

902 WEST ISLAY STREET SANTA BARBARA, CA 93101

ABATEMENT OF VIOLATIONS PER ENF2023-00385 FOR NEW 6'-0" H WALL AT FRONT PROPERTY LINE AND CONVERSION OF EXISTING DETACHED TWO CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

GENERAL REQUIREMENTS

All work shall be performed in a professional workmanlike manner by a licensed contractor and shall comply with the following:

- These General notes unless otherwise noted on plans or specifications.
- This project shall comply with:
 - 2022 California Building Code (Title 24)
 - 2022 CRC (or current edition)
 - 2022 CMC (or current edition)
 - 2022 CPC (or current edition)
 - 2022 CEC (or current edition)
 - 2022 CENC (or current edition) California Energy Code
 - California Efficiency Standards
 - California Green Building Standards 2022 (Cal Green) or current
 - S.B. New Zoning Ordinance TITLE 30
 - City of Santa Barbara Ordinance No. 6093
- All applicable Local, State and Federal Codes, Ordinances, Laws, Regulations and Protective Covenants governing the site of work.
- Standard Specifications of ASTM.
- In case of conflicts, the more stringent requirements shall govern.
- "Or Equal": the Contractor shall submit for the Designer's and Builder's approval all materials or equipment which is considered "or equal" to that specified.

On Site Verification of all dimensions and conditions shall be the responsibility of the Contractor and Sub-contractors. Noted dimensions to take precedence over scale. Each Contractor and Subcontractor shall report to designer and Project Superintendent all Conditions which prevent the proper execution of their work. Client's Architect and Project Superintendent to be notified immediately by Contractor and Sub-Contractor should any discrepancy, error, omission, addition, or other question arise pertaining to the working drawings and/or specifications. The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed to notify the Architect of before construction and/or fabrication of the work. Sub-contractor shall insure that all work is done in a professional workmanlike manner by skilled mechanics and shall replace any materials or items damaged by Sub-contractor performance. Sub-contractors and suppliers are hereby notified that they are to confer and cooperate fully with each other during the course of construction to determine the exact extent and overlap of each other's work and to successfully complete the execution of the work. All Sub-contractor workmanship will be of quality to pass inspections by local authorities, lending institutions, Architect or Builder. Any one or all of the above mentioned inspectors may inspect workmanship at any time, and any corrections needed to enhance the quality of building will be done immediately. The Contractor shall, at all times, provide protection against weather, rain, wind, storms, frost, heat or breakage so as to maintain all work, materials, apparatus, and fixtures free from injury or damage. The contractor shall at all times keep the premises free from all accumulations of waste material or rubbish caused by his employees, and at the completion of the work shall remove all rubbish, debris, equipment and surplus materials belonging to him from in and about the building and leave work site "Broom Clean". At the end of the day's work, all work likely to be damaged shall be covered. Any work damaged due to failure of protection as defined above shall be removed and replaced with new work at the Contractor's expense. Each Sub-contractor, unless specifically exempted by the terms of his sub-contract agreement, shall be responsible for cleaning up and removing from the job site all trash and debris not left by other Sub-contractors. Builder will determine how soon after Sub-contractor completes each phase of his work that trash and debris will be removed from the site. Workmanship: Compliance with drawings and/or specifications with regard to materials and methods of assembly will not, in itself, assure acceptance of the work. Of equal importance is good workmanship, the lack of which will be sufficient cause to refuse acceptance of the work.

PUBLIC RIGHT OF WAY

A SEPARATE PUBLIC WORKS PERMIT IS REQUIRED FOR ALL PROPOSED WORK IN THE PUBLIC RIGHT-OF-WAY.

UNDERGROUND SERVICE ALERT / DIGALERT

CONTACT PRIOR TO CONSTRUCTION WITHIN RIGHT-OF-WAY AND OR LOCATION OF UTILITIES ON-SITE: 1-800-227-2600

PROFESSIONALS

ARCHITECT: SHERRY & ASSOCIATES, ARCHITECTS
608 ANACAPA STREET, SUITE B
SANTA BARBARA, CA 93101
PH: (805) 963-0986 / FAX: (805) 963-0178

STRUCTURAL ENGINEERING: GARY FROLENKO ENGINEERING
23 HITCHCOCK WAY, SUITE 104
SANTA BARBARA, CA 93105
PH: (805) 682-3887

AGENCY CONTACT

CITY OF SANTA BARBARA: COMMUNITY DEVELOPMENT
630 GARDEN STREET
SANTA BARBARA, CA, 93101
BUILDING DEPT: 564-5485

ELECTRICAL AGENCY: SOUTHERN CALIFORNIA EDISON
333 LOVE PLACE
SANTA BARBARA, CA, 93117
(805) 683-5252

GAS AGENCY: SOUTHERN CALIFORNIA GAS
P.O. BOX 6466
SANTA BARBARA, CA, 93160-6466
(805) 681-8060

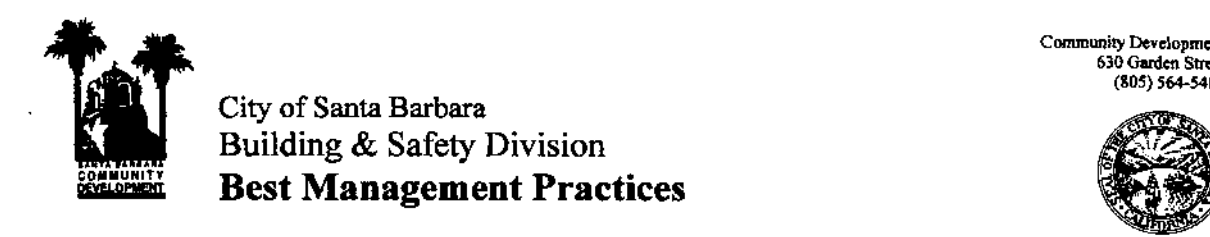
SEWER AGENCY: CITY OF SANTA BARBARA
PUBLIC WORKS DEPT.
630 GARDEN STREET
SANTA BARBARA, CA, 93101

WATER AGENCY: CITY OF SANTA BARBARA
PUBLIC WORKS DEPT.
630 GARDEN STREET
SANTA BARBARA, CA, 93101

ABBREVIATIONS

& L	And	FDN.	Foundation	PL.	Plate
@	Angle	FIN.	Finish	PLAM.	Plastic/Laminated
CL	Center-line	FL.	Floor	PLAS.	Plaster
CL	Diameter	FLASH.	Flashing	PLYWD.	Plywood
(E)	Existing	F.LOR.	Fluorescent	PAIR	Pair
(N)	New	F.O.C.	Face of	PRCST.	Pre-cast
#	Pound or Number	F.O.F.	Face of Finish	Q.T.	Concrete-treated
A.S.	Anchor Bolt	F.O.M.	Face of Masonry	R.	Riser
ACOUS.	Acoustical	F.S.	Face of Stud	RAD.	Radius
A.D.	Area Drain	F.S.	Full size	R.D.	Roof Drain
ADJ.	Adjustable	F.F.	Foot or Feet	REF.	Reference
AGGR.	Aggregate	FTG.	Footing	REFR.	Refrigerator
ALUM.	Aluminum	FURR.	Furring	R.GTR.	Register
APPROX.	Approximate	FA.	Ground Fault	REINFC.	Reinforced
ARCH.	Architectural	GALV.	Galvanized	REQD.	Required
ASPH.	Asphalt	G.F.I.	Ground Fault	RESL.	Resilient
BD.	Board	INT.	Interrupter	R.M.	Room
BLDG.	Building	GL.	Glass	R.O.	Rough Opening
BLKG.	Blocking	G.L.B.	Glass Laminated	RWD.	Redwood
BM.	Beam	GND.	Ground	R.W.L.	Rain Water Leader
B.O.	Bottom of	GR.	Grade	S.	South
CAB.	Cabinet	GYP.	Gypsum	SCHED.	Schedule
C.B.	Catch Basin	H.B.	Hose Bid	SECT.	Section
CEM.	Cement	H.D.	Hold Down	SH.	Shelf
CER.	Ceramic	HDR.	Header	S & P	Shelf and Pole
CI.	Cast Iron	HDWE.	Hardware	SHWR.	Shower
C.J.	Control Joint	HORIZ.	Horizontal	SHT.	Sheet
C.L.G.	Ceiling	HR.	Hour	SIM.	Similar
CALKG.	Calking	HT.	Height	SPEC.	Specification
CLD.	Clear	ID.	Inside Diameter	SQ.	Square
C.O.	Cleanout	INSUL.	Insulation	STD.	Standard
C.O.	Column	INT.	Interior	STL.	Steel
CONC.	Concrete	JT.	Joint	STOR.	Storage
CONSTR.	Construction	KIT.	Kitchen	STRUCT.	Structural
CONT.	Continuous	LAMP.	Lamp	SUSP.	Suspended
CORR.	Corrugated	LAV.	Lavatory	SYM.	Symmetrical
C.M.U.	Masonry Unit	LT.	Light	TRD.	Tread
CTSK.	Countersunk	L.V.L.	Laminated	T.B.	Towel Bar
CNTR.	Counter	MAX.	Maximum	T.C.	Top of Curb
CTR.	Center	M.B.	Machine Bolt	TEL.	Telephone
d.	Penny	M.C.	Medicine	T & G	Tounge and Groove
DBL.	Double	MECH.	Mechanical	THK.	Thick
DEPT.	Department	MFR.	Manufacturer	T.O.	Top of
DI.	Diameter	MIN.	Minimum	T.P.	Top of Pavement
DIA.	Diameter	MISC.	Miscellaneous	T.P.D.	Toilet Paper
DIM.	Dimension	M.O.	Masonry	T.V.	Tube Steel
D.J.	Doweled joint	N.	North	TP.	Typical
DN.	Down	N.C.	North	UNF.	Uniform
DR.	Drawer	N.I.C.	Not in Contract	UNFIN.	Unfinished
DWR.	Downspout	NOM.	Nominal	UN.O.	Unless Noted Otherwise
DWG.	Drawing	N.T.S.	Not to Scale	VERT.	Vertical
E.	Each	O.A.	Overall	W.	West
E.A.	Expansion Joint	O.C.	On Center	WC.	Water Closet
E.L.	Elevation	OFF.	Office	WO.	Without
ELEC.	Electrical	OPNG.	Opening	WP.	Waterproof
ELEV.	Elevator	OPP.	Opposite	W.R.	Water Resistant
ENCL.	Enclosure	WSCT.	Weight	WT.	Weight
EQPT.	Equipment				
EXP.	Expansion				
EXT.	Exterior				

BEST MANAGEMENT PRACTICES



Best Management Practices for Construction Activities:

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete wastes on site until they can be disposed of as a solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or demanded of vegetation must be stabilized so as to inhibit erosion by wind and water.

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17 SHEETS TOTAL

REQUIRED INSPECTIONS

INSPECTIONS SHALL BE CALLED IN BY CONTRACTOR OR INSPECTION 72 HOURS PRIOR TO NEEDED INSPECTION. THE CITY WILL THEN ROUTE THE REQUEST TO THE QSP INSPECTION OR THIRD PARTY COMPANY:

- INSPECTION OF EXCAVATION AND SUBGRADE
- INSPECTION OF PEBBLES AND GRAVEL LAYERS, OPEN GRADED (NO SAND)
- FINAL INSPECTION OF PERFORATED PIPES AND OPEN GRAVEL TRENCHES

PROJECT STATISTICS

OWNER: HANNAH ZENTNER & MATTHEW LEFEBVRE
902 WEST ISLAY STREET
SANTA BARBARA, CA 93101

PROJECT ADDRESS: 902 WEST ISLAY STREET
SANTA BARBARA, CA 93101

APN: 043-144-010

LAND USE ZONE: R-2 (SBMC TITLE 30)

GENERAL PLAN AREA: WEST SIDE

GMP DEVELOPMENT AREA: DOWNTOWN

CITY STRUCTURE OF MERIT SENSITIVITY AREA: NO

EXISTING LAND USE: SINGLE FAMILY RESIDENCE

CONSTRUCTION TYPE: TYPE VA

AVERAGE SLOPE: +/- 4%

HIGH FIRE: NO

HILLSIDE DESIGN AREA: NO

FEMA FLOOD ZONE DESIGNATION: X

SPRINKLERED: NO

LOT SIZE: +/- 5,000 SQUARE FEET (0.11 ACRES)

YEAR BUILT: 1935

SQUARE FOOTAGE BREAKDOWN

EXISTING SQUARE FOOTAGE:	NET	GROSS
(E) SINGLE FAMILY RESIDENCE	± 1,127 SF	± 1,189 SF
(E) DETACHED GARAGE	± 303 SF	± 333 SF
TOTAL EXISTING FLOOR AREA:	± 1,430 SF	± 1,522 SF

PROPOSED PROJECT SQUARE FOOTAGE:	NET	GROSS
(E) SINGLE FAMILY RESIDENCE	± 1,127 SF	± 1,189 SF
(N) DETACHED ACCESSORY DWELLING UNIT	± 303 SF	± 333 SF
OVERALL SITE TOTAL PROPOSED:	± 1,430 SF	± 1,522 SF

PARKING CALCULATIONS

902 W. ISLAY STREET, UNIT A - PRIMARY RESIDENCE
EXISTING PARKING: 2 COVERED / 0 UNCOVERED
PROPOSED PARKING: 0 COVERED / 1 UNCOVERED
REQUIRED PARKING: 0 PARKING STALLS PURSUANT TO SBMC §30.185.040 FOR THE CONVERSION OF THE GARAGE TO NEW ACCESSORY DWELLING UNIT

902 W. ISLAY STREET, UNIT B - ACCESSORY DWELLING UNIT
EXISTING PARKING: 0 COVERED / 0 UNCOVERED - PROPERTY IS EXISTING NON-CONFORMING
PROPOSED PARKING: 0 COVERED / 0 UNCOVERED
REQUIRED PARKING: 0 PARKING STALLS PURSUANT TO SBMC §30.185.040

TIER 2 SWMP BREAKDOWN:

PROPOSED NEW OR REDEVELOPED IMPERVIOUS AREAS:	
NEW IMPERVIOUS AREA:	0 SF
REDEVELOPED IMPERVIOUS AREA: (N) LIMESTONE TILE PAVERS TO REPLACE (E) BRICK PAVERS	795 SF
TOTAL NEW/REDEVELOPED IMPERVIOUS AREA:	+/- 795 SF

TIER 2 SWMP COMPLIANCE NOTES:

- (N) PERFORATED PIPES TO BE CONNECTED TO DISCONNECTED DOWNSPOUTS, PERFORATED PIPES SHALL BE CAPPED.
- PROPOSED IMPERVIOUS AREA IS CUMULATIVE FOR TWO YEARS.
- PROPERTY OWNER AGREES TO MAINTAIN AND COMPLY WITH SWMP TIER 2 PROPOSED STORM WATER BMP'S LISTED ABOVE PER SBMC 22.87.030.

[Signature]

PROPERTY OWNER'S SIGNATURE

PROJECT DESCRIPTION

ABATEMENT OF VIOLATIONS PER ENF2023-00385 FOR NEW 6'-0" H WALL AT FRONT PROPERTY LINE

- AS-BUILT PLASTER WALL AT FRONT AND INTERIOR LOT LINES TO BE PERMITTED

CONVERSION OF (E) TWO CAR GARAGE TO (N) ACCESSORY DWELLING UNIT

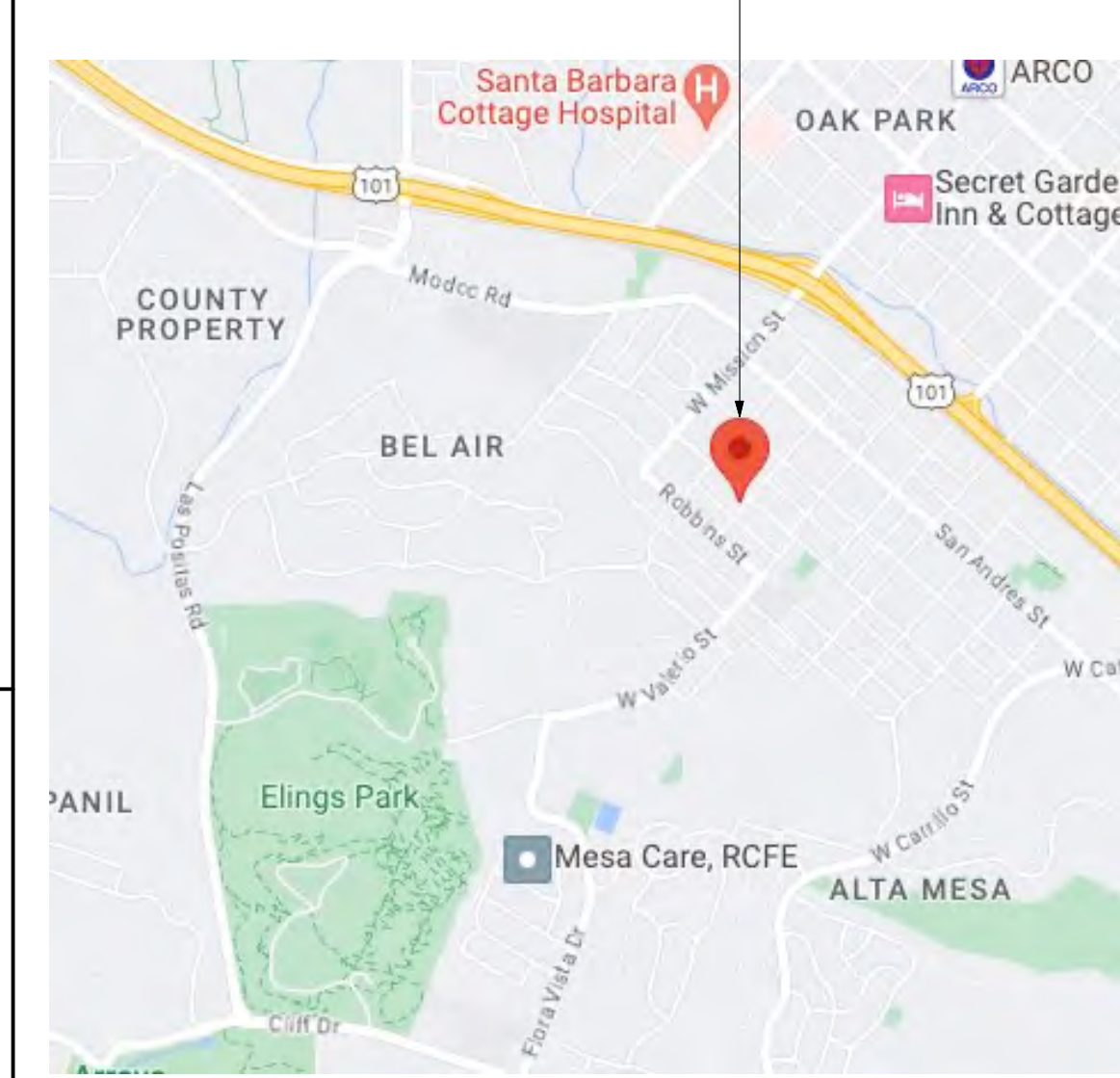
- (N) DOORS & WINDOWS PER PLAN
- (N) GAS WALL MOUNTED HEATER
- (N) KITCHEN WITH ASSOCIATED FIXTURES & APPLIANCES
- (N) BATHROOM WITH ASSOCIATED FIXTURES

MISCELLANEOUS EXTERIOR ALTERATIONS:

- (N) OUTDOOR KITCHEN

THIS PROJECT REQUIRES AN MZE (MINOR ZONING EXCEPTION) PER SBMC §30.140.110.E.2 FOR ADDITIONAL HEIGHT ALLOWANCES FOR THE AS-BUILT RETAINING WALL

PROJECT SITE:
902 WEST ISLAY STREET
SANTA BARBARA, CA 93101



VICINITY MAPS
NOT TO SCALE

ARCHAEOLOGICAL & PALEONTOLOGICAL SIGNIFICANCE

PRIOR TO THE START OF ANY VEGETATION OR PAVING REMOVAL, DEMOLITION, TRENCHING OR GRADING, CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL BE ALERTED TO THE POSSIBILITY OF UNCOVERING UNANTICIPATED SUBSURFACE ARCHAEOLOGICAL FEATURES OR ARTIFACTS ASSOCIATED WITH PAST HUMAN OCCUPATION OF THE PARCEL.

IF SUCH ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED OR SUSPECTED, WORK SHALL BE HALTED IMMEDIATELY, THE CITY ENVIRONMENTAL ANALYST SHALL BE NOTIFIED AND AN ARCHAEOLOGIST FROM THE MOST CURRENT CITY QUALIFIED ARCHAEOLOGISTS LIST SHALL BE RETAINED BY THE APPLICANT. THE LATTER SHALL BE EMPLOYED TO ASSESS THE NATURE, EXTENT AND SIGNIFICANCE OF ANY DISCOVERIES AND TO DEVELOP APPROPRIATE MANAGEMENT RECOMMENDATIONS FOR ARCHAEOLOGICAL RESOURCE TREATMENT WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, REDIRECTION OF GRADING AND/OR EXCAVATION ACTIVITIES, CONSULTATION AND/OR MONITORING WITH A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST, ETC.

IF A DISCOVERY CONSISTS OF POSSIBLE HUMAN REMAINS, THE SANTA BARBARA COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY. IF THE CORONER DETERMINES THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION. A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION. IF A DISCOVERY CONSISTS OF POSSIBLE PREHISTORIC OR NATIVE AMERICAN ARTIFACTS OR MATERIALS, A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.

