



# City of Santa Barbara California

## STAFF HEARING OFFICER STAFF REPORT

**REPORT DATE:** October 12, 2022  
**AGENDA DATE:** October 19, 2022  
**PROJECT ADDRESS:** 1215 Del Mar Avenue (PLN2022-00222)

**TO:** Ellen Kokinda, Senior Planner, Staff Hearing Officer  
**FROM:** Planning Division, (805) 564-5470, ext. 7587  
 Allison De Busk, Senior Planner  
 Megan Arciniega, MArciniega@SantaBarbaraCA.gov

### **I. PROJECT DESCRIPTION**

The project consists of a proposal to convert an existing 400-square-foot garage into a Junior Accessory Dwelling Unit (JADU). The 6,007-square-foot lot is located at the corner of Del Mar Avenue and Las Ondas and is currently developed with a 2,089-square-foot two-story single unit residence, which is proposed to remain. The project proposes two replacement parking spaces in the driveway.

### **II. REQUIRED APPLICATIONS**

The discretionary application required for this project is a Coastal Development Permit (CDP2022-00024) to allow the proposed development in the Non-Appealable Jurisdiction of the City's Coastal Zone (SBMC §28.44.060).

**Application Deemed Complete:** August 10, 2022  
**Date Action Required:** November 8, 2022

### **III. RECOMMENDATION**

If approved as proposed, the project would conform to the City's Zoning and Building Ordinances and policies of the Coastal Land Use Plan. In addition, there would be no change to the size and massing of the existing development; therefore, the project would be consistent with the surrounding neighborhood. Staff recommends that the Staff Hearing Officer approve the project, making the findings outlined in Section IX of this report, and subject to the conditions of approval in Exhibit A.



Vicinity Map – 1215 Del Mar Ave.

**IV. BACKGROUND**

Accessory Dwelling Units (ADUs) in the City’s coastal zone are governed by Santa Barbara Municipal Code (SBMC) Chapter 28.86. All ADUs in the coastal zone, including JADUs that eliminate parking, require approval of a Coastal Development Permit by the Staff Hearing Officer but do not require a public hearing (SBMC §28.44.110.C). Written comments regarding the application will be considered by the Staff Hearing Officer prior to making a decision on the project.

The Staff Hearing Officer’s decision cannot be appealed.

**V. SITE INFORMATION AND PROJECT STATISTICS**

**A. SITE INFORMATION**

<b>Applicant:</b>	Paul Zink, AIA
<b>Property Owner:</b>	Harger, Bruce W W/Devon R 2003 Trust
<b>Site Information</b>	
<b>Assessor’s Parcel Number (APN):</b>	045-213-001
<b>Zoning District:</b>	E-3/S-D-3 (One-Family Residence/Coastal Overlay). (SBMC Title 28)
<b>Coastal Land Use Plan:</b>	Residential (Max 5 du/ac)
<b>Lot Size:</b>	0.14 acres; approx. 6,007 sq. ft.

<b>Avg. Slope:</b>	12%
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**B. PROJECT STATISTICS**

	<b>Existing</b>	<b>Proposed</b>
<b>Primary Living Area</b>	2,089 sq. ft.	No Change
<b>Garage/Carport</b>	400 sq. ft.	0 sq. ft.
<b>J/ADU</b>	N/A	400 sq. ft.
<b>Detached Accessory Space</b>	N/A	N/A
<b>Floor Area Ratio</b>	0.414 = 93% of Maximum Required FAR	0.414 = 93% of Maximum Required FAR*
* = ADU included in FAR square footage per SBMC §28.86.055.C.		

**VI. POLICY AND ZONING CONSISTENCY ANALYSIS**

**A. ZONING ORDINANCE CONSISTENCY**

<b>Standard</b>	<b>Requirement/ Allowance for the ADU</b>	<b>Complies?</b>
<b>Setbacks</b>		
-Front	20 feet	✓
-Interior	4 feet	✓
<b>Building Height</b>	30 feet	✓
<b>Parking</b>	Primary Residence: 2 spaces* JADU: 0 spaces	Primary Residence: ✓ ADU: ✓
<b>Open Yard</b>	1,250 square feet	✓
<b>Building Separation</b>	5 feet min.	N/A

\* Per SBMC 28.86.080.A, when an existing garage is converted to a Junior Accessory Dwelling Unit, the required covered parking spaces that are displaced by the conversion shall be replaced on-site. The replacement spaces may be covered or uncovered and can be located in the front setback as long as they are contained within the area of an existing paved driveway.

As identified in the table above, the project complies with Zoning Ordinance requirements for the zone.

**B. ACCESSORY DWELLING UNIT STANDARDS**

The project complies with the City’s ADU requirements, as outlined in SBMC Chapter 28.86. Some of the key regulations are discussed in more detail below.

**1. REQUIRED FEATURES (SBMC §28.86.050)**

The proposed JADU contains all of the required residential elements (kitchen, bathroom, living room, has independent exterior access, and exceeds the 220-square-foot minimum unit size for a studio.

**2. MAXIMUM FLOOR AREA (SBMC §28.86.055.B)**

The proposed 400-square-foot JADU is less than the 500-square-foot maximum size allowed.

**3. FLOOR AREA RATIO (SBMC §28.86.055.C)**

As shown in the Project Statistics table above, the Floor-to-Lot Area Ratio for all development on site is 93% of the Maximum Required FAR. Therefore the project is consistent with FAR zoning standards.

**4. ARCHITECTURAL REVIEW (SBMC §28.86.060)**

The proposed ADU complies with all required ministerial design criteria, including replacing the garage door with a solid wall and windows.

**5. PARKING (SBMC §28.86.080)**

No automobile parking is required for JADUs, and no parking is proposed.

The existing parking for the primary residence is proposed to be converted to the JADU, therefore replacement parking is proposed with two uncovered spaces in the existing driveway.

**C. COASTAL CONSISTENCY**

The project site is located in the Coastal Zone and must be found consistent with the California Coastal Act and the City's Local Coastal Program (LCP), including the Land Use Plan (LUP), which implements the California Coastal Act. Staff finds that the project is consistent with applicable Coastal Act and Land Use Plan policies (refer to Exhibit D for applicable policies), and the draft Findings in Section IX below.

**VII. ENVIRONMENTAL REVIEW**

Staff has determined that the project qualifies for an exemption from further environmental review under Section 15303 [New Construction or Conversion of Small Structures Facilities] of the California Environmental Quality Act (CEQA) Guidelines, which allows for construction of a second dwelling unit in a residential zone.

Additionally, none of the exceptions to the exemption under CEQA Guidelines Section 15300.2 apply.

**VIII. DESIGN REVIEW**

The JADU is exempt from design review per California Government Code 65852.2.

