



City of Santa Barbara California

STAFF HEARING OFFICER STAFF REPORT

REPORT DATE: July 20, 2022

AGENDA DATE: July 27, 2022

PROJECT ADDRESS: 205 Mohawk Road (PLN2022-00069)

TO: Renee Brooke, City Planner, Staff Hearing Officer

FROM: Planning Division, (805) 564-5470, ext. 7587
Allison De Busk, Senior Planner
Megan Arciniega, MArciniega@SantaBarbaraCA.gov

I. PROJECT DESCRIPTION

The project consists of a proposal to construct a new 392-square-foot, single-story detached Special Accessory Dwelling Unit (ADU) on an 11,761-square-foot lot by adding on to an existing shed. The subject parcel is developed with a 3,103-square-foot single-story single-unit residence with an attached two-car garage, which is proposed to remain.

II. REQUIRED APPLICATIONS

The discretionary application required for this project is a Coastal Development Permit (CDP2022-00017) to allow the proposed development in the Non-Appealable Jurisdiction of the City's Coastal Zone (SBMC §28.44.060).

Application Deemed Complete: June 21, 2022
Date Action Required: September 19, 2022

III. RECOMMENDATION

If approved as proposed, the project would conform to the City's Zoning and Building Ordinances and policies of the Coastal Land Use Plan. In addition, the size and massing of the project are consistent with the surrounding neighborhood. Therefore, Staff recommends that the Staff Hearing Officer approve the project, making the findings outlined in Section IX of this report, and subject to the conditions of approval in Exhibit A.



Vicinity Map – 205 Mohawk Road

IV. BACKGROUND

Accessory Dwelling Units (ADUs) in the City’s coastal zone are governed by Santa Barbara Municipal Code (SBMC) Chapter 28.86. All ADUs in the coastal zone require approval of a Coastal Development Permit by the Staff Hearing Officer but do not require a public hearing (SBMC §28.44.110.C). Written comments regarding the application will be considered by the Staff Hearing Officer prior to making a decision on the project.

The Staff Hearing Officer’s decision cannot be appealed.

V. SITE INFORMATION AND PROJECT STATISTICS

A. SITE INFORMATION

Applicant:	Alex Wyndham
Property Owner:	David Nygren
Site Information	
Assessor’s Parcel Number (APN):	041-342-002
Zoning District:	E-3/S-D-3 (One-Family Residence/Coastal Overlay). (SBMC Title 28)

Coastal Land Use Plan:	Residential (Max 5 du/ac)
Lot Size:	0.27 acres; approx. 11,761 sq. ft.
Avg. Slope:	7%

B. PROJECT STATISTICS

	Existing	Proposed
Primary Living Area	2,670 square feet	2,670 square feet
Garage/Carport	433 square feet	433 square feet
ADU	N/A	392 square feet
Detached Accessory Space	112 square feet	0 square feet
Floor Area Ratio	0.273 = 81% of Maximum Guideline FAR	0.297 = 89% of Maximum Guideline FAR**
* = ADU not included in detached accessory space calculation per SBMC §28.86.055.C.1.		
** = ADU included in FAR square footage per SBMC §28.86.055.C.		

VI. POLICY AND ZONING CONSISTENCY ANALYSIS

A. ZONING ORDINANCE CONSISTENCY

Standard	Requirement/ Allowance for the ADU	Complies?
Setbacks -Front -Interior	20 feet 4 feet	✓ ✓
Building Height	30 feet	✓
Parking	Primary Residence: 2 covered spaces ADU: 0 spaces	Primary Residence: ✓ ADU: ✓
Open Yard	1,250 square feet	✓
Accessory Building Floor Area (excluding garage and ADU)	500 square feet max.	✓
Building Separation	5 feet min.	✓

As identified in the table above, the project complies with Zoning Ordinance requirements for the zone.

B. ACCESSORY DWELLING UNIT STANDARDS

The project complies with the City’s ADU requirements, as outlined in SBMC Chapter 28.86. Some of the key regulations are discussed in more detail below.

1. REQUIRED FEATURES (SBMC §28.86.050)

The proposed ADU contains all of the required residential elements (kitchen, bathroom, living room, sleeping room), has independent exterior access, and exceeds the 220-square-foot minimum unit size.

2. MAXIMUM FLOOR AREA (SBMC §28.86.055.B)

A detached studio ADU is limited to 850 square feet, and the proposed 392-square-foot ADU complies with this limitation.

3. FLOOR AREA RATIO (SBMC §28.86.055.C)

As shown in the Project Statistics table above, the Floor-to-Lot Area Ratio for all development on site is 89% of the Maximum Guideline FAR. Therefore the project is consistent with FAR zoning standards.

4. ARCHITECTURAL REVIEW (SBMC §28.86.060)

The proposed ADU complies with all required ministerial design criteria, including a height of less than 17 feet and siding and roof materials matching the existing residence. A skylight is proposed, but it is flat, consistent with the design criteria.

5. PARKING (SBMC §28.86.080)

The proposed ADU is located within a half-mile (2,640 feet) of a public transit stop and is outside of any Key Public Access Areas as delineated in Figure 3.1-2 of the Coastal Land Use Plan. Therefore no parking is required for the ADU.

C. COASTAL CONSISTENCY

The project site is located in the Coastal Zone and must be found consistent with the California Coastal Act and the City's Local Coastal Program (LCP), including the Land Use Plan (LUP), which implements the California Coastal Act. Staff finds that the project is consistent with applicable Coastal Act and Land Use Plan policies (refer to Exhibit D for applicable policies), and the draft Findings in Section IX below.

VII. ENVIRONMENTAL REVIEW

Staff has determined that the project qualifies for an exemption from further environmental review under Section 15303 [New Construction or Conversion of Small Structures Facilities] of the California Environmental Quality Act (CEQA) Guidelines, which allows for construction of a second dwelling unit in a residential zone.

Additionally, none of the exceptions to the exemption under CEQA Guidelines Section 15300.2 apply.

VIII. DESIGN REVIEW

The ADU is exempt from design review per California Government Code 65852.2.

IX. FINDINGS

The Staff Hearing Officer finds the following:

A. COASTAL DEVELOPMENT PERMIT (SBMC §28.44.150)

1. The Accessory Dwelling Unit project is consistent with the policies of the California Coastal Act and the project will not have significant adverse effects to the coast or coastal resources. The project site is located in an existing, developed single-family neighborhood with adequate public services including public transportation, fire prevention, police, and utility services. The project will not result in any adverse effects related to coastal resources, including public views, public access to the coast, or coastal bluff erosion. Both parking and open space minimum requirements will be maintained for the primary residence. The project is consistent with Coastal Act policies 30250 (Location; existing developed area), 30251 (Scenic and visual qualities) and 30252 (Maintenance and enhancement of public access) because the project site is not located on a coastal bluff or adjacent to any designated public access points for the coast, and there are no mapped biological, archaeological, or visual resources on the site.

The project is consistent with Coastal Act policy 30253 (Minimization of adverse impacts) because the project site is not located in an area of high geologic, flood, or fire hazard. The project site is not located along any bluffs or cliffs, and does not require construction of any protective device that would impact existing landforms. The proposed Accessory Dwelling Unit is located on a flat portion at the rear of the lot and the project will not contribute to geologic instability or destruction of the site because the area has withstood existing development of similar size and scale and the project would be constructed in accordance with California Building Code requirements for the geologic and soil conditions of the site.

2. The Accessory Dwelling Unit project is consistent with all applicable policies of the City's Local Coastal Plan, all applicable implementing guidelines, and all applicable provisions of the Code. The proposed Accessory Dwelling Unit complies with the zoning ordinance in terms of setbacks, parking and height, and complies with all requirements of the City's Accessory Dwelling Unit Ordinance, as identified in Section VI of the staff report dated July 20, 2022. The proposed Accessory Dwelling Unit is compatible with neighborhood development because the surrounding neighborhood includes a mix of attached and detached accessory structures, as well as one- and two-story residences, and therefore the proposed accessory structure will be consistent with the surrounding building typology. The development will not impact any public views because it is situated at the rear of the lot and there are no important public views across the site. The project will not impact public access to the coast because it is not adjacent to any designated public access points for the coast. The project site is not located on a coastal bluff or any visually-, biologically-, or archaeologically-sensitive area.