THIS AREA IS RESERVED FOR CITY APPROVAL STAMPS ONLY

S O C I A T E S & A R C H I T E C T S
 902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101
 FOR ARCHITECT STAMP ONLY
 DATE DESCRIPTION
 03/11/24 1ST PLANNING DEPT. SUBMITTAL
 05/15/24 2ND PLANNING DEPT. SUBMITTAL
 07/08/24 3RD PLANNING DEPT. SUBMITTAL
T 1.0
 TITLE SHEET

INSPIRATION PHOTOS & MATERIALS



BUILT-IN PLANTERS & BENCHES
REFERENCE NOTES #13 & 21



BENCH STORAGE, REFERENCE NOTE #21



RETRACTABLE SHADE, REFERENCE NOTE #28

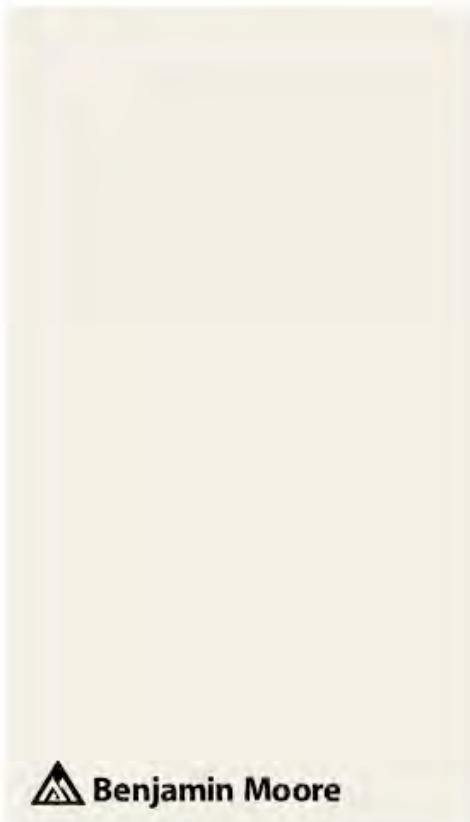


KITCHEN TILE FOCAL POINT, REFERENCE NOTE #29

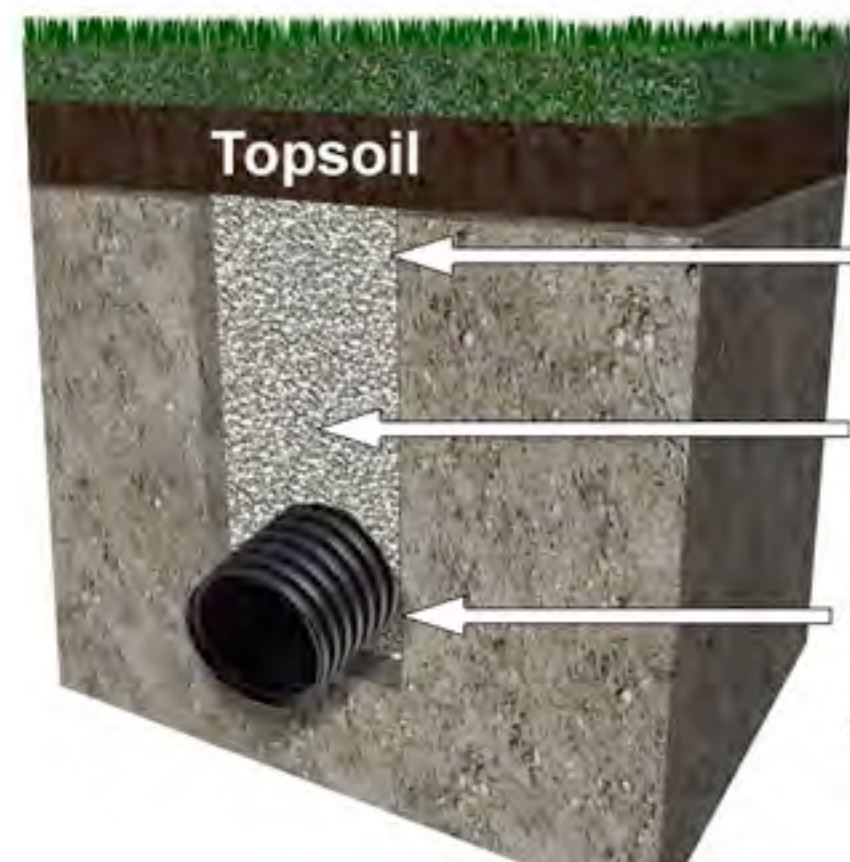


LIMESTONE TILE PAVING, REFERENCE NOTE #31

White Dove
OC-17



Benjamin Moore
PRIMARY RESIDENCE, ACCESSORY DWELLING UNIT, & (N) PLASTER WALL
REFERENCE NOTES #3,6 & 17

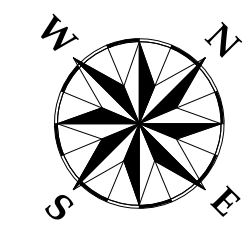
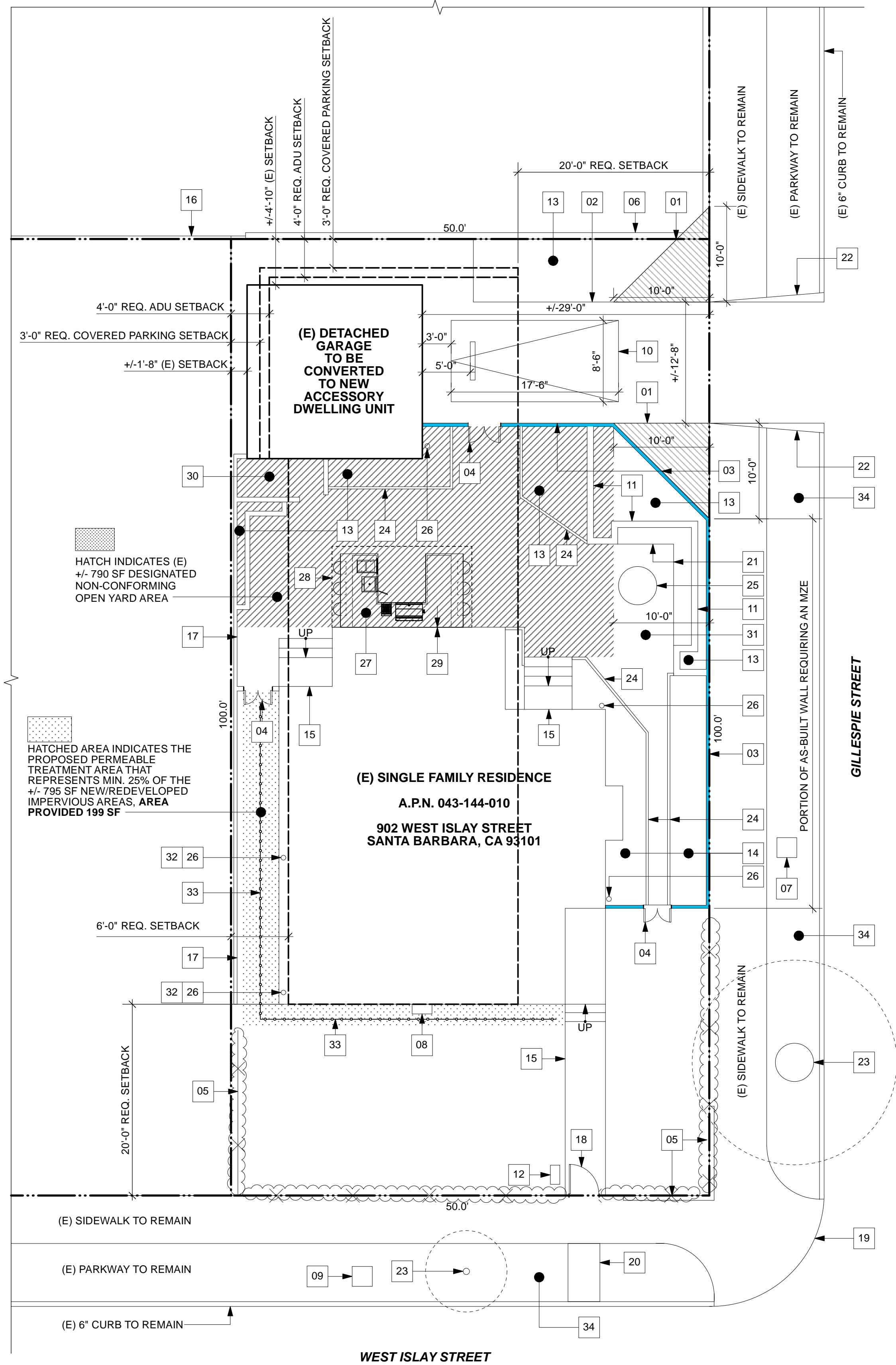


4" by 8"-12" deep trench
1" washed gravel fill
4" diameter perforated drain pipe.

PERFORATED PIPE DETAIL

SCALE: NOT TO SCALE

NOTE: PERFORATED PIPES ARE TO BE CAPPED



EXISTING & PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

SITE PLAN GENERAL NOTES

ALL ROOFS, PAVED AREAS, YARDS AND COURTS SHALL BE DRAINED INTO A SEPARATE STORM SEWER SYSTEM. DISCHARGE THE WATER IN THE DIRECTION AWAY FROM THE BUILDING AND ADJACENT PROPERTIES AND NOT CAUSE EROSION (CPC CHAPTER 11)

PROVIDE DRAINAGE GRADIENT OF 2% IF IMPERVIOUS SURFACE IS PROVIDED AROUND STRUCTURES TO STREET OR APPROVED DRAINAGE SYSTEM. DRAINAGE SHALL NOT AFFECT ADJACENT PROPERTIES. PROVIDE 5% SLOPE FOR 10 FT AWAY FROM THE BUILDINGS.

SLOPE FOR PERMANENT FILL SHALL NOT BE STEEPER THAN 2:1, DEVIATIONS FROM THIS REQUIREMENT ARE SHOWN IN THE SOILS REPORT. CUTS AND FILLS STEEPER THAN 5:1 SHALL BE CONSTRUCTED WITH SWALES AND SET BACK FROM PROPERTY LINES BY 2 FT MIN. (CBC FIG. 108.1, SEC. 106-108)

SITE PLANS SHOW ALL RESTRICTIONS THAT MAY AFFECT THE CONSTRUCTION OF THE PROJECT UNDER THIS PERMIT.

NO KNOWN PUBLIC WAYS OR PRIVATE EASEMENTS ON THIS PROPERTY.

THE DETERMINATION OF WHETHER OR NOT A BACKWATER VALVE IS REQUIRED PER CPC 710.1 IS TO BE MADE BY THE PLUMBING CONTRACTOR

REFERENCE NOTES

- 01 10'-0" VISIBILITY TRIANGLES, NO FENCE, SCREEN, WALL OR HEDGE OF 3.5' SHALL BE LOCATED WITHIN VISIBILITY TRIANGLE AREA. AS-BUILT WALL/FENCE IS COMPLIANT WITH THE VISIBILITY TRIANGLES
- 02 (E) CONCRETE DRIVEWAY TO REMAIN
- 03 AS-BUILT 6'-0"H, 4"W PLASTER FENCE/WALL, TO BE PAINTED DOVE WHITE TO MATCH (E) RESIDENCE WITH (N) CREEPING VINE TO SOFTEN WALL
- 04 AS-BUILT GATE AT (N) PLASTER FENCE/WALL
- 05 (E) 42"H CHAIN LINK FENCE AND HEDGE AT AT PROPERTY LINE TO REMAIN
- 06 (E) +/- 40" PLASTER WALL AT INTERIOR PROPERTY LINE ON NEIGHBORING PROPERTY, WALL STEPS UP TO +/-69"H APPROX. 36'-0" FROM THE GILLESPIE STREET FRONT PROPERTY LINE
- 07 (E) WATER METER TO REMAIN
- 08 (E) ELECTRIC METER TO REMAIN
- 09 (E) GAS METER TO REMAIN
- 10 (N) 8'-6" x 17'-6" UNCOVERED PARKING SPACE WITH (N) WHEEL STOP. WHEEL STOP SHALL BE LOCATED 3'-0" FROM BUILDING. THE OVERHANG ALLOWANCE AT WHEEL STOP IS 2'-6". SHALL SERVE (E) PRIMARY RESIDENCE
- 11 AS-BUILT 30"H CMU WALL TO REMAIN, PLASTER FINISH PAINTED BENJAMIN MOORE DOVE WHITE
- 12 (E) MAILBOX TO REMAIN
- 13 (N) PLANTER
- 14 REDEVELOPED LANDSCAPE TO REMAIN
- 15 (E) STEPS TO REMAIN
- 16 (E) 6'-2"H WOOD FENCE AT PROPERTY LINE ON NEIGHBORING PROPERTY
- 17 AS-BUILT 7'-9"H - 8'-0"H PLASTER WALL AT INTERIOR PROPERTY LINE, TO BE PAINTED BENJAMIN MOORE DOVE WHITE TO MATCH (E) RESIDENCE
- 18 (E) GATE AT (E) CHAIN LINK FENCE TO REMAIN
- 19 (E) RAMP IN (E) PUBLIC RIGHT OF WAY TO REMAIN
- 20 (E) BRICK PAVERS IN (E) PARKWAY TO REMAIN
- 21 (N) 18"H BUILT-IN BENCH, PLASTER FINISH TO BE PAINTED BENJAMIN MOORE DOVE WHITE. BENCH SEATS SHALL BE REDWOOD PANELS IS +/- 33 SF ENCROACHMENT, WHEN COMBINED WITH +/-13 SF AREA OF FIRE PIT IS +/- 46 SF OVERALL ENCROACHMENT
- 22 (E) DRIVEWAY APRON TO REMAIN
- 23 APPROX. LOCATION OF (E) TREE IN PARKWAY TO REMAIN
- 24 AS-BUILT 3"W LANDSCAPE BARRIER
- 25 AS-BUILT NATURAL GAS FIRE PIT AND (N) GAS LINE CONNECTION TO REMAIN, +/-13 SF ENCROACHMENT. WHEN COMBINED WITH +/-33 SF AREA OF INTEGRATED BENCHES IS +/- 46 SF OVERALL ENCROACHMENT
- 26 (E) DOWNSPOUT TO DRAIN INTO (E) LANDSCAPING
- 27 (N) OUTDOOR KITCHEN WITH BUILT IN SINK AND GRILL W/ RETRACTABLE SHADE COVER. AREA OF RETRACTABLE SHADE COVER IS +/-123 SF OR 16% OF THE +/-790 SF AREA OF DESIGNATED NON-CONFORMING OPEN YARD
- 28 (N) RETRACTABLE SHADE COVER WITH OUTDOOR HEATER INSTALLED UNDER THE (N) BEAM, SHALL HAVE A 7'-0" MIN. VERTICAL CLEARANCE. AREA OF RETRACTABLE SHADE COVER IS +/-123 SF OR 16% OF THE +/-790 SF AREA OF DESIGNATED NON-CONFORMING OPEN YARD
- 29 (N) SPANISH TILE FOCAL POINT ON EXTERIOR WALL
- 30 AS-BUILT OUTDOOR SHOWER TO BE REMOVED, ALL PLUMBING REMOVED AND CAPPED
- 31 (N) LIMESTONE TILE PAVERS TO REPLACE (E) BRICK PAVERS
- 32 CONNECT PERFORATED PIPE TO (E) DOWNSPOUT, PERFORATED PIPES ARE TO BE CAPPED, DETAIL THIS SHEET
- 33 (N) PERFORATED PIPES ARE TO BE CAPPED
- 34 ALL LANDSCAPING IN WITHIN PUBLIC RIGHT OF WAY TO BE REDUCED AND MAINTAINED TO NOT EXCEED 8" FOR ALL PARKWAYS ON GILLESPIE AND W. ISLAY STREETS

STATEMENT OF VOLUNTARY PERMITTING FOR NEW 5-0H WALL AT PROPERTY LINE FOR NEW 5-0H WALL AT CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT
 THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASIGNED TO ANY THIRD PARTY WITHOUT THE WRITTEN PERMISSION OF DAWN SHERRY ARCHITECT.

S A R C H I T E C T S
S H E R R Y & A S S O C I A T E S
 902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101

508 ANACAPA STREET, SUITE B
 SANTA BARBARA, CA 93101
 MAIL TO:
 P.O. BOX 23834
 SANTA BARBARA, CA 93121
 TEL: (805) 963-0986
 FAX: (805) 963-0178
 E.M.A.L. | 1000 W. WASHINGTON ST. | SUITE 100 | SANTA BARBARA, CA 93101

FOR ARCHITECT STAMP ONLY	
DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

T 2.0

SITE PLAN

For violations that require a building permit, please see below:

1. Consult with the Planning and Zoning to verify that alterations do not trigger design review of any kind. Contact Planning and Zoning Department by email at [http://www.PlanningCenter@SantaBarbaraCA.gov](mailto:PlanningCenter@SantaBarbaraCA.gov), or by phone at (805) 564-5578.
2. When approved by the Planning and Zoning to proceed, prepare and submit a complete application for the building permit(s) that are required to legalize the violations found during the inspection. Applications for a building permit can be made online at <http://www.SantaBarbaraCA.gov/OnlineBuildingPermits>

Tax Implications

Pursuant of California Revenue and Taxation Code sections 17274 and 24436.5, the City may forward information regarding you and any other owners of the above-referenced property to the State Franchise Tax Board for violation of State and City laws related to the health, safety, and building if the above listed property constitutes substandard housing. This action will prevent you, any other owners, or subsequent owners from deducting interest, taxes, depreciation, or amortization for the above-referenced property on the state income taxes. In order to prevent this, you must immediately comply with all State and City laws to abate all violations.

Appeal Rights

Any party aggrieved by this decision of the City's Chief Building Official including but not limited to decisions or determinations made relative to the application and interpretations of the technical codes, and the refusal, suspension, voiding, or revocation of a license or permit, may appeal such decision to the Building and Fire Code Board of Appeals by obtaining an appeal form on the internet at <http://www.santabarbaraca.gov/services/planning/forms/building.asp> or from the City Building & Safety office. You are required to submit the appeal form within ten (10) days from the date of this notice in order for your appeal to be heard by the Building and Fire Code Board of Appeals. The completed appeal form must be delivered, by hand or postage mail, to the City's Building & Safety office located at 630 Garden St., Santa Barbara, CA 93101. The completed appeal form may also be emailed to CBBuildingCode@SantaBarbaraCA.gov. For information regarding the appeals process, please refer to Santa Barbara Municipal Code Section 22.04.020 or contact the Community Development Department at (805) 564-5502. For information on the Building and Fire Code Board of Appeals, please visit the following website <http://www.santabarbaraca.gov/helcomm/ac/bfcbca/default.asp>

F:

CONSEQUENCE FOR NOT ABATING BY THE FINAL DATE

If the violation(s) are not corrected by the Abatement Date(s), the **First Administrative Citation** will be imposed. The amount of the Citation will be **\$100 per violation** that still exists after the abatement date. If the violation(s) continue, additional Administrative Citations will be imposed, with the fine amount increasing to a **maximum of \$250 per violation per day**, for as long as the violation(s) continue, with the possibility of referral to the City Attorney's Office for criminal prosecution.

VIOLATION ABATEMENT AND CASE CLOSURE

Please advise me once you have abated the violation(s). Once we have verified that the violation(s) have been abated, we will close this enforcement case.

QUESTIONS & CONCERNS

The City's intent with enforcement is to achieve compliance with the Municipal Codes and Building Codes. As the Compliance Officer assigned to this case, I would like to assist you in resolving this matter. Please email me at jwadkowski@SantaBarbaraCA.gov, or call me directly at (805) **564-5577** (between the hours of 8:30 and 4:30 p.m., Monday through Thursday and every other Friday. The City appreciates your cooperation.

Si usted tiene preguntas respecto a la notificación y prefere hablar con alguien en español, por favor llame a la línea de investigaciones al (805) 897-2676. Deje su número de teléfono, la dirección del domicilio respecto a la notificación, el número ENF en la notificación, y un mensaje corto.

ADDITIONAL CONTACT INFORMATION

Our offices are closed every other Friday. Please go to www.SantaBarbaraCa.gov for further information on closure dates.

For plan submittal and permit issuance requirements please call (805) 564-5485 between the hours of 7:30 and 4:30 p.m., Monday through Friday (except on closed Fridays). The Community Development public counters are located at 630 Garden Street.

Sincerely,

John Wadkowski

John Wadkowski
Code Compliance Officer

cc: Current Owner/Tenant
Address



City of Santa Barbara
Community Development Department

www.SantaBarbaraCA.gov

**NOTICE OF VIOLATION
WARNING LETTER**

BUILDING AND SAFETY

Director's Office

Tel: 805.564.5502
Fax: 805.564.5506

Building & Safety

Tel: 805.564.5485
Fax: 805.564.5476

Housing & Redevelopment

Tel: 805.564.5461
Fax: 805.564.5477

Planning

Tel: 805.564.5470
Fax: 805.897.1904

Rental Housing
Mediation Task Force

Tel: 805.564.5420
Fax: 805.564.5477

630 Garden Street
PO Box 1990
Santa Barbara, CA
93102-1990

9/25/2023

Matt Lefebvre
902 W Islay St
Santa Barbara, CA 93101

SUBJECT: 902 W Islay St. Santa Barbara, Ca 93101
APN: 043-144-010
ENFORCEMENT CASE NUMBER: ENF2023-00385

Dear Property Owner/Tenant:

Property records indicate that you are the owner(s) and/or tenants of the above referenced parcel. On 9/13/2023, I inspected the subject property in response to a complaint received by our office and discovered a/several violation(s) of the Santa Barbara Municipal Code, described below.

