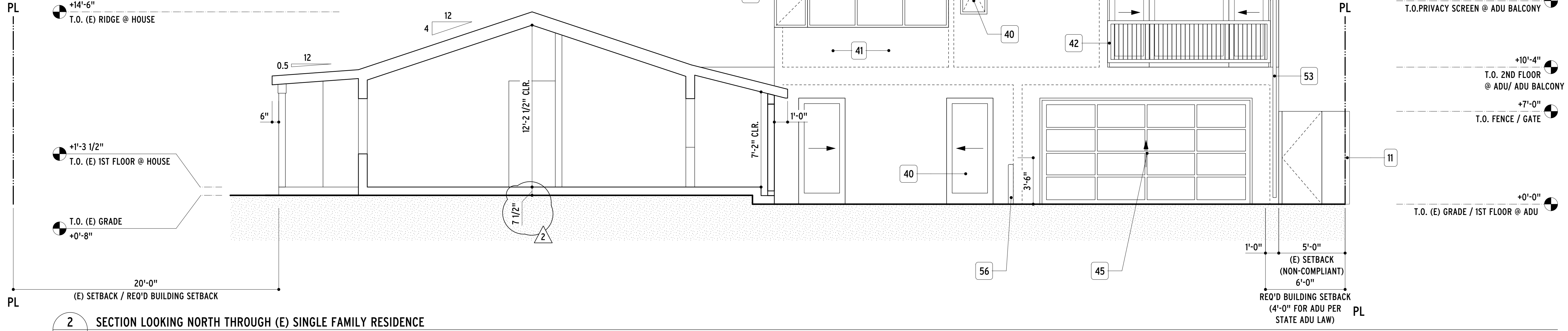
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2	05/22/2024
3	06/12/2024

SHEET TITLE
SECTIONS LOOKING NORTH

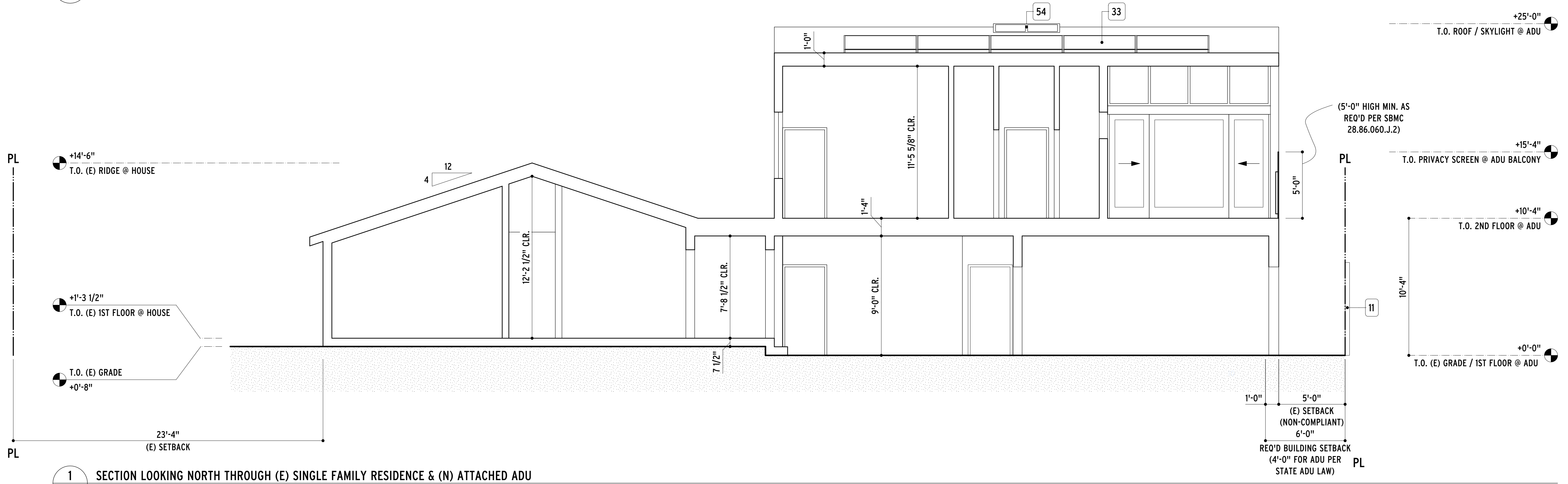
DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