The proposed ADU is a 392-square-foot studio unit with no designated on-site parking space; the unit is also considered accessory to the primary residence and hence, it would most likely be more affordable than a standard market rate unit within the City. Adequate parking is provided for the primary residence and the ADU does not require parking due to its location near a bus stop.

Exhibits:

- A. Draft Conditions of Approval
- B. Project Plans
- C. Applicant's letter, dated November 18, 2021

D. Applicable Coastal Policies

DRAFT STAFF HEARING OFFICER CONDITIONS OF APPROVAL

205 MOHAWK ROAD
COASTAL DEVELOPMENT PERMIT
JULY 27, 2022

- I. In consideration of the project approval granted by the Staff Hearing Officer and for the benefit of the owners and occupants of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:
- A. **General Conditions.**
1. **Approved Development.** The development of the Real Property approved by the Staff Hearing Officer on July 27, 2022 is limited to a detached Accessory Dwelling Unit and the improvements shown on the plans signed by the Staff Hearing Officer on said date and on file at the City of Santa Barbara.
 2. **Uninterrupted Water Flow.** The Owner shall allow for the continuation of any historic flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
 3. **Areas Available for Parking.** All parking areas and access thereto shall be kept open and available in the manner in which it was designed and permitted.
 4. **Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
 5. **Approval Limitations.**
 - a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
 - b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Staff Hearing Officer.
 - c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.
 6. **Litigation Indemnification Agreement.** The Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors (“City’s Agents”) from any third party legal challenge to the City’s approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively “Claims”). Applicant/Owner further agrees to indemnify and hold harmless the City and the

City's Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City's sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

- B. **Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed. Please note that these conditions are in addition to the standard submittal requirements for each department.

1. **Public Works Department.**

- a. **Water Rights Assignment Agreement.** The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water Extraction Rights*. Engineering Division Staff prepares said agreement for the Owner's signature.
- b. **Encroachment Permits.** Any encroachment or other permits from the City or other jurisdictions (State, Flood Control, County, etc.) for the construction of improvements (including any required appurtenances) within their rights of way or easements shall be obtained by the Owner.

2. **Community Development Department.**

- a. **Recorded Agreement.** Prior to zoning clearance on a building permit for the proposed Accessory Dwelling Unit, the property owner shall execute a Covenant stating the following: (1) The Accessory Dwelling Unit will not be sold separately from the existing primary residence. (2) The Accessory Dwelling Unit shall not be rented for less than 31 days. When a building permit application is submitted, City Administrative Staff will prepare the Covenant and send an email from ADUCovenant@SantaBarbaraCA.gov letting the applicant know that the Covenant has been created. Written instructions will be provided to you on how to complete the procedure. The permit will not be issued until the

final agreement is recorded. **Certificate of Occupancy will not be granted without the Covenant being recorded.**

- b. **Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. The following statement shall be signed prior to issuance of and permits: The undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner		Date
Contractor	Date	License No.
Architect	Date	License No.
Engineer	Date	License No.

- C. **Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.
 - 1. **Oil Wells.** Based upon data on the Cal-GEM website, there are historic oil drilling wells in proximity to the site and several wells appear to be within 500 feet of the site. If sump material is encountered, the County of Santa Barbara Public Health Department Environmental Health Services Division shall be notified.
 - 2. **Construction Contact Sign.** Immediately after Building permit issuance, signage shall be posted at the points of entry to the site that list the contractor's name and telephone number to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The font size shall be a minimum of 0.5 inches in height. Said sign shall not exceed six feet in height from the ground if it is free-standing or placed on a fence. It shall not exceed six square feet if in a single family zone.
 - 3. **Construction Storage/Staging.** Construction vehicle/ equipment/ materials storage and staging shall be done on-site. No parking or storage shall be permitted within the public right-of-way, unless specifically permitted by the Public Works Director with a Public Works permit.
 - 4. **Unanticipated Archaeological Resources Contractor Notification.** Standard discovery measures shall be implemented per the City master Environmental Assessment throughout grading and construction: Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts. If such archaeological resources are encountered or suspected, work shall be halted

immediately, the City Environmental Analyst shall be notified and the Owner shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

A final report on the results of the archaeological monitoring shall be submitted by the City-approved archaeologist to the Environmental Analyst within 180 days of completion of the monitoring and prior to any certificate of occupancy for the project.

- D. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:
1. **Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §22.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.

II. Time Limits:

NOTICE OF COASTAL DEVELOPMENT PERMIT TIME LIMITS:

The Staff Hearing Officer action approving the Coastal Development Permit shall expire two (2) years from the date of final action upon the application, per Santa Barbara Municipal Code §28.44.230, unless:

1. A Building permit for the work authorized by the coastal development permit is issued prior to the expiration date of the approval.
2. The Community Development Director grants an extension of the coastal development permit approval. The Community Development Director may grant up to three (3) one-

year extensions of the coastal development permit approval. Each extension may be granted upon the Director finding that: (i) the development continues to conform to the Local Coastal Program, (ii) the applicant has demonstrated due diligence in completing the development, and (iii) there are no changed circumstances that affect the consistency of the development with the General Plan or any other applicable ordinances, resolutions, or other laws.

205 Mohawk Road



Existing Site Plan
Scale: 1/8" = 1'-0"

GENERAL NOTES

These plans are the property of WyndhamDESIGN. Use or copy is permitted by contract only. Any revisions to these plans, regardless of scope without written permission of WyndhamDesign absolve WyndhamDesign from any liability claims, suits, or litigation by any interest parties in the project.

The Construction Documents are provided to illustrate the design desired and imply the finest quality workmanship throughout. Any design or detail which appears to be inconsistent with the above should be immediately brought to the attention of the Architect by the Contractor.

All work shall conform to the current edition in force of the Uniform Building Code, UPC, UMC, NEC, and all other applicable requirements, orders, ordinances and regulations.

The Contractor shall verify all construction documents, site dimensions and conditions and shall notify the Architect of any discrepancies or inconsistencies prior to starting work.

Applicable trades shall use a common datum to be designated by the Contractor for all critical measurements. Do not scale drawings.

Specific notes and details shall take precedence over general notes and details. During construction the Contractor shall provide fire extinguishers as required by the Field Inspector.

Wherever existing work is damaged by any other construction operation, it shall be repaired or replaced with new material to match existing as approved by the Architect.

The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its representative. The Contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.

The Contractor shall verify location and clearance of all inserts and embedded items with all applicable drawings before pouring concrete.

The Contractor shall provide all necessary backing and framing for wall mounted items.

Wood in contact with concrete shall be pressure treated. All wood shall be a minimum of 6" above finish grade.

Glass and glazing shall conform to code and with U.S. Consumer Product Safety Commission requirements. Glazed openings in doors, adjacent to doors and within 18" of the adjacent floor shall be tempered glass approved for impact hazard. Glazing in shower and tub enclosures shall be tempered, laminated or approved plastic.

(2) layers of grade 'D' paper will be provided between all plywood shear panels or solid blocking and exterior lath with plaster.

Fire stops shall be located at the following locations (per UBC 2516 (F):
a.) In concealed spaces of stud walls including furred spaces - at floor and ceiling levels and at 10' floor intervals along the length of the wall.
b.) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
c.) In openings around vents, pipes, ducts chimneys, and similar openings which afford a passage for a fire at ceiling and floor levels, with noncombustible materials.
d.) In concealed spaces between stair stringers at the top and bottom of the run and between studs along and in line with the run of the stairs if the walls under the stairs are unfinished.

At exterior wall openings, flashing, counter flashing and expansion joint material shall be constructed in such a manner as to be weatherproof.

At the time of final inspection, an operation & maintenance manual, compact disc or web based reference shall be placed in the building. This manual shall include all of the items listed on California Green Building Standards Code Section 4.410.1. [CGBCS 4.410]

FIRE NOTES

New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall be a minimum of 4" and contrast with their background. Fire sprinklers to be provided to both buildings by others.