The purpose of this notice is to inform you of the violation(s) on the subject property, to give you a reasonable timeframe to abate the violation(s), and to inform you of the consequences of not abating the violation(s) or repeating the violation(s).

DESCRIPTION, REMEDY & FINAL ABATEMENT DATE OF VIOLATION(S):

Please be advised that the below items are in violation of the Santa Barbara Municipal Code and/or the California Code(s).

Code Violations: SBMC 22.04.010 Adoption of the California Codes, CRC R105.1, SBMC 30.140.230, SBMC 30.140.110, SBMC 22.04.020 Amendments to the California Codes, SBMC 105.2

1. **(6) Six-foot block wall constructed on side of home without a permit.**

Corrective Actions and Abatement Date: Submit a set of plans and specifications to obtain a permit for the work described herein, or return residence to its original condition, prior to the construction of the wall.

Violations shall be abated by the dates set for each violation, as shown above:
10/25/2023

Should you find the final abatement date unreasonable, please contact me to discuss the dates.

S H E R R Y & A S S O C I A T E S A R C H I T E C T S

ABATEMENT OF VIOLATIONS PER ENF2023-00385 FOR NEW 6-FTH WALL AT PERMITSUBMITTED FOR PROPERTY AT 902 WEST ISLAY STREET, SANTA BARBARA, CA 93101. CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT.

902 WEST ISLAY STREET
SANTA BARBARA, CA 93101

902 WEST ISLAY STREET, SUITE B
SANTA BARBARA, CA 93101
MAIL TO:
P.O. BOX 23834
SANTA BARBARA, CA 93121
TEL: (805) 963-0986
FAX: (805) 963-0176
E M A I L:
DANN@DANNSHERRYARCHITECT.COM
DANN SHERRY ARCHITECT

FOR ARCHITECT STAMP ONLY

DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

T 3.0
NOTICE OF VIOLATION

ELECTRICAL SYMBOLS

○	WALL MOUNTED SURFACE FIXTURE
○	CEILING MOUNTED SURFACE FIXTURE
□	RECESSED CAN LIGHT FIXTURE
⚡	SWITCH
⚡	HALF SWITCHED RECEPTACLE
⚡	GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR RECEPTACLE OUTLET
⚡	STANDARD TAMPER-RESISTANT RECEPTACLE WITH ARC-FAULT PROTECTION
⚡	50 CFM MIN. EXHAUST FAN, MOISTURE ACTIVATED
SD B	BATTERY-OPERATED, RETROFIT SMOKE DETECTOR
CM B	CARBON MONOXIDE ALARM WITH BATTERY BACKUP FINISHES
H.E.	HIGH EFFICACY (NOTE: FLUORESCENT IS ACCEPTABLE AS AN ALTERNATIVE TO H.E.)
W.P.	WATER PROOF
VC	VACANCY SENSOR

DEMOLITION GENERAL NOTES

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL.

DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF SANTA BARBARA.

NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION AND REVIEW OF THESE PLANS. OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR CITY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL.

NON-STRUCTURAL WALLS "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER PRIOR TO REMOVAL.

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION.

ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS.

EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF: MECHANICAL SYSTEMS PLUMBING SYSTEMS ELECTRICAL SYSTEMS

EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION.

NO STRUCTURAL WALLS OR ELEMENTS SHALL BE DEMOLISHED WITHOUT PROPER SHORING, AS PROVIDED BY THE STRUCTURAL ENGINEER.

REFERENCE NOTES

- AS-BUILT SHOWER WITH TEMPERED GLASS TO COMPLY WITH CPC 408.6. SHOWER FLOOR AREA IS +/-1076.25 SQUARE INCHES, 22" MIN. SHOWER DOOR, WATERPROOF FINISH MATERIALS AT FLOOR AND WALLS @ +/-70" ANTI-SKID VALVE. CONTRACTOR TO V/LF OR PROVIDE, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- AS-BUILT SINK AND VANITY WITH STORAGE BELOW, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- AS-BUILT TOILET, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- (N) KITCHEN SINK, FAUCET, GARBAGE DISPOSAL, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- (N) STOVE/RANGE WITH VENT HOOD PER ASHRAE 62.2 SECTION 150(i) MIN 100 CFM, MAX. SONE OF 3, VENT TO OUTSIDE, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- (N) REFRIGERATOR, CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- (N) 36" H COUNTERS, CONFIRM EXACT MATERIALS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- (N) 100 AMP SUB-PANEL, CONFIRM EXACT LOCATION WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- AS-BUILT WASHING MACHINE AND (N) DRYER WITH DRYER VENT THROUGH ROOF PER CMC504.3 & 504.3.2.2., CONFIRM EXACT MAKE AND MODEL WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- (N) GAS WALL MOUNTED HEATER
- AS-BUILT INDEPENDENT EXTERIOR ACCESS FOR (N) DETACHED STANDARD ACCESSORY DWELLING UNIT TO BE PERMITTED
- AS-BUILT 4'-0" x 4'-0" SKYLIGHT TO BE PERMITTED
- (E) DOWNSPOUT TO DRAIN INTO (E) LANDSCAPING

ELECTRICAL NOTES

ALL ELECTRICAL SHOWN IS NEW UNLESS NOTED OTHERWISE. CONTRACTOR SHALL FIELD VERIFY AND/OR PROVIDE RECEPTABLES AND WIRING FOR NEW APPLIANCES, AND ALONG EXISTING WALLS IN ORDER TO COMPLY WITH THESE PLANS AND ALL APPLICABLE CODES. RECEPTABLES IN EXISTING AND (N) BEDROOMS SHALL HAVE ARC-FAULT PROTECTION.

MATERIALS: ALUMINUM WIRE SHALL NOT BE USED IN ELECTRICAL WIRING WITH THE DWELLING UNIT.

WORKMANSHIP: ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OF GOVERNING AGENCIES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER AND TELEPHONE COMPANIES.

ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS SECTION SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.

INSTALLATION: ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE "WEATHER-PROOF".

RECEPTABLES SHALL BE INSTALLED VERTICALLY @ 12" (APPROXIMATELY) ABOVE FLOOR U.N.O.

WALL SWITCHES TO BE ABOVE FLOOR AS DETERMINED BY THE ARCHITECT. (42" ABOVE FLOOR, U.N.O.)

PROVIDE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER WASHER AND DRYER, AND RE-CIRCULATION PUMP.

PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION AT ALL BATHROOMS, POWDER ROOMS, OUTDOOR RECEPTABLES AND GARAGES AND IN KITCHEN WHERE SHOWN ON PLAN, OR REQ'D BY CODE.

RECEPTABLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY.

IN KITCHEN AND DINING AREAS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12 INCHES.

ALL FLUORESCENT FIXTURES SHALL HAVE ENERGY SAVING BALLASTS AND LAMPS. KITCHEN AND BATHS GENERAL LIGHTING SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 40 LUMENS/WATT.

THERMOSTAT SHALL BE A SET-BACK TYPE. HONEYWELL OR EQUAL.

ELECTRICAL SYSTEM GROUND SHALL BE PROVIDED PER NEC.

APPROVED RACEWAYS OR SUITABLE WIRING FOR ALL SPARE CIRCUITS SHALL BE AS FOLLOWS: SLAB FLOOR BLDGS: 2-1" CONDUITS TO ATTIC RAISED FLR BLDGS: 1-1" CONDUIT TO ATTIC AND 1-1" CONDUIT TO UNDERFLR.

NO BRANCH CIRCUIT PANEL OR PROTECTIVE DEVICES SHALL BE INSTALLED IN BATHROOMS, PANTRIES, CLOTHES, JANITOR, LAUNDRY, OR SIMILAR CLOSETS, OR WATER HEATER / FURNACE COMPARTMENTS.

PROVIDE GASKETS AT ALL EXTERIOR WALL OUTLETS AND SWITCH PLATES TO MEET ENERGY REQUIREMENTS.

ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION TYPE ARC-FAULT/BRANCH CIRCUIT INTERRUPTER.

ALL 125-VOLT, 15 AND 20 AMP RECEPTABLES SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES.

ALL NON-LOCKING TYPE 125-VOLT, 15 AND 20 AMPERE RECEPTABLES IN A DWELLING UNIT SHALL BE LISTED TAMPER-RESISTANT. (EXCEPTIONS: (1) RECEPTABLES MORE THAN 5'-6" ABOVE THE FLOOR, (2) RECEPTABLES PART OF A LUMINAIRE OR APPLIANCE, (3) A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES THAT ARE NOT EASILY MOVE AND LOCATED WITHIN DEDICATED SPACE AND ARE CHORD-AND-PLUG CONNECTED AS PER CEC 400.10(A)(6), (A)(7) OR (A)(8). [CEC 406.12])

SMALL APPLIANCE BRANCH CIRCUITS: PROVIDE TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS IN KITCHEN, PANTRY, BREAKFAST ROOM, OR DINING ROOM. CEC 210.52(B).

LAUNDRY BRANCH CIRCUITS: PROVIDE A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT FOR LAUNDRY RECEPTABLES. CEC 210.52(F).

BATHROOM RECEPTABLES: OUTLETS SHALL BE SUPPLIED BY A LEAST ONE 20-AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. CEC 210.11(C)(3).

EXTERIOR RECEPTABLES: ALL READILY ACCESSIBLE EXTERIOR RECEPTABLES SHALL HAVE GFCI PROTECTION. CEC 210.8(A) (3). ENCLOSURE IN DAMP LOCATIONS SHALL BE WEATHERPROOF. CEC 240.32 & 312.2.

EXTERIOR RECEPTACLE OUTLETS: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED ON THE EXTERIOR AT THE FRONT AND BACK OF A DWELLING. NOT MORE THAN 78" ABOVE GRADE. CEC 210.52(E).

BRANCH SUPPLYING GARAGE RECEPTACLE(S) SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE.

ALL FIXTURES AND ELECTRICAL OUTLETS TO BE VERIFIED AND APPROVED BY OWNER PRIOR TO INSTALLATION.

INSTALLATION CERTIFICATES (CF2R-LTG-01-E) MUST BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO ELECTRICAL FINAL INSPECTION FOR ALL LED FIXTURES. LED FIXTURES MUST BE LISTED WITH THE CALIFORNIA ENERGY COMMISSION.

MANUFACTURER'S LITERATURE SHOWING PROPOSED LED AND/OR LOW VOLTAGE LIGHT FIXTURES ARE HIGH EFFICACY AND CALIFORNIA CERTIFIED IS TO BE ON SITE AT THE TIME OF FIELD INSPECTION.

ALL PERMANENTLY INSTALLED LUMINARIES IN KITCHENS SHALL BE HIGH EFFICACY, UP TO 50% MAY BE LUMINARIES THAT ARE NOT HIGH EFFICACY IF SWITCHED SEPARATELY FROM THE HIGH EFFICACY LIGHTING.

EXCEPT FOR CLOSETS WHICH ARE LESS THAN 70 SF AND HALLWAYS, ALL LUMINARIES THAT ARE INSTALLED WITH JAB-CERTIFIED LIGHT SOURCES ARE REQUIRED TO BE CONTROLLED BY A DIMMER OR VACANCY SENSOR.

ALL PERMANENTLY INSTALLED LUMINARIES IN BATHROOMS, GARAGE, LAUNDRY ROOMS AND UTILITY ROOMS ARE TO BE OF HIGH EFFICIENCY OR MUST BE CONTROLLED BY AN OCCUPANT SENSOR THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS-ON OPTION.

EXCEPT FOR LIGHTING AROUND SWIMMING POOLS OR OTHER WATER FEATURES, PERMANENTLY INSTALLED OUTDOOR LIGHTING MUST BE HIGH EFFICACY OR CONTROLLED BY OCCUPANT SENSORS WITH INTEGRAL PHOTO CONTROL WHICH COMPLY WITH SECTION 150.0(K) OF THE RESIDENTIAL ENERGY STANDARDS.

HIGH EFFICACY LUMINARIES OTHER THAN OUTDOOR HID LIGHTING SHALL CONTAIN ONLY HIGH EFFICACY LAMPS AS OUTLINED IN TABLE 150-C OF THE RESIDENTIAL ENERGY CODE AND NOT CONTAIN A MEDIUM SCREW BASE SOCKET. BALLAST FOR LAMPS 13 WATTS OR GREATER SHALL BE ELECTRONIC AND HAVE AN OUTPUT FREQUENCY NOT LESS THAN 20 KHZ.

KITCHEN INTERNAL CABINET LIGHTING IS NOT EXCEED 20 WATT PER LINEAR FOOT. OUTDOOR HID HIGH EFFICACY LUMINARIES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS AS OUTLINED IN TABLE 150-C OF THE RESIDENTIAL ENERGY CODE AND SHALL HAVE A FACTORY INSTALLED HID BALLAST.

LUMINARIES THAT ARE RECESSED INTO INSULATED CEILINGS SHALL BE APPROVED, IC LUMINARIES AND SHALL BE CERTIFIED AND LABELED AS AIRTIGHT TO THE STANDARDS PRESCRIBED BY THE RESIDENTIAL ENERGY CODE.

ALL INTERIOR RESIDENTIAL LIGHTING IS TO BE HIGH EFFICACY. LUMINARIES WITH INTEGRAL SOURCES (E.G., LED LUMINARIES) AND CHANGEABLE LAMPS MUST BE CEC CERTIFIED AS MEETING THE REQUIREMENTS OF JAB.

OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A DWELLING OR OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY AND MUST BE CONTROLLED BY MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF PHOTOCELL AND MOTION SENSOR.

RECESSED DOWNLIGHTING IS TO CONTAIN LIGHT SOURCES THAT ARE JAB-CERTIFIED, SHALL NOT CONTAIN SCREW BASED LAMPS AND SHALL NOT CONTAIN LIGHT SOURCES THAT ARE LABELED "NOT FOR USE IN ENCLOSED FIXTURES" OR "NOT FOR USE IN RECESSED FIXTURES". THEY SHALL BE LISTED FOR ZERO CLEARANCE, HAVE A LABEL THAT CERTIFIES THE LUMINAIRE AS AIRTIGHT WHEN TESTED IN ACCORDANCE WITH ASTM E283 (WITH THE EXCEPTION OF EXHAUST FAN HOUSINGS) AND BE READILY ACCESSIBLE FOR BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT.

LIGHTING NOT AUTOMATICALLY CLASSIFIED AS HIGH EFFICACY BY THE CA ENERGY COMMISSION (E.G., PIN-BASED FLUORESCENT LUMINARIES, PULSE-START HALIDE LUMINARIES, HIGH PRESSURE SODIUM LUMINARIES) IS TO HAVE A LIGHT SOURCE OR LAMP INSTALLED IN THEM AT THE TIME OF INSPECTION THAT MEETS THE REQUIREMENTS OF JOINT APPENDIX JAB.

WALL LEGEND:
(N) 2x4 STUD WALL

WALL NOTE: ALL WALLS TO BE 5/8" DRYWALL

FLOOR PLAN GENERAL NOTES:

(N) FRENCH DOORS SHALL BE TEMPERED AND DUAL-GLAZED. (N) WINDOWS SHALL BE DUAL-GLAZED.

ALL EXTERIOR OPENINGS SHALL BE FLASHED IN ORDER TO MAKE THEM WATERPROOF.

ALL CONCEALED PLUMBING JOINTS SHALL BE NON-SLIP CONNECTIONS.

PROVIDE ACCESS PANEL (MIN. 12" X 12") OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP JOIN CONNECTIONS.

PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER PER U.B.C. SECTION 609.10.

WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 P.S.I. OR LESS. ALL NEW PLUMBING WALLS SHALL BE 2 X 6 STUDS.

NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND, UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST SIX (6) INCHES ABOVE GRADE OR STRUCTURE.

ALL HOSE BIBBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES. FIELD VERIFY AND RELOCATE AS REQUIRED TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION.

PROVIDE BATTERY-OPERATED DETECTORS IN ALL RETRO-FIT CONDITIONS (I.E. ALL RESIDENTIAL ADDITIONS, ALTERATIONS, OR REMODELS); ONE IN EVERY SLEEPING ROOM AND ONE IN EVERY HALLWAY LEADING TO EVERY SLEEPING ROOM. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE RESIDENCE.

PROVIDE CARBON MONOXIDE DETECTORS AT EXISTING HALLWAY.

FIELD VERIFY EXACT EXISTING CONDITION. ALL NEW INSTALLATION SHALL MATCH EXISTING.

GARAGE WALL SEPARATION: PROVIDE 1/2 INCH (MIN.) GYPSUM WALLBOARD FROM FOUNDATION TO ROOF SHEATHING APPLIED TO THE GARAGE SIDE OF THE SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. CRC TABLE R302.6

EXTERIOR PLASTER: PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS (7/8" TOTAL THICKNESS) WHEN APPLIED OVER METAL LATH OR WIRE FABRIC LATH AND SHALL NOT BE LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE OR GYPSUM BACKING. CRC R703.6.2.

TWO-FAMILY DWELLINGS. DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING WHERE APPLICABLE IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE CALIFORNIA BUILDING CODE.

FIRE-RESISTANCE-RATED FLOOR/CEILING AND WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL AND WALL ASSEMBLIES SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING. PER R302.3

WATER CONSERVING PLUMBING FIXTURES:

WATER CLOSET FLUSH: WATER CLOSETS, EITHER FLUSH TANK, FLUSHMETER TANK, OR FLUSHMETER VALVE OPERATED, SHALL HAVE AN AVERAGE CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH.

LAVATORY FAUCETS: MAXIMUM FLOW RATE OF 1.2 GPM AT 60 PSI.

KITCHEN FAUCETS: MAXIMUM FLOW RATE OF 1.8 GPM AT 60 PSI.

SHOWERHEADS: MAXIMUM FLOW RATE OF 1.8 GPM AT 80 PSI AND MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF ALL SHOWERHEADS OF 1.8 GPM AT 80 PSI.

2022 CALIFORNIA GREEN BUILDING CODE SECTION 4.303

PLUMBING NOTES:

- ALL NEW AND RELOCATED PLUMBING FIXTURES SHOWN ON PLAN ARE TO BE TIED INTO EXISTING WATER/SEWER SYSTEM POINT OF CONNECTIONS.
- NEW PLUMBING FIXTURES TO BE WATER CONSERVING DEVICES AS SPECIFIED IN FLOOR PLAN GENERAL NOTES.3. ALL PLUMBING FIXTURES ON PLAN ARE EXISTING U.N.O.

NOTES REGARDING AS-BUILT CONSTRUCTION

THE AS-BUILT INFORMATION CONTAINED ON THESE DOCUMENTS DEPICTS EXISTING PROPERTY CONDITIONS AS OBSERVED BY SHERRY & ASSOCIATES, ARCHITECTS.

SHERRY & ASSOCIATES, ARCHITECTS INC HAS MADE EVERY EFFORT TO ACCURATELY DOCUMENT THE EXISTING CONDITIONS AND NOTE ANY ALTERATIONS REQUIRED FOR CODE COMPLIANCE. IF DEMOLITION AND DETAILED STRUCTURAL, WATERPROOFING, ENERGY OR OTHER INSPECTION CANNOT BE UNDERTAKEN PRIOR TO PERMIT ISSUANCE, ASSUMPTIONS HAVE BEEN MADE REGARDING EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ON SITE FIELD INSPECTION OF CODE COMPLIANCE DURING CONSTRUCTION.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THIS OFFICE OF ANY NONCOMPLIANCES, DISCREPANCIES, ERRORS, OMISSIONS, ADDITIONS OR IN THE EVENT OTHER QUESTIONS ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

WINDOW AND DOOR NOTE:
ALL EXISTING DOORS AND WINDOWS ARE TO REMAIN, UNLESS NOTED OTHERWISE.

VERIFY ALL WINDOWS AND DOORS (TYPES, MATERIAL, DIRECTION OF OPERABILITY, IF ANY, ETC) WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.

FIELD VERIFY AT LEAST 1 BEDROOM WINDOW IN EACH BEDROOM MEETS GREENS REQUIREMENTS.

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR ALL OTHER THRESHOLDS.

ALL NEW EXTERIOR FRENCH DOORS AND WINDOWS SHALL BE DUAL GLAZED W/ MIN. OF ONE TEMPERED PANE, LOW E.

GLAZING WITHIN 18" OF FINISH FLOOR SHALL BE TEMPERED GLASS.

