



# City of Santa Barbara California

## STAFF HEARING OFFICER STAFF REPORT

**REPORT DATE:** July 6, 2022  
**AGENDA DATE:** July 13, 2022  
**PROJECT ADDRESS:** 302 Coleman (PLN2022-00028)

**TO:** Ellen Kokinda, Administrative Analyst II, Staff Hearing Officer  
**FROM:** Planning Division, (805) 564-5470, ext. 4552  
 Allison De Busk, Senior Planner  
 Robert Dostalek, RDostalej@SantaBarbaraCA.gov

### **I. PROJECT DESCRIPTION**

The project consists of a proposal to construct a new 449-square-foot, single-story detached Accessory Dwelling Unit (ADU) on a 9,328-square-foot lot. The project also includes demolition of a 108-square-foot workshop structure and a gazebo. One acacia tree will be removed. The subject parcel is developed with a 1,858-square-foot single-story single-unit residence with an attached two-car garage, which is proposed to remain.

### **II. REQUIRED APPLICATIONS**

The discretionary application required for this project is a Coastal Development Permit (CDP2022-00011) to allow the proposed development in the Appealable Jurisdiction of the City's Coastal Zone (SBMC §28.44.060).

**Application Deemed Complete:** June 8, 2022  
**Date Action Required:** September 2, 2022

### **III. RECOMMENDATION**

If approved as proposed, the project would conform to the City's Zoning and Building Ordinances and policies of the Coastal Land Use Plan. In addition, the size and massing of the project are consistent with the surrounding neighborhood. Therefore, Staff recommends that the Staff Hearing Officer approve the project, making the findings outlined in Section IX of this report, and subject to the conditions of approval in Exhibit A.



Vicinity Map – 302 Coleman Ave.

**IV. BACKGROUND**

Accessory Dwelling Units (ADUs) in the City’s coastal zone are governed by Santa Barbara Municipal Code (SBMC) Chapter 28.86. All ADUs in the coastal zone require approval of a Coastal Development Permit by the Staff Hearing Officer but do not require a public hearing (SBMC §28.44.110.C). Written comments regarding the application will be considered by the Staff Hearing Officer prior to making a decision on the project.

The Staff Hearing Officer’s decision may be appealed directly to the Coastal Commission within 10 working days.

**V. SITE INFORMATION AND PROJECT STATISTICS**

**A. SITE INFORMATION**

<b>Applicant:</b>	Joe Luis Esparza, Architect
<b>Property Owner:</b>	Shane Mahan
<b>Site Information</b>	

<b>Assessor's Parcel Number (APN):</b>	045-081-007
<b>Zoning District:</b>	E-3/S-D-3 (One-Family Residence/Coastal Overlay) (SBMC Title 28)
<b>Coastal Land Use Plan:</b>	Residential (Max 5 du/ac)
<b>Lot Size:</b>	0.21 acres; approx. 9,333 sq. ft.
<b>Avg. Slope:</b>	10%

**B. PROJECT STATISTICS**

	<b>Existing (Net)</b>	<b>Proposed (Net)</b>
<b>Primary Living Area</b>	1,858 sq. ft.	1,858 sq. ft.
<b>Garage/Carport</b>	435 sq. ft.	435 sq. ft.
<b>ADU</b>	N/A	469 sq. ft.
<b>Detached Accessory Space</b>	108 sq. ft.	0*
<b>Floor Area Ratio</b>	0.257 = 68% of Maximum Guideline FAR	0.296 = 79% of Maximum Guideline FAR**
* = ADU not included in detached accessory space calculation per SBMC §28.86.055.C.1. ** = ADU included in FAR square footage per SBMC §28.86.055.C. Note that the FAR Calculator shown on the project plans is incorrect because it does not include the ADU.		

**VI. POLICY AND ZONING CONSISTENCY ANALYSIS**

**A. ZONING ORDINANCE CONSISTENCY**

<b>Standard</b>	<b>Requirement/ Allowance for the ADU</b>	<b>Complies?</b>
<b>Setbacks</b>		
-Front	20 feet	✓
-Interior	4 feet	✓
<b>Building Height</b>	30 feet	✓
<b>Parking</b>	Primary Residence: 2 covered spaces ADU: 0 spaces	Primary Residence: ✓ ADU: ✓
<b>Open Yard</b>	1,000 square feet	✓
<b>Accessory Building Floor Area (excluding garage and ADU)</b>	500 square feet max.	✓
<b>Building Separation</b>	5 feet min.	✓

As identified in the table above, the project complies with Zoning Ordinance requirements for the zone.

**B. ACCESSORY DWELLING UNIT STANDARDS**

The project complies with the City's ADU requirements, as outlined in SBMC Chapter 28.86. Some of the key regulations are discussed in more detail below.

**1. REQUIRED FEATURES (SBMC §28.86.050)**

The proposed ADU contains all of the required residential elements (kitchen, bathroom, living room, separate sleeping room), has independent exterior access, and exceeds the 400-square-foot minimum unit size.

**2. MAXIMUM FLOOR AREA (SBMC §28.86.055.B)**

A detached one-bedroom ADU is limited to 850 square feet, and the proposed 469-square-foot ADU complies with this limitation.

**3. FLOOR AREA RATIO (SBMC §28.86.055.C)**

As shown in the Project Statistics table above, the Floor-to-Lot Area Ratio for all development on site is 79% of the Maximum Guideline FAR. Therefore the project is consistent with FAR zoning standards.

**4. ARCHITECTURAL REVIEW (SBMC §28.86.060)**

The proposed ADU does not comply with the ministerial Architectural Review standards in the ADU ordinance because the proposed ADU is located within 20 feet of the primary residence and the proposed design is not compatible with the design of the primary residential unit in terms of fenestration, materials and details. The existing residence is a traditional style, while the proposed ADU is contemporary. Therefore, the ADU is subject to design review by the Single Family Design Board. SFDB reviewed the ADU proposal and was supportive. Refer to Section VIII below for additional details.

**5. PARKING (SBMC §28.86.080)**

The proposed ADU is located within a half-mile (2,640 feet) of a public transit stop and is outside of any Key Public Access Areas as delineated in Figure 3.1-2 of the Coastal Land Use Plan. Therefore no parking is required for the ADU.

The existing parking (two-car garage) for the primary residence will remain.

**C. COASTAL CONSISTENCY**

The project site is located in the Coastal Zone and must be found consistent with the California Coastal Act and the City's Local Coastal Program (LCP), including the Land Use Plan (LUP), which implements the California Coastal Act. The project does include removal of one non-native tree (acacia), which is not proposed to be replaced. The City's LUP includes tree protection policies and recommends that non-native trees be replaced on-site at a minimum one-to-one basis. Therefore, staff has included a recommended condition of approval to require replacement of that tree at a one-to-one basis.

With inclusion of the recommended tree replacement condition, staff finds that the project is consistent with applicable Coastal Act and Land Use Plan policies (refer to Exhibit D for applicable policies and the draft Findings in Section IX below).

## **VII. ENVIRONMENTAL REVIEW**

The project site is located in an area of archaeological sensitivity (Prehistoric Watercourse Buffer). Generally, a "Phase 1 Archaeological Resources Report" is required for projects within this sensitivity zone. However, due to the smaller scope of the proposed development combined with a history of earthwork at the project site, a Letter Report Confirming No Archaeological Resources was required. A Letter Report Confirming No Archaeological Resources prepared by A. Jaqua Consulting and dated March 17, 2022 was submitted for the project. The City's Environmental Analyst reviewed the report and accepted its conclusions.

Otherwise, staff has determined that the project qualifies for an exemption from further environmental review under Section 15303 [New Construction or Conversion of Small Structures Facilities] of the California Environmental Quality Act (CEQA) Guidelines, which allows for construction of a second dwelling unit in a residential zone.

Additionally, none of the exceptions to the exemption under CEQA Guidelines Section 15300.2 apply.

## **VIII. DESIGN REVIEW**

The proposed ADU is subject to Single Family Design Review Board (SFDB) review per SBMC §28.86.060.K. The project was reviewed by the SFDB on June 6, 2022, and they continued the project to the Staff Hearing Officer with comments to keep the plate height low, and that colors and roofing materials shall match the primary residence. Due to the different architectural style of the large condominium complex to the rear, the SFDB found no conflict with the architectural style of the proposed ADU in relation to the existing residence and surrounding neighborhood. Minutes are attached as Exhibit E.

## **IX. FINDINGS**

The Staff Hearing Officer finds the following:

### **A. COASTAL DEVELOPMENT PERMIT (SBMC §28.44.150)**

1. The Accessory Dwelling Unit project is consistent with the policies of the California Coastal Act and the project will not have significant adverse effects to the coast or coastal resources. The project site is located in an existing, developed single-family neighborhood with adequate public services including public transportation, fire prevention, police, and utility services. The project will not result in any adverse effects related to coastal resources, including public views, public access to the coast, or coastal bluff erosion. Both parking and open space minimum requirements will be maintained for the primary residence. The project is consistent with Coastal Act policies 30250 (Location; existing developed area), 30251 (Scenic and visual qualities) and 30252 (Maintenance and enhancement of public access) because the project site is not located on a coastal bluff or adjacent to any designated public access points for the coast, and there are no mapped biological, archaeological, or visual resources on the site.