SHEET

A5.1



2 SECTION LOOKING NORTH THROUGH (E) SINGLE FAMILY RESIDENCE
 A5.1 1/4" = 1'-0"

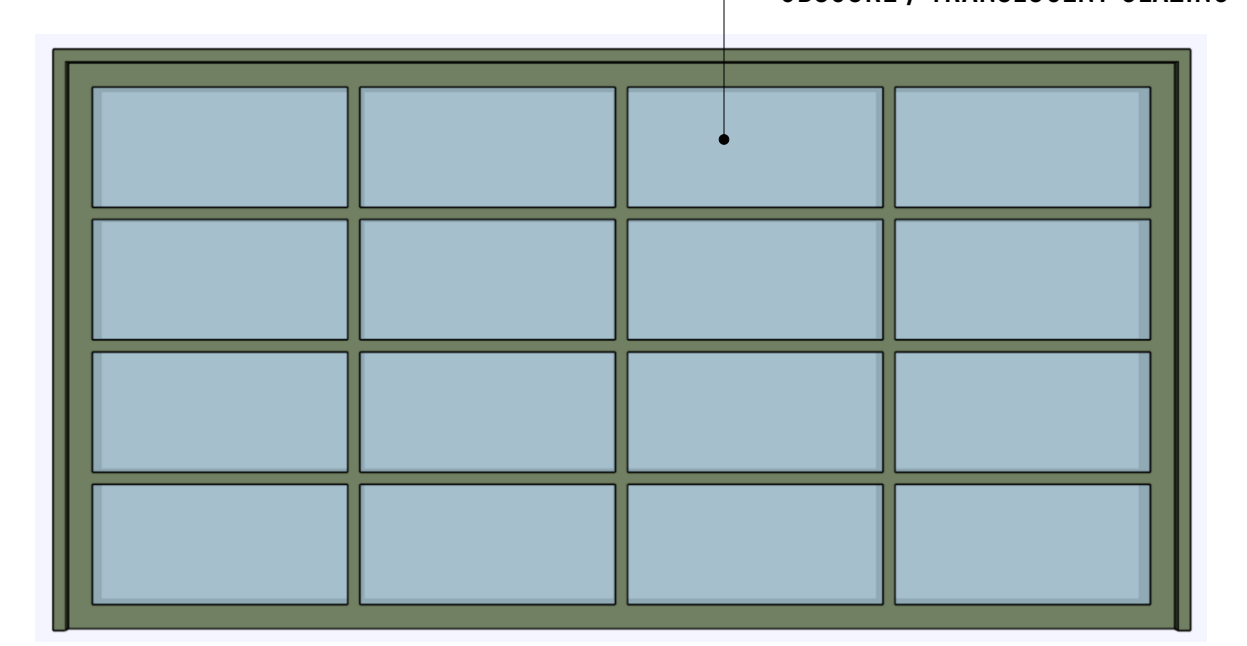


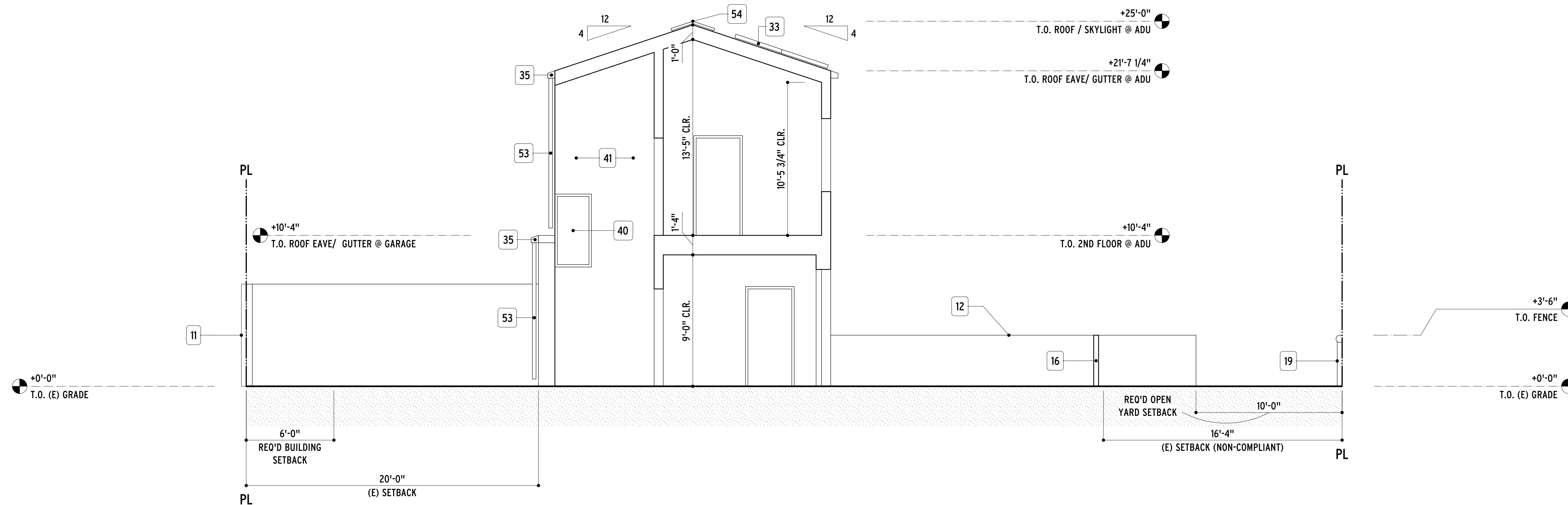
1 SECTION LOOKING NORTH THROUGH (E) SINGLE FAMILY RESIDENCE & (N) ATTACHED ADU
 A5.1 1/4" = 1'-0"