**IX. FINDINGS**

The Staff Hearing Officer finds the following:

**A. COASTAL DEVELOPMENT PERMIT (SBMC §28.44.150)**

1. The Junior Accessory Dwelling Unit project is consistent with the policies of the California Coastal Act and the project will not have significant adverse effects to the coast or coastal resources. The project site is located in an existing, developed single-family neighborhood with adequate public services including public transportation, fire prevention, police, and utility services. The project will not result in any adverse effects related to coastal resources, including public views, public access to the coast, or coastal

bluff erosion. Both parking and open space minimum requirements will be maintained for the primary residence. The project is consistent with Coastal Act policies 30250 (Location; existing developed area), 30251 (Scenic and visual qualities) and 30252 (Maintenance and enhancement of public access) because the project site is not located on a coastal bluff or adjacent to any designated public access points for the coast, and there are no mapped biological, archaeological, or visual resources on the site.

The project is consistent with Coastal Act policy 30253 (Minimization of adverse impacts) because the project site is not located in an area of high geologic, flood, or fire hazard. The project site is not located along any bluffs or cliffs, and does not require construction of any protective device that would impact existing landforms. The proposed Junior Accessory Dwelling Unit is located within the former garage of the existing residence and will not contribute to geologic instability or destruction of the site because the area has withstood existing development of similar size and scale and the project would be constructed in accordance with California Building Code requirements for the geologic and soil conditions of the site.

2. The Junior Accessory Dwelling Unit (JADU) project is consistent with all applicable policies of the City's Local Coastal Plan, all applicable implementing guidelines, and all applicable provisions of the Code. The proposed JADU complies with the zoning ordinance in terms of setbacks, parking and height, and complies with all requirements of the City's Accessory Dwelling Unit Ordinance, as identified in Section VI of the staff report dated October 12, 2022. The proposed JADU is compatible with neighborhood development because it involves the conversion of an existing structure, therefore it will not change the existing visual character of the site or neighborhood. The development will not impact any public views because it is contained within an existing structure and there are no important public views across the site. The project will not impact public access to the coast because it is on an existing developed lot with no separate access to the bluff or the beach. The project site is not located on a coastal bluff or any visually-, biologically-, or archaeologically-sensitive area.

The proposed JADU is a 400-square-foot studio unit with no designated on-site parking space; the unit is also considered accessory to the primary residence and hence, it would most likely be more affordable than a standard market rate unit within the City. Adequate parking is provided for the primary residence and the JADU does not require parking.

Exhibits:

- A. Draft Conditions of Approval
- B. Project Plans
- C. Applicant's letter, dated June 16, 2022
- D. Applicable Coastal Policies

**DRAFT STAFF HEARING OFFICER CONDITIONS OF APPROVAL**

1215 DEL MAR AVE.  
COASTAL DEVELOPMENT PERMIT  
OCTOBER 19, 2022

I. In consideration of the project approval granted by the Staff Hearing Officer and for the benefit of the owners and occupants of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:

A. **General Conditions.**

1. **Approved Development.** The development of the Real Property approved by the Staff Hearing Officer on October 19, 2022 is limited to an Accessory Dwelling Unit and the improvements shown on the plans signed by the Staff Hearing Officer on said date and on file at the City of Santa Barbara.
2. **Uninterrupted Water Flow.** The Owner shall allow for the continuation of any historic flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
3. **Areas Available for Parking.** All parking areas and access thereto shall be kept open and available in the manner in which it was designed and permitted.
4. **Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
5. **Approval Limitations.**
  - a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
  - b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Staff Hearing Officer.
  - c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Staff Hearing Officer Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.
6. **Litigation Indemnification Agreement.** The Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any third party legal challenge to the City's approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively "Claims").

Applicant/Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City's sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

**B. Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed. Please note that these conditions are in addition to the standard submittal requirements for each department.

**1. Public Works Department.**

a. **Water Rights Assignment Agreement.** If not already assigned, the Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water Extraction Rights*. Engineering Division Staff prepares said agreement for the Owner's signature.

**2. Community Development Department.**

a. **Recorded Agreement.** Prior to zoning clearance on a building permit for the proposed Accessory Dwelling Unit, the property owner shall execute a Covenant stating the following: (1) The Accessory Dwelling Unit will not be sold separately from the existing primary residence. (2) The Accessory Dwelling Unit shall not be rented for less than 31 days. When a building permit application is submitted, City Administrative Staff will prepare the Covenant and send an email from [ADUCovenant@SantaBarbaraCA.gov](mailto:ADUCovenant@SantaBarbaraCA.gov) letting the applicant know that the Covenant has been created. Written instructions will be provided to you on how to complete the procedure. The permit will not be issued until the final agreement is recorded. **Certificate of Occupancy will not be granted without the Covenant being recorded.**

b. **Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. The following statement shall be signed prior to issuance of and permits: The

undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner		Date
Contractor	Date	License No.
Architect	Date	License No.
Engineer	Date	License No.

C. **Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.

1. **Construction Contact Sign.** Immediately after Building permit issuance, signage shall be posted at the points of entry to the site that list the contractor’s name and telephone number to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The font size shall be a minimum of 0.5 inches in height. Said sign shall not exceed six feet in height from the ground if it is free-standing or placed on a fence. It shall not exceed six square feet if in a single family zone.
2. **Construction Storage/Staging.** Construction vehicle/ equipment/ materials storage and staging shall be done on-site. No parking or storage shall be permitted within the public right-of-way, unless specifically permitted by the Public Works Director with a Public Works permit.
3. **Unanticipated Archaeological Resources Contractor Notification.** Standard discovery measures shall be implemented per the City master Environmental Assessment throughout grading and construction: Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the Owner shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the

remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

A final report on the results of the archaeological monitoring shall be submitted by the City-approved archaeologist to the Environmental Analyst within 180 days of completion of the monitoring and prior to any certificate of occupancy for the project.

D. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:

1. **Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §22.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.

II. Time Limits:

**NOTICE OF COASTAL DEVELOPMENT PERMIT TIME LIMITS:**

The Staff Hearing Officer action approving the Coastal Development Permit shall expire two (2) years from the date of final action upon the application, per Santa Barbara Municipal Code §28.44.230, unless:

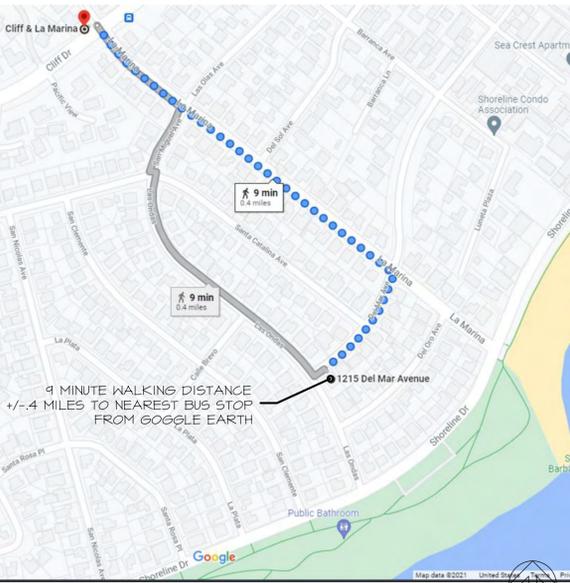
1. A Building permit for the work authorized by the coastal development permit is issued prior to the expiration date of the approval.
2. The Community Development Director grants an extension of the coastal development permit approval. The Community Development Director may grant up to three (3) one-year extensions of the coastal development permit approval. Each extension may be granted upon the Director finding that: (i) the development continues to conform to the Local Coastal Program, (ii) the applicant has demonstrated due diligence in completing the development, and (iii) there are no changed circumstances that affect the consistency of the development with the General Plan or any other applicable ordinances, resolutions, or other laws.