The project is consistent with Coastal Act policy 30253 (Minimization of adverse impacts) because the project site is not located in an area of high geologic, flood, or fire hazard. The project site is not located along any bluffs or cliffs, and does not require construction of any protective device that would impact existing landforms. The proposed

Accessory Dwelling Unit is located on a flat portion toward the rear of the lot and the project will not contribute to geologic instability or destruction of the site because the area has withstood existing development of similar size and scale and the project would be constructed in accordance with California Building Code requirements for the geologic and soil conditions of the site.

2. The Accessory Dwelling Unit (ADU) is consistent with all applicable policies of the City's Local Coastal Plan, all applicable implementing guidelines, and all applicable provisions of the Code. The proposed ADU complies with the zoning ordinance in terms of setbacks, parking and height, and complies with all requirements of the City's Accessory Dwelling Unit Ordinance, as identified in Section VI of the staff report dated July 6, 2022. The proposed ADU is compatible with neighborhood development, will not impact any public views or public access to the coast, and is not located on a coastal bluff or any visually-, biologically-, or archaeologically-sensitive area. The site does not contain public scenic views. Given that the proposed ADU is one-story and located toward the rear of the property, the building is unlikely to be visible from the public right-of-way and will not impact important coastal views. Single Family Design Board review and approval is required and will further ensure that the development is compatible with the existing residence and surrounding neighborhood.

The proposed ADU is a one-bedroom unit with no designated on-site parking space; the unit is also considered accessory to the primary residence and hence, it would most likely be more affordable than a standard market rate unit within the City. Adequate parking is provided for the primary residence and the ADU does not require parking due to its location near a bus stop.

The project includes new or replaced impervious area between 500 and 4,000 square feet, and therefore must comply with the City's Tier 2 post-construction storm water requirements. This means that Best Management Practices to capture and treat runoff must be included in the building plans and will be confirmed during the inspection process.

One non-native tree will be removed with the project, and a condition of approval is included to ensure the tree is replaced on a one-to-one basis in order to maintain the site's visual appearance and reduce impacts resulting from the loss of trees.

Exhibits:

- A. Draft Conditions of Approval
- B. Project Plans
- C. Applicant's letter, dated April 7, 2022
- D. Applicable Coastal Policies
- E. SFDB Minutes

**DRAFT STAFF HEARING OFFICER CONDITIONS OF APPROVAL**

302 COLEMAN AVENUE  
COASTAL DEVELOPMENT PERMIT  
JULY 13, 2022

I. In consideration of the project approval granted by the Staff Hearing Officer and for the benefit of the owners and occupants of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:

A. **General Conditions.**

1. **Approved Development.** The development of the Real Property approved by the Staff Hearing Officer on July 13, 2022 is limited to an Accessory Dwelling Unit and the improvements shown on the plans signed by the Staff Hearing Officer on said date and on file at the City of Santa Barbara.
2. **Uninterrupted Water Flow.** The Owner shall allow for the continuation of any historic flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
3. **Areas Available for Parking.** All parking areas and access thereto shall be kept open and available in the manner in which it was designed and permitted.
4. **Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
5. **Approval Limitations.**
  - a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
  - b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Staff Hearing Officer.
  - c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission Guidelines. Deviations may require changes to the permit and/or further environmental

review. Deviations without the above-described approval will constitute a violation of permit approval.

6. **Litigation Indemnification Agreement.** The Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors (“City’s Agents”) from any third party legal challenge to the City’s approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively “Claims”). Applicant/Owner further agrees to indemnify and hold harmless the City and the City’s Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City’s sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City’s Agents from independently defending any Claim. If the City or the City’s Agents decide to independently defend a Claim, the City and the City’s Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

- B. **Design Review.** The project is subject to the review and approval of the Single Family Design Board (SFDB). The SFDB shall not grant project design approval until the following Staff Hearing Officer land use conditions have been satisfied.

1. **Tree Replacement.** The acacia tree proposed for removal shall be replaced on a one-for-one basis with a tree of an appropriate size and species (as determined by the SFDB), in order to maintain the site’s visual appearance and reduce impacts resulting from the loss of trees.

- C. **Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed. Please note that these conditions are in addition to the standard submittal requirements for each department.

1. **Public Works Department.**

- a. **Water Rights Assignment Agreement.** The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water*

*Extraction Rights.* Engineering Division Staff prepares said agreement for the Owner's signature.

- b. **Encroachment Permits.** Any encroachment or other permits from the City or other jurisdictions (State, Flood Control, County, etc.) for the construction of improvements (including any required appurtenances) within their rights of way or easements shall be obtained by the Owner.

2. **Community Development Department.**

- a. **Recorded Agreement.** Prior to zoning clearance on a building permit for the proposed Accessory Dwelling Unit, the property owner shall execute a Covenant stating the following: (1) The Accessory Dwelling Unit will not be sold separately from the existing primary residence. (2) The Accessory Dwelling Unit shall not be rented for less than 31 days. When a building permit application is submitted, City Administrative Staff will prepare the Covenant and send an email from [ADUCovenant@SantaBarbaraCA.gov](mailto:ADUCovenant@SantaBarbaraCA.gov) letting the applicant know that the Covenant has been created. Written instructions will be provided to you on how to complete the procedure. The permit will not be issued until the final agreement is recorded. **Certificate of Occupancy will not be granted without the Covenant being recorded.**
- b. **Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. The following statement shall be signed prior to issuance of and permits: The undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual

and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner		Date
Contractor	Date	License No.
Architect	Date	License No.
Engineer	Date	License No.

**D. Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.

- 1. Construction Storage/Staging.** Construction vehicle/ equipment/ materials storage and staging shall be done on-site. No parking or storage shall be permitted within the public right-of-way, unless specifically permitted by the Public Works Director with a Public Works permit.
- 2. Unanticipated Archaeological Resources Contractor Notification.** Standard discovery measures shall be implemented per the City master Environmental Assessment throughout grading and construction: Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the Owner shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

A final report on the results of the archaeological monitoring shall be submitted by the City-approved archaeologist to the Environmental Analyst within 180 days of completion of the monitoring and prior to any certificate of occupancy for the project.

- E. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:
1. **Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §22.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.

II. Time Limits:

**NOTICE OF COASTAL DEVELOPMENT PERMIT TIME LIMITS:**

The Staff Hearing Officer action approving the Coastal Development Permit shall expire two (2) years from the date of final action upon the application, per Santa Barbara Municipal Code §28.44.230, unless:

1. A Building permit for the work authorized by the coastal development permit is issued prior to the expiration date of the approval.
2. The Community Development Director grants an extension of the coastal development permit approval. The Community Development Director may grant up to three (3) one-year extensions of the coastal development permit approval. Each extension may be granted upon the Director finding that: (i) the development continues to conform to the Local Coastal Program, (ii) the applicant has demonstrated due diligence in completing the development, and (iii) there are no changed circumstances that affect the consistency of the development with the General Plan or any other applicable ordinances, resolutions, or other laws.

### A. Residential Project Statistics

EXISTING	Structure Type	Zoning	Building & Safety Fee (885)	Alteration/Remove (885 Gross)
1 existing	Main Building(s)	Single-Family 3+ Bedrm.	1858	1919
1 existing	Garage/Carport	Attached	435	469
1 existing	Accessory Structures	Workshop	108	116
1 existing	Basement or Cellar	Attached or detached		
Existing Area TOTALS:			2401	2504

PROPOSED FOR DEMOLITION OR CHANGE OF USE	Structure Type	Net	885 Gross	square foot
1 existing	Main Building(s)	108	116	square foot
1 existing	Garage/Carport			square foot
1 existing	Accessory Structures			square foot
1 existing	Basement or Cellar			square foot
Demolition or Change of Use Area SUBTOTALS:		108	116	square foot

PROPOSED NEW CONSTRUCTION, INCLUDING ANY "AS BUILT" PROPOSALS	Structure Type	Net	885 Gross	square foot
1 new structure	Main Building(s)	449	499	square foot
1 new structure	Accessory Dwelling Unit			square foot
1 addition or new structure	Garage/Carport			square foot
1 addition or new structure	Accessory Structures			square foot
1 addition or new structure	Basement or Cellar			square foot
Proposed Area SUBTOTALS:		449	499	square foot

RESIDENTIAL TOTAL (EXISTING - DEMOLITION + NEW) =	Net	Gross
	2742	2887
SCHOOL FEE SQ. FT. ESTIMATE =	557	(CA Gov. Code §63306)

### C. General Project Statistics

FLOOR TO AREA RATIO (FAR) (SBMC § 28.07.000)	LANDSCAPING (SBMC § 22.00.000)
Public Right of Way Areas: 9328	For projects requiring Landscape Plans only
Existing FAR: 28	Percent Water Wise Landscape Area: 0
Proposed FAR: 28	Water Wise Landscape Area in sq. ft.: 0
Net Lot Area: 9328 sq. ft.	High Water Landscape Area in sq. ft.: 0
*FAR is calculated by dividing the proposed resulting project square feet by net lot area.	Total Landscape Area in sq. ft.: 0

PROJECT RESIDENTIAL UNIT TOTALS	BUILDING CODE INFORMATION
1 project studios	Construction Type: R-3
1 project 1-bdrm	Occupancy Group: V-B
1 project 2-bdrm	
1 project 3+ bdrm	

PARKING	Code Required Spaces for Existing Development	Code Required Spaces for Proposed Project	Total Proposed Project Spaces (at project completion)
Existing Spaces	covered: 2, uncovered: 2	covered: 2, uncovered: 2	covered: 4, uncovered: 4
Total Proposed Project Spaces			covered: 4, uncovered: 4