CODE COMPLIANCE

- 2019 California Building Code Volumes 1 & 2.
- 2019 California Mechanical Code.
- 2019 California Plumbing Code.
- 2019 California Electrical Code.
- 2019 California Fire Code.
- 2019 California Energy Code.
- 2019 California Residential Building Code.
- 2016 California Green Building Standards Building Code.
- SB Ordinance 5780
- Santa Barbara County Code
- Santa Barbara County (SBCO) Building Ordinance #4986
- Santa Barbara County (SBCO) Grading Ordinance #4786

SPECIAL INSPECTIONS

Special inspections for this project per CBC 1704 & 1705 can be found on Structural sheet S-1.

CONSTRUCTION WASTE RECYCLING

Marborg Construction Recycling Center
119 N. Quarantina St., Santa Barbara, CA
Marborg Construction Recycling Center

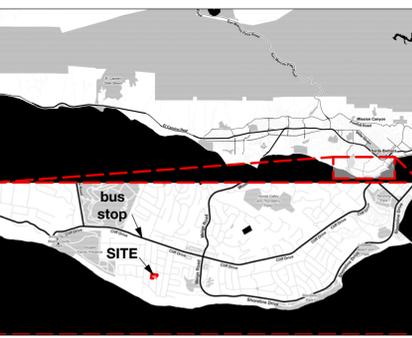
WASTE & RECYCLING SERVICES

Waste Services: (1) Trash 95 gallon cart serviced 1 day per week, (1) Recycle 95 gallon cart serviced 1 day per week, (1) Greenwaste 95 gallon cart serviced 1 day per week.

WATER METERING

ADU to be submetered

VICINITY MAP



PROJECT DESCRIPTION

This is a proposal to add on to an existing shed to build a 1-story, 443 sq. ft. Special ADU in the back yard of the property. The ADU will have a bathroom, bedroom, living room and full kitchen. There are no changes proposed to the primary residence and BLD2018-01002 has been abandoned.

PROJECT INFORMATION

Address	205 Mohawk Road, Santa Barbara, CA 93109
Jurisdiction	Santa Barbara City
APN Number	041-342-002
Owner	David Nygren
Zone / Use	E-3 / SD-3
Occupancy	R-1
Lot Size	0.27 Acres
Average Slope	2%
Grading	n/a
Construction Type	VB
High Fire Zone	No
Flood Zone	No
Allowable building height	30'0"
Proposed building height	16'0"
Proposed use	Special Accessory Dwelling Unit
Building occupancy / type	R
Lot size	11,761 s.f.
Main house	3,283 s.f.
Proposed ADU	443 s.f.
Existing Lot Coverage	27.9%
Proposed Lot Coverage	31.7%

CONTACTS

OWNER: David Nygren
205 Mohawk rd, Santa Barbara, CA 93109

PLANNING CONSULTANT

ARCHITECT: WyndhamDesign
Alex Wyndham
P.O. Box 2626, Santa Barbara, CA, 93120
(805) 403-5677

STRUCTURAL ENGINEER

Greer Engineering
Thuy Greer
971 Cheltenham Rd. Santa Barbara, CA, 93105
(805) 452-3031

SURVEYOR

SOILS ENGINEER

SHEET INDEX

ARCHITECTURAL

SHEET NUMBER	SHEET NAME
A-000	Cover Sheet
A-001	General Notes
A-004	Photos
A-011	(P) Site Plan
A-101	Floor Plans
A-200	Elevations/Building A

KEY NOTES

- (E) Sandstone pavers
- (E) 24" Honey Locust tree to remain
- (E) Paved driveway

SITE PLAN KEY

- Property line
- Interior setback line
- Landscaping / permeable

AREA CALCULATIONS

EXISTING RESIDENCE	Net Area	Gross Area
Existing Residence	2670 s.f.	2819 s.f.
Existing Attached Garage	433 s.f.	464 s.f.
Existing Shed	112 s.f.	120 s.f.
Existing Building Area	3215 s.f.	3403 s.f.
Existing Lot Size (Lot size * 0.125) + 2500	11761 s.f.	3970 s.f.
Existing FAR	28.9%	
Max FAR	35.0%	
% Max FAR	82.7%	
Existing Hardscape	2100 s.f.	
Existing Hardscape / site area %	17.9%	
Existing Permeable	6258 s.f.	
Existing Permeable / site area %	53.2%	
Demolition	0 s.f.	0 s.f.

RESIDENCE + PROPOSED ADU

RESIDENCE + PROPOSED ADU	Net Area	Gross Area
Existing Residence	2670 s.f.	2819 s.f.
Existing Attached Garage	433 s.f.	464 s.f.
Proposed ADU	392 s.f.	443 s.f.
Total	3495 s.f.	3726 s.f.
(P) building area (excluding ADU)	3103 s.f.	3283 s.f.
Existing site area		11761 s.f.
Proposed FAR (excluding ADU)	27.9%	
Max FAR	35.0%	
% Max FAR	79.8%	
Proposed Hardscape	2100 s.f.	
Proposed Hardscape / site area %	17.9%	
Proposed Permeable	6378 s.f.	
Proposed Permeable / site area %	54.2%	
Demolition	0 s.f.	0 s.f.

PARKING CALCULATIONS

PARKING CALCULATIONS	Residence	ADU
Required parking	2	n/a
Existing parking	2	n/a
Proposed parking	2	0

Note: residence is 0.4 miles from nearest bus stop (see vicinity plan above)

205 Mohawk Road

205 Mohawk Road
Santa Barbara, CA 93109

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Cover Sheet

A-000

ARCHAEOLOGY DISCOVERY NOTES

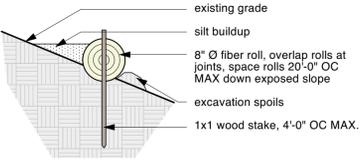
Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unsuspected subsurface archaeological features or artifacts associated with past human occupation of the parcel. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and an archaeologist from the most current City-Qualified Archaeological Resources Consultant List shall be retained by the applicant. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment which may include, but are not limited to, redirection of grading or excavation activities, consultation or monitoring with a Barbaro's Chumash representative from the most current City-Qualified Native American Site Monitors List. If a discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbaro's Chumash representative from the most current City-Qualified Native American Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization. If a discovery consists of possible prehistoric or Native American artifacts or materials, a Barbaro's Chumash representative from the most current Native American Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

Parking 02 Onsite Construction Parking:
All construction vehicles, equipment, staging and storage areas shall be located onsite and outside of the road and highway right of way. The owner/contractor shall provide all construction personnel with a written notice of this requirement and a description of approved parking staging and storage areas. The notice shall include the name and phone number of the owner's designee responsible for enforcement of this restriction.

Solid W-03 Solid Waste-Construction Site:
The Contractor is responsible to provide an adequate number of covered receptacles for construction and employee trash to prevent trash and debris from blowing offsite, shall ensure waste is picked up weekly or more frequently as needed, and shall ensure site is free of trash and debris when construction is complete.

WatCorv-01 Sediment and Contamination Containment:
The owner/contractor shall prevent water contamination during construction by implementing the following construction site measures:

- All entrances/exits to the construction site shall be stabilized using methods designed to reduce transport of sediment off site. Stabilizing measures may include but are not limited to use of gravel pads, steel rumble plates, temporary paving, etc. Any sediment or other materials tracked off site shall be removed the same day as they are tracked using dry cleaning methods. Entrances/exits shall be maintained until graded areas has been stabilized by structures, long term erosion control measures or landscaping.
- Apply concrete, asphalt and seal coat only during dry weather.
- Cover storm drains and manholes within the construction area when paving or applying seal coat, slurry, fog seal, etc.
- Store, handle and dispose of construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. in a manner which minimizes the potential for storm water contamination.



fiber roll: use on unvegetated slopes 20' O.C. measured along slope.

Plastic Sheeting/Tarps:
Plastic sheeting shall generally not be used as an erosion control measure over large areas. Plastic sheeting may be used to protect small, highly erodible areas, or to protect temporary stockpiles of material. If plastic sheeting is used, the path of concentrated flow from the plastic must be protected.

Existing Vegetation and Revegetation:
As far as is practicable, existing vegetation shall be protected and left in place, in accordance with the clearing limits shown on the approved Building, Grading, Landscape and Erosion Control Plans. Work areas shall be carefully located and marked to reduce potential damage. Where existing vegetation has been removed, or the original land contours disturbed, the site shall be revegetated immediately upon completion of grading activities with deep rooted, native, drought tolerant species to minimize slope failure and erosion potential. Use hydroseed, straw blankets, other geotextile binding fabrics or other P&D approved methods as necessary to hold slope soils until vegetation is established.