**GENERAL NOTES**

- All construction shall conform to the 2019 C.B.C., 2019 C.R.C., 2019 C.M.C., 2019 C.P.C., 2019 C.F.C., 2019 C.E.C., 2019 California Energy Code, (based on the Building Energy Efficiency Standards) and all other codes applicable or as amended by the City of Santa Barbara. Nothing in these drawings shall be construed to permit an installation in violation of these codes or restrictions.
- These drawings are instruments of service and are the property of the Architect whether the work which they have been made for has been executed or not. All designs, ideas, detailing, and other information of the drawings are for the sole use of this project and shall not be used otherwise without the expressed written permission of the Architect.
- On-site dimensions and conditions shall be the responsibility of the contractor and subcontractor. Noted dimensions take precedence over scale.
- Any discrepancies between drawings and field conditions are to be immediately brought to the attention of the Architect and Owner.
- Contractor to layout all building lines, levels and grades. If building or grade lines do not conform to drawings the Architect shall be notified.
- The intent of the plans requires a General Contractor and Subcontractors that are thoroughly knowledgeable about building codes and methods of constructions. The plans and details delineate and describe only locations, dimensions, types of materials, and general methods of assembling or fastening. These plans are not intended to specify particular products or methods of construction.
- Every Contractor and Subcontractor performing work upon or providing services and/or materials for the work is required to purchase and maintain in force builders "All Risk" insurance prior to commencement of the work and/or furnishing labor, services, and materials.
- Surface draining around existing building is to be a minimum of 1%, directing water away from building. Provide 2% minimum gradient for 5'-0" away from building pads towards drainage route.
- It shall be the responsibility of the contractor to install all temporary bracing and shoring to insure the safety of the work until it is in its completed form.
- It shall be the responsibility of the general contractor to insure that all applicable safety laws are strictly enforced and to maintain a safe construction project.
- Any damage done to the existing site during the course of this work shall be repaired by the contractor at their own expense with no additional cost to the Owner.

**Best Management Practices for Construction Activities:**

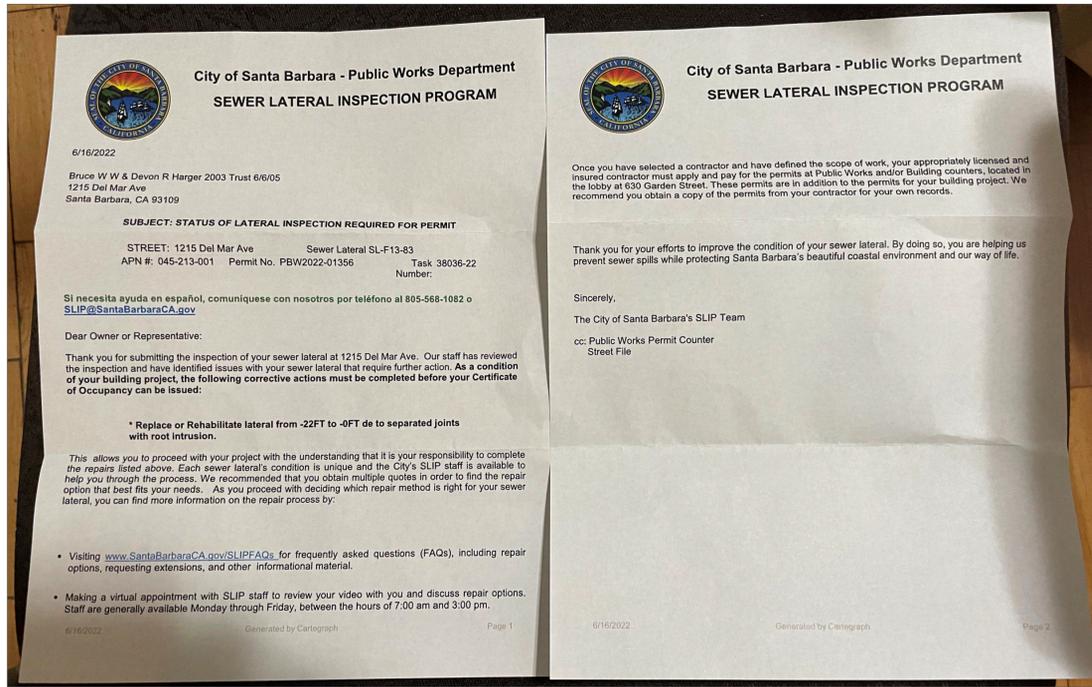
- Stockpiles of earth, sand and other construction related materials must be protected from being transported from the site by the forces of wind or water. This includes sand for stucco, drywall demolition debris, drywall "mud" packaging, etc.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete wastes on site until they can be disposed of as a solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.



**VICINITY MAP**

NOT TO SCALE

NORTH



**F.A.R. Calculator**

<b>ENTER Project Address:</b>	<b>1215 Del Mar - JADU</b>
<b>Is there a basement or cellar existing or proposed?</b>	<b>No</b>
<b>ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):</b>	<b>2,489</b>
<b>ENTER Zone ONLY from drop-down list:</b>	<b>E-3</b>
<b>ENTER Net Lot Area (in sq. ft.):</b>	<b>6,007</b>
<b>Is the height of existing or proposed buildings 17 feet or greater?</b>	<b>Yes</b>
<b>Are existing or proposed buildings two stories or greater?</b>	<b>Yes</b>
<b>The FAR Requirements are:</b>	<b>REQUIRED**</b>
<b>ENTER Average Slope of Lot:</b>	<b>5.00%</b>
<b>Does the height of existing or proposed buildings exceed 25 feet?</b>	<b>Yes</b>
<b>Is the site in the Hillside Design District?</b>	<b>No</b>
<b>Does the project include 500 or more cu. yds. of grading outside the main building footprint?</b>	<b>No</b>
<b>An FAR MOD is required per SBMC §28.15 or §30.20.030</b>	
<b>FLOOR AREA RATIO (FAR):</b>	<b>0.414</b>
<b>Lot Size Range:</b>	<b>4,000 - 9,999 sq.ft.</b>
<b>MAX FAR Calculation (in sq. ft.):</b>	<b>1,200 + (0.25 x lot size in sq.ft.)</b>
<b>100% MAX FAR:</b>	<b>0.450</b>
<b>100% MAX FAR (in sq. ft.):</b>	<b>2,702</b>
<b>85% of MAX FAR (in sq. ft.):</b>	<b>2,296</b>
<b>80% of MAX FAR (in sq. ft.):</b>	<b>2,161</b>
<b>The 2489 square foot proposed total is 93% of the MAX FAR.*</b>	

**GREEN BUILDING:**

FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND COATINGS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CBC CHAPTER 4, DIVISION 4.5 (Cal Green). REFER TO SHEET GBC TO ADDITIONAL INFORMATION.