GRADING & SLOPE	Under Main Building and within 5' of Main Building
Average Slope:	10%
Where cut is going to:	On-Site Fill, On-Site Export, On-Site Import
Where fill is from:	On-Site Fill, On-Site Export, On-Site Import
TOTAL Main Building Footprint Grading:	10

DECKS, LOGGIAS & PATIOS (for Building & Safety Permitting, Inspection & Fees) (CA UBC § 207)	
1st Floor:	
Uncovered Existing: 300	Existing - Demolition + New: 300
Covered Existing: 152	Existing - Demolition + New: 152
Roof Decks Usable Existing: 0	Existing - Demolition + New: 0
Roof Decks Usable Existing: 0	Existing - Demolition + New: 0
TOTAL: 2742	2887

PROPOSED RESULTING PROJECT SUMMARY (SBMC § 28.07.000)	Net	Gross
PROPOSED RESIDENTIAL (EXISTING - DEMOLITION + NEW):	2742	2887
PROPOSED COMMERCIAL (EXISTING - DEMOLITION + NEW):	0	0
PROPOSED GARAGE/CARPOR (EXISTING - DEMOLITION + NEW):	435	469
TOTAL:	2742	2887

STATISTICS FORM PREPARER CONTACT INFO.  
 Project Statistics Forms Preparer (Name): Jose Luis Esparza Project Role: Architect  
 Date: 4/8/2022 e-mail: JLEsparza@aol.com Phone: (805) 570-7056

### F.A.R. Calculator

ENTER Project Address: 302 Coleman Ave

Is there a basement or cellar existing or proposed? No

ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.): 2,293

ENTER Zone ONLY from drop-down list: R-1

Is the height of existing or proposed buildings 17 feet or greater? No

Are existing or proposed buildings two stories or greater? No

The FAR Requirements are: GUIDELINE\*\*

ENTER Average Slope of Lot: 3.00%

Does the height of existing or proposed buildings exceed 25 feet? No

Is the site in the Hillside Design District? No

Does the project include 500 or more cu. yds. of grading outside the main building footprint? No

An FAR MOD is not required per SBMC §28.15

FLOOR AREA RATIO (FAR):	0.246
Lot Size Range:	4,000 - 9,999 sq. ft.
MAX FAR Calculation (in sq. ft.):	1,200 + (0.25 x lot size in sq. ft.)
100% MAX FAR:	0.379
100% MAX FAR (in sq. ft.):	3,532
85% of MAX FAR (in sq. ft.):	3,002
80% of MAX FAR (in sq. ft.):	2,826

The 2293 square foot proposed total is 65% of the MAX FAR.\*

Acree Conversion Calculator

ENTER Acree to Convert to square footage: 0.21

Net Lot Area (in sq. ft.): 9327.9384

### CHANGE IN SITE IMPERVIOUS AREAS:

PROPOSED NEW IMPERVIOUS AREAS:	PROPOSED REPLACED IMPERVIOUS AREAS:	PROPOSED REMOVE IMPERVIOUS AREAS:
AREA: LOCATION	AREA: LOCATION	AREA: LOCATION
5% S.F. ACCESSORY DWELLING UNIT ROOF	0 S.F. (NO PREPLACES IMPERVIOUS AREAS)	116 S.F. REMOVE WORKSHOP

NOTE: TIER 2 BMP'S REQUIRED; PROPOSED INFILTRATION PIT, SEE SHEET I.  
 (PROPOSED IMPERVIOUS AREA IS CUMULATIVE FOR TWO YEARS AFTER CERTIFICATE OF OCCUPANCY TO PREVENT "PIECEMEALING" OF PROJECTS TO AVOID STORM WATER REQUIREMENTS).

# Mahan Accessory Dwelling Unit

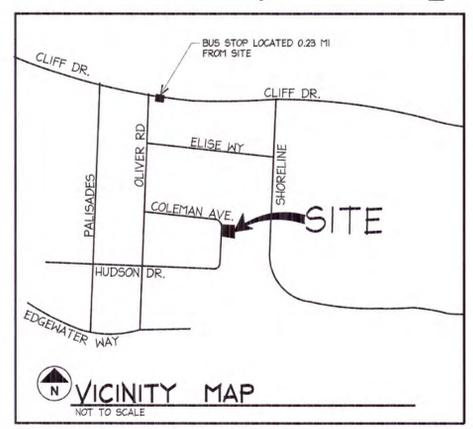
## 302 Coleman Avenue, Santa Barbara, CA

## Team Members

**OWNER:**  
 SHANE & KATIE MAHAN  
 302 COLEMAN AVE.  
 SANTA BARBARA, CA 93109  
 (805) 689-1423

**ARCHITECT:**  
 JOSE LUIS ESPARZA, ARCHITECT  
 1746 CALLE PONIENTE  
 SANTA BARBARA, CA 93101  
 PH/FAX: (805) 883-1600  
 CELL: (805) 570-7056  
 e-mail: JLEsparza@aol.com

## Vicinity Map



- NOTE:**
- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA RESIDENTIAL CODE, 2019 EDITION; THE PLUMBING CODE, CALIFORNIA 2019 EDITION; THE CALIFORNIA ELECTRICAL CODE, 2019 EDITION; THE MECHANICAL CODE, 2019 EDITION; THE CALIFORNIA FIRE CODE, 2019 EDITION; THE ENERGY CODE, 2019 EDITION; THE GREEN BUILDING CODE, 2019 EDITION AND ALL AMENDMENTS AS ADOPTED IN THE CITY OF SANTA BARBARA MUNICIPAL CODE (SBMC) CHAPTER 28.06.
  - ALL CONSTRUCTION SHALL COMPLY WITH TITLE 28 OF THE MUNICIPAL CODE (SBMC) CHAPTER 28.06.
  - PROJECTS WITH ZONING MODIFICATION APPROVALS OR LOCATED WITHIN 12' OF A SETBACK OR WHERE EXTERIOR WALLS ARE REQUIRED TO BE PROTECTED WILL REQUIRE SURVEY TO VERIFY PROPOSED EXTERIOR WALL / STRUCTURE / PROJECTION LOCATIONS PRIOR TO FOOTING INSPECTION APPROVAL, OR WHEN DETERMINED BY THE BUILDING OFFICIALS REPRESENTATIVE THE TOPOGRAPHY AND SPECIFIC SITE CONDITIONS REQUIRE IT.
  - BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SECTION 502.
  - EASEMENT PER SITE PLAN
  - GRADING: MINIMUM 2% SLOPE FOR A MINIMUM OF 10' AWAY SEWER LEVEL. REQUIRE INVESTIGATION TO ASCERTAIN THE NECESSITY FOR SEWER DRAINAGE OF FIXTURES LOCATED BELOW THE NEXT MANHOLE OR BELOW THE MAIN REQUIRE IT.
  - BACKWATER DEVICE INSTALLATION, C.C.P. SECTION 710.1 (PLUMBING CONTRACTOR DOING THE WORK TO DETERMINE IF SEWER BACKWATER DEVICE IS REQUIRED).

## Project Data

ADDRESS: 302 COLEMAN AVE  
 A.P.N.: 045-081-007  
 ZONING: E-3/SD-3 (SBMC TITLE 28)  
 COASTAL LAND USE PLAN: RESIDENTIAL (MAX. 5 DU/ACRE)  
 OCCUPANCY: R-3, U  
 BLDG. TYPE: V-B  
 LOT AREA: 9,328 S.F.  
 AVERAGE SLOPE: 10%  
 FLOOD PLAIN: NO  
 HIGH FIRE: NO  
 HILLSIDE DESIGN DISTRICT: NO  
 SWMP: N/A  
 BUILDING HT.: (E) 14'-2 4/4", (P) 14'-7 3/16"

PARKING:	EXISTING	PROPOSED	REQUIRED BY CODE
(E) PRIMARY RESIDENTIAL UNIT:	2 COVERED / 0 UNCOVERED	2 COVERED / 0 UNCOVERED	2 COVERED / 0 UNCOVERED
(P) ACCESSORY DWELLING UNIT:	N/A	0 SPACES	0 SPACES
TOTAL PARKING SPACES:	2 COVERED	2 COVERED	2 COVERED / 0 UNCOVERED

EXISTING:	NET:	GROSS:
MAIN RESIDENCE:	1,858 S.F.	1,919 S.F.
GARAGE:	435 S.F.	469 S.F.
WORKSHOP:	108 S.F.	116 S.F.

PROPOSED:	NET:	GROSS:
ACCESSORY DWELLING UNIT:	449 S.F.	499 S.F.
DEMOLISH WORKSHOP:	108 S.F.	116 S.F.

UPON COMPLETION:	NET:	GROSS:
MAIN RESIDENCE:	1,858 S.F.	1,919 S.F.
ACCESSORY DWELLING UNIT:	449 S.F.	499 S.F.
GARAGE:	435 S.F.	469 S.F.