Slope Protection:
Slopes greater than 4V:1H should be protected using straw and tackifier. The installation of erosion control blankets should be considered for all disturbed slopes steeper than 2.5H:1V and greater than 30 feet in slope length. Installation of fiber rolls staked on contour should be considered for all slopes steeper than 4H:1V, with slope lengths greater than 30 feet. Straw wattles or silt fencing should be installed at the toe of all slopes steeper than 4H:1V. Fiber rolls shall be installed per the detail.

Wet Weather Measures:
If a protective ground cover is not established by October 15, open areas shall be protected through the winter with straw mulch and fiber rolls. Straw mulch shall be applied at a rate of 3,000 lb/ac, or wood fiber if hydroseeded 2,000 lb/ac. Fiber rolls shall be installed per the detail.

General Site Protection:
Stockpiles of earth, sand and other construction related materials must be protected from being transported from the site by the forces of wind or water. This includes sand for stucco, drywall demolition debris, drywall "mud" packaging, etc.

Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.

Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the site.

Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete wastes on site until they can be disposed of as a solid waste. See Erosion Control Plan for designated Concrete Washout Area. The concrete washout area shall consist of a plastic-lined dumpster, or plastic lined earthen, or straw wattle containment area.

Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.

Shoring, Construction Fencing, and other Site Safety:
The responsibility for design to meet site conditions, and maintenance of the construction site safety remains with the construction contractor. Any applicable engineering and permitting of shoring or other safety devices is the responsibility of the contractor. Construction fencing shown on this plan is for tree and vegetation protection only.

Protection Measure Removal:
The erosion prevention and sediment control measures shall remain in place and be maintained in good condition until all disturbed soil areas are permanently stabilized by installation and establishment of landscaping, grass, mulching, or are otherwise covered and protected from erosion.

GRADING AND DRAINAGE NOTES

This Plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.

The Contractor shall be responsible for monitoring erosion and sediment control measures prior, during, and after storm events. Monitoring includes maintaining a file documenting on-site inspections, problems encountered, corrective actions, and notes and a red-line map of remedial implementation measures.

Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris or any hazardous substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediate clean-up shall occur.

Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceway.

Sanitary facilities shall be maintained on-site as appropriate.

During the rainy season, all paved areas shall be kept clear of earth material and debris. All earth stockpiles over 2.0 CY shall be covered by a tarp and ringed with straw bales or silt fencing. The site shall be maintained so as to minimize sediment-laden runoff to any storm drainage system including existing drainage swales and water courses.

Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.

The facilities shown on this plan are designed to control erosion and sediment during the rainy season, November 1 to April 15. Facilities are to be operable prior to October 15 of any year.

Grading operations during the rainy season which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes. This will include use of straw mulch and tackifier, and erosion control blankets.

This plan covers only the first winter following grading with assumed site conditions as shown on the Detailed Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this Plan as necessary with the approval of the City. Plans are to be resubmitted for approval prior to August 15 of each subsequent year until site improvements are accepted by the City.

Construction Entrance:
The existing asphaltic driveway, acting as the construction entrance onto public way, shall be kept clean and free of mud and dirt that is tracked onto it.

A gravel construction entrance shall be installed where vehicle traffic is anticipated off of unpaved areas. The responsibility for field design to meet site conditions, and maintenance of the construction entrance remains with the construction contractor. The owner/contractor shall remain responsible for the clean-up of any mud or dirt that is tracked onto public streets or paved areas, even with the installation of gravel construction entrances.

Catch Basin Protection:
A filter system shall be used on catch basins (drop inlets) in public and private streets, or parking lots downstream of this project. See detail.

Sediment Filters/Barriers (Silt Fences and Straw Wattles):
Sediment filters such as silt fences or straw wattles shall be installed along the down slope edge of the disturbed area, prior to the commencement of grading. The sediment filter structures shall be located so that all runoff from the construction site is filtered prior to crossing a property line, or entering the County storm drain system. Sediment filter structures are to be inspected regularly by County Inspection staff during inspections scheduled by the Contractor. Sediment shall be removed when the depth of sediment is no more than one half the height of the structure. Straw wattles should not remain in place more than 12 months after installation unless it can be determining significant deterioration has not occurred. Sediment filters shall be inspected and repaired prior to, and after every storm event. Sediment filters shall be installed level along contours, and shall have upturns into the slope for the last 5'. Silt fences and straw wattles shall be installed per detail in locations identified on the Erosion Control Plan.

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ABBREVIATIONS

The following abbreviations are applicable to the architectural sheets. See symbol and legend information on mechanical, plumbing, and electrical plans for abbreviations applicable to those drawings