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

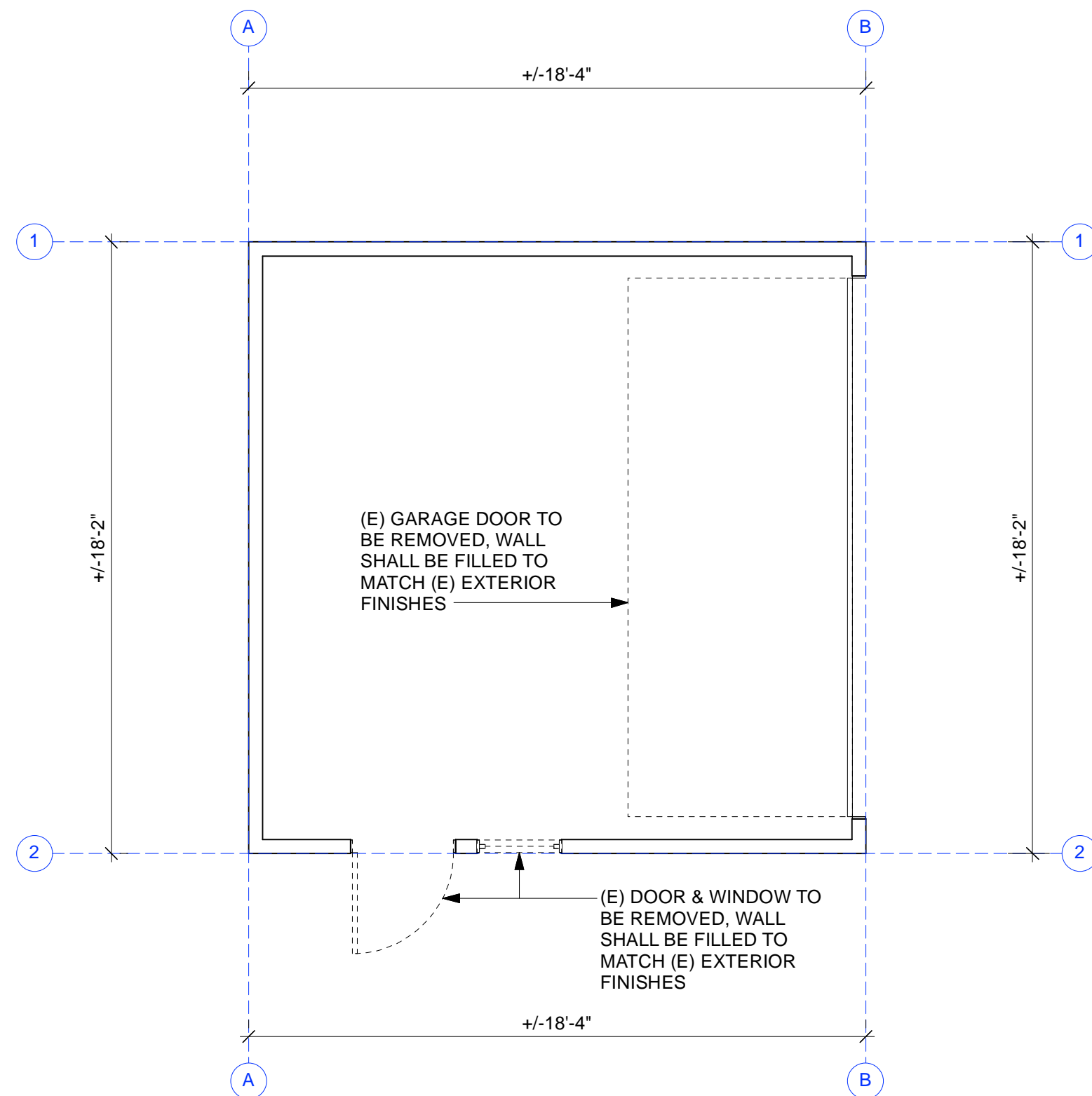
-ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES
-THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES A.F.F. TO ACTUAL WINDOW OPENING

NOTES REGARDING AS-BUILT CONSTRUCTION

THE AS-BUILT INFORMATION CONTAINED ON THESE DOCUMENTS DEPICTS EXISTING PROPERTY CONDITIONS AS OBSERVED BY SHERRY & ASSOCIATES, ARCHITECTS.

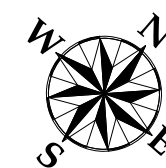
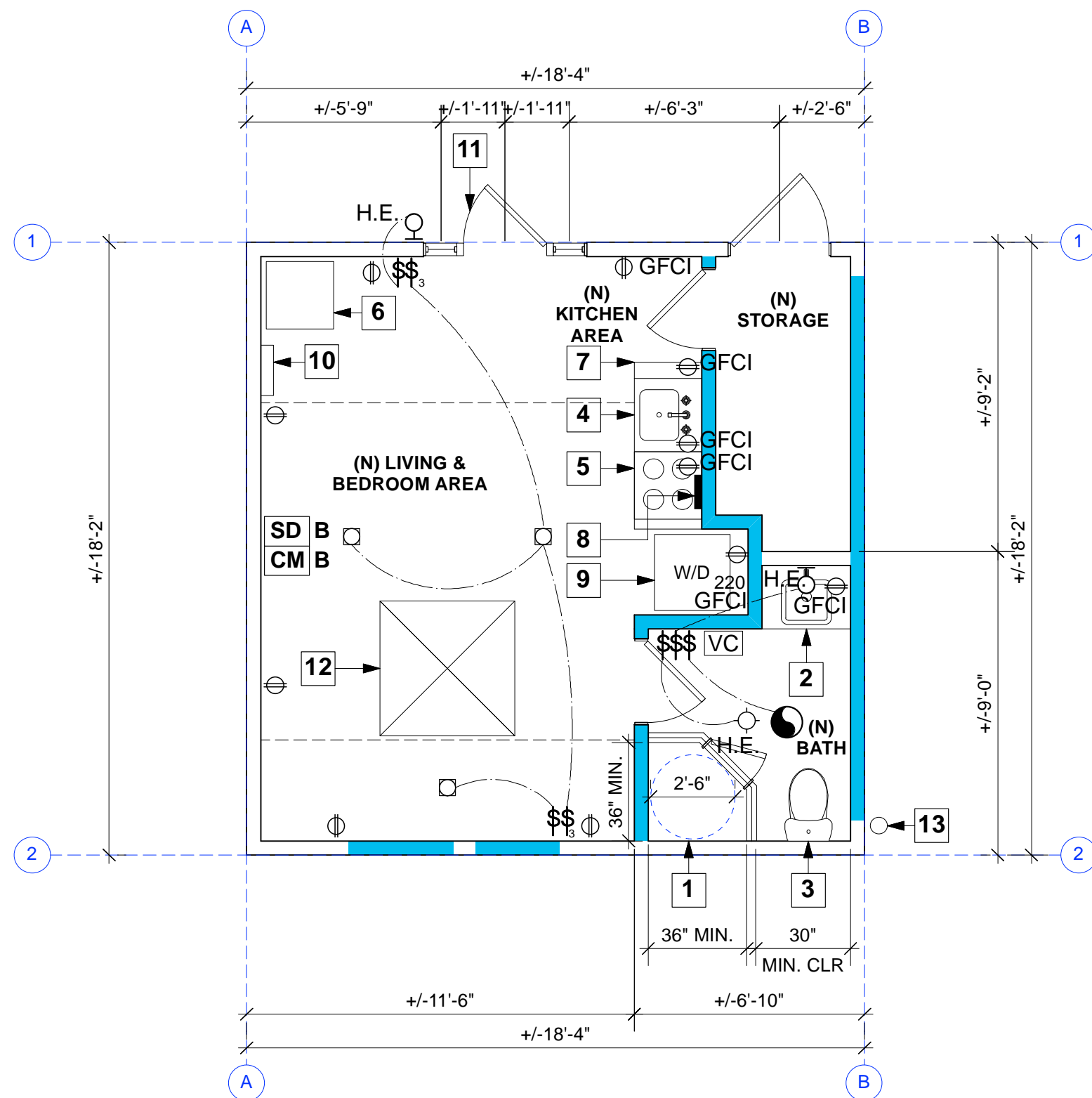
SHERRY & ASSOCIATES, ARCHITECTS INC HAS MADE EVERY EFFORT TO ACCURATELY DOCUMENT THE EXISTING CONDITIONS AND NOTE ANY ALTERATIONS REQUIRED FOR CODE COMPLIANCE. IF DEMOLITION AND DETAILED STRUCTURAL, WATERPROOFING, ENERGY OR OTHER INSPECTION CANNOT BE UNDERTAKEN PRIOR TO PERMIT ISSUANCE, ASSUMPTIONS HAVE BEEN MADE REGARDING EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ON SITE FIELD INSPECTION OF CODE COMPLIANCE DURING CONSTRUCTION.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THIS OFFICE OF ANY NONCOMPLIANCES, DISCREPANCIES, ERRORS, OMISSIONS, ADDITIONS OR IN THE EVENT OTHER QUESTIONS ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

STATEMENT OF VOLUNTARY REFERENCE: THESE PLANS FOR NEW 5-0TH WALL AT 902 WEST ISLAY STREET, SANTA BARBARA, CA 93101, ARE BEING SUBMITTED TO THE CITY OF SANTA BARBARA FOR REVIEW AND APPROVAL AS A NEW ACCESSORY DWELLING UNIT.

FOR ARCHITECT STAMP ONLY

DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

SANTA BARBARA, CA 93101
902 WEST ISLAY STREET
SANTA BARBARA, CA 93101

SHERRY & ASSOCIATES, ARCHITECTS
P.O. BOX 23834
SANTA BARBARA, CA 93121
TEL: (805) 963-0988
FAX: (805) 963-0178

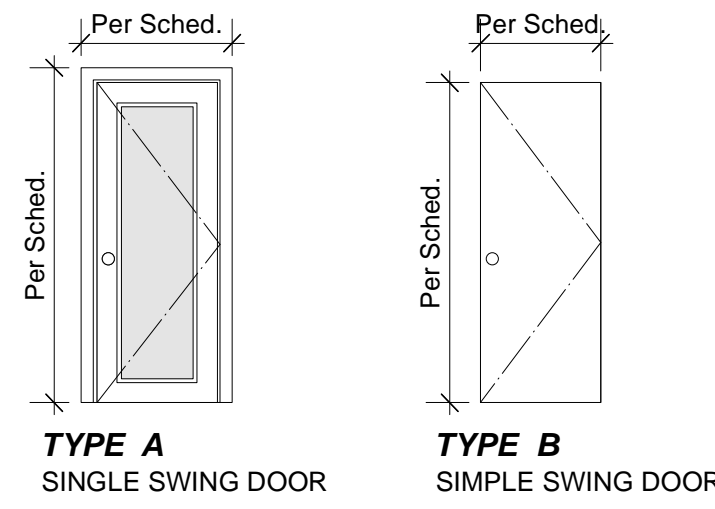
E. M. A. LI
REGISTERED ARCHITECT
CITY OF SANTA BARBARA, CALIFORNIA
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A 1.0

FLOOR PLANS

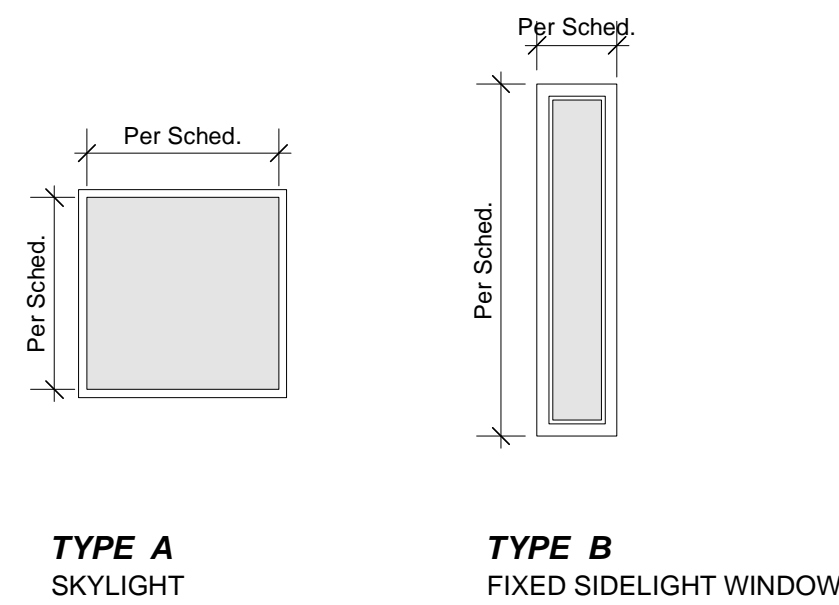
DOOR SCHEDULE

DOOR	LOCATION		DOOR OPENING		DOOR DESCRIPTION	TYPE	GLASS			DOOR DETAILS			DOOR FRAME MATERIAL	
	INTERIOR/EXTERIOR	ROOM	WIDTH	HEIGHT			DUAL GLAZ.	TEMP.	HEADER	JAMB	SILL	U FACTOR	SHGC	
1	(N) ADU - EXTERIOR	(N) ENTRANCE	2'-10"	6'-8"	SINGLE SWING DOOR	A	YES	YES	4/A 5.1	5/A 5.1	-			WOOD DOOR, PAINTED TO MATCH PRIMARY RESIDENCE, CONFIRM EXACT SIZE, MAKE, MODEL, AND OPERABILITY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
2	(N) ADU STORAGE - EXTERIOR	(N) STORAGE	2'-11"	6'-8"	SINGLE SWING DOOR	B	NO	NO	4/A 5.1	5/A 5.1	-	-	-	CONFIRM EXACT SIZE, MAKE, MODEL, AND OPERABILITY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
3	(N) BATHROOM - INTERIOR	(N) BATHROOM	2'-4"	6'-8"	SINGLE SWING DOOR	B	NO	NO	4/A 5.1	5/A 5.1	-	-	-	CONFIRM EXACT SIZE, MAKE, MODEL, AND OPERABILITY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
4	(N) STORAGE - INTERIOR	(N) STORAGE	2'-4"	6'-8"	SINGLE SWING DOOR	B	NO	NO	4/A 5.1	5/A 5.1	-	-	-	CONFIRM EXACT SIZE, MAKE, MODEL, AND OPERABILITY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION



WINDOW SCHEDULE

WINDOW	WINDOW LOCATION			WINDOW SIZE			TYPE	WINDOW DETAILS			U FACTOR	SHGC	GLASS		WINDOW FRAME MATERIAL
				WIDTH	HEIGHT	HEADER		HEADER	JAMB	SILL			DUAL GLAZ.	TEMP.	
1	(N) ACCESSORY DWELLING UNIT	(N) ENTRANCE		2'-0"	6'-8"	6'-8"	B	4/A 5.1	5/A 5.1	6/A 5.1			YES	YES	WHITE VINYL WINDOWS TO MATCH (E) PRIMARY RESIDENCE, CONFIRM EXACT MAKE, MODEL, OPERABILITY, AND SIZE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
2	(N) ACCESSORY DWELLING UNIT	(N) ENTRANCE		2'-0"	6'-8"	6'-8"	B	4/A 5.1	5/A 5.1	6/A 5.1			YES	YES	WHITE VINYL WINDOWS TO MATCH (E) PRIMARY RESIDENCE, CONFIRM EXACT MAKE, MODEL, OPERABILITY, AND SIZE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
3	(N) ACCESSORY DWELLING UNIT	(N) LIVING AREA SKYLIGHT		4'-0"	4'-0"	-	A	-	-	-			YES	YES	WHITE WOOD W/ ALUMINUM CLAD SKYLIGHT, CONFIRM EXACT MAKE, MODEL, OPERABILITY, AND SIZE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION



WINDOW & DOOR NOTES:

- WINDOW NOTE #1: THE MINIMAL "PRESCRIPTIVE" FENESTRATION VALUES ARE, U-FACTOR 0.30 MAX AND SHGC OF 0.23 MAX
- WINDOW NOTE #2: THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS UNTIL FINAL INSPECTION
- WINDOW NOTE #3: ALL GLAZING TO HAVE NFRC LABELS SHOWING U-FACTOR OF .30 MAX AND SHGC OF .23 MAX
- WINDOW NOTE #4: CONTRACTOR TO FIELD VERIFY DIMENSIONS AND OPERABILITY FOR ALL DOORS & WINDOWS
- WINDOW NOTE #5: FIELD VERIFY EXACT EXISTING CONDITION. ALL NEW INSTALLATION SHALL MATCH EXISTING

WINDOW AND DOOR NOTE:

ALL EXISTING DOORS AND WINDOWS ARE TO REMAIN, UNLESS NOTED OTHERWISE.

VERIFY ALL WINDOWS AND DOORS (TYPES, DIMENSIONS, MATERIAL, DIRECTION OF OPERABILITY, IF ANY, ETC) WITH OWNER PRIOR TO PURCHASE AND INSTALLATION

FIELD VERIFY AT LEAST 1 BEDROOM WINDOW IN EACH BEDROOM MEETS EGRESS REQUIREMENTS.

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR ALL OTHER THRESHOLDS.

ALL NEW EXTERIOR FRENCH DOORS AND WINDOWS SHALL BE DUAL GLAZED W/ MIN. OF ONE TEMPERED PANE, LOW E.

GLAZING WITHIN 18" OF FINISH FLOOR SHALL BE TEMPERED GLASS.

FIELD VERIFY EXACT EXISTING CONDITION. ALL NEW INSTALLATION SHALL MATCH EXISTING

EGRESS NOTES:

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

-ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.

- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES

S H E R R Y & A R C H I T E C T S

STATEMENT OF VIOLATIONS PER ENR 9203-0085 FOR NEW 5-0TH WALL AT PERMITS PROPERTY. ALL PERMITS ARE BEING DETACHED TWO CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

902 WEST ISLAY STREET
SANTA BARBARA, CA 93101

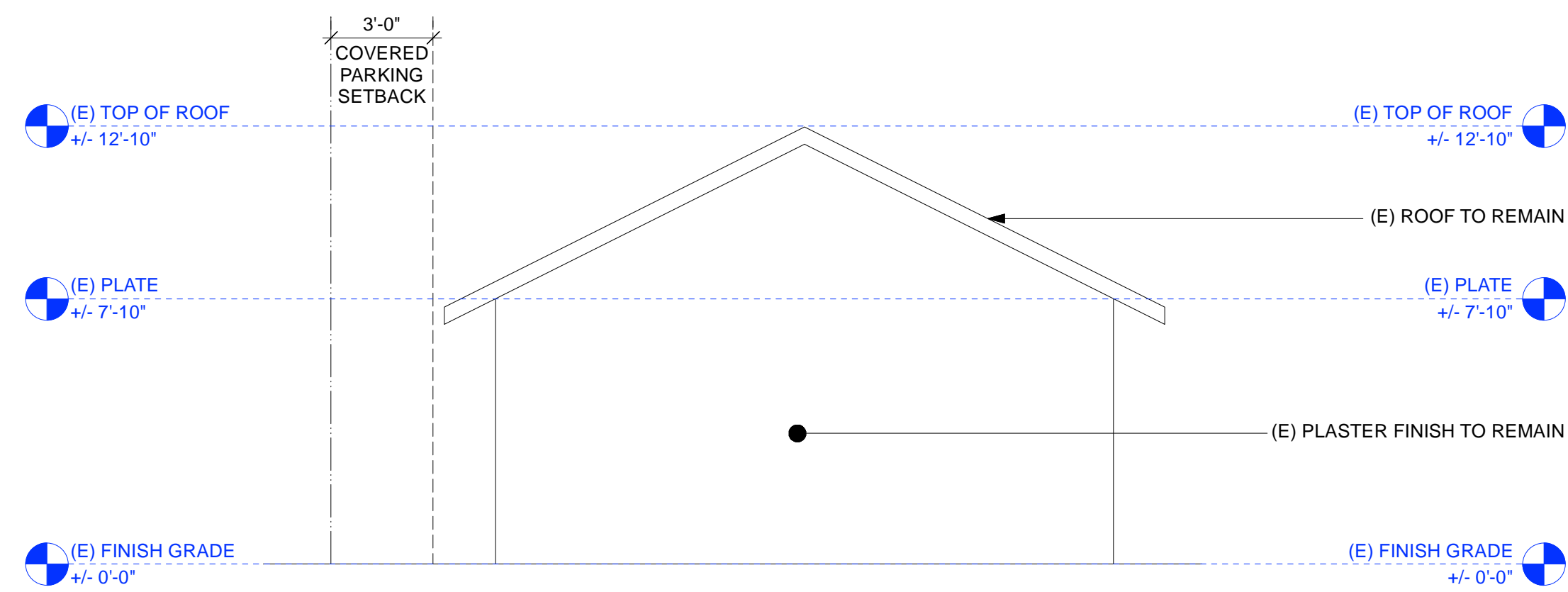
508 ANACAPA STREET, SUITE B
SANTA BARBARA, CA 93101
MAIL TO:
P.O. BOX 23834
SANTA BARBARA, CA 93121
TEL: (805) 963-0986
FAX: (805) 963-0178
E M A I L :
SHERRY@SHERRYARCHITECT.COM
WWW.SHERRYARCHITECT.COM

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DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

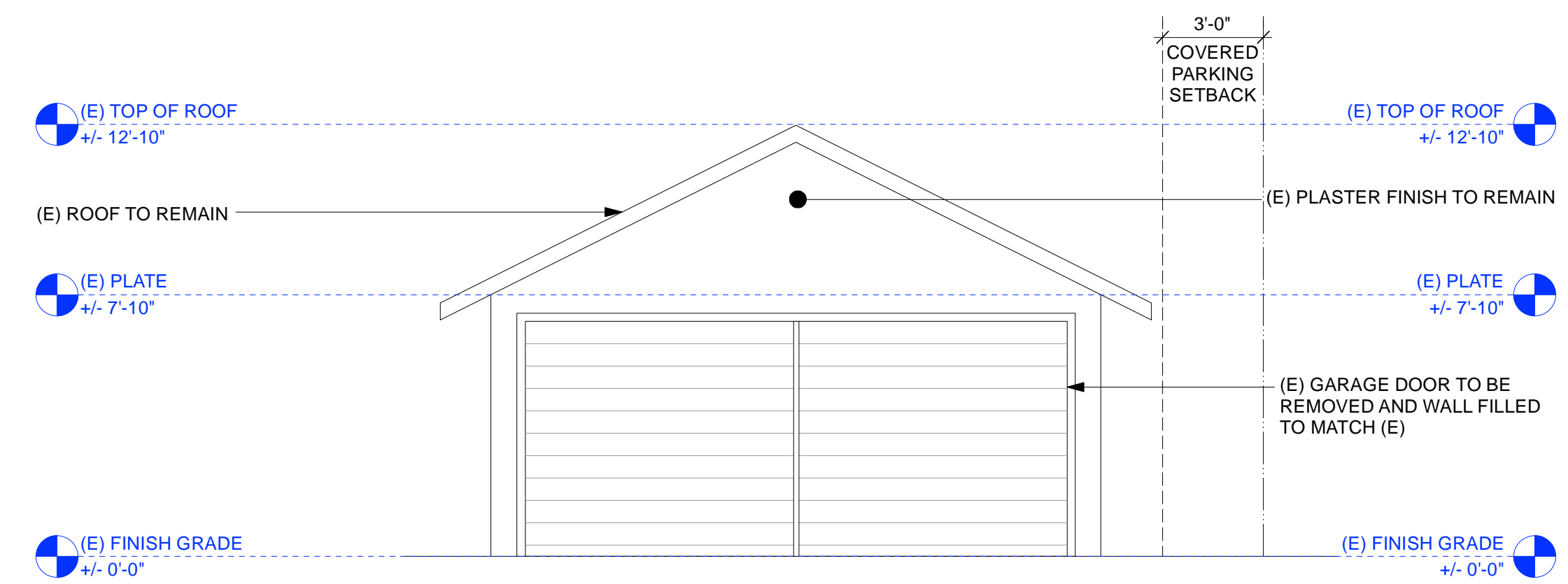
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DOOR & WINDOW SCHEDULE