(P) TOTAL NET FAR FLOOR AREA:

FLOOR AREA (DOESNT INCLUDE ADU):	NET:	GROSS:
PROPOSED SITE COVERAGE:		
STRUCTURE FOOTPRINT:	2,887 S.F.	30.8 %
PAVING:	308 S.F.	3.3 %
LANDSCAPE / OPEN:	6,078 S.F.	64.8 %
PATIO / WALKS:	107 S.F.	1.1 %
TOTAL:	9,380 S.F.	100 %

### GRADING CALCULATION:

OUTSIDE MAIN FOOTPRINT:	CUT = 2.0 YDS.	FILL = 0 YDS.
UNDER MAIN FOOTPRINT:	CUT = 10.0 YDS. <td>FILL = 0 YDS. </td>	FILL = 0 YDS.
TOTAL IMPORT / EXPORT:	IMPORT = 0 YDS.	EXPORT = 12.0 YDS.

## Sheet Index

- C COVER
- 1 SITE PLAN  
 2 FLOOR PLAN & ROOF PLAN  
 3 ELEVATIONS
- X-1 (E) MAIN RES. FLOOR PLAN  
 X-2 (E) MAIN RES. ELEVATIONS  
 X-3 (E) MAIN RES. ROOF PLAN

- NOTE:**
- INSPECTIONS SHALL BE CALLED IN BY CONTRACTOR FOR INSPECTION 72 HRS PRIOR TO NEEDED INSPECTIONS. THE CITY WILL THEN ROUTE THE REQUEST TO OSP INSPECTOR OR THIRD PARTY COMPANY.
- SPECIAL INSPECTIONS:**
- MANDATORY INSPECTIONS BY THE CITY BUILDING INSPECTOR OR CITY OSP FOR ALL STORM WATER POST-CONSTRUCTION IMPROVEMENTS (SWP).
- PRE-CONSTRUCTION MEETING
  - EXCAVATION, SUBGRADE, AND BOX CONSTRUCTION INSPECTION FOR INFILTRATION PIT
  - SUBGRADE INSPECTION OF PERMEABLE PAVEMENT DRIVEWAY.
  - ROCK LAYER INSTALLATION OF INFILTRATION PIT AND PERMEABLE PAVEMENT DRIVEWAY.
  - PERMEABLE PAVEMENT INSTALLATION.
  - FINAL INSPECTION ONCE COMPLETED.

**SPECIAL INSPECTIONS:**

- SEE SHEET S- FOR STRUCTURAL SPECIAL INSPECTIONS REQUIRED.

**PROJECT DESCRIPTION:**

PERMIT NEW ACCESSORY DWELLING UNIT PURSUANT TO GOVERNMENT CODE §65852.2. (449 S.F. NET / 499 GROSS).  
 DEMOLISH EXISTING WORKSHOP, 116 S.F. REMOVE GARAGE.  
 REMOVE 10' ACACIA TREE IN REAR YARD.  
 TIER 2 BMP'S REQUIRED; PROPOSED DOWNSPOUTS TO DRAIN TO NEW INFILTRATION PIT LOCATED IN REAR YARD, SEE SHEET I.

**NOTE:**

ACCESSORY DWELLING UNIT IS LOCATED 1,200 FEET, (0.23 MI.), FROM TRANSPORTATION ON CLIFF DRIVE. NO PARKING REQUIRED FOR ACCESSORY DWELLING UNIT PER GOVERNMENT CODE §65852.2.

## EXHIBIT B



ARCHITECTURE  
 PLANNING  
 PROJECT  
 MANAGEMENT

JOSE LUIS ESPARZA  
 AIA

1746 CALLE PONIENTE  
 SANTA BARBARA  
 CALIFORNIA, 93101  
 (805) 883-1600  
 FAX (805) 883-1601  
 e-mail: JLEsparza@aol.com

THE PROPOSED TIER 2 STORM WATER BMP'S (INFILTRATION PIT) WILL BE MAINTAINED PURSUANT TO SBMC 22.07.030

SHANE MAHAN DATE

**MAHAN ADU**  
 SHANE & KATIE MAHAN  
 302 COLEMAN AVE.  
 SANTA BARBARA, CA 93109

DRAWN: JLE  
 CHECKED: JLE

JOB NO.: 2021-20

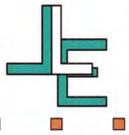
REVISIONS	DATE

**COVER**

C

10-15-21





ARCHITECT

ARCHITECTURE  
PLANNING  
PROJECT  
MANAGEMENT

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JOB NO.: 2016-04

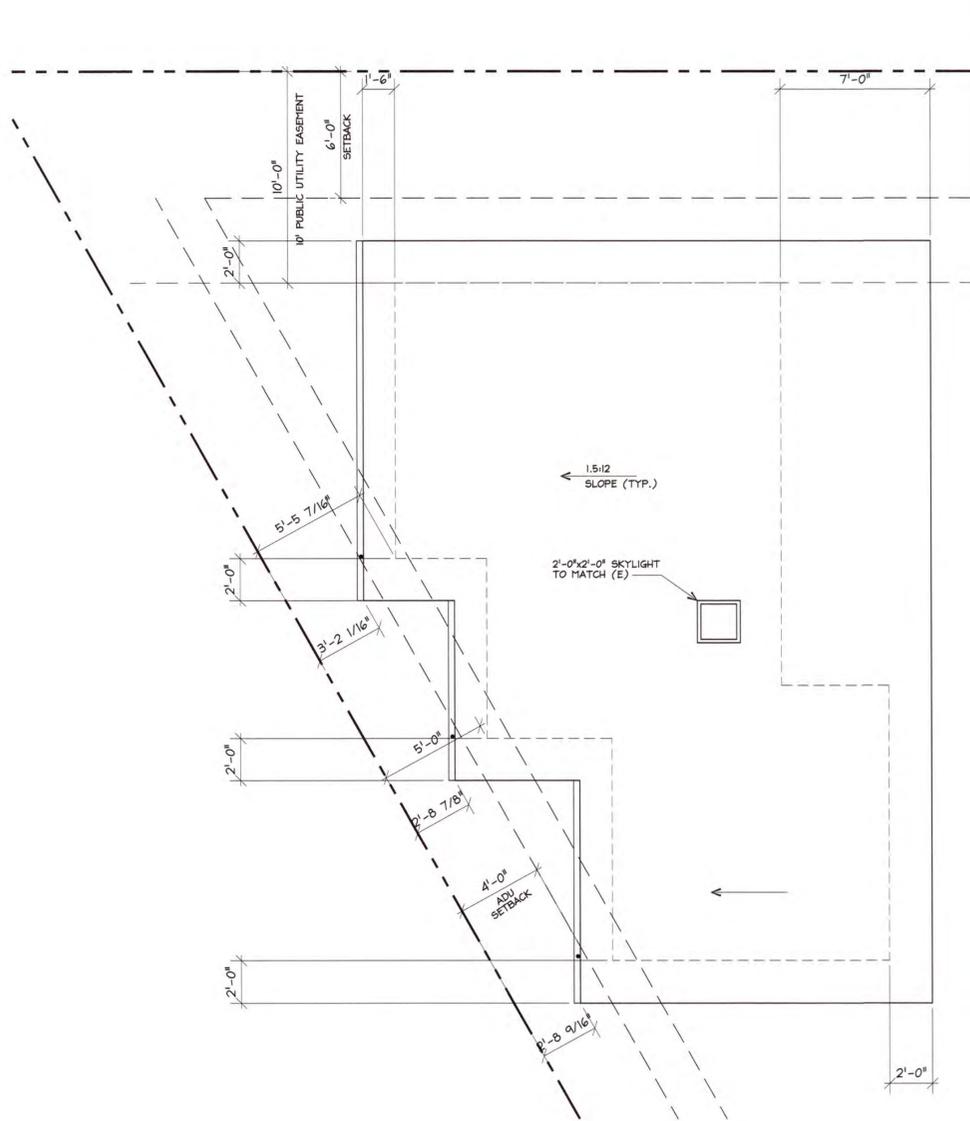
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REVISIONS DATE