**CONSTRUCTION WASTE MANAGEMENT:**

RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CBC CHAPTER 4, DIVISION 4.4

**SPECIAL INSPECTION REQUIRED FOR ALL EPOXY ANCHOR BOLT INSTALLATIONS**

ALL ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE LIMITS SHOWN IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.504.1 OR 4.504.2 AS APPLICABLE

ALL ARCHITECTURAL COATINGS USED ON THE PROJECT SHALL MEET THE LIMITS SHOWN IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.504.3

ALL FLOORING INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE LIMITS SHOWN IN CALIFORNIA GREEN BUILDING STANDARDS CODE SECTIONS 4.504.3, 4.504.4, & 4.504.5

**CONSULTANTS**

TITLE 24  
M.E.C. INC.  
SCOTT BEAR  
621 WEST MICHELTORNA, SUITE A  
SANTA BARBARA, CA 93101  
(805) 457-4632

**SCOPE OF WORK**

CONVERSION OF EXISTING PERMITTED ATTACHED GARAGE WITHIN AN EXISTING SINGLE FAMILY HOUSE TO A JUNIOR ACCESSORY DWELLING UNIT PURSUANT TO SBMC Ch. 28.86.  
NO PARKING IS REQUIRED FOR A JUNIOR ACCESSORY DWELLING UNIT PURSUANT TO SBMC 28.86.080B.

PROJECT REQUIRED HERS INSPECTION

ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM PUBLIC WORKS

**BUILDING DATA**

EXISTING PERMITTED CONDITION:	NET	GROSS
1st FLR	1,026 SF	1,221 SF
2nd FLR	437 SF	1,095 SF
<b>TOTAL MAIN RESIDENCE</b>	<b>1,463 SF</b>	<b>1,715 SF</b>
ATTACHED GARAGE	400 SF	421 SF
ATTACHED STORAGE	126 SF	133 SF
<b>TOTAL AREA</b>	<b>2,489 SF</b>	<b>2,870 SF</b>
PROPOSED CONDITION:	NET	GROSS
1st FLR	1,026 SF	1,221 SF
2nd FLR	437 SF	1,095 SF
<b>TOTAL MAIN RESIDENCE</b>	<b>1,463 SF</b>	<b>1,715 SF</b>
ATTACHED JADU	400 SF	421 SF
ATTACHED STORAGE AREA	126 SF	133 SF
<b>TOTAL AREA</b>	<b>2,489 SF</b>	<b>2,870 SF</b>

NO CHANGE TO TOTAL STRUCTURE SIZE

**GENERAL DATA**

PROJECT ADDRESS and OWNER:	DEVON HARGER 1215 DEL MAR AVE. SANTA BARBARA, CA 93109 (805) 570-1382
ARCHITECT/AGENT:	PAUL R. ZINK, AIA 779 CALABRIA DRIVE SANTA BARBARA, CA 93105 (805) 570-1382
APN:	045-213-001
ZONING:	E-3 / S-D-3
AVERAGE SLOPE:	12%
GRADING:	NONE
HIGH FIRE AREA:	NO
FIRE SPRINKLERS:	NO
COASTAL ZONE:	YES, NON APPEALABLE
FLOOD ZONE:	NO
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-B
NUMBER OF STORIES:	TWO STORY
BUILDING HEIGHT:	+/-27'-6" EXISTING NO CHANGE TO EXISTING

**SITE DATA**

LOT SIZE:	6,007 SF OR 0.14 ACRES	
LOT COVERAGE:	EXISTING	PROPOSED
BUILDINGS:	1,644 SF 27.4%	1,644 SF 27.4%
DECKS, PATIO & PAVING:	1,043 SF 17.4%	1,043 SF 17.4%
LANDSCAPING:	3,318 SF 55.2%	3,318 SF 55.2%
<b>TOTAL</b>	<b>6,007 SF 100%</b>	<b>6,007 SF 100%</b>

NO CHANGE TO EXISTING HARDSCAPE SURFACES  
STORM WATER MANAGEMENT PROGRAM NOT REQUIRED

**PARKING TABLE**

RESIDENCE TYPE	EXISTING	COVERED	UNCOVERED
PRIMARY RESIDENCE	EXISTING	2	0
PRIMARY RESIDENCE	PROPOSED	0	2
JUNIOR ACCESSORY DWELLING UNIT	EXISTING	N/A	0
JUNIOR ACCESSORY DWELLING UNIT	PROPOSED	0	0

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- A2 SITE PLAN & EXISTING FLOOR PLANS
- A3 PROPOSED FIRST FLOOR PLAN
- A4 PHOTOS & EXTERIOR ELEVATIONS
- A5 BUILDING SECTIONS
- T24 TITLE 24 FORMS
- GB1 GREEN BUILDING CODE
- GB2 GREEN BUILDING CODE

**REVISIONS**

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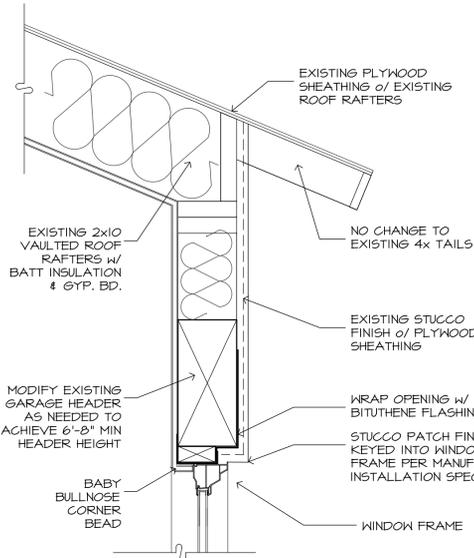
JADU - Junior Accessory Dwelling Unit  
1215 Del Mar Ave.  
Santa Barbara, CA 93109

August 10, 2022

**A1**

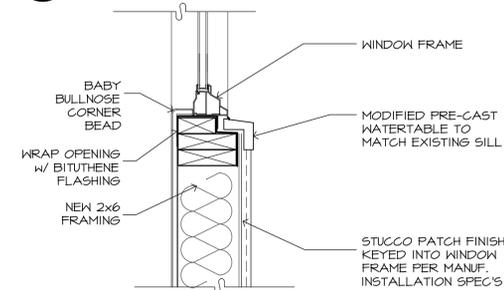


Aug 10, 2022 - 2:31pm 1215 Del Mar JADU-03.dwg



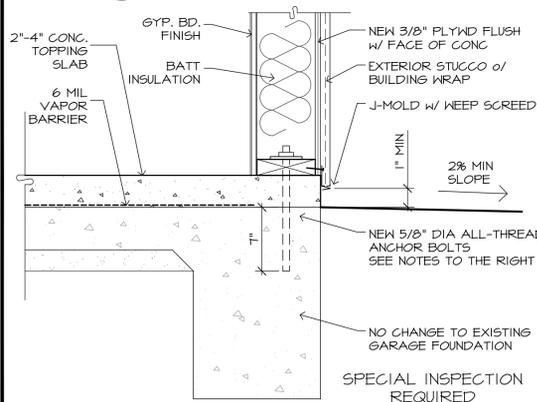
1 Typical Window Head

SCALE : 1 1/2" = 1'-0"