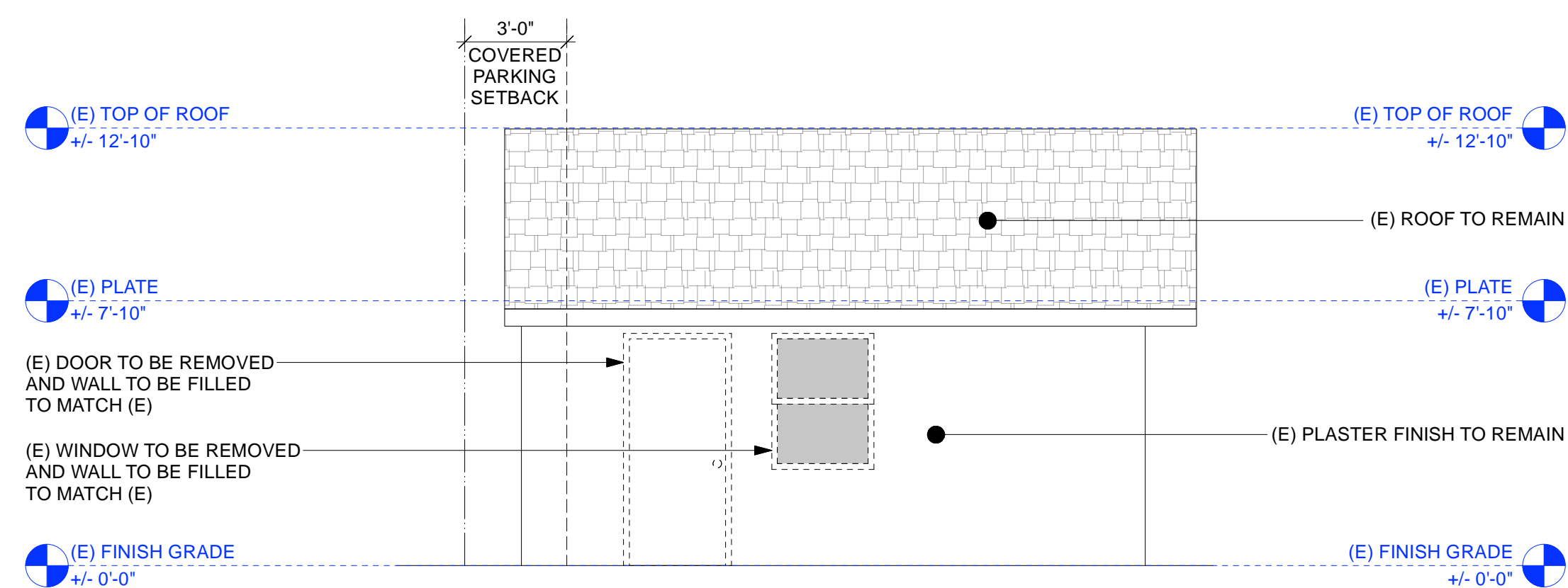
EXISTING SOUTH ELEVATION - GARAGE

SCALE: 1/4" = 1'-0"



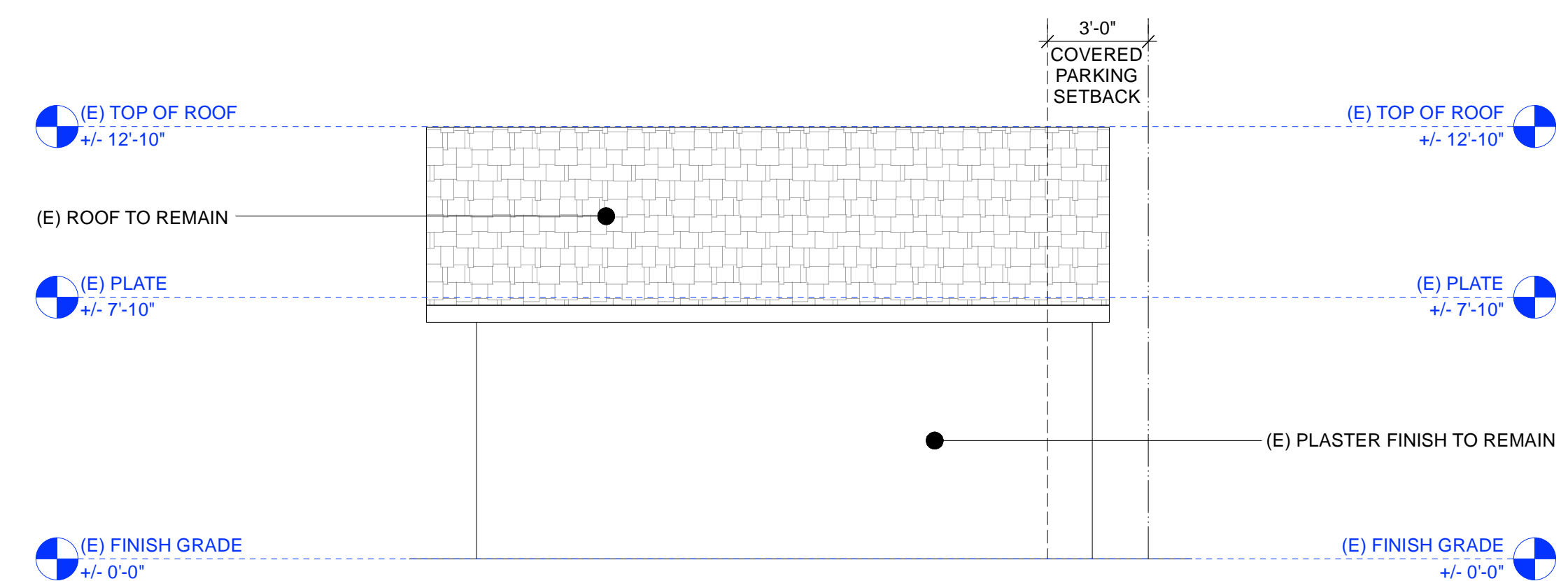
EXISTING NORTH ELEVATION - GARAGE

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION - GARAGE

SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION - GARAGE

SCALE: 1/4" = 1'-0"

S H E R R Y & A S S O C I A T E S A R C H I T E C T S

STATEMENT OF VOLUNTIONS PER ENVIRONMENTAL AGENCY FOR NEW 5-0TH WALL AT 902 WEST ISLAY STREET, SANTA BARBARA, CALIFORNIA, BEING DETACHED TWO CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

902 WEST ISLAY STREET
SANTA BARBARA, CA 93101

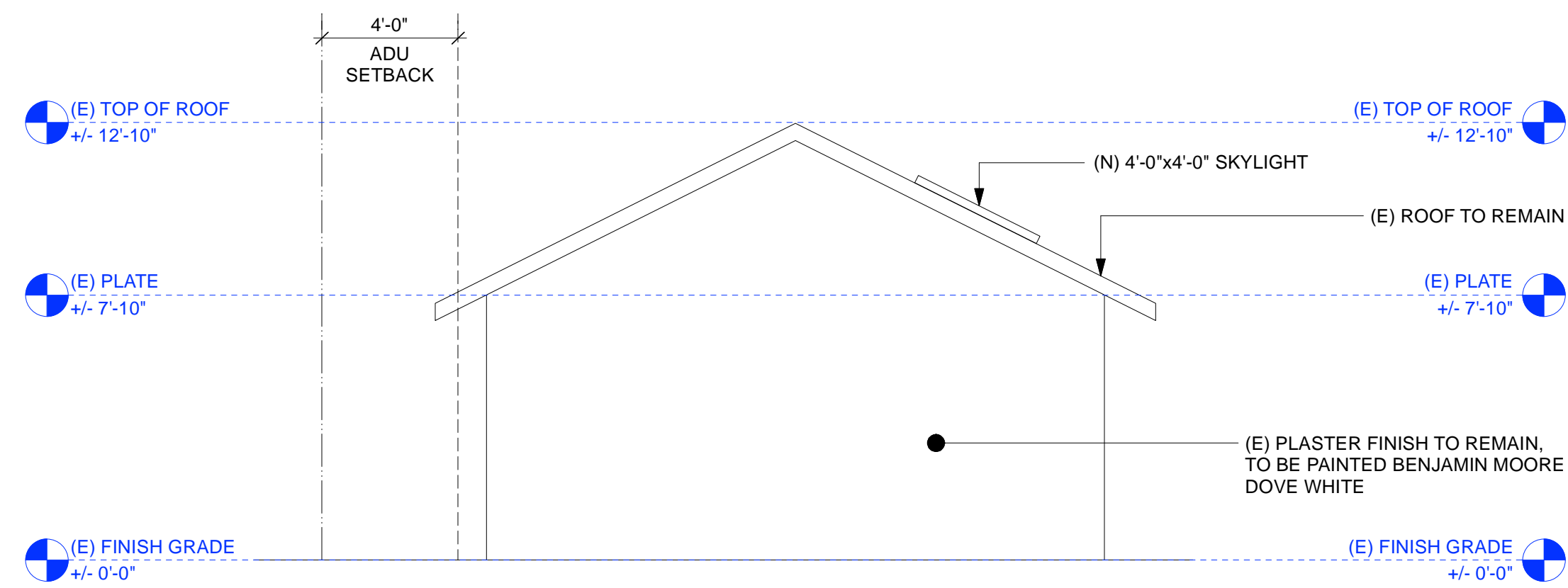
606 ANACAPA STREET, SUITE B
SANTA BARBARA, CA 93101
MAIL TO:
P.O. BOX 23834
SANTA BARBARA, CA 93121
TEL: (805) 963-0986
FAX: (805) 963-0178
E M A I L:
D A W N @ D A W N A R C H I T E C T S . C O M
WWW.DAWNARCHITECTS.COM

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DATE	DESCRIPTION
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07/08/24	3RD PLANNING DEPT. SUBMITTAL

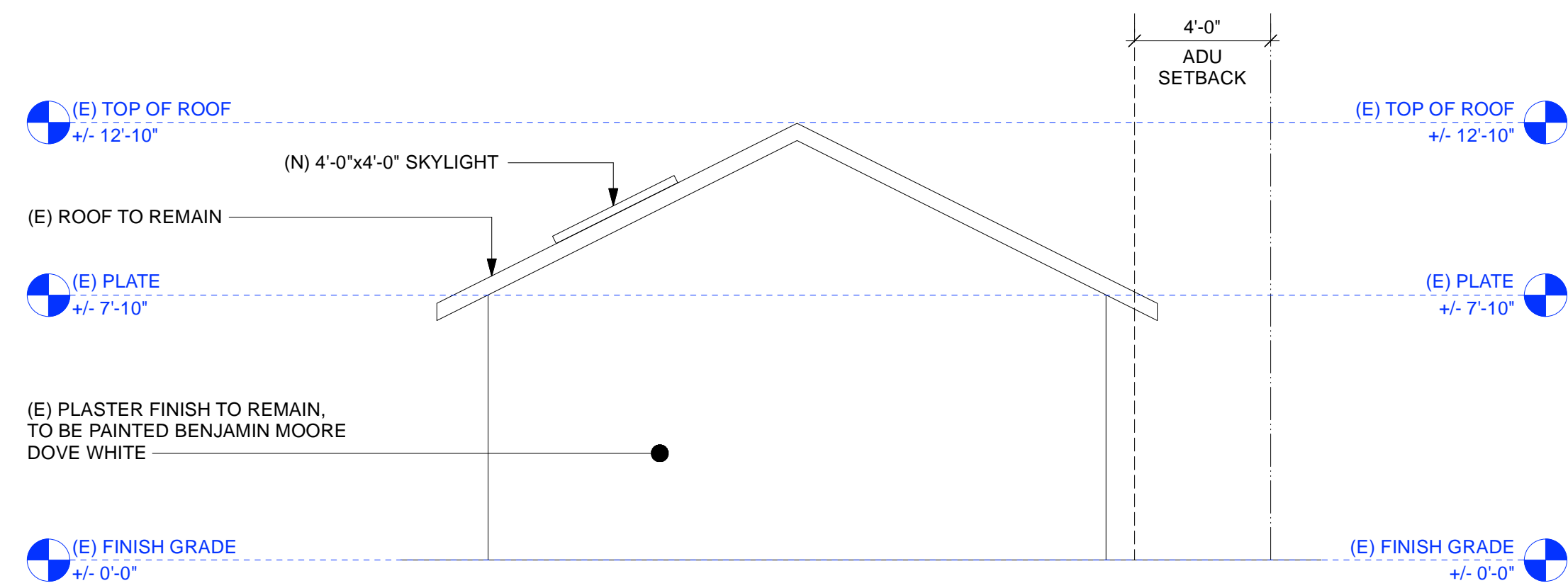
A 2.0

EXISTING ELEVATIONS



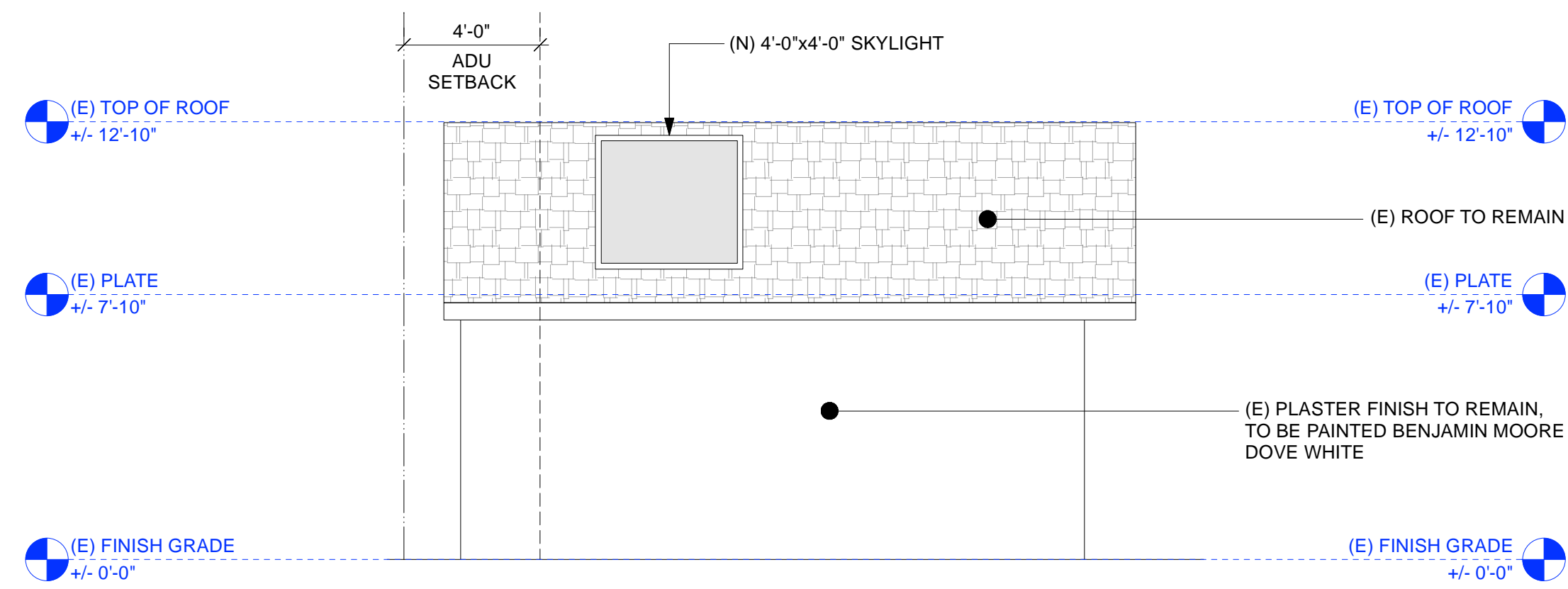
PROPOSED SOUTH ELEVATION - ACCESSORY DWELLING UNIT

SCALE: 1/4" = 1'-0"



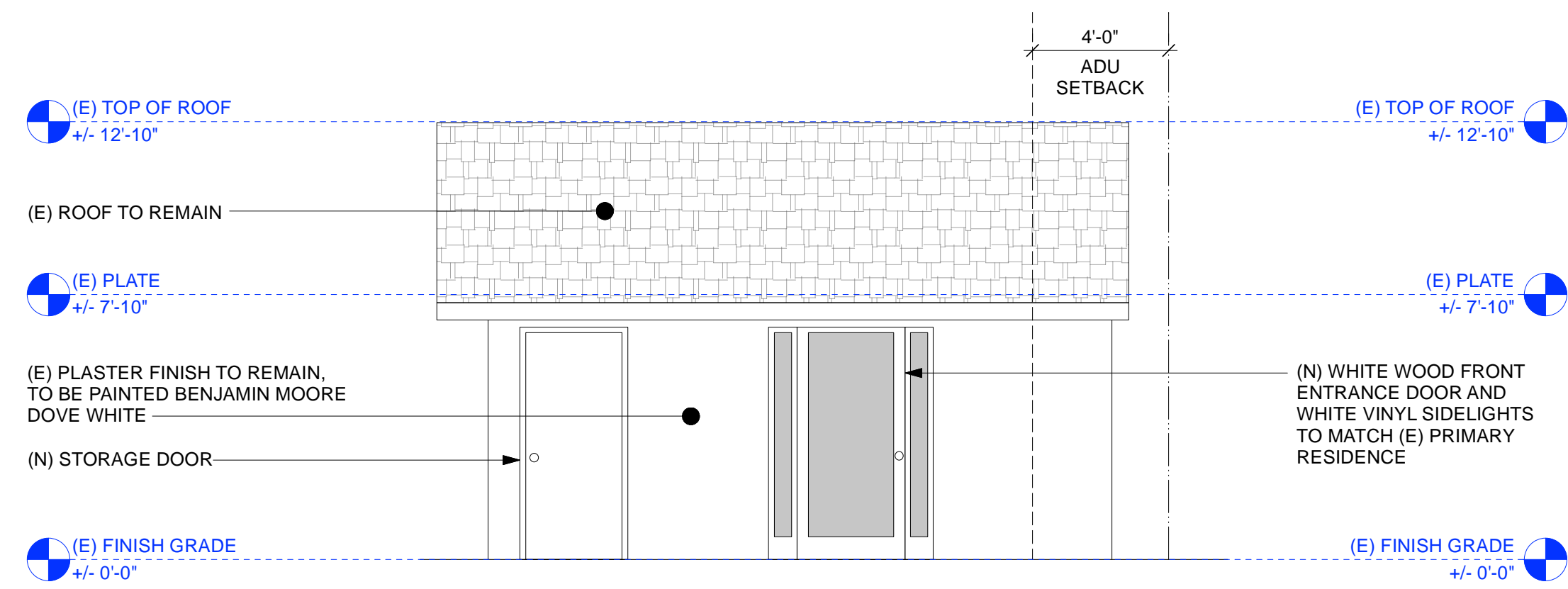
PROPOSED NORTH ELEVATION - ACCESSORY DWELLING UNIT

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION - ACCESSORY DWELLING UNIT

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION - ACCESSORY DWELLING UNIT

SCALE: 1/4" = 1'-0"

S H E R R Y & A S S O C I A T E S
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STATEMENT OF VOLUNTARY PERMITTING SERVICES FOR NEW 5-08H WALL AT
 REAR PROPERTY LINE OF PROPERTY BEING DETACHED TWO
 CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101

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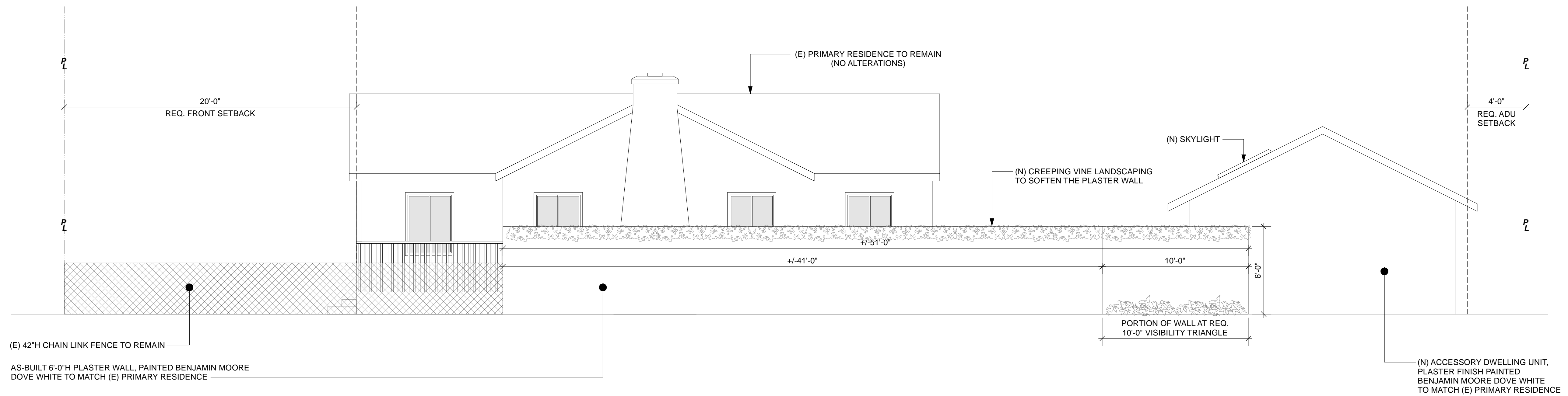
DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