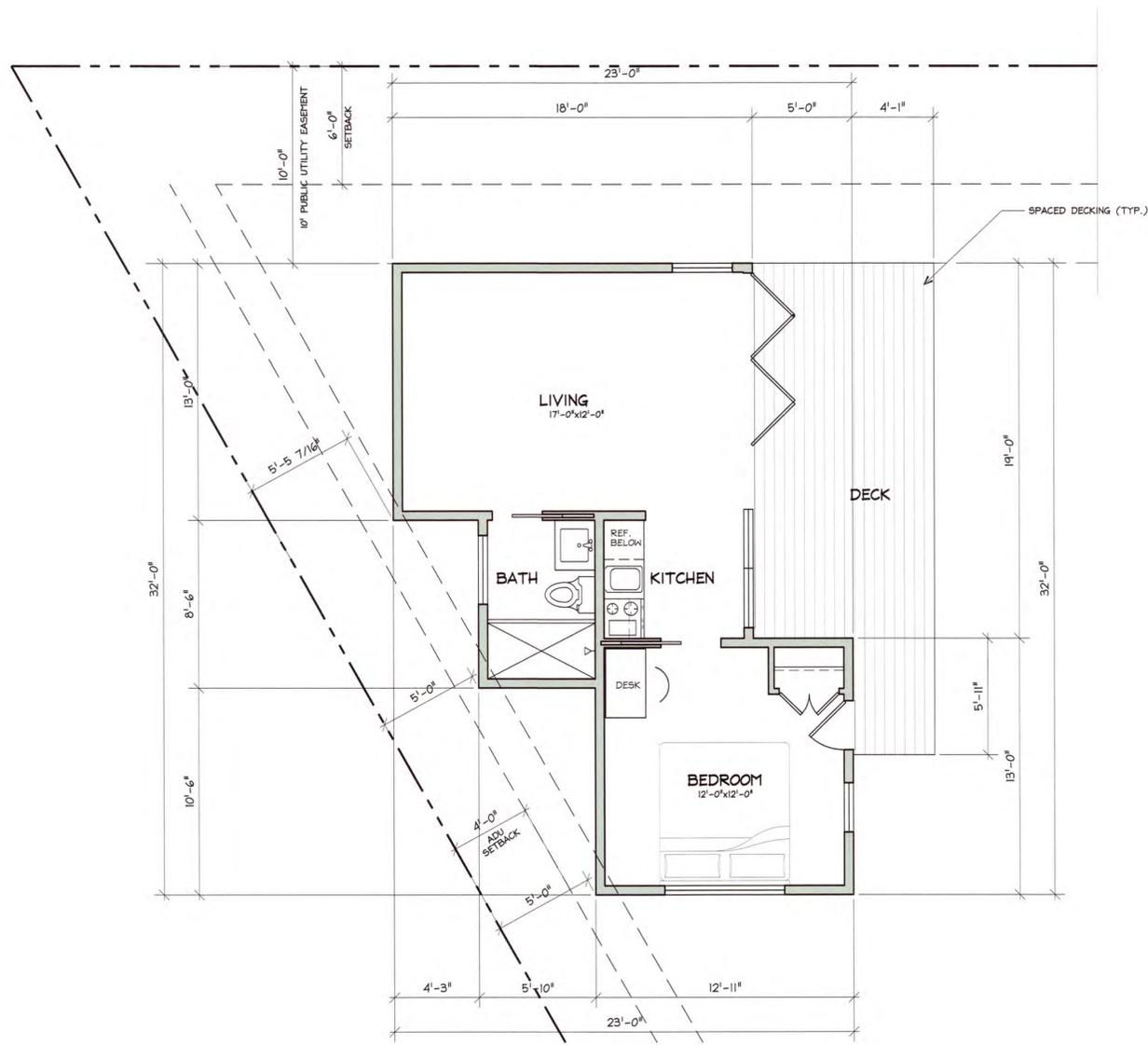
(P) FLOOR PLAN  
&  
ROOF PLAN

2

6-12-16



(P) ROOF PLAN  
SCALE : 1/4" = 1' - 0"



(P) FLOOR PLAN  
SCALE : 1/4" = 1' - 0"

WALL LEGEND

- ===== NEW WALL
- ===== EXISTING WALL

SQUARE FOOTAGE:		
	NET:	GROSS:
ADU FLOOR AREA:	449 S.F.	499 S.F.
DECK:	197 S.F.	



ARCHITECT

ARCHITECTURE  
PLANNING  
PROJECT  
MANAGEMENT

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JLEsparza1@aol.com

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SHANE & KATIE MAHAN  
302 COLEMAN AVE.  
SANTA BARBARA, CA 93104

DRAWN  
JLE

CHECKED  
JLE

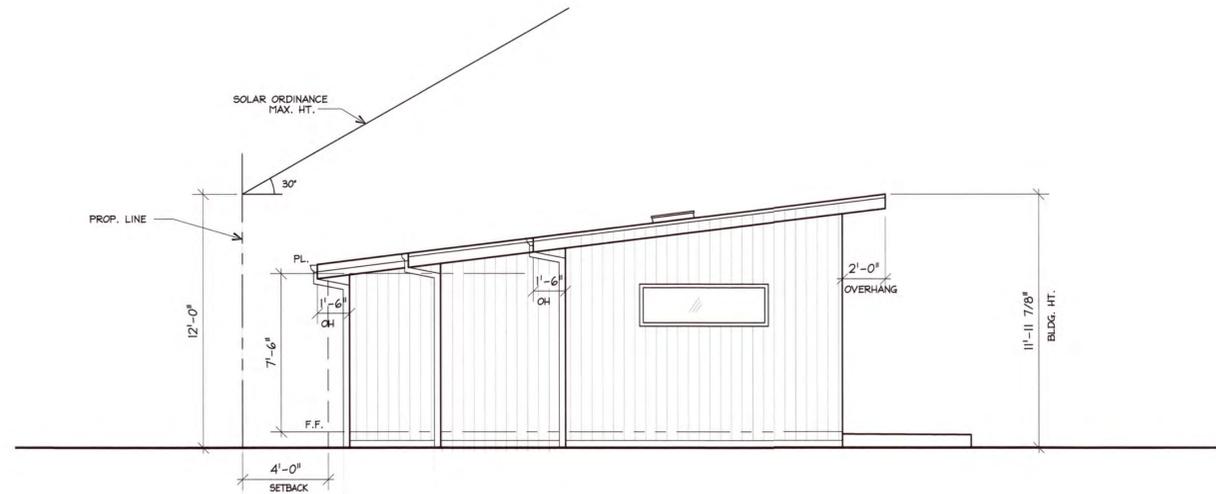
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REVISIONS

DATE

(P) ELEVATIONS

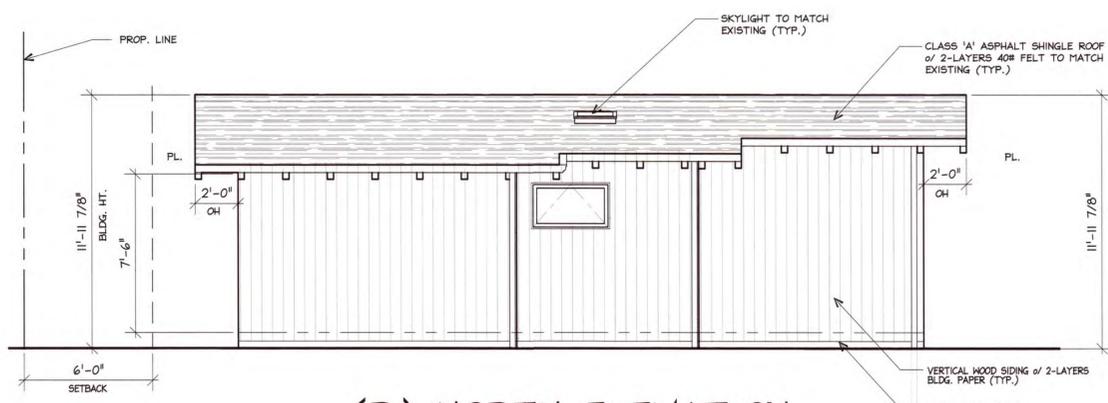


(P) WEST ELEVATION  
SCALE : 1/4" = 1' - 0"

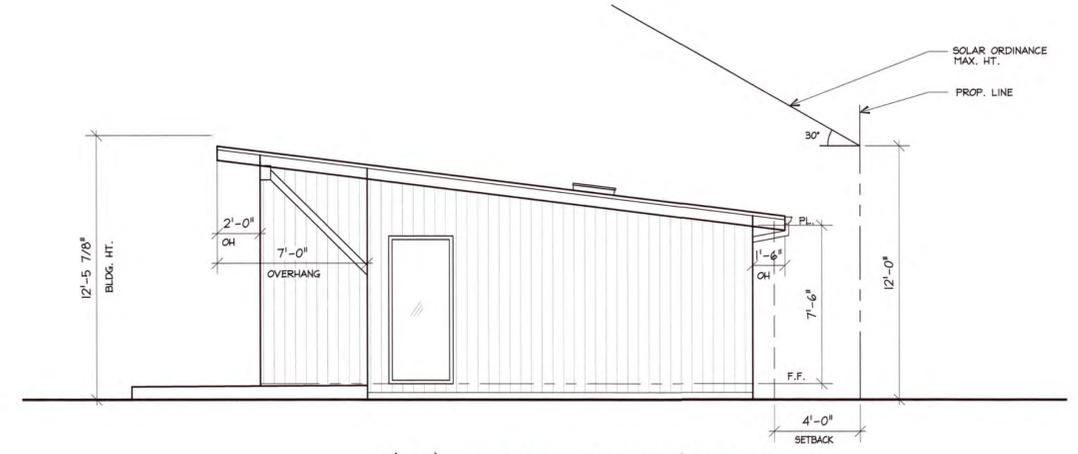
NOTE:  
MATERIALS AND COLORS TO MATCH EXISTING MAIN  
RESIDENCE MATERIALS & COLORS.