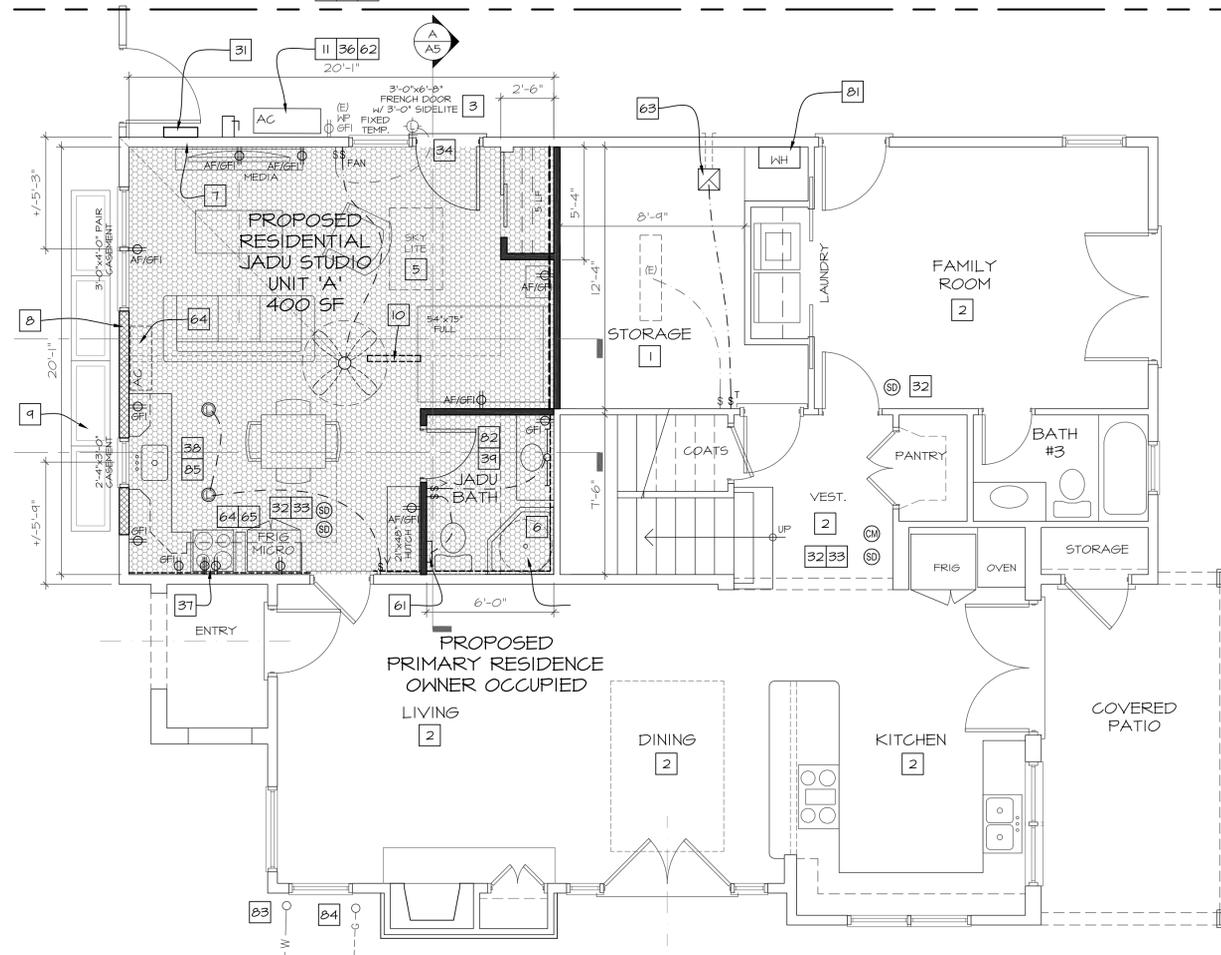
2 Typical Window Sill

SCALE : 1 1/2" = 1'-0"



3 New Wall at Garage Door Opening

SCALE : 1 1/2" = 1'-0"



EXISTING FIRST FLOOR PLAN - PRIMARY RESIDENCE with PROPOSED JADU FLOOR PLAN



LEGEND

- EXISTING 2x WALL TO REMAIN
NEW 2x4 WALL w/ R-11 BATT INSULATION
NEW 2x6 WALL w/ R-21 BATT INSULATION
INSTALL NEW 6 MIL VAPOR BARRIER UNDER NEW 4'-6" CONG. TOPPING SLAB...

ARCHITECTURAL NOTES

- EXISTING WINDOWLESS STORAGE ROOM TO REMAIN. INSTALL NEW EXHAUST FAN.
NO CHANGE TO EXISTING PERMITTED CONDITION.
NEW JADU FRONT DOOR. EXTERIOR LANDING 7.15' MAX BELOW FINISH FLOOR...

ELECTRICAL NOTES

- EXISTING 200 AMP METER/MAIN.
VERIFY/INSTALL SMOKE DETECTORS THROUGH OUT ENTIRE HOUSE, w/ BATTERY BACK-UP...
VERIFY/INSTALL CARBON MONOXIDE DETECTORS w/ BATTERY BACK-UP...

MECHANICAL NOTES

- NEW SIDE WALL EXHAUST FAN TO EXTERIOR, 50 CFM ON HUMIDISTAT SWITCH, SONE RATING TO BE 3.0 OR LESS.
NEW DUCTLESS ELECTRIC HEAT PUMP UNIT. SEE SPEC'S FOR ADDITIONAL INFORMATION.
OPTIONAL, NEW EXHAUST FAN TO EXTERIOR, 50 CFM ON TIMER SWITCH, SONE RATING TO BE 3.0 OR LESS.

PLUMBING NOTES

- NO CHANGE TO EXISTING TANKLESS WATER HEATER w/ REGRIC. PUMP SYSTEM AND WATER SOFTENER SYSTEM.
NEW JADU BATHROOM HOT WATER CONNECTED TO EXISTING HOUSE HOT WATER HEATER w/ REGRIC. PUMP.