A 2.1

PROPOSED ELEVATIONS



LANDSCAPE IMAGES AT NEW WALL



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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STATEMENT OF VOLUNTIONS PER ENVIRONMENTAL AGENCY FOR NEW 6'-0" WALL AT
 REAR PROPERTY LINE OF PROPERTY BEING DETACHED TWO
 CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

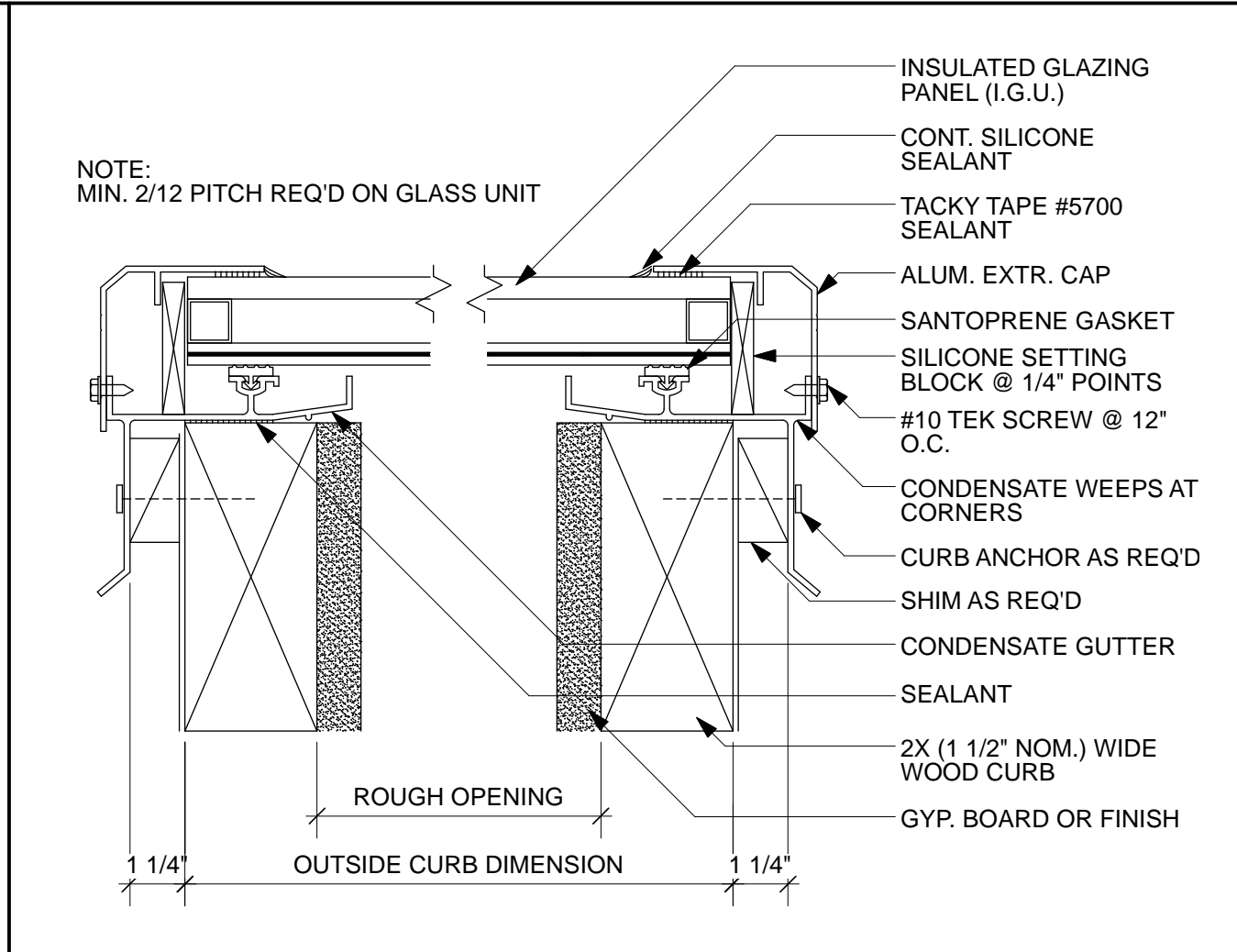
902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101

FOR ARCHITECT STAMP ONLY

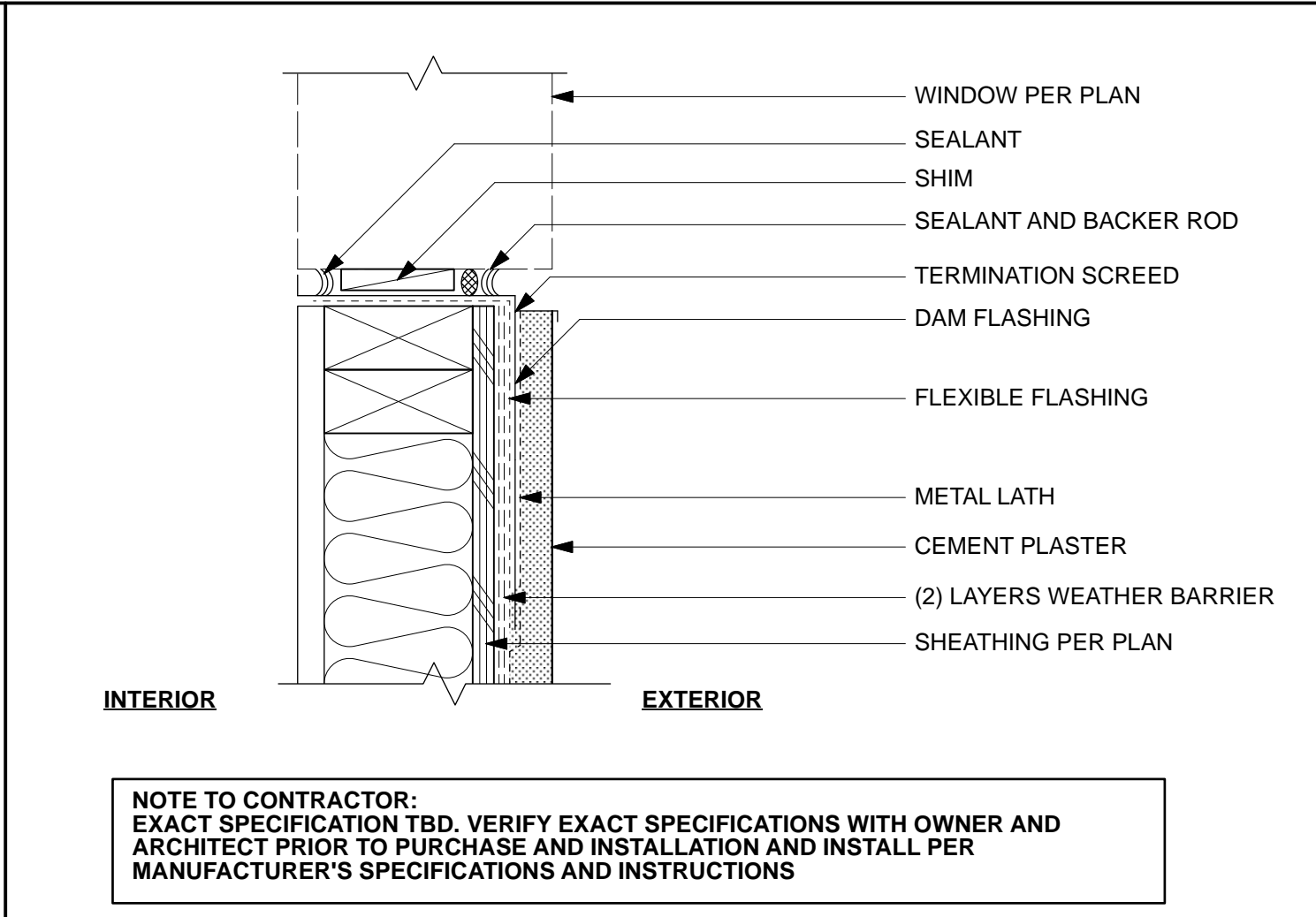
DATE	DESCRIPTION
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05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

A 2.2

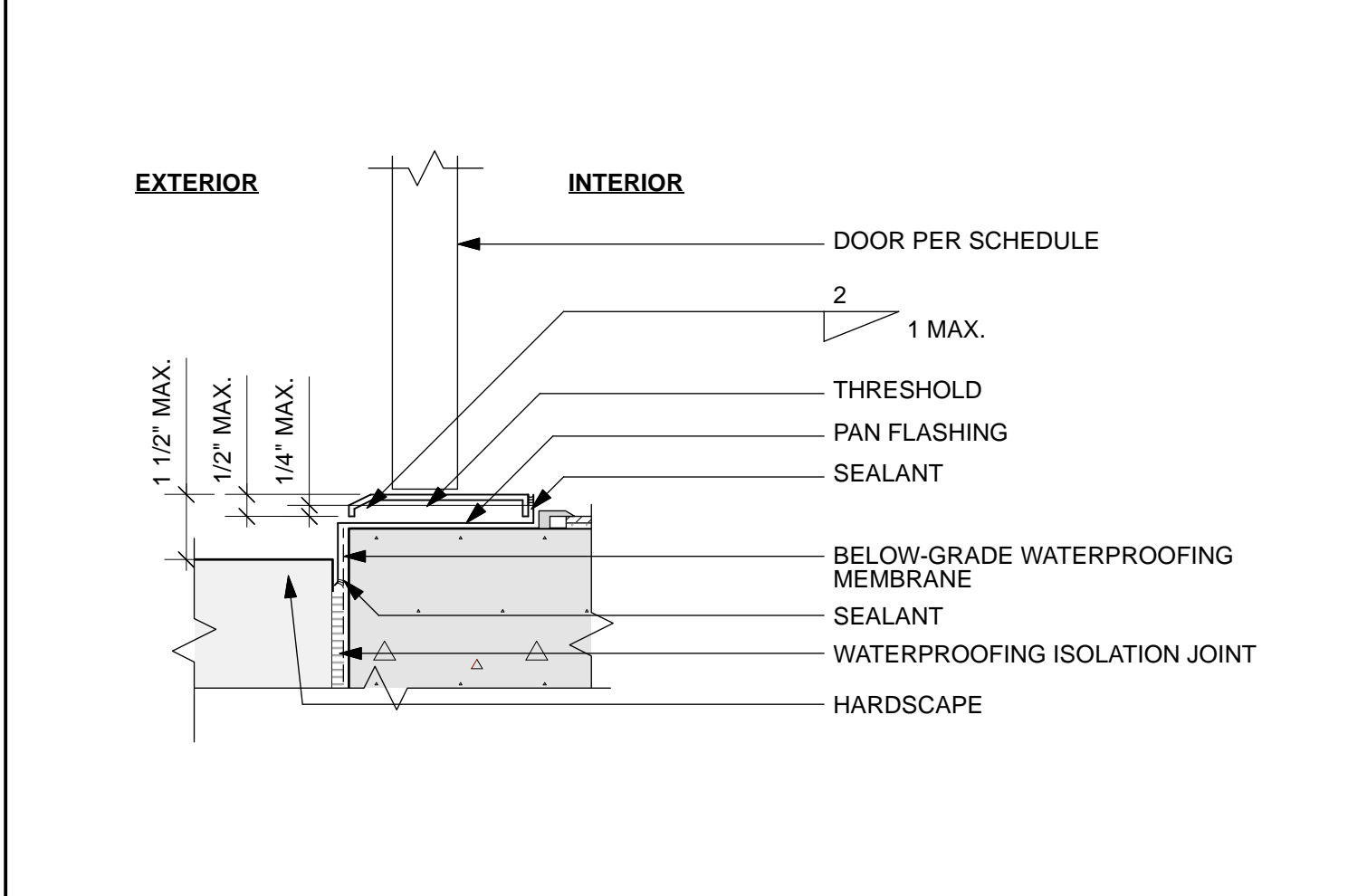
PROPOSED ELEVATIONS



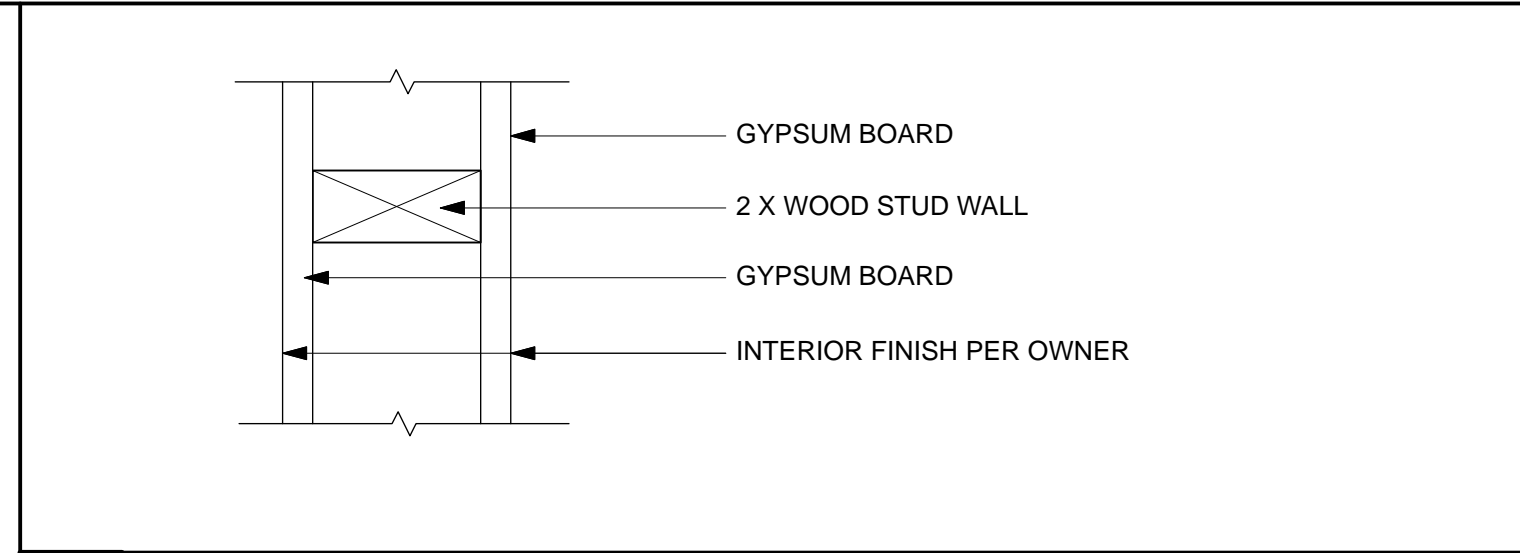
10 TYP. SKYLIGHT DETAIL
SCALE: 3" = 1'-0"



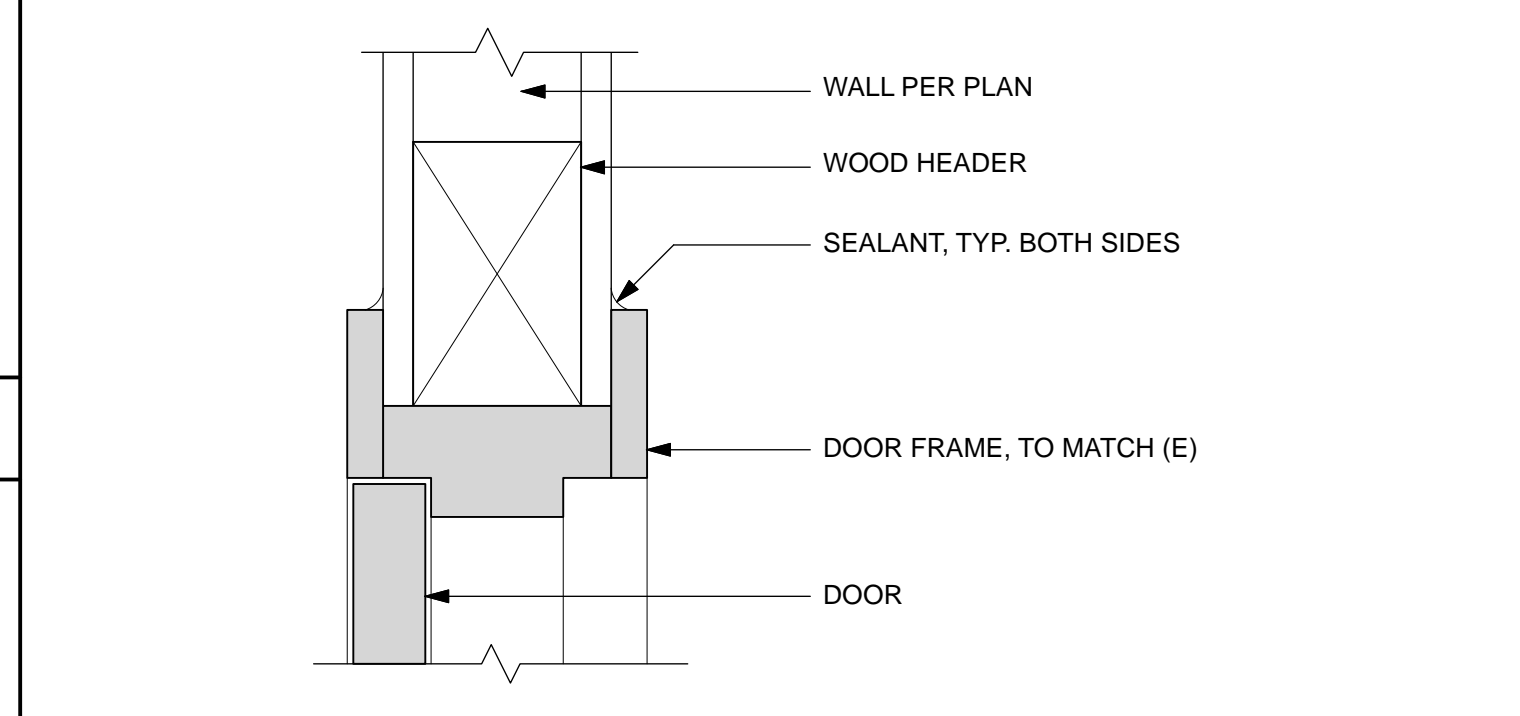
06 TYP. SILL @ EXT. WINDOW
SCALE: 3" = 1'-0"



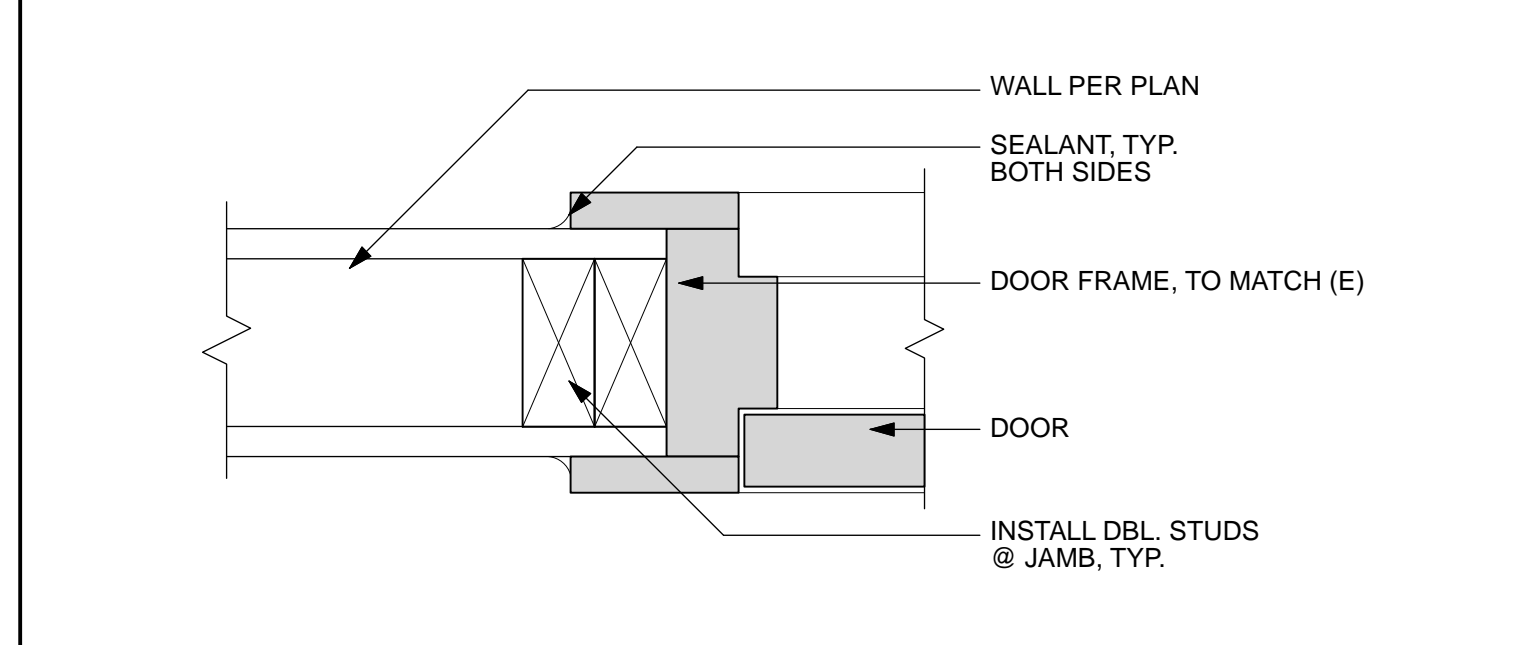
07 TYP. THRESHOLD
SCALE: 3" = 1'-0"