(P) SOUTH ELEVATION  
SCALE : 1/4" = 1' - 0"



(P) NORTH ELEVATION  
SCALE : 1/4" = 1' - 0"



(P) EAST ELEVATION  
SCALE : 1/4" = 1' - 0"



ARCHITECTURE  
PLANNING  
PROJECT  
MANAGEMENT

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DRAWN: JLE  
CHECKED: JLE

JOB NO.: 2022-20

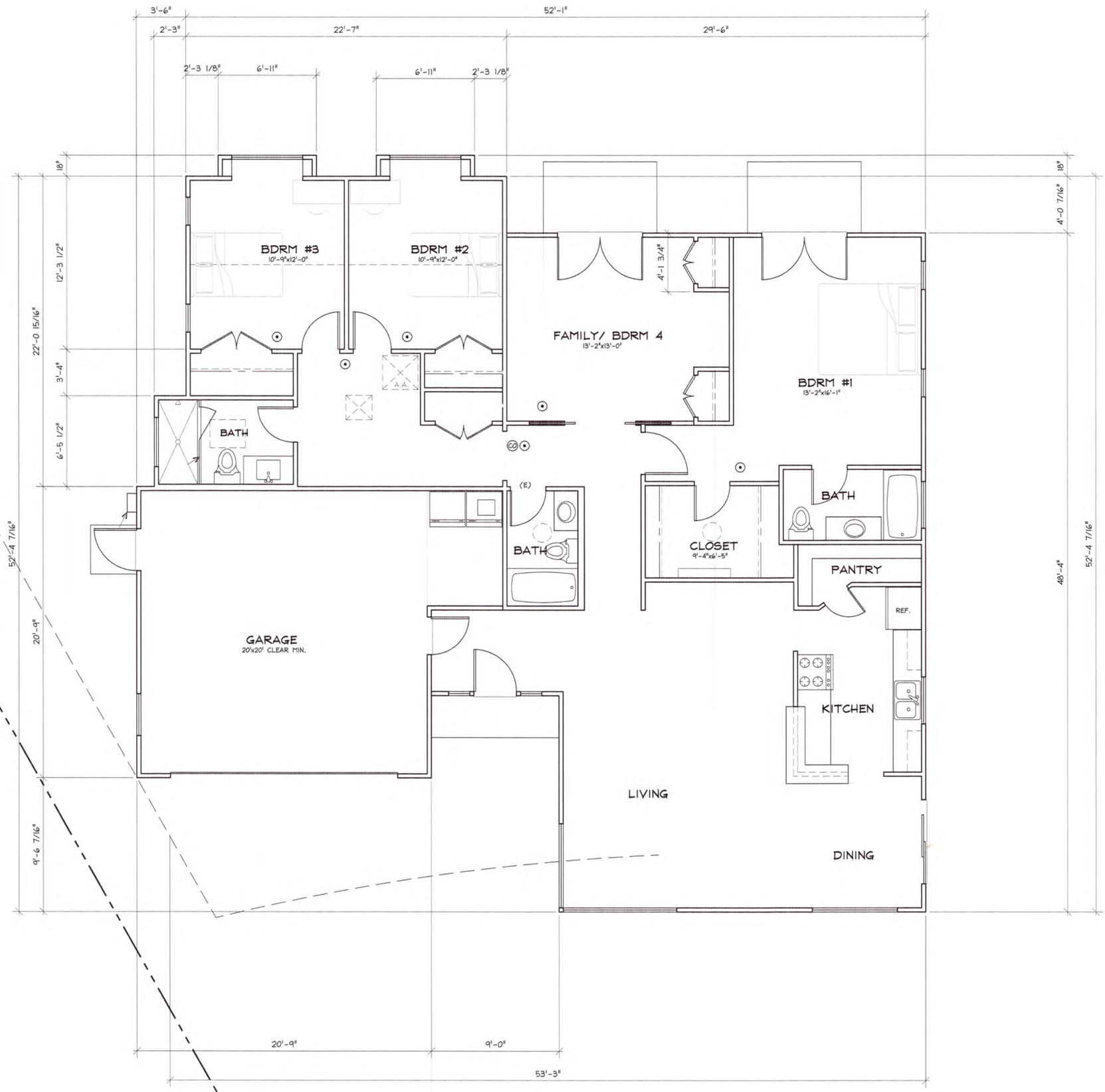
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REVISIONS	DATE

EXISTING  
MAIN RES.  
FLOOR PLAN

**X-1**

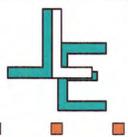
7-21-14



**(E) FLOOR PLAN**

SCALE : 1/4" = 1' - 0"

SQUARE FOOTAGE:		
	NET:	GROSS:
(E) MAIN RESIDENCE:	1,858 S.F.	1,919 S.F.
(E) GARAGE:	450 S.F.	469 S.F.
(E) WORKSHOP:	108 S.F.	116 S.F.
FOOTPRINT:	2,504 S.F.	



ARCHITECT

ARCHITECTURE  
PLANNING  
PROJECT  
MANAGEMENT

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**MAHAN RESIDENCE**  
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DRAWN: JLE  
CHECKED: JLE

JOB NO.: 2022-20

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REVISIONS DATE

EXISTING  
MAIN RES.  
ELEVATIONS

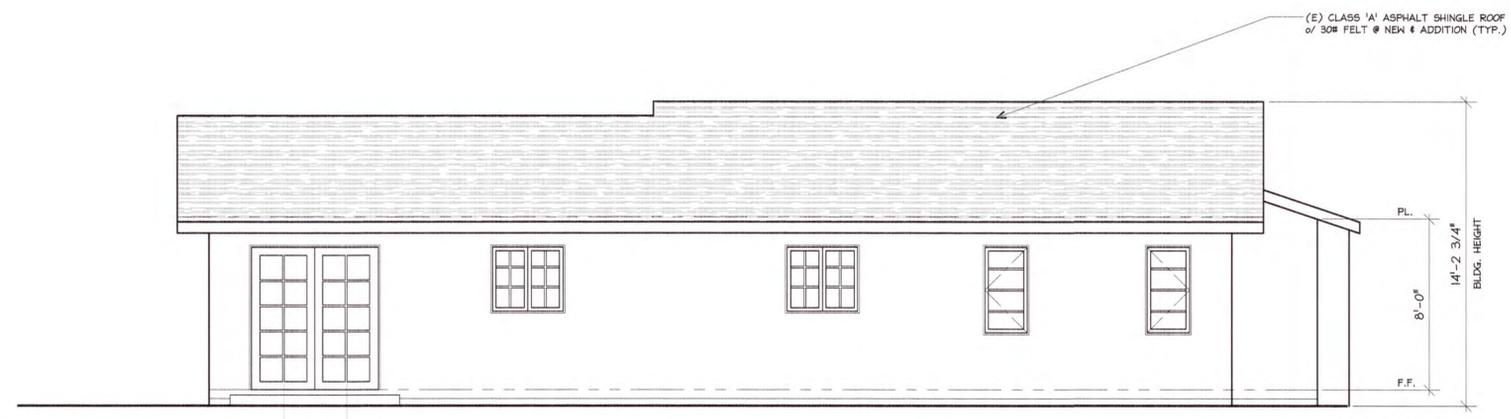
**X-2**

7-21-14



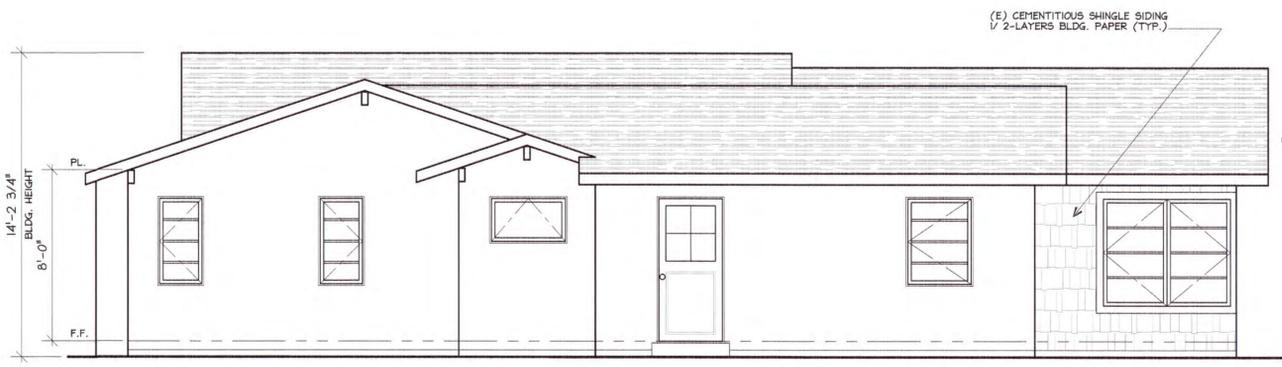
**(E) WEST ELEVATION**

SCALE : 1/4" = 1' - 0"



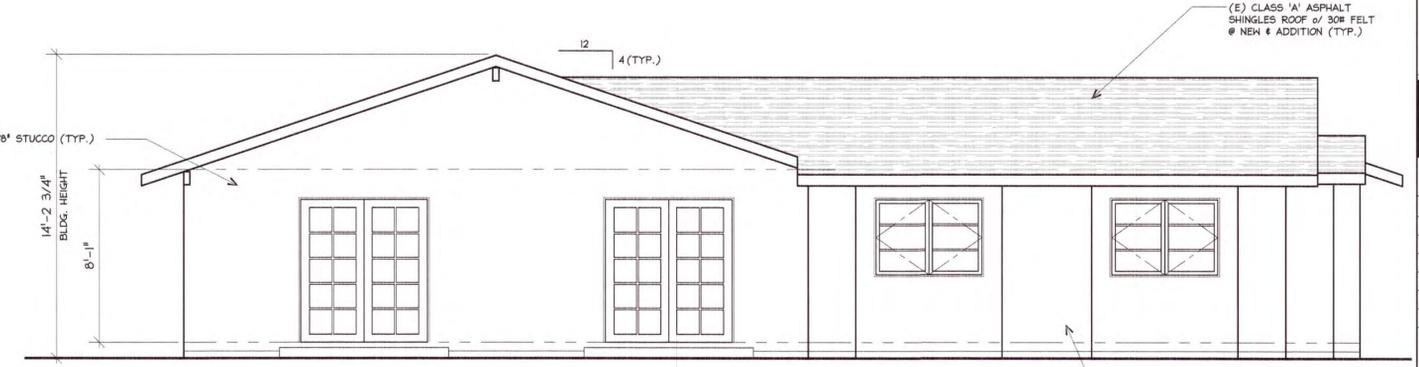
**(E) SOUTH ELEVATION**

SCALE : 1/4" = 1' - 0"



**(E) NORTH ELEVATION**

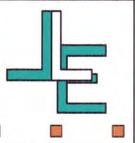
SCALE : 1/4" = 1' - 0"



**(E) EAST ELEVATION**

SCALE : 1/4" = 1' - 0"

(E) 7/8" STUCCO w/ 2-LAYERS BLDG. PAPER TO MATCH (E).