JADU EFFICIENCY KITCHEN:

- FRIG: 10.0 MIN CUBIC FT FRIG w/ TOP FREEZER w/ 120 OUTLET
MICRO: MICROWAVE - 1.6 MIN CUBIC FT w/ 120 OUTLET
SINK: 21" x 15" x 8" DEEP DOUBLE BASIN SINK w/ MINIMUM 1-1/2" WASTE LINE...
COUNTER: 12 SF OF COUNTER TOP AREA CAN INCLUDE SINK AREA
STORAGE: 24 SF OF CABINET/STORAGE SURFACE AREA

JADU LIGHT & VENT'G CALC'S:

- PROPOSED LIVING AREA 400 SF
REQUIRED GLAZING AREA: 8% OF FLOOR AREA = 400 x .08 = 32 SF
REQUIRED VENTILATION: 4% OF FLOOR AREA = 400 x .04 = 12 SF
GLAZING AREA PROVIDED:
3'-0" x 6'-8" PAIR FRENCH DOOR = 15 SF x 2 = 30 SF
3'-0" x 4'-0" PAIR CASEMENT = 4 SF x 2 = 8 SF
2'-4" x 3'-0" CASEMENT = 5.25
1'-10" x 3'-10" FIXED SKYLIGHT = 5.25 SF
TOTAL 30 + 8 + 5.25 + 5.25 = 50.5 > 32 SF OK

ELEC HEAT PUMP EQUIPMENT:

- PROVIDE HEATING TO MAINTAIN 68 DEGREES AT 36" ABOVE FLOOR LEVEL.
SUGGESTED EQUIPMENT - CONTRACTOR MAY SUBSTITUTE DIFFERENT EQUIPMENT PROVIDED THAT IT COMPLIES w/ TITLE 24 ENERGY FORMS
REFER TO SHEET A5 FOR SPEC SHEET
HP #1 FUJITSU HALCYON AOUHQPLPASI HEAT PUMP 9,000 BTU/Hr, 20.0 SEER, H5FP I1.0, EER 12.5 APPROX HEIGHT - 51# NOISE LEVEL - 41/48dB PROVIDE 15 AMP BREAKER
AC #1 FUJITSU HALCYON ASHQPLPAS WALL MOUNT R410A REFRIGERANT 1/2-10" LINEAR FOOT REFRIGERATE LINE APPROX HEIGHT - 21#

INSULATION NOTES:

- WALL: EXISTING 2x6 EXTERIOR FRAMING R-11 BATT INSULATION
NEW 2x6 EXTERIOR FRAMING ADD R-21 BATT INSULATION
OPTIONAL R-11 SOUND BATTS AT ALL NEW INTERIOR WALLS
ROOF: EXISTING R-30 BATT IN ATTIC SPACE

WINDOW & DOOR NOTES:

- FIELD VERIFY AVAILABLE ROUGH OPENING w/ MANUF. BEFORE FINALIZING ORDERING.
ALL NEW WINDOW & DOOR GLAZING TO BE CLEAR DUEL GLAZED w/ U-VALUE OF .30 MAX, SHGC OF .23 MIN.
ALL NEW EXTERIOR DOOR w/ GLAZING TO HAVE U-VALUE OF .30 MAX, SHGC OF .23 MIN.
ALL EXISTING & NEW SKYLIGHTS TO HAVE U-VALUE OF .43 MAX, SHGC OF .23 MIN.
THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON ALL WINDOWS & DOORS UNTIL FINAL INSPECTION.
ALL OPENINGS SHALL BE FLASHED WITH BITUTHENE MATERIAL.

ALL BEDROOM SHALL HAVE A WINDOW OR DOOR DIRECTLY TO THE EXTERIOR THAT WILL PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 SQUARE FEET IN THE OPEN POSITION AND A MINIMUM CLEAR OPENING WIDTH OF 20" AND A CLEAR OPENING HEIGHT OF 24" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISH FLOOR. SLEEPING ROOMS ON THE GROUND LEVEL MAY HAVE A CLEAR OPENING OF 5.0 SQUARE FEET.
ALL NEW LIGHTING MUST BE LED OR FLUORESCENT LIGHTING w/ PIN BASE SOCKET. NO SCREW BASE LAMPS ALLOWED.
INTERCONNECTED SMOKE DETECTORS ARE NOT REQUIRED BECAUSE NEW CONSTRUCTION DOES NOT REQUIRE THE INSTALLATION OF MORE THAN ONE NEW SMOKE DETECTOR, R314.4.

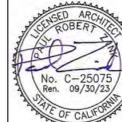
ANCHOR BOLT & PLATE WASHERS:

- INSTALL NEW 5/8" DIA ALL-THREAD BOLTS w/ 3" SQ BY 1/4" THICK PLATE WASHERS AT NEW 2x PRESSURE TREATED SILL PLATES WHERE THE GARAGE DOOR WAS LOCATED. SILL PLATES TO HAVE 1" MIN EMBEDMENT INTO EXISTING GARAGE FOOTINGS.
SPECIAL INSPECTION REQUIRED.
SPACING TO BE 6'-0" ON CENTER, MAXIMUM. PROVIDE A MINIMUM OF (2) ANCHOR BOLTS PER SILL PLATE SECTION AND WITHIN 4'-12" FROM THE ENDS.
LOCATIONS NOT TO BE CONCEALED UNTIL AFTER INSPECTION BY CITY INSPECTOR.

REVISIONS

Table with 2 columns: No., Description. Currently empty.

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August 10, 2022

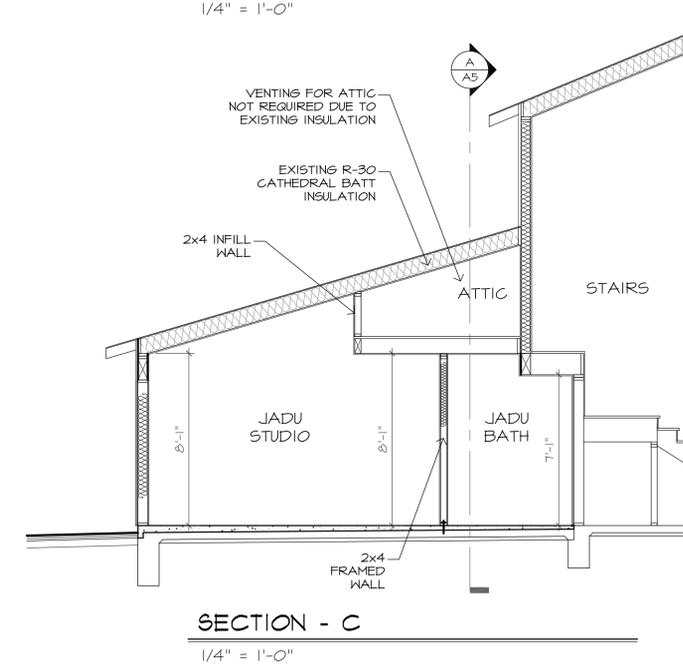
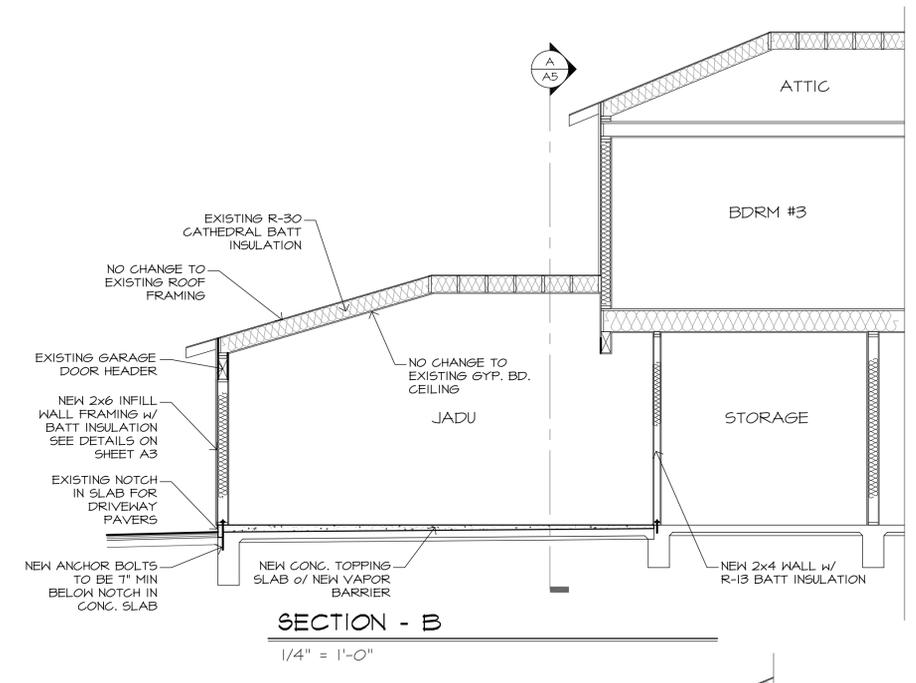
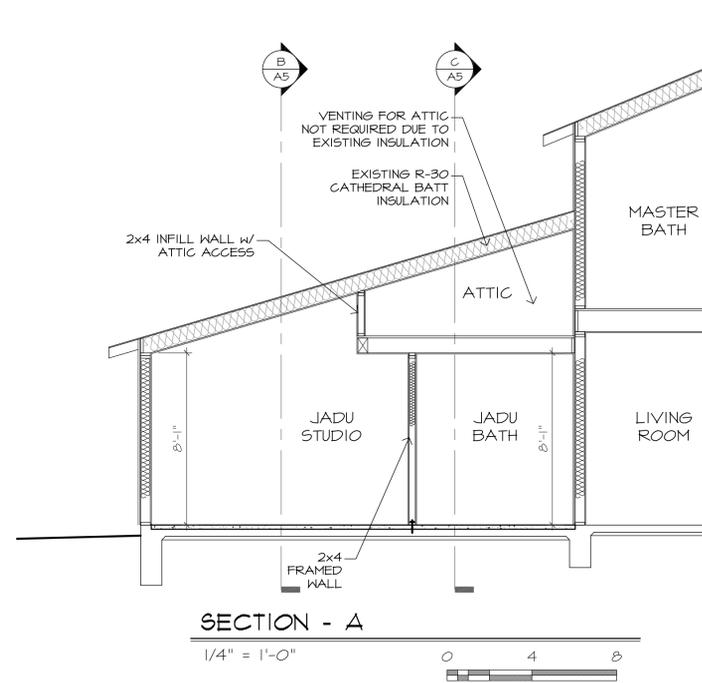