A	And	JAN.	Janitor
∠	Angle	JST.	Joist
⊙	Centerline	K.D.	Kitchen
c	Channel	KIT.	Kitchen
d	Diameter	L.	Length
o	Offset	LAB.	Laboratory
#	Number	LAM.	Laminate
	Square	LAV.	Lavatory
A.B.	Anchor Bolts	LDGR.	Lead
AC.	Asphalt Concrete	L.F.	Linear Foot
ACOUS.	Acoustical	L.H.	Left Hand
A.D.	Area Drain	LN.	Linear
A.D.I.	Adjustable	LNR.	Lumber
AGGR.	Aggregate	L.L.	Live Load
AL.	Aluminum	LOC.	Location
ALN.	Alternate	LT.	Light
ANOD.	Anodized	LT.WT.	Lightweight
APPROX.	Approximate	LTG.	Lighting
ARCH.	Architectural	MAX.	Maximum
ASPH.	Asphalt	MAS.	Masonry
ASSY.	Assembly	MATL.	Material
	Board	M.B.	Machine Bolt
BD.	Board	M.C.	Medicine Cabinet
BETW.	Between	M.E.H.	Mechanical
BEV.	Bevel	MED.	Medium
BTUM.	Blumminous	MEMB.	Membrane
BLDG.	Building	MEZZ.	Mezzanine
BLK.	Block	MFR.	Manufacturer
BLKG.	Blocking	MH.	Manhole
BM.	Beam	MIN.	Minimum
B.N.	Boards Nailing	MIR.	Mirror
B.O.	Bottom Of	MISC.	Miscellaneous
BOT.	Bottom	MLWK.	Millwork
BOT.	Bottom	MTD.	Mounted
BRTG.	Bearing	MTG.	Mounting
BSMT.	Basement	MTL.	Metal
B.U.	Build-Up	MTR.	Mortar
	Cabinet	MUL.	Mullion
CAB.	Cabinet	N.	North
C.B.	Catch Basin	(N)	New
CEM.	Cement	N.A.	Not Applicable
CER.	Ceramic	N.I.C.	Not In Contract
C.F.	Cubic Foot	NO. or #	Number
CHAM.	Chamber (ed)	NOM.	Nominal
C.I.	Cast Iron	N.T.S.	Not to Scale
C.I.P.	Cast-In-Place		
C.G.	Corner Guard		
C.J.	Construction Joint		
CL.	Ceiling	O.V.	Over
CLG.	Caulking	O.A.	Overall
CLR.	Clear	OBS.	Obscure
C.M.U.	Concrete Masonry Unit	O.C.	On Center
COUNT.	Counters	OC.	Occupants
C.O.	Cased Opening	O.D.	Outside Diameter
CO.	Cleanout	OFC	Office
COL.	Column	OPNG.	Opening
CONC.	Concrete	OPP.	Opposite
CONN.	Connection	OVHD.	Overhead
CONSTR.	Construction	PAR.	Parallel
CONT.	Continuous	PARTN.	Partition
CORR.	Corridor	PCF.	Pounds Per Cubic Foot
CPT.	Carpet	PERF.	Perforate
CSK.	Countersunk	PERP.	Perpendicular
CSMT.	Casement	PL.	Plate
CT.	Ceramic Tie	PLAM.	Plastic Laminate
CTR.	Center	PLAS.	Plastic
C.Y.	Cubic Yard	PLUMB.	Plumbing
	Double	PLF.	Pounds Per Lineal Foot
DBL.	Double	P.L.Y.	PLYwood
DEMO.	Demolition	PNL.	Panel
DEP.	Depress(ed)	PNT.	Paint
DEPT.	Department	PAIR.	Pair
D.F.	Drinking Fountain	PRCST.	Precast
D.F.	Drinking Fountain	PREFAB.	Prefabricate(d)
D.H.	Double Hung	PREFIN.	Prefinish(ed)
DIA.	Diameter	PROP.	Property
DIAG.	Diagonal	PSI.	Pounds Per Square Inch
DIM.	Dimension	P.T.	Pressure Treated
DISP.	Dispenser	PT.	Point
D.L.	Dead Load	P.T.D.	Paper Towel Dispenser
DN.	Down	P.T.D.F.	Pressure Treated Douglas Fir
DR.	Door	P.T.D.R.	Combination Paper Towel Dispenser & Receptacle
DTL.	Detail	PTN.	Partition
DWR.	Drawer	P.T.R.	Paper Towel Receptacle
D.S.P.	Downspout	PWC.	Polyvinylchloride
DWG.	Drawing	PVMT.	Pavement
(E)	Existing	Q.T.	Quarry Tile
E.	East	QTY.	Quantity
E.A.	Each	QUAL.	Quality
E.B.	Expansion Bolt	R.	Riser
E.F.	Each Face	RAD.	Radius
E.J.	Expansion Joint	RBR.	Rubber
ELAST.	Elastomeric	RD.	Road
ELECT.	Electrical	R.D.	Roof Drain
ELEV.	Elevation	RECES.	Recessed
EMER.	Emergency	REF.	Reference
ENCL.	Enclosure	REFR.	Refrigerator
E.P.	Electrical Panelboard	REV.	Reverse(on)
EQ.	Equal	REIN.	Reinforced
EQUIP.	Equipment	REQD.	Required
EQUIV.	Equivalent	RESIL.	Resilient
ESTM.	Easement	R.F.C.	Recessed
EW.C.	Electric Water Cooler	RGTR.	Register
EXPO.	Exposed	R.H.	Right Hand
EXP.	Expansion	RLG.	Railing
EXT.	Exterior	RM.	Room
F.A.	Fire Alarm	RO.	Round
FAB.	Fabricate(d)ion	R.O.	Rough Opening
F.D.	Floor Drain	RWD.	Redwood
FDN.	Foundation	R.W.L.	Rain Water Leader
F.E.	Fire Extinguisher	S.	South
F.E.C.	Fire Extinguisher cab.	S.C.	Solid Core
F.F.	Finish Floor	S.C.D.	Seat Cover Dispenser
FG.	Fiberglass	SCHED.	Schedule
FH.	Fire Hydrant	S.E.D.	Soap Dispenser
F.H.C.	Fire Hose Cabinet	SECT.	Section
FIN. or F.	Finish	SH.	Shelf
FLR.	Floor	SHR.	Shower
FLASH.	Flashing	SHT.	Sheet
FLUOR.	Fluorescent	SIM.	Similar
FN.	Field Nailing	S.N.D.	Sanitary Napkin Dispenser
FO.	Face Of	S.N.R.	Sanitary Napkin Receptacle
F.O.C.	Face of Concrete	SPEC.	Specification
F.O.F.	Face of Finish	SQ.	Square
F.O.M.	Face of Masonry	S.S.	Stainless Steel
F.O.S.	Face of Studs	S.SK.	Service Sink
FPFR.	Fireproof	STA.	Station
FT.	Foot or Feet	STAG.	Stagger(ed)
FTG.	Footing	STD.	Standard
FURN.	Furniture	STL.	Steel
FURS.	Furring	STOR.	Storage
FUT.	Future	STR.	Structural
FSTR.	Fixture	SUSP.	Suspended
	Gauge	SYM.	Symmetrical
GA.	Gauge	SYS.	System
GALV.	Galvanized	T.	Tread
G.B.	Grab Bar	T.B.	Towel Bar
GENL.	General	T.C.	Top of Curb
G.I.	Galvanized Iron	TEL.	Telephone
GL.	Glass	TEMP.	Temporary
GLB.	Glued Laminated Beam	TER.	Terrazzo
GND.	Ground	T.G.	Tongue & Groove
GR.	Grade	T.G.G.	Tongue & Groove
GT.	Gutter	THRD.	Thread(ed)
GUT.	Gutter	THRES.	Threshold
GVL.	Gravel	T.O.PL.	Top of Plate
GYP.	Gypsum	T.P.D.	Top of Pavement
GYPBD.	Gypsum Board	T.P.D.	Toilet Paper Dispenser
GYPPLAS.	Gypsum Plaster	T.V.	Television
H.B.	Hose Bibb	T.W.	Top of Wall
H.C.	Handicap	TYP.	Typical
HC.	Hollow Core	UNF.	Unfinished
HDR.	Header	UN.N.O.	Unless Noted Otherwise
HDWD.	Hardwood	UTIL.	Utility
HDWR.	Hardware	V.C.T.	Vinyl Composition Tile
HR.	Hanger	VERT.	Vertical
H.M.	Hollow Metal	VEST.	Vestibule
HORIZ.	Horizontal	VNR.	Veneer
HPLAM.	High Pressure Laminate	W.	West
HR.	Hour	W.	With
HGT.	Height	W.C.	Water Closet
HTR.	Heater	W.D.	Wood
H.V.A.C.	Heating/Ventilating/Air Conditioning	WF.	Wide Flange
HYD.	Hydrant	WGL.	Wire Glass
HYDR.	Hydraulic	W.I.	Wrought Iron
	Inside Diameter (Dim.)	WIP.	Without
I.D.	Inside Diameter (Dim.)	WSP.	Waterproofing
IN.	Inches	WSCT.	Wainscot
INCAN.	Incandescent	WVF.	Welded Wire Fabric
INCL.	Include(d)ing		
INFO.	Information		
INSF.	Inspecting(i)on		
INSTL.	Installation		
INSUL.	Insulation		
INT.	Interior		



205 Mohawk Road

205 Mohawk Road
Santa Barbara, CA 93109

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General Notes

A-001



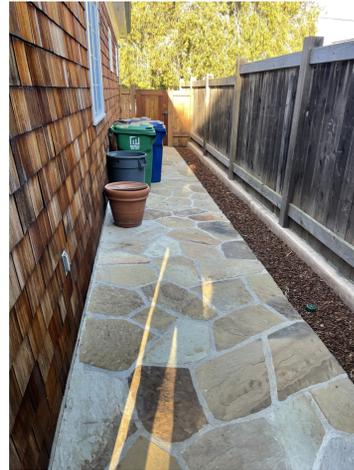
(E) Main Residence, East Elevation
Scale: n/a