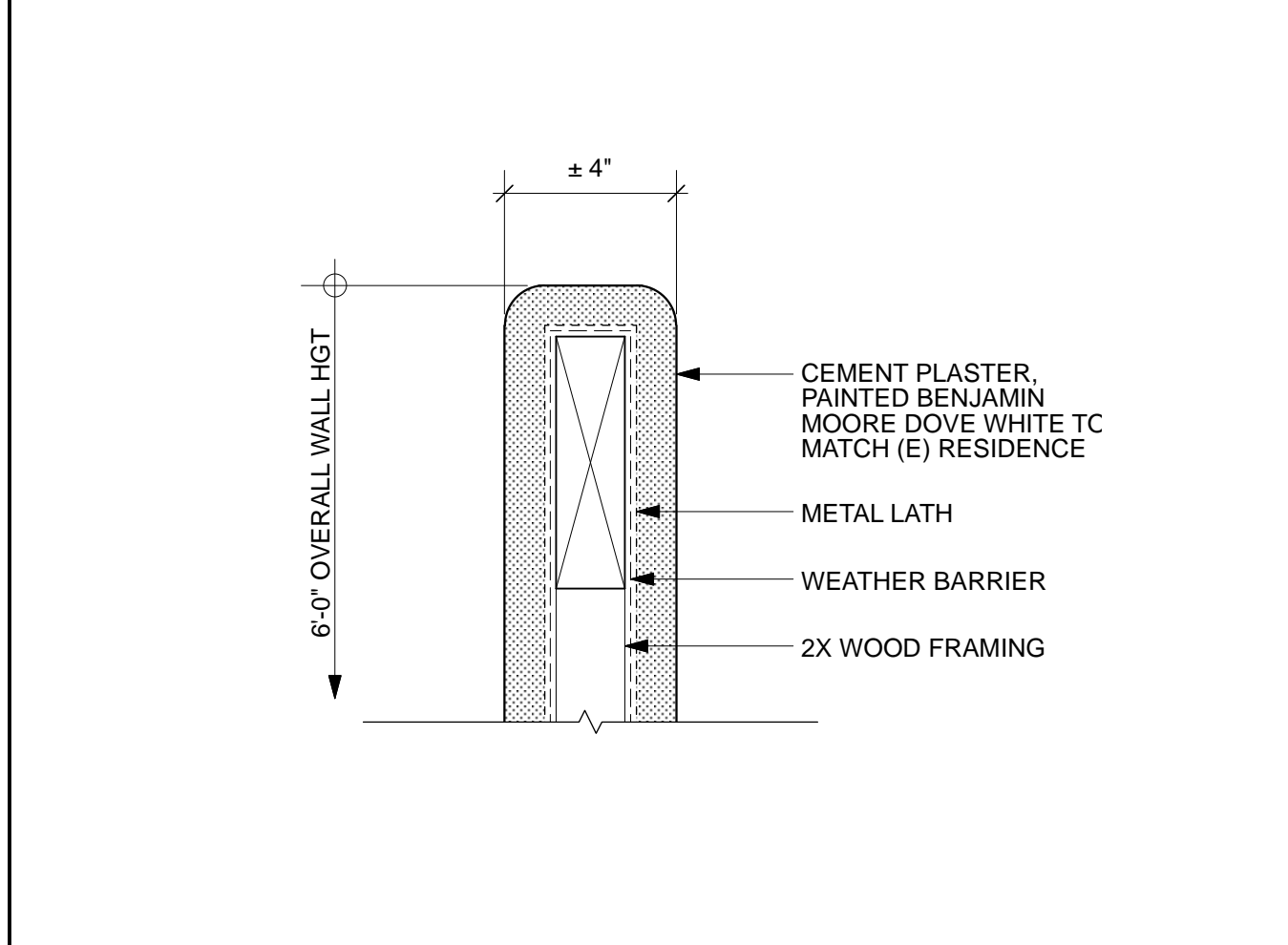
01 TYP. INT. PARTITION WALL ASSEMBLY
SCALE: 3" = 1'-0"



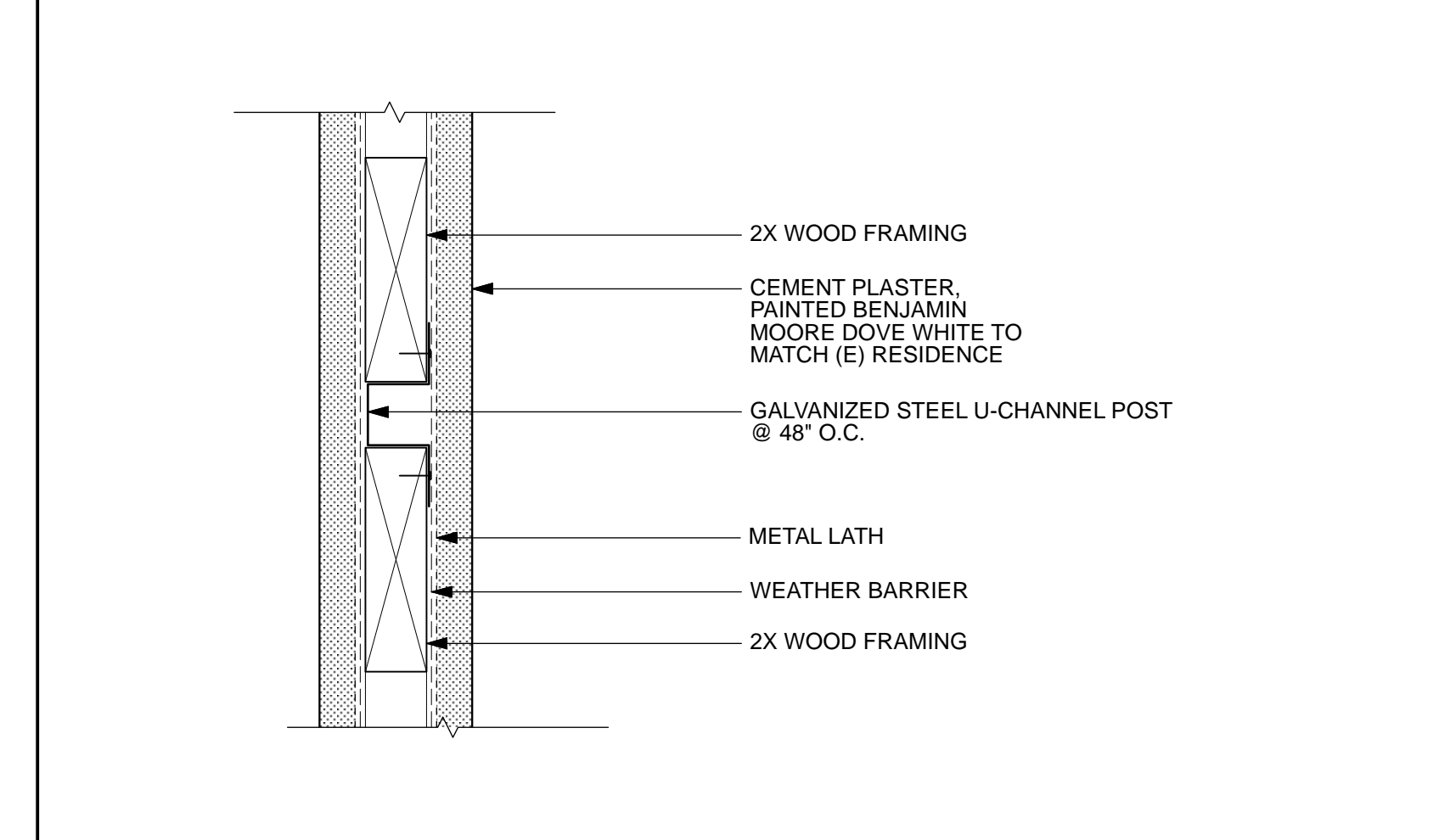
02 TYP. HEAD @ INT. DOOR
SCALE: 3" = 1'-0"



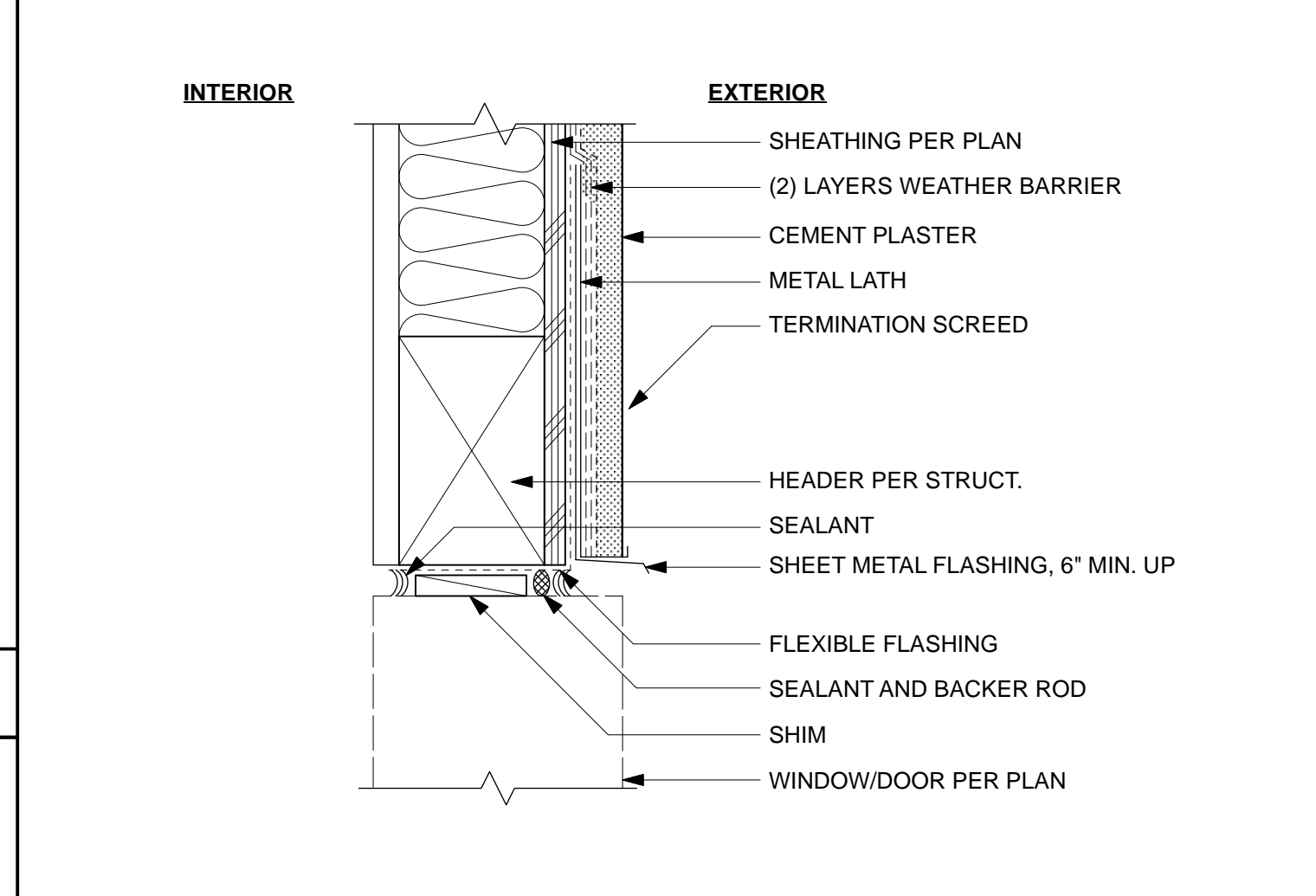
03 TYP. JAMB @ INT. DOOR
SCALE: 3" = 1'-0"



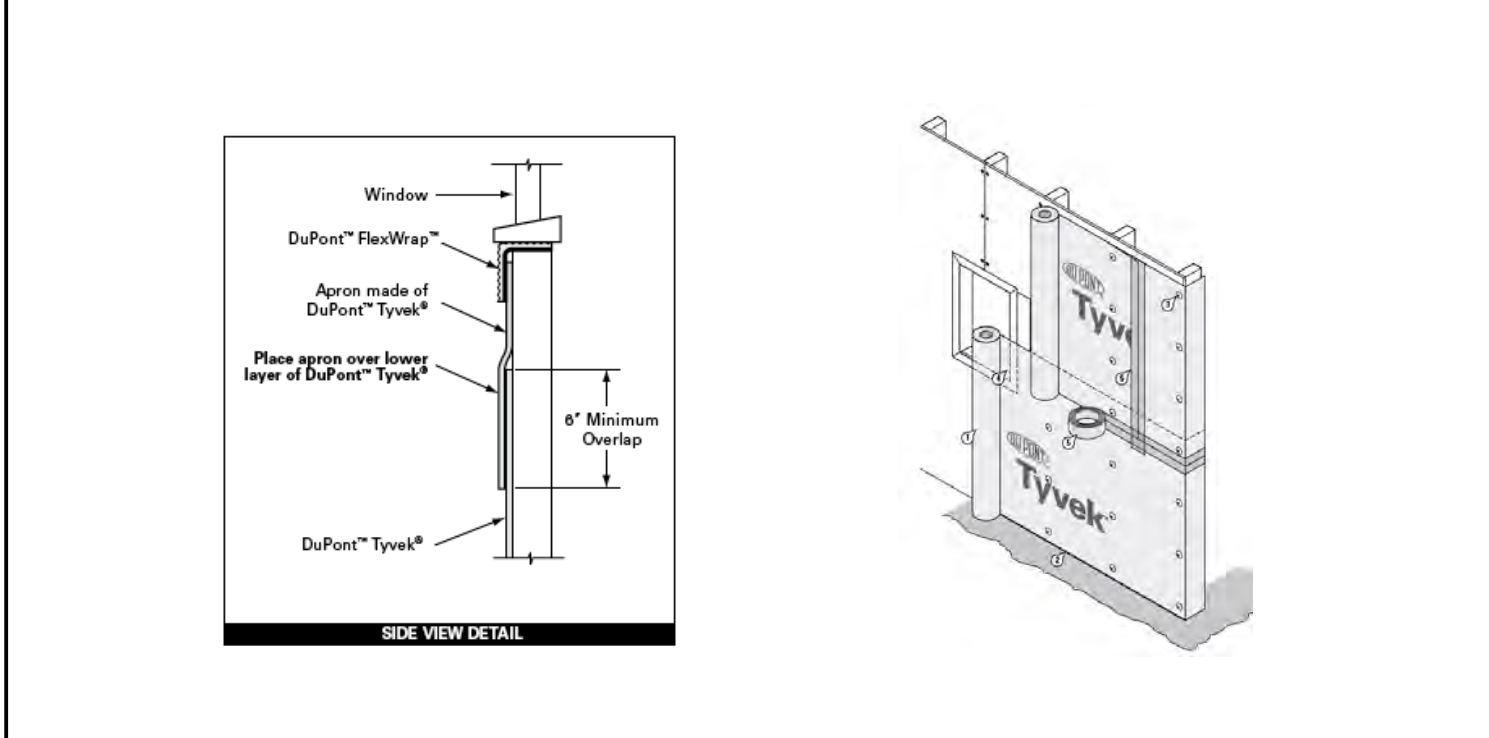
11 TOP OF PLASTER FENCE/WALL DETAIL
SCALE: 3" = 1'-0"



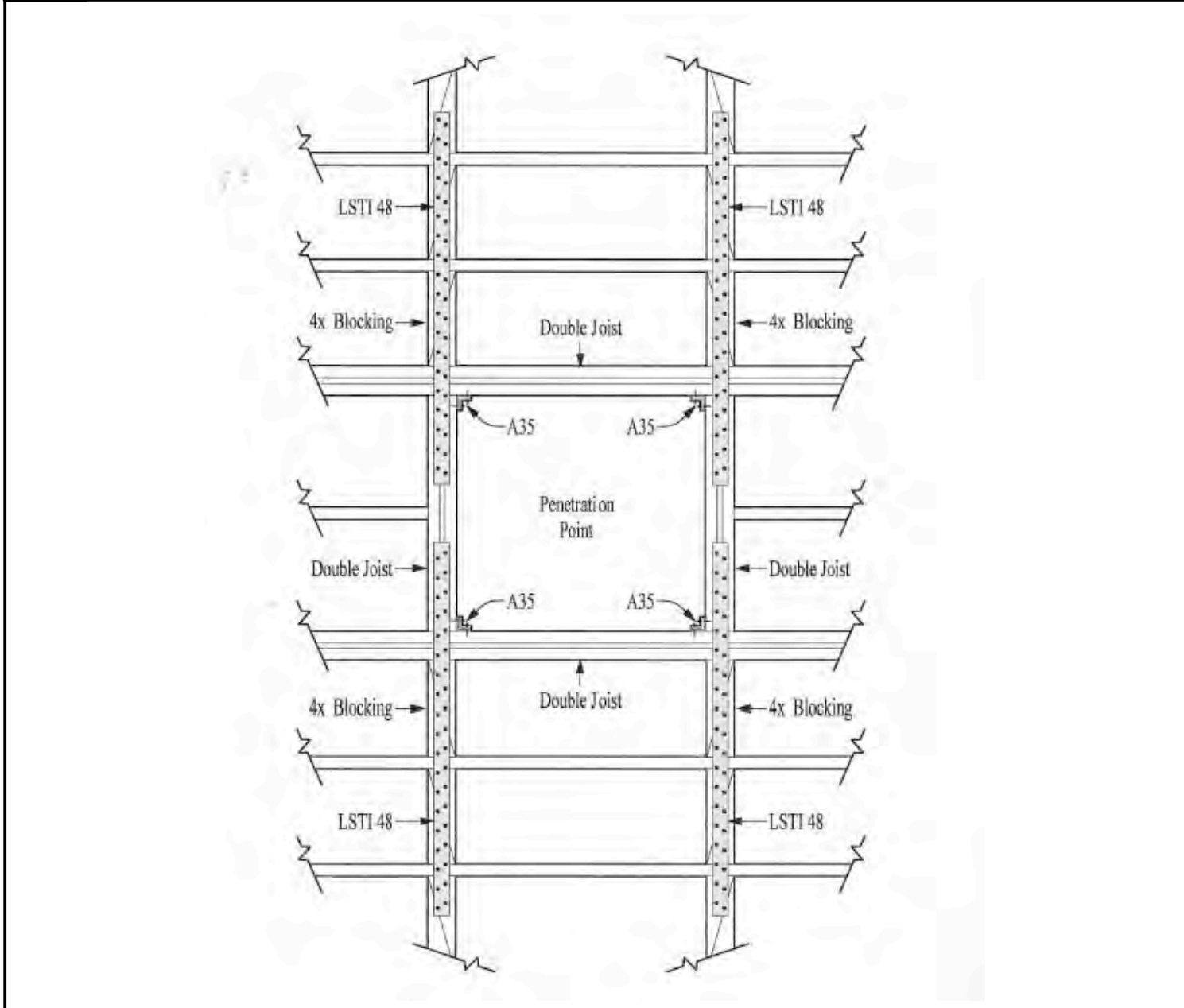
12 PLASTER FENCE/WALL DETAIL
SCALE: 3" = 1'-0"