ARCHITECT

ARCHITECTURE  
PLANNING  
PROJECT  
MANAGEMENT

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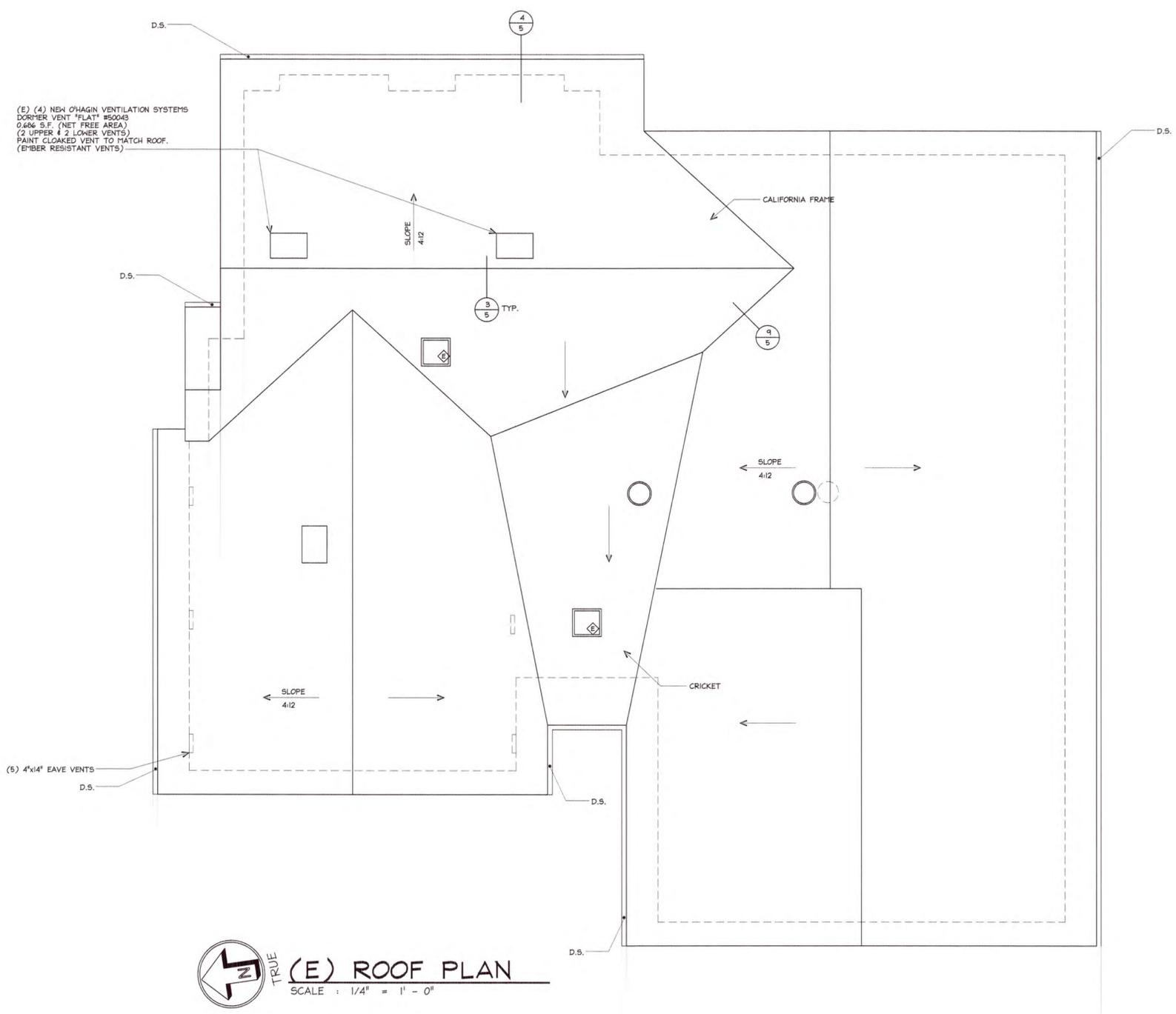
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ARCHITECT.

REVISIONS	DATE

EXISTING  
MAIN RES.  
ROOF PLAN

X-3

7-21-14



**(E) ROOF PLAN**  
SCALE : 1/4" = 1' - 0"

**Jose Luis Esparza, AIA  
Architect**

**To:** Planning Commission & Staff Hearing Officer  
630 Garden St.  
Santa Barbara, CA 93101

**Tel.:** (805) 564-5470

**Re:** 302 Coleman Ave.  
Santa of Santa Barbara, CA 93109  
APN: 045-081-007

**Cc:**

**Date:** April 7, 2022

Dear Staff Hearing Officer,

There is an existing single family residence, 1,919 s.f. with a 2-car garage, 469 s.f., and a workshop, 116 s.f., that is proposed to be removed. The lot is 9,328 s.f. Existing is 65% of FAR. We are proposing to build a 1-bedroom Accessory Dwelling Unit at the location where the workshop is currently located. The proposed Accessory Dwelling Unit is 449 s.f. gross and 449 s.f. net. One 18 inch acacia tree is proposed to be removed. Remove existing gazebo located in the back yard.

The proposed Accessory Dwelling Unit is being located in the back yard were a workshop is currently located. The building will be 1-story and will not encroach over the neighbor's privacy. The Accessory Dwelling Unit is designed provide ample living facility to a single or a couple. Access to the unit is conveniently located through a side gate located adjacent to the existing garage. Public transportation can be accessed 2-blocks away on Cliff Drive. There are 2 markets in walking distance as well as restaurants. Beach access is a 5 minute walk away.

This lot is an ideal location for this Accessory Dwelling Unit that will provide much needed housing.

Sincerely,

  
Jose L. Esparza, Architect  
Lic. #C 25132

## Applicable Coastal Act and Coastal Land Use Plan Policies

### **Coastal Act Policies**

#### **ARTICLE 6 DEVELOPMENT**

##### **Section 30250 Location; existing developed area**

(a) New residential, commercial, or industrial development, except as otherwise provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources. In addition, land divisions, other than leases for agricultural uses, outside existing developed areas shall be permitted only where 50 percent of the usable parcels in the area have been developed and the created parcels would be no smaller than the average size of surrounding parcels.

(b) Where feasible, new hazardous industrial development shall be located away from existing developed areas.

(c) Visitor-serving facilities that cannot feasibly be located in existing developed areas shall be located in existing isolated developments or at selected points of attraction for visitors.

(Amended by Ch. 1090, Stats. 1979.)

##### **Section 30251 Scenic and visual qualities**

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

##### **Section 30252 Maintenance and enhancement of public access**

The location and amount of new development should maintain and enhance public access to the coast by (1) facilitating the provision or extension of transit service, (2) providing commercial facilities within or adjoining residential development or in other areas that will minimize the use of coastal access roads, (3) providing nonautomobile circulation within the development, (4) providing adequate parking facilities or providing substitute means of serving the development with public transportation, (5) assuring the potential for public transit for high intensity uses such as high-rise office buildings, and by (6) assuring that the recreational needs of new residents will not overload nearby coastal recreation areas by correlating the amount of development with local park acquisition and development plans with the provision of onsite recreational facilities to serve the new development.

**Section 30253 Minimization of adverse impacts**

New development shall do all of the following:

- (a) Minimize risks to life and property in areas of high geologic, flood, and fire hazard.
  - (b) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.
  - (c) Be consistent with requirements imposed by an air pollution control district or the State Air Resources Board as to each particular development.
  - (d) Minimize energy consumption and vehicle miles traveled.
  - (e) Where appropriate, protect special communities and neighborhoods that, because of their unique characteristics, are popular visitor destination points for recreational uses.
- (Amended by Ch. 179, Stats. 2008)

**Coastal Land Use Plan Policies**

**Policy 2.1-2** Accessory Dwelling Units. The City may allow accessory dwelling units, which tend to be more affordable than standard housing, so long as such development is found consistent with the policies of the Coastal LUP.

**Policy 2.1-17** Land Use Categories and Map Designations. The land use categories and designations in Tables 2.1-1 through 2.1-5 establish the type, density, and intensity of land uses within the City's Coastal Zone. Figure 2.1-1 *Local Coastal Program Land Use Map* depicts the land use designation for each property and is intended to provide a graphic representation of policies relating to the location, type, density, and intensity of all land uses in the Coastal Zone. Allowable densities are stated as maximums but may be increased pursuant to an approved Coastal Development Permit that includes density bonus, inclusionary housing, or a lot area modification for affordable housing. However, compliance with the other policies of the Coastal LUP may limit the maximum allowable density of development. Accessory dwelling units are considered accessory uses and are not included as "units" when calculating allowable density.