2



(E) Main residence, East Elevation
Scale: n/a

1



(E) Main Residence, South Elevation
Scale: n/a

5



(E) Main Residence, South Elevation
Scale: n/a

4



(E) Main Residence, South Elevation
Scale: n/a

3



(E) Main Residence, North Elevation
Scale: n/a

8



(E) Shed, East Elevation
Scale: n/a

7



(E) Shed, North Elevation
Scale: n/a

6

NOTES

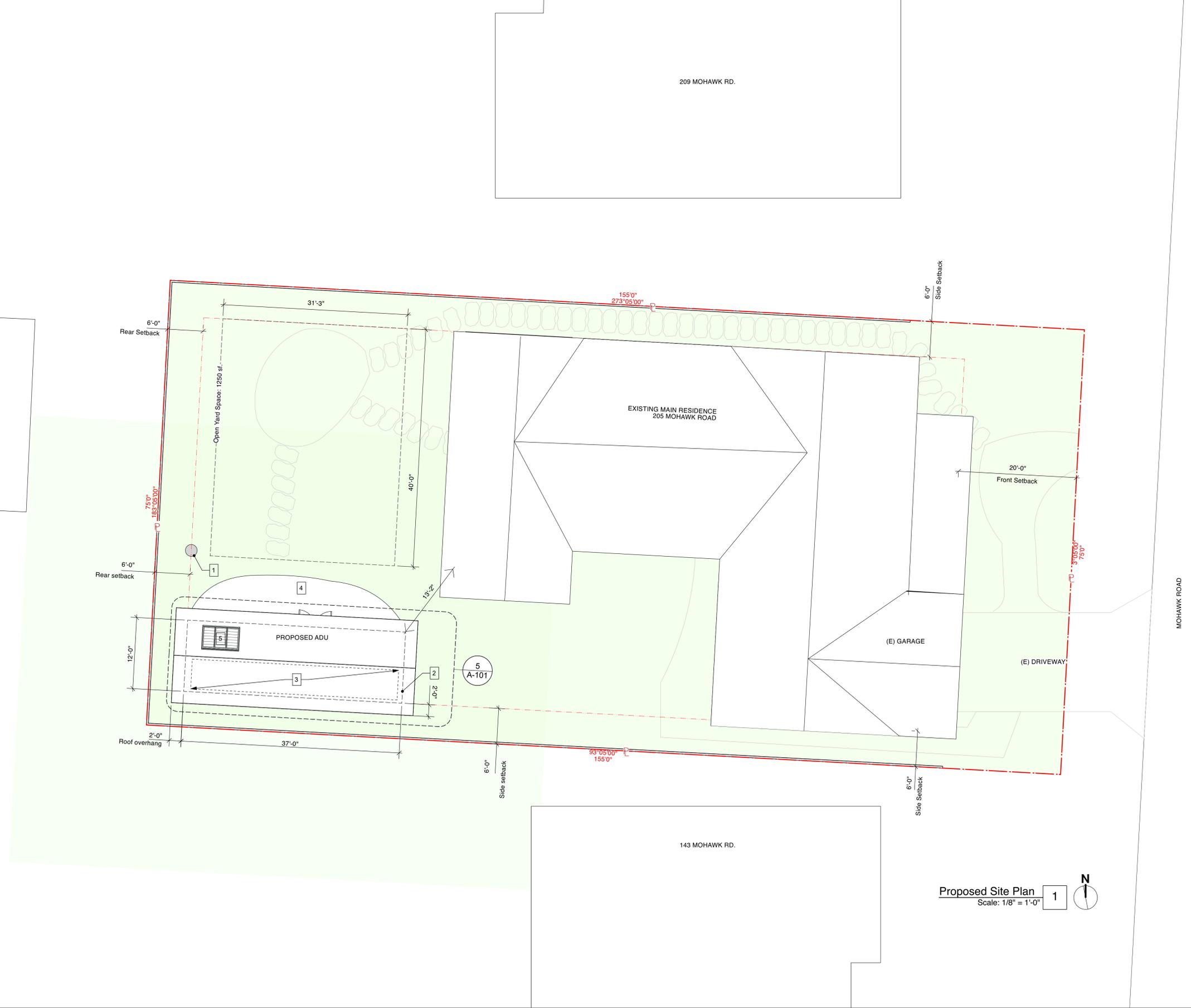
1. No trees are proposed to be removed
- 2.

KEY NOTES

1. (E) 24" Honey Locust tree to remain
2. Wall Below
3. Solar panel installation location
4. (P) 250 s.f. Sandstone pavers
5. (P) Skylight

SITE PLAN KEY

- Property line
- Interior setback line
- Landscaping / permeable



Proposed Site Plan 1
Scale: 1/8" = 1'-0"



FLOOR PLAN NOTES

All new glazing to comply with minimum coefficients for U and SHG C as per Table 150.1-A CA Energy Code. Climate Zone 5, Max U-factor = 0.32
Exterior walls are to be approved noncombustible material, ignition-resistant material as defined in CRC Section R337.2, Heavy Timber as defined in CRC Section R337.2, log wall construction, shall meet the requirements of SFM 12-7A-1, shall have a minimum of one layer of 5/8 inch Type X gypsum sheathing beneath the exterior covering or shall be constructed as an approved 1-hour fire resistive wall assembly on the exterior side. Approved exterior wall materials shall extend from the top of the foundation to the 2x minimum blocking between rafters at the eaves or to the bottom of the enclosure in the case of boxed or enclosed eaves. [CRC R337.7.3]

Factory-built wood burning fireplaces shall be qualified at the U.S. EPA's Voluntary Fireplace Program Phase 2 emission level and be in accordance with the CA Green Building Standards Code, Chapter 4, Division 4.5 [CRC R1004.1.1]

All chimneys attached to any appliance or fireplace that burns solid fuel shall be equipped with an approved spark arrester which complies with the requirements of CRC R1003.9.1. Where a metal rain cap is installed, the net free area under the cap shall not be less than four times the net free area of the outlet of the chimney flue it serves. [CRC R1003.9; CMC 802.5.2.1]

ROOF PLAN NOTES

All roofing to be Class A fire rated
When provided, valley flashings subject to CRC Section R337 are not to be less than 26 galvanized sheet gauge corrosion resistant metal installed over a minimum 36" wide underlayment consisting of one layer of minimum 72 pound mineral surfaced non-perforated cap sheet complying with ASTM D3909 installed over the combustible decking. [CRC R337.5.3]

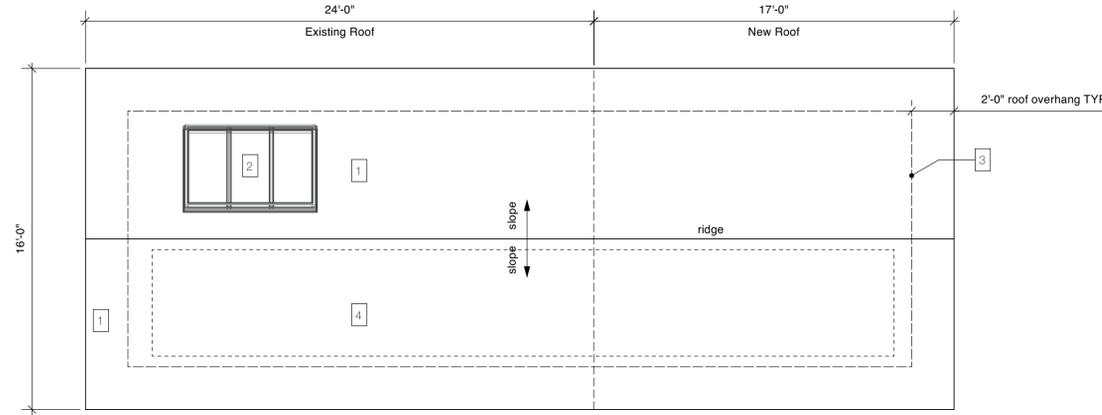
Except for gable end overhangs beyond the exterior wall (other than at the lower end of the rafter tails), fascia and architectural trim, the exposed underside of enclosed roof eaves having either a boxed-in roof eave soffit with a horizontal underside or sloping rafter tails with an exterior covering applied to the underside of the rafter tails shall meet the requirements of SFM 12-7A-3 or ASTM E2957, shall be non-combustible material, shall be ignition-resistant material as defined in CRC Section R337.2, shall have a minimum of one layer of 5/8 inch Type X gypsum sheathing beneath the exterior covering on the underside of the eave or shall be constructed as an approved 1-hour fire resistive wall assembly on the exterior side. [CRC R337.7.5]

Except for architectural trim, the exposed underside of exterior porch ceilings shall meet the requirements of SFM 12-7A-3 or ASTM E2957, shall be non-combustible material, shall be ignition-resistant material as defined in CRC Section R337.2, shall have a minimum of one layer of 5/8 inch Type X gypsum sheathing beneath the exterior covering on the underside of the eave or shall be constructed as an approved 1-hour fire resistive wall assembly on the exterior side. [CRC R337.7.6]



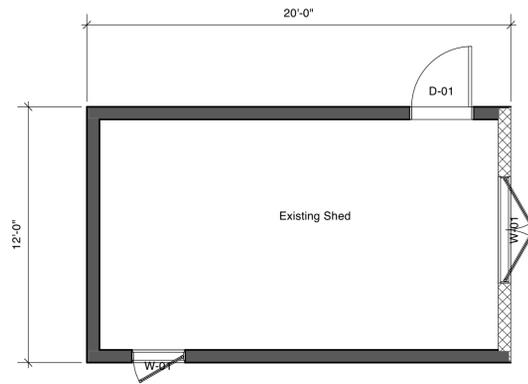
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Scale: 1/4" = 1'-0"