KEYNOTES

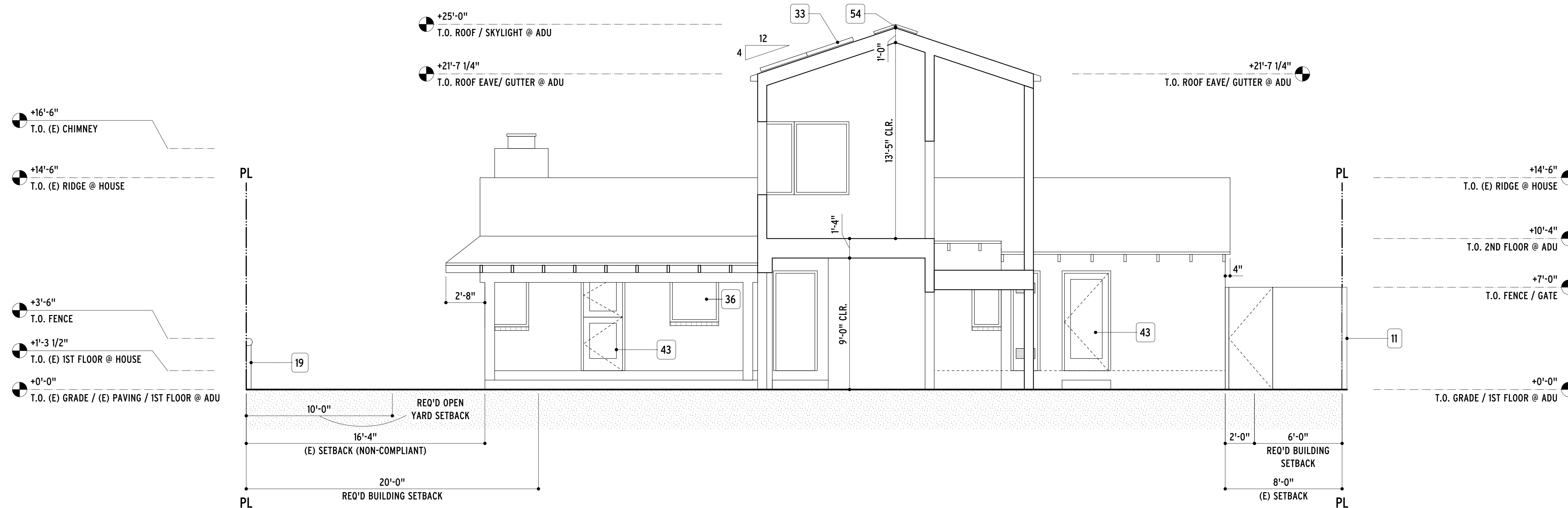
- 11. (E) NEIGHBORING FENCE
- 33. PHOTOVOLTAIC PANELS, TYP.
- 34. ASPHALT SHINGLES TO MATCH (E) ROOF ("REDDISH-BROWN")
- 35. SHT. METAL GUTTER
- 40. ALUMINUM WINDOW / DOOR ("GREEN" OR "DARK-BRONZE" TO MATCH (E) RESIDENCE), TYP.
- 41. STUCCO ("WHITE" TO MATCH (E) RESIDENCE), TYP.
- 42. METAL GUARDRAILING (PTD.), TYP.
- 45. (N) SECTIONAL GARAGE DOOR ("GREEN" OR "DARK-BRONZE")
- 53. DOWNSPOUT
- 54. (N) SKYLIGHT (GLASS)
- 56. (N) 4.5" DIAMETER MTL. BOLLARD

CONCEPTUAL IMAGE OF PROPOSED GARAGE DOOR





2 SECTION LOOKING EAST THROUGH (E) SINGLE FAMILY RESIDENCE & (N) ATTACHED ADU
 A5.2 1/4" = 1'-0"



1 SECTION LOOKING WEST THROUGH (E) SINGLE FAMILY RESIDENCE & (N) ATTACHED ADU
 A5.2 1/4" = 1'-0"

KEYNOTES

- | | |
|--|--|
| 11. (E) NEIGHBORING FENCE | 36. (N) ALUMINUM REPLACEMENT WINDOW ("GREEN" OR "DARK-BRONZE"), TYP. |
| 12. (N) +3'-6" FENCE | 40. ALUMINUM WINDOW / DOOR ("GREEN" OR "DARK-BRONZE" TO MATCH (E) RESIDENCE), TYP. |
| 16. (N) WOOD GATE & FENCE | 41. STUCCO ("WHITE" TO MATCH (E) RESIDENCE), TYP. |
| 19. (E) WOOD FENCE "RAIL" (+3'-6" MAX. HEIGHT) | 43. (N) REPLACEMENT DOOR ("GREEN" OR "DARK-BRONZE"), TYP. |
| 33. PHOTOVOLTAIC PANELS, TYP. | 53. DOWNSPOUT |
| 35. SHT. METAL GUTTER | 54. (N) SKYLIGHT (GLASS) |

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SHEET TITLE

SECTIONS LOOKING EAST & WEST

DATE	06/12/2024
PHASE	PLANNING APPROVAL
SCALE	AS NOTED

SHEET

A5.2