SYSTEMS 09LPAS, 12LPAS, 18LPAS, 24LPAS, 30LPAS, 36LPAS

UP TO 20.0 SEER

	09LPAS1	12LPAS1	18LPAS1	24LPAS1	30LPAS1	36LPAS1
<b>Performance</b>						
Rated Cooling	BTU/h	9,000	12,000	18,000	24,000	30,000
Min. Max. Cooling	BTU/h	3,300-10,800	3,400-12,700	4,000-19,000	4,000-24,400	5,900-32,400
Rated Heating	BTU/h	10,000	14,000	18,000	24,000	30,000
Min. Max. Heating	BTU/h	2,600-12,500	3,100-17,000	2,800-24,000	2,900-29,000	8,700-33,000
SEER		20.0	20.0	20.0	19.0	18.0
HSPF		11.0	11.0	11.0	11.0	11.0
EEF		12.5	11.0	12.0	9.7	8.1
Cooling Operating Range	°F (°C)	14 to 115 (-10 to 46)				
Heating Operating Range	°F (°C)	5 to 75 (-15 to 24)				
Moisture Removal	Pt.Ah (lb)	2.7 (1.3)	3.8 (1.8)	4.0 (1.9)	6.3 (3.0)	9.7 (4.6)
<b>Fan (Cooling Mode)</b>						
Air Circulation: Hi	CFM (m3/h)	412 (270)	453 (270)	530 (900)	642 (1,090)	812 (1,380)
Medium	CFM (m3/h)	330 (560)	353 (600)	471 (800)	471 (800)	665 (1,130)
Low	CFM (m3/h)	253 (430)	265 (450)	377 (640)	377 (640)	536 (910)
Quiet	CFM (m3/h)	159 (270)	167 (250)	241 (410)	306 (520)	418 (710)
Fan Speed Stages		4+Auto	4+Auto	4+Auto	4+Auto	4+Auto
<b>Sound</b>						
Indoor Sound Level (Cp/Htg): Hi	dB(A)	40/42	43/43	44/43	49/47	50/49
Medium	dB(A)	34/36	36/38	40/39	42/43	45/44
Low	dB(A)	29/31	30/33	37/34	37/37	38/38
Quiet	dB(A)	19/21	19/21	26/28	31/32	32/32
Outdoor Sound Level (Cp/Htg)	dB(A)	47/48	47/48	50/50	53/54	53/54
<b>Electrical</b>						
Voltage/Frequency/Phase		208/230 V - 60 Hz				
Circuit Breaker	Amps	15	15	15	20	30
Current Rated/Max. Cooling	Amps	3.5/6.4	4.9/9.9	6.7/9.9	11.4/14.4	13.4/18.9
Current Rated/Max. Heating	Amps	3.7/7.9	4.9/7.9	5.9/11.9	9.1/13.9	10.9/18.9
Power Use Rated/Max. Cooling	kW	0.72/1.18	1.09/1.33	1.50/1.90	2.60/3.20	3.07/4.29
Power Use Rated/Max. Heating	kW	0.74/1.23	1.10/1.61	1.33/2.10	2.07/3.10	2.46/3.15
<b>Size &amp; Weight</b>						
Net Weight	lbs. (kg)	21 (9.5)	22 (10.0)	29 (13)	39 (17.5)	39 (17.5)
Dimensions: Height	inches	10-5/8	21-5/16	11	24-7/8	13-3/8
	mm	270	541	270	632	340
Width	inches	22-1/16	26-1/8	32-1/16	38-9/16	31-7/16
	mm	834	663	834	799	980
Depth	inches	8-3/4	11-7/16	8-3/4	11-7/16	11-7/16
	mm	222	290	222	290	280
<b>Refrigerant</b>						
		R410A	R410A	R410A	R410A	R410A
<b>Additional Data</b>						
Air Direction: Horizontal		Manual	Manual	Manual	Manual	Manual
Air Direction: Vertical		Automatic	Automatic	Automatic	Automatic	Automatic
Air Filter Type		Washable	Washable	Washable	Washable	Washable
Minimum Lineset Length	Ft (m)	16 (5)	16 (5)	16 (5)	16 (5)	16 (5)
Maximum Lineset Length	Ft (m)	66 (20)	66 (20)	66 (20)	66 (20)	164 (50)
		(pre-charge 49)	(pre-charge 49)	(pre-charge 49)	(pre-charge 49)	(pre-charge 66)
Max. Vertical DTL	Ft (m)	49 (15)	49 (15)	49 (15)	49 (15)	98 (30)
Lineset Size	inches	Gas 3/8	Liq. 1/4	Gas 3/8	Liq. 1/4	Gas 5/8
		Indoor ASHRAE/IEPS	Outdoor ASHRAE/IEPS	Indoor ASHRAE/IEPS	Outdoor ASHRAE/IEPS	Indoor ASHRAE/IEPS

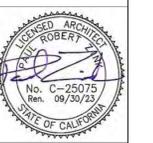
Note: Figures are based on 230 Volts.