3



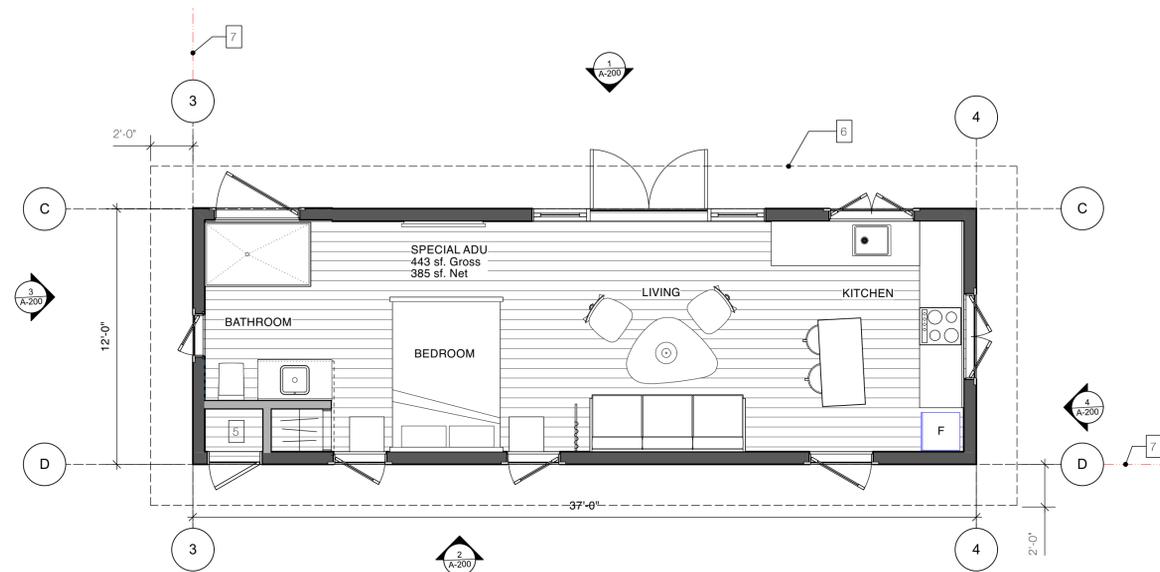
Proposed Roof Plan
Scale: 1/4" = 1'-0"

6



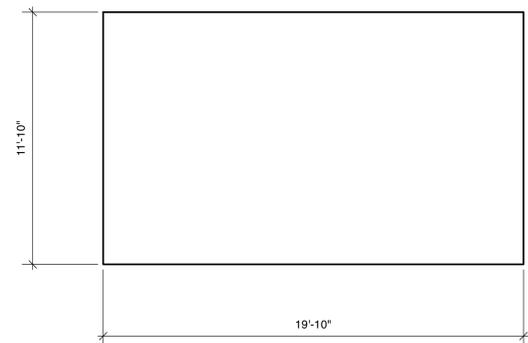
Existing Floor Plan
Scale: 1/4" = 1'-0"

2



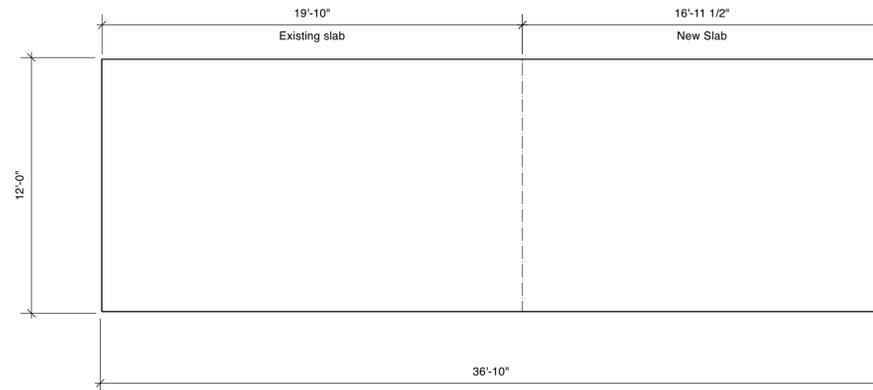
Proposed Floor Plan
Scale: 1/4" = 1'-0"

5



Existing Slab Plan
Scale: 1/4" = 1'-0"

1



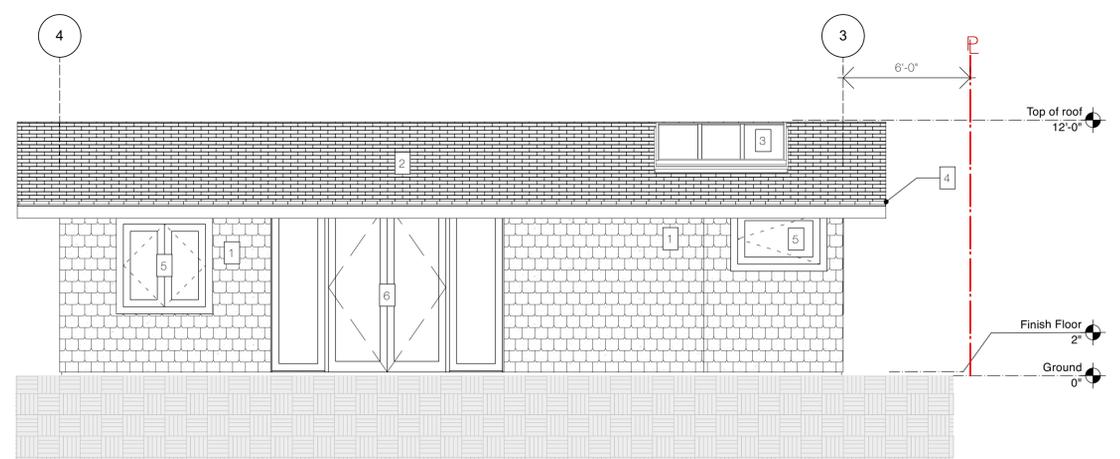
Proposed Slab Plan
Scale: 1/4" = 1'-0"

4

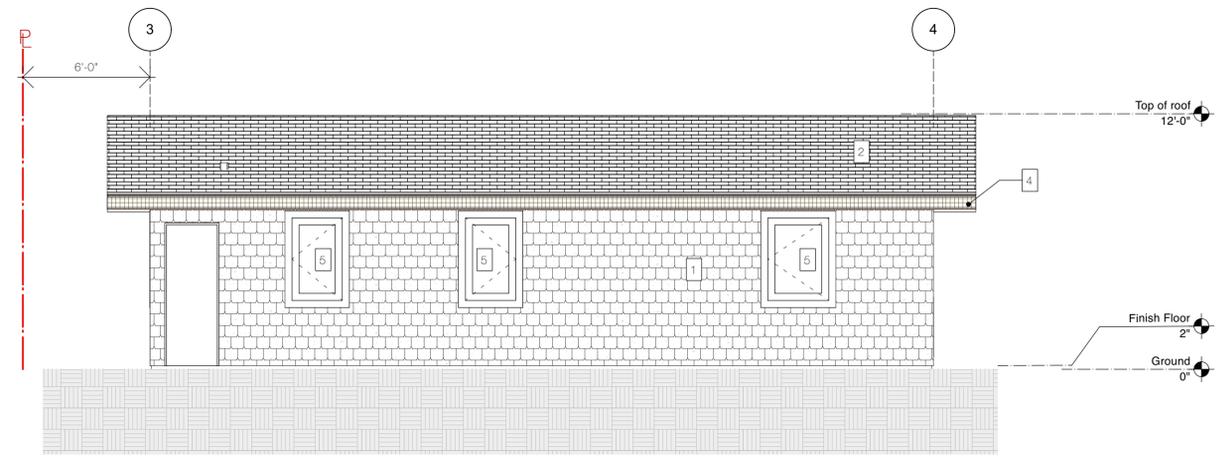
NOTES

1. Asphalt shingles to match (E) Residence
2. Skylight, flat design, not domed
3. Wall Below
4. Area for solar panels: 175 sf.