**Policy 3.1-29** Off-Street Parking for New Development and Substantial Redevelopment.

- A. Parking standards in the Zoning Ordinance are designed to ensure sufficient off-street parking is provided for new development and substantial redevelopment so as to avoid significant adverse impacts to public access to the shoreline and coastal recreation areas. Off-street parking for new development and substantial redevelopment, therefore, shall be consistent with the Zoning Ordinance.
- B. Zoning modifications to allow reduced off-street parking in the West Beach, Lower State, and East Beach Component Areas shall only be approved if a project specific evaluation of parking demand shows that the reduced parking will provide for the anticipated parking demand generated by the development. In determining parking demand, the following may be considered: proximity to transit facilities; mix of uses in the immediate area;

offsite parking agreements; and provisions of a transportation demand management plan where it is demonstrated that the plan's measures will sufficiently reduce the demand for parking.

- Policy 4.2-22** Storm Water Management. All development shall be planned, sited, and designed to protect the water quality and hydrology of coastal waters in accordance with the requirements of the City's Storm Water Management Program, approved by the Central Coast Regional Water Quality Control Board under California's statewide National Pollutant Discharge Elimination System (NPDES) Phase II Small Municipal Separate Storm Sewer System (MS4) Storm Water Permit (Order No. 2013-0001 DWQ, effective July 1, 2013, or any amendment to or re-issuance thereof).
- Policy 4.3-3** Design Review. Development in the Coastal Zone shall be reviewed by the Architectural Board of Review, Historic Landmarks Commission, or Single Family Design Board in accordance with established rules and procedures, as applicable. If any of the rules, procedures, or actions of these design review boards/commissions conflict with the policies of the Coastal LUP, the policies of the Coastal LUP shall take precedence.
- Policy 4.3-7** Compatible Development. Development shall be sited and designed to be visually compatible with the character of surrounding areas and where appropriate, protect the unique characteristics of areas that are popular visitor destination points for recreational uses.
- Policy 4.3-8** Mitigating Impacts to Visual Resources. Avoidance of impacts to visual resources through site selection and design alternatives, if feasible, is the preferred method over landscape screening. Landscape screening, as mitigation of visual impacts, shall not substitute for project alternatives including resiting, or reducing the height or bulk of structures. When landscaping is required to screen the development, it shall be maintained for the life of the development for that purpose.
- Policy 4.3-9** Minimize Excavation, Grading and Earthwork. Minimize alteration of natural landforms to ensure that development is subordinate to surrounding natural features such as drainage courses, prominent slopes and hillsides, and bluffs. Site and design new development and substantial redevelopment to minimize grading and the use of retaining walls, and, where appropriate, step buildings to conform to site topography.
- Policy 4.3-13** Tree Protection and Replacement.
- A. Trees qualifying as ESHA shall be fully protected as required by the Biological Resources protection policies (Policy 4.1-1 et seq.).
  - B. For non-ESHA trees:
    - i. Development shall be sited and designed to preserve and protect, to the extent feasible, mature trees (trees four inches in diameter or greater at four feet six inches above grade in height) and trees important to the visual quality of the property;

- ii. Mature or visually important trees should be integrated into the project design rather than removed or impacted through encroachment into the root zones; and
- iii. Where the removal of mature or visually important trees cannot be avoided through the implementation of project alternatives or where development encroachments into the root zone result in the loss or worsened health of the trees, the removed tree(s) shall be replaced on a minimum 1:1 basis. This standard can also be increased up to 10:1 depending on the type of tree removed, lot size, and size and expected survival rate of replacement trees.

**Policy 4.3-14** Minimize Removal of Native Vegetation.

- A. Native vegetation that meets the definition of ESHA, creek, or wetland, shall be fully protected as required by the Biological Resource policies (Policy 4.1-1 et seq.).
- B. Development shall minimize removal of non-ESHA native vegetation.

**Policy 4.4-7** Archaeological Resources Evaluation Requirement. Development proposed in any area known or suspected to contain archaeological resources, or identified as archaeologically sensitive on the City of Santa Barbara's Archaeological Resources Sensitivity Map, shall be evaluated to identify the potential for important or unique archaeological resources at the site and whether the proposed development may potentially have adverse impacts on those resources if present at the site.

**Policy 5.1-18** Hazard Risk Reduction. New development and substantial redevelopment shall do all of the following, over the expected life of the development, factoring in the effects of sea level rise:

- A. Minimize risks to life and property from high geologic, flood, and fire hazards;
- B. Assure stability and structural integrity; and
- C. Neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area.

**Policy 5.1-20** Avoid or Minimize the Effects of High Geologic Hazards. New development and substantial redevelopment in areas of potential fault rupture, groundshaking, liquefaction, tsunami, seiche, slope failure, landslide, soil erosion, expansive soils, radon, or high groundwater shall be sited, designed, constructed, and operated (including adherence to recommendations contained in any site specific geologic evaluation required) to ensure that the development minimizes risks to life and property, assures stability and structural integrity, and neither creates nor contributes significantly to erosion, geologic instability, or destruction of the site or surrounding area over its expected life, factoring in the effects of sea level rise.



# City of Santa Barbara

## SINGLE FAMILY DESIGN BOARD CONSENT MINUTES JUNE 6, 2022

11:00 A.M.  
David Gebhard Public Meeting Room  
630 Garden Street  
[SantaBarbaraCA.gov](http://SantaBarbaraCA.gov)

### BOARD MEMBERS:

Brian Miller, *Chair*  
Leslie Colasse, *Vice Chair*  
Ohan Arakelian  
David Brentlinger  
Katie Klein  
Joseph Moticha

### CITY COUNCIL LIAISON:

Meagan Harmon

### PLANNING COMMISSION LIAISON:

Sheila Lodge

### STAFF:

Ellen Kokinda, Acting Design Review Supervisor  
Heidi Reidel, Planning Technician I  
Kathleen Goo, Commission Secretary

---

## ATTENDANCE

Member present: Miller  
Member absent: Klein  
Staff present: Robert Dostalek, Associate Planner (from 11:00 – 11:21 a.m.), Reidel, and Goo

## NEW ITEM: CONCEPT REVIEW

A. [302 COLEMAN AVE](#)  
Assessor's Parcel Number: 045-081-007  
Zone: E-3/SD-3  
Application Number: PLN2022-00028  
Owner: Shane Mahan  
Applicant: Jose Luis Esparza

(Proposal to demolish an existing 116 square foot workshop and build a new 449 square foot, one-story Accessory Dwelling Unit (ADU) and 197 square foot deck on a lot located in the Appealable Jurisdiction of the Coastal Zone. No changes are proposed to the existing 1,858 square foot single-unit residence and attached 435 square foot, two-car garage. Project includes the removal of an Acacia tree in the rear yard. The proposed total of 2,293 square feet on a 9,328 square foot lot is 65% of the maximum guideline floor-to-lot area ratio. Staff Hearing Officer review and approval is required for a Coastal Development Permit (CDP).)

**No final appealable decision will take place at this hearing. Neighborhood Preservation Findings will be required when the project is reviewed for Project Design Approval.**

**Continued indefinitely to the Staff Hearing Officer with comments:**

1. Keep the plate low at minimal height.
2. Colors are to match the existing residence.

**EXHIBIT E**

3. Roofing materials are to match the existing residence.
4. Due to the different architectural style of the large condominium complex to the rear, the Board found no conflict with the architectural style of the proposed Accessory Dwelling Unit (ADU) in relation to the existing residence and surrounding neighborhood.

### **REVIEW AFTER FINAL APPROVAL**

#### **B. [1142 HARBOR HILLS DR](#)**

Assessor's Parcel Number: 035-313-003  
Zone: RS-15  
Application Number: PLN2019-00148  
Owner: Tim Connors  
Applicant: Tom Ochsner, Architect

(Proposal for a 504 square foot addition to an existing, 3,530 square foot, two-story, single-unit residence located in the Hillside Design District. Project includes a new detached 400 square foot accessory structure, comprised of a one-car garage, workshop, elevator, and roof deck. The proposed total of 4,234 square feet on a 22,718 square foot lot is 90% of the maximum guideline floor-to-lot area ratio (FAR).)

**Review After Final is requested for a new vehicular gate and driveway material. Project plans must demonstrate substantial conformance to the plans that received Project Design Approval on [February 3, 2020](#). Project received Final Approval on [April 20, 2020](#), which is when the project was last reviewed.**

#### **Approval of Review After Final as submitted with comments:**

1. The Board finds the proposed asphalt is an improvement.
2. The plans demonstrate substantial conformance to the plans that received Project Design Approval on February 3, 2020.

### **FINAL APPROVAL**

#### **C. [1515 SANTA ROSA AVE](#)**

Assessor's Parcel Number: 045-181-005  
Zone: E-3/SD-3  
Application Number: PLN2021-00469  
Owner: Kevin Murphy  
Applicant: Harold Powell

(Proposal for a 550 square foot second-story addition to an existing 1,364 square foot two-story single-unit residence with an attached 175 square foot one-car garage. Project includes a new 132 square foot roof deck with outdoor spiral staircase. The proposed total of 2,089 square feet on a 5,980 square foot lot is 78% of the maximum required floor-to-lot area ratio (FAR).)

**Final Approval is requested. Project requires substantial conformance to the plans that received Project Design Approval on [November 29, 2021](#), which is when the project was last reviewed.**

**Final Approval as submitted.**