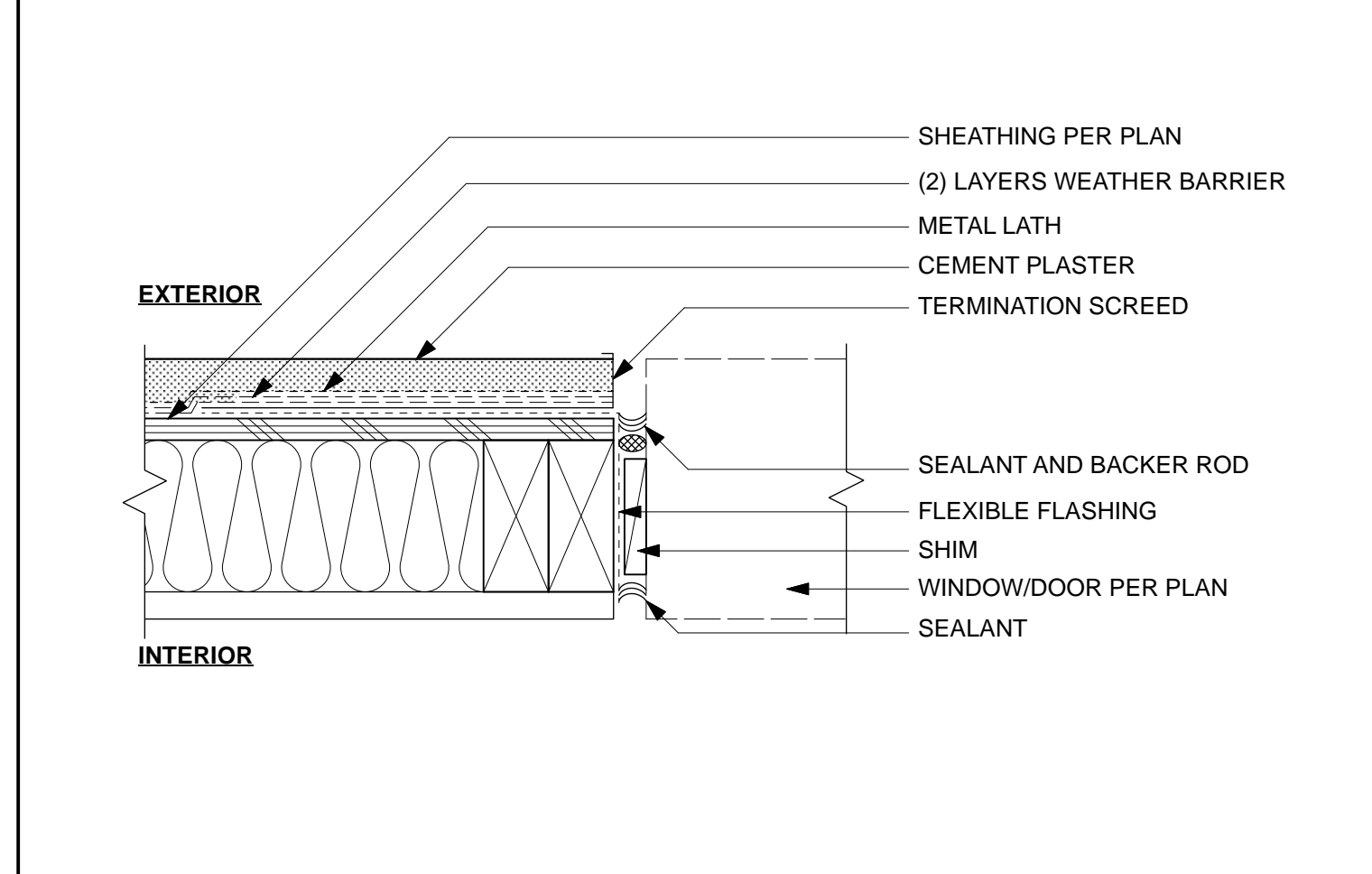
04 TYP. HEAD @ EXT. WINDOW / DOOR
SCALE: 3" = 1'-0"



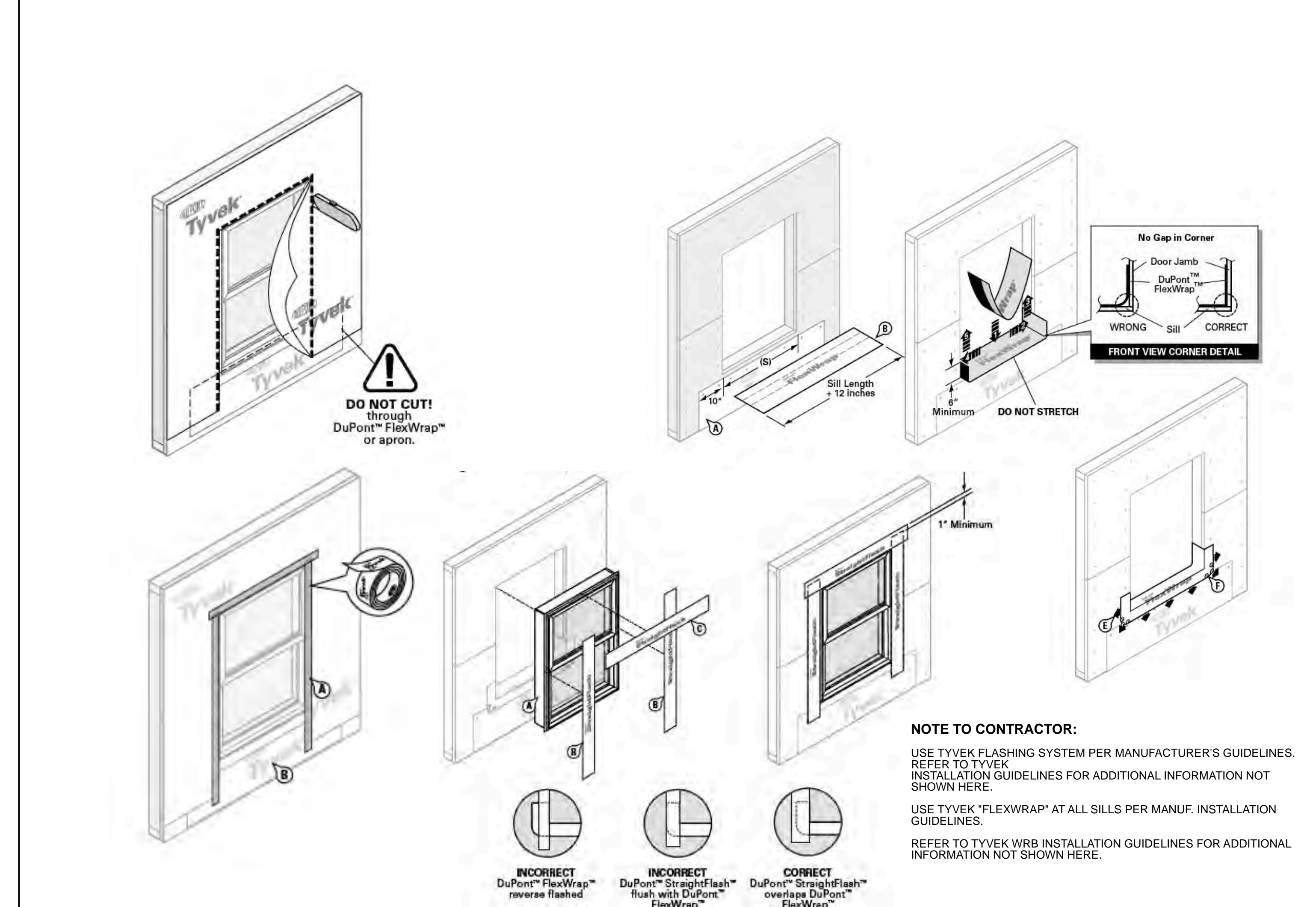
08 TYVEK WATER RESISTIVE BARRIER
SCALE: N.T.S.



09 SKYLIGHT DETAIL
SCALE: N.T.S.



05 TYP. JAMB @ EXT. WINDOW / DOOR
SCALE: 3" = 1'-0"



13 TYVEK WINDOW FLASHING SYSTEM
SCALE: N.T.S.

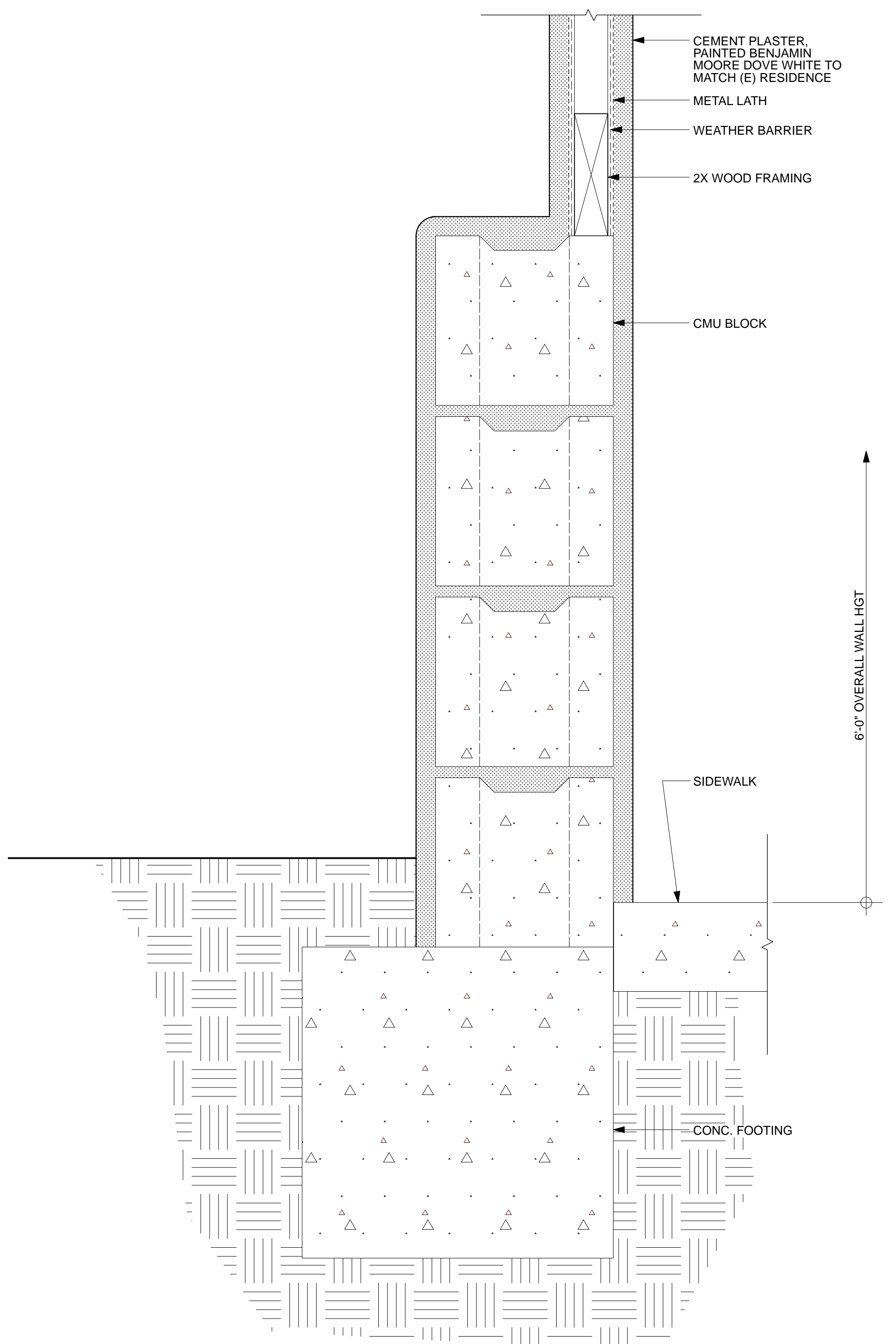
ABATEMENT OF VIOLATIONS PER ENF2023-00885 FOR NEW 6'-0" WALL AT PROPERTY LINE AND CORRECTION OF EXISTING DETACHED TWO CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

FOR ARCHITECT STAMP ONLY

DATE	DESCRIPTION

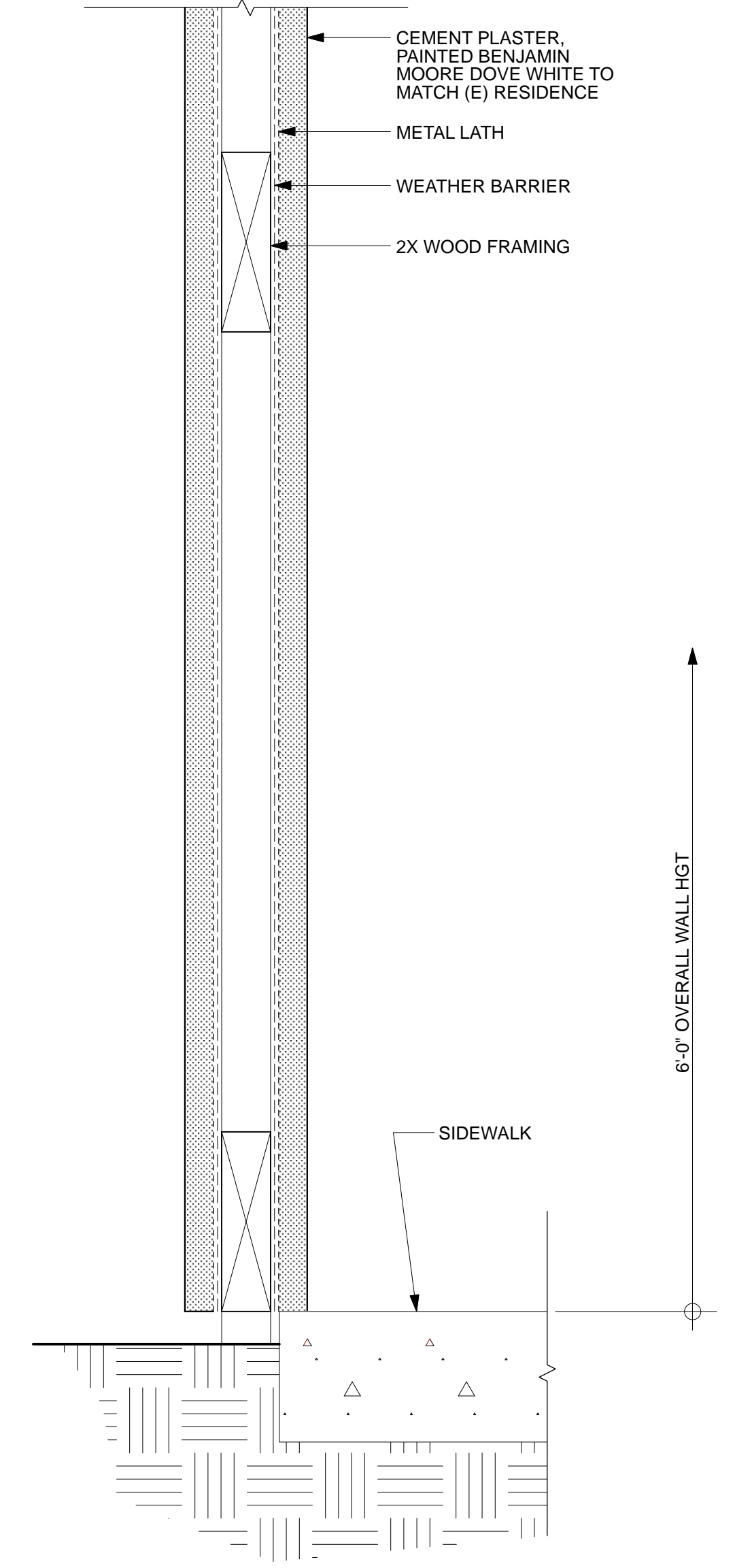
A 5.1

ARCHITECTURAL DETAILS



02 CMU BLOCK WALL DETAIL

SCALE: 3" = 1'-0"



01 PLASTER FENCE/WALL SECTION DETAIL

SCALE: 3" = 1'-0"

ABATEMENT OF VIOLATIONS PER ENF2023-00885 FOR NEW 6'-0" WALL AT
 FOR PROPERTY LINE AND CONVERSION OF EXISTING DETACHED TWO
 CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101

FOR ARCHITECT STAMP ONLY

DATE	DESCRIPTION
03/07/23	BLDG. DEPT. SUBMITTAL
06/05/23	BLDG. DEPT. RESUBMITTAL
05/19/22	BLDG. DEPT. RESUBMITTAL
06/23/22	BLDG. DEPT. RESUBMITTAL
07/21/22	BLDG. DEPT. RESUBMITTAL

A 5.2
 ARCHITECTURAL DETAILS

S H E R R Y & A S S O C I A T E S
 A R C H I T E C T S

608 ANACAPA STREET, SUITE B
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 MAIL TO:
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CONCRETE SPECIFICATIONS

1. All Concrete per **ACI 318**. Concrete Strength to be **2500 PSI UNO**. Per CBC Table 1808.8.1
2. #4 and Smaller Bars to be **Grade 40 Steel**. #5 & Larger to be **Grade 60**.
3. All Reinforcing Steel shall be of Intermediate Grade Billet Steel as per **ASTM-615**. Deformed per **ASTM A305**.
4. All Bar Splices shall be **48 Bar Diameters** unless Noted Otherwise. Splices of Adjacent Reinforcing Bars shall be Staggered Whenever Possible & Conform to **ACI 318- 19**
5. Anchor Bolts shall be a Minimum Embedment of **7 Inches**.
6. Do Not Use Aggregates Known to Cause Excessive Shrinkage.
7. Cement Conforming to **ASTM C-150**. Aggregate per **ASTM C-33**.
8. Interior and Exterior Slabs on Grade shall be Reinforced with Welded Wire Fabric and Placed in Center of Slab UNO.
9. All Anchor Bolts, Reinforcing Steel, Dowels, Inserts etc. shall be Well Secured in Position Prior to Concrete Pour.
10. Footings per **CBC 2022** Must be Poured Against Undisturbed Natural Soil with 12 in. Minimum Depth into Firm Natural Soil. UNO.
11. It is the Contractors Responsibility to Verify Soil Conditions Unless a Soils Engineer is Consulted.
12. Welded Wire Fabric per **ASTM A185**. Bending per **ACI 318 & ACI 301**.
13. Concrete Protection for Reinforcement shall be as Follows:

Concrete Placed Against Ground	3"
Formed Concrete Exposed to Ground	2"
Slabs and Walls Not Exposed to Ground or Weather	3/4"
14. No Pipes or Ducts shall be Placed in Concrete Unless Specifically Detailed.
15. Slab on Grade shall be Placed in Checkerboard Manner: Each Area of Pour Not to Exceed 600 Sq. Ft. or a Maximum Run of 40' Linear Ft.
16. Horizontal Wall Bar Splices shall be Staggered 4 Ft. Min.

HOLD DOWN ANCHORS

17. All Anchor Bolts and Hold-Down Anchors shall be Placed 1.75 Inches Min. Edge Distance. Embedment of Hold-Down Bolts shall be 16 Inches. UNO
18. Corner Installation. Where Hold-Down is Installed Less Than 5 Inches from Corner, a #4 Bar shall be Placed Outside of HD-Bolt, 6 Inches Below Top of Slab and shall Extend 30 Inches in Both Directions from Center.
19. In No Case shall Hold-Down Anchors be Closer than 2.5 In. End Distance

REINFORCING STEEL

CONCRETE AND CMU BLOCK REINFORCING STEEL

REFERENCE STANDARDS:

- Conform To:
- (1) **ACI 318-19** "Standard Specifications for Structural Concrete", Section 3 "Reinforcement Supports."
 - (2) **ACI SP-66** "ACI Detailing Manual" Including ACI 315 "Details and Detailing of Concrete Reinforcement."
 - (3) **CRSI MSP** - "Manual of Standard Practice."
 - (4) **ANS/AWS D1.4** "Structural Welding Code - Reinforcing Steel."
 - (5) **CBC Chapter 19** - Concrete.
 - (6) **ACI 318** - Latest Edition. (**318-19**)
 - (7) Conform to **ASTM A-185**, For Welded Wire Fabric.

SUBMITTALS:

Conform to ACI Sec. 3.11 "Submittals, Data and Drawings." Submit Placing Drawings Showing Fabrication Dimensions and Locations for Placement of Reinforcement and Reinforcement Supports.

MATERIALS:

Reinforcing Bars...ASTM A615, and Supplement S1 Grade 60, Deformed Bars, Fy = 60,000 PSI
 Bar SupportsCRSI MSP - Chapter 3 "Bar Supports."
 Tie Wire16.5 Gage or Heavier, Jack Annealed.
 Fibrous ReinforcementFibermesh or Approved Equivalent.
(See CIP Concrete for Specifications)

FABRICATION:

Conform to ACI 318-19 "Fabrication", and ACI SP-66 "ACI Detailing Manual."

WELDING:

Bars Shall Not Be Welded Unless Authorized. When Authorized, Conform to ACI 301, "Welding" and Provide ASTM A706, Grade 60 Reinforcement.

PLACING:

1. Conform to ACI 318- "Placement." Placing Tolerances Shall Conform to Sec. 3.3.2.1 "Tolerances."
2. No Bars Partially Embedded in Hardened Concrete Shall Be Field Bent Unless Specifically So Detailed or Approved By the Structural Engineer.
3. Concrete Wall Reinforcing - - Provide the Following Unless Detailed Otherwise:

6" Walls	#4 @ 16" Horizontal	#4 @ 18" Vertical	1 Curtain
8" Walls	#4 @ 18" Horizontal	#4 @ 18" Vertical	2 Curtains
10" Walls	#5 @ 18" Horizontal	#5 @ 18" Vertical	2 Curtains
12" Walls	#5 @ 16" Horizontal	#5 @ 18" Vertical	2 Curtains
4. Reinforcing Steel Shall Bae Detailed (Including Hooks and Bends) In Accordance With ACI 315 & 318 Current Edition.

CONCRETE COVER:

Conform to the Following Cover Requirements From ACI 318-14:

Concrete Cast Against Earth	3"
Concrete Exposed to Earth or Weather	2"
Ties in Columns and Beams	1 1/2"
Bars in Slabs and Walls	3/4"
Exterior Bars in Tilt-Up Panels	1"

Timber & Lumber (Cont.)

6. Lap Splice All Double Top Plates At the Top of All Walls With a 4' 0" Minimum Splice. Provide (8) 16d Nails Each Side of Each Splice.
 7. Provide Doubled Framing Members, Same Size as Adjacent Members, Under All Partitions Parallel to Joists or Rafters.
 8. All Holes For Bolts Shall Be 1/16" Larger Diameter Than the Bolt. Provide Washers For All Bolts Thru Wood Members.
 9. Anchor Non-Structural Walls With 1/2" Diameter Anchor Bolts 6" Long, Scoop Out Below Slab to Provide 3" Minimum Coverage. Place Bolts At 4' 0" On Center. Use Powder Driven Pins @ 32" On Center as an Alternate Method of Anchorage. Powder Driven Pins Shall Extend 1" Minimum Into Concrete.
 10. For Minimum Nailing, Refer to the Nailing Schedule In The Typical Details.
 11. Machine Applied Nailing is Acceptable, But Satisfactory Performance Shall Be