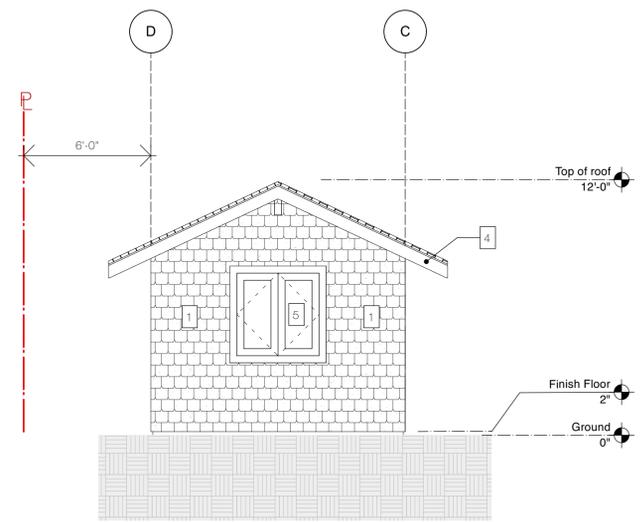
5. Mechanical room
6. Roof overhead
7. Property line setback



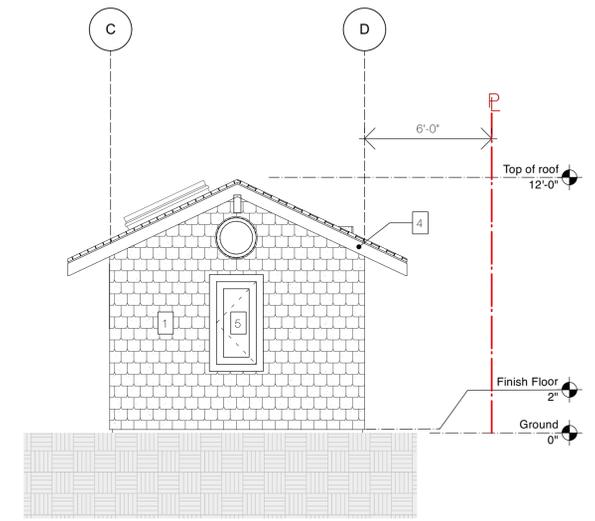
North Elevation
Scale: 1/4" = 1'-0" **1**



South Elevation
Scale: 1/4" = 1'-0" **2**



East Elevation
Scale: 1/4" = 1'-0" **4**



West Elevation
Scale: 1/4" = 1'-0" **3**

Notes

- 1. Wood shingle siding to match (E) house
- 2. Asphalt shingle roof to match existing house
- 3. Flat skylight
- 4. Fascia painted white
- 5. Window and trim to match (E) main residence
- 6. Door and trim to match (E) main residence

F-X Material Callout
see material schedule

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WyndhamDESIGN
PO Box 2626
Santa Barbara, CA
93120



November 18, 2021
City of Santa Barbara Planning Department
RE: 205 Mohawk Road, new ADU

Dear City of Santa Barbara Planning department,

This is a proposal to build a 1-story, 443 sf. Special ADU in the back yard of the property at 205 Mohawk road. The ADU will have a bathroom, bedroom, living room and full kitchen. The existing footprint of the 2819 sf. residence and the 464 sf. garage will not be altered. Since this property is in the coastal overlay we understand that we need to receive a land use permit from the planning department before we submit to the building department.

Thank you very much for your consideration,

Alex Wyndham

Applicable Coastal Act and Coastal Land Use Plan Policies

Coastal Act Policies

ARTICLE 6 DEVELOPMENT

Section 30250 Location; existing developed area

(a) New residential, commercial, or industrial development, except as otherwise provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources. In addition, land divisions, other than leases for agricultural uses, outside existing developed areas shall be permitted only where 50 percent of the usable parcels in the area have been developed and the created parcels would be no smaller than the average size of surrounding parcels.

(b) Where feasible, new hazardous industrial development shall be located away from existing developed areas.

(c) Visitor-serving facilities that cannot feasibly be located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.

(Amended by Ch. 1090, Stats. 1979.)

Section 30251 Scenic and visual qualities

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

Section 30252 Maintenance and enhancement of public access

The location and amount of new development should maintain and enhance public access to the coast by (1) facilitating the provision or extension of transit service, (2) providing commercial facilities within or adjoining residential development or in other areas that will minimize the use of coastal access roads, (3) providing nonautomobile circulation within the development, (4) providing adequate parking facilities or providing substitute means of serving the development with public transportation, (5) assuring the potential for public transit for high intensity uses such as high-rise office buildings, and by (6) assuring that the recreational needs of new residents will not overload nearby coastal recreation areas by correlating the amount of development with local park acquisition and development plans with the provision of onsite recreational facilities to serve the new development.

Section 30253 Minimization of adverse impacts

New development shall do all of the following:

- (a) Minimize risks to life and property in areas of high geologic, flood, and fire hazard.
 - (b) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.
 - (c) Be consistent with requirements imposed by an air pollution control district or the State Air Resources Board as to each particular development.
 - (d) Minimize energy consumption and vehicle miles traveled.
 - (e) Where appropriate, protect special communities and neighborhoods that, because of their unique characteristics, are popular visitor destination points for recreational uses.
- (Amended by Ch. 179, Stats. 2008)

Coastal Land Use Plan Policies

Policy 2.1-17 Land Use Categories and Map Designations. The land use categories and designations in Tables 2.1-1 through 2.1-5 establish the type, density, and intensity of land uses within the City's Coastal Zone. Figure 2.1-1 *Local Coastal Program Land Use Map* depicts the land use designation for each property and is intended to provide a graphic representation of policies relating to the location, type, density, and intensity of all land uses in the Coastal Zone. Allowable densities are stated as maximums but may be increased pursuant to an approved Coastal Development Permit that includes density bonus, inclusionary housing, or a lot area modification for affordable housing. However, compliance with the other policies of the Coastal LUP may limit the maximum allowable density of development. Accessory dwelling units are considered accessory uses and are not included as "units" when calculating allowable density.

Policy 3.1-29 Off-Street Parking for New Development and Substantial Redevelopment.

- A. Parking standards in the Zoning Ordinance are designed to ensure sufficient off-street parking is provided for new development and substantial redevelopment so as to avoid significant adverse impacts to public access to the shoreline and coastal recreation areas. Off-street parking for new development and substantial redevelopment, therefore, shall be consistent with the Zoning Ordinance.
- B. Zoning modifications to allow reduced off-street parking in the West Beach, Lower State, and East Beach Component Areas shall only be approved if a project specific evaluation of parking demand shows that the reduced parking will provide for the anticipated parking demand generated by the development. In determining parking demand, the following may be considered: proximity to transit facilities; mix of uses in the immediate area; offsite parking agreements; and provisions of a transportation demand management plan where it is demonstrated that the plan's measures will sufficiently reduce the demand for parking.

Policy 4.2-22 Storm Water Management. All development shall be planned, sited, and designed to protect the water quality and hydrology of coastal waters in accordance with the requirements of the City's Storm Water Management Program, approved by the

Central Coast Regional Water Quality Control Board under California's statewide National Pollutant Discharge Elimination System (NPDES) Phase II Small Municipal Separate Storm Sewer System (MS4) Storm Water Permit (Order No. 2013-0001 DWQ, effective July 1, 2013, or any amendment to or re-issuance thereof).

Policy 4.3-7 Compatible Development. Development shall be sited and designed to be visually compatible with the character of surrounding areas and where appropriate, protect the unique characteristics of areas that are popular visitor destination points for recreational uses.

Policy 4.3-9 Minimize Excavation, Grading and Earthwork. Minimize alteration of natural landforms to ensure that development is subordinate to surrounding natural features such as drainage courses, prominent slopes and hillsides, and bluffs. Site and design new development and substantial redevelopment to minimize grading and the use of retaining walls, and, where appropriate, step buildings to conform to site topography.

Policy 5.1-18 Hazard Risk Reduction. New development and substantial redevelopment shall do all of the following, over the expected life of the development, factoring in the effects of sea level rise:

- A. Minimize risks to life and property from high geologic, flood, and fire hazards;
- B. Assure stability and structural integrity; and
- C. Neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area.

Policy 5.1-20 Avoid or Minimize the Effects of High Geologic Hazards. New development and substantial redevelopment in areas of potential fault rupture, groundshaking, liquefaction, tsunami, seiche, slope failure, landslide, soil erosion, expansive soils, radon, or high groundwater shall be sited, designed, constructed, and operated (including adherence to recommendations contained in any site specific geologic evaluation required) to ensure that the development minimizes risks to life and property, assures stability and structural integrity, and neither creates nor contributes significantly to erosion, geologic instability, or destruction of the site or surrounding area over its expected life, factoring in the effects of sea level rise.