REVISIONS

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# PAUL R. ZINK, AIA

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779 Calabria Drive  
Santa Barbara, CA 93105  
(805) 569-3909  
zinkaia@aol.com

June 16, 2022

Planning Division  
City of Santa Barbara  
P.O. Box 1990  
Santa Barbara, CA 93102-1990

RE: Junior Accessory Dwelling Unit (JADU)  
APN: 045-213-001  
Zoning E-3/SD-3

Dear Planning Staff,

We are requesting a JADU, Junior Accessory Dwelling Unit, within an existing two story single family house. The project will consist of the conversion of existing 400 sf permitted attached garage within an existing 1,963 sf single family house to a Junior Accessory Dwelling Unit, JADU. There will be two uncovered off-street parking spaces with this project. There is no change to the building size, bulk, or scale. There is no new square footage being created with this application. No change in roof area. No change in hardscape area. This project is located in the non-appealable area of the Coastal Zone. Storm Water Management Program is not required

If you have any questions, please call 805-570-7382 or email [PRZ@ZinkAIA.com](mailto:PRZ@ZinkAIA.com)

Sincerely,



Paul R, Zink, AIA

,m

## **APPLICABLE COASTAL ACT AND COASTAL LAND USE PLAN POLICIES**

1215 DEL MAR AVE.; PLN2022-00222

### **Coastal Act Policies**

#### **ARTICLE 6 DEVELOPMENT**

##### **Section 30250 Location; existing developed area**

(a) New residential, commercial, or industrial development, except as otherwise provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources. In addition, land divisions, other than leases for agricultural uses, outside existing developed areas shall be permitted only where 50 percent of the usable parcels in the area have been developed and the created parcels would be no smaller than the average size of surrounding parcels.

(b) Where feasible, new hazardous industrial development shall be located away from existing developed areas.

(c) Visitor-serving facilities that cannot feasibly be located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.

(Amended by Ch. 1090, Stats. 1979.)

##### **Section 30251 Scenic and visual qualities**

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

##### **Section 30252 Maintenance and enhancement of public access**

The location and amount of new development should maintain and enhance public access to the coast by (1) facilitating the provision or extension of transit service, (2) providing commercial facilities within or adjoining residential development or in other areas that will minimize the use of coastal access roads, (3) providing nonautomobile circulation within the development, (4) providing adequate parking facilities or providing substitute means of serving the development with public transportation, (5) assuring the potential for public transit for high intensity uses such as high-rise office buildings, and by (6) assuring that the recreational needs of new residents will not overload nearby coastal recreation areas by correlating the amount of development with local park acquisition and development plans with the provision of onsite recreational facilities to serve the new development.

##### **Section 30253 Minimization of adverse impacts**

New development shall do all of the following:

- (a) Minimize risks to life and property in areas of high geologic, flood, and fire hazard.
- (b) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.
- (c) Be consistent with requirements imposed by an air pollution control district or the State Air Resources Board as to each particular development.
- (d) Minimize energy consumption and vehicle miles traveled.
- (e) Where appropriate, protect special communities and neighborhoods that, because of their unique characteristics, are popular visitor destination points for recreational uses.

(Amended by Ch. 179, Stats. 2008)

### **Coastal Land Use Plan Policies**

**Policy 2.1-17** Land Use Categories and Map Designations. The land use categories and designations in Tables 2.1-1 through 2.1-5 establish the type, density, and intensity of land uses within the City's Coastal Zone. Figure 2.1-1 *Local Coastal Program Land Use Map* depicts the land use designation for each property and is intended to provide a graphic representation of policies relating to the location, type, density, and intensity of all land uses in the Coastal Zone. Allowable densities are stated as maximums but may be increased pursuant to an approved Coastal Development Permit that includes density bonus, inclusionary housing, or a lot area modification for affordable housing. However, compliance with the other policies of the Coastal LUP may limit the maximum allowable density of development. Accessory dwelling units are considered accessory uses and are not included as "units" when calculating allowable density.

**Policy 3.1-29** Off-Street Parking for New Development and Substantial Redevelopment.

- A. Parking standards in the Zoning Ordinance are designed to ensure sufficient off-street parking is provided for new development and substantial redevelopment so as to avoid significant adverse impacts to public access to the shoreline and coastal recreation areas. Off-street parking for new development and substantial redevelopment, therefore, shall be consistent with the Zoning Ordinance.
- B. Zoning modifications to allow reduced off-street parking in the West Beach, Lower State, and East Beach Component Areas shall only be approved if a project specific evaluation of parking demand shows that the reduced parking will provide for the anticipated parking demand generated by the development. In determining parking demand, the following may be considered: proximity to transit facilities; mix of uses in the immediate area; offsite parking agreements; and provisions of a transportation demand management plan where it is demonstrated that the plan's measures will sufficiently reduce the demand for parking.

**Policy 4.2-22** Storm Water Management. All development shall be planned, sited, and designed to protect the water quality and hydrology of coastal waters in accordance with the

requirements of the City's Storm Water Management Program, approved by the Central Coast Regional Water Quality Control Board under California's statewide National Pollutant Discharge Elimination System (NPDES) Phase II Small Municipal Separate Storm Sewer System (MS4) Storm Water Permit (Order No. 2013-0001 DWQ, effective July 1, 2013, or any amendment to or re-issuance thereof).

**Policy 4.3-7** Compatible Development. Development shall be sited and designed to be visually compatible with the character of surrounding areas and where appropriate, protect the unique characteristics of areas that are popular visitor destination points for recreational uses.

**Policy 4.3-14** Minimize Removal of Native Vegetation.

- A. Native vegetation that meets the definition of ESHA, creek, or wetland, shall be fully protected as required by the Biological Resource policies (Policy 4.1-1 et seq.).
- B. Development shall minimize removal of non-ESHA native vegetation.

**Policy 5.1-18** Hazard Risk Reduction. New development and substantial redevelopment shall do all of the following, over the expected life of the development, factoring in the effects of sea level rise:

- A. Minimize risks to life and property from high geologic, flood, and fire hazards;
- B. Assure stability and structural integrity; and
- C. Neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area.

**Policy 5.1-20** Avoid or Minimize the Effects of High Geologic Hazards. New development and substantial redevelopment in areas of potential fault rupture, groundshaking, liquefaction, tsunami, seiche, slope failure, landslide, soil erosion, expansive soils, radon, or high groundwater shall be sited, designed, constructed, and operated (including adherence to recommendations contained in any site specific geologic evaluation required) to ensure that the development minimizes risks to life and property, assures stability and structural integrity, and neither creates nor contributes significantly to erosion, geologic instability, or destruction of the site or surrounding area over its expected life, factoring in the effects of sea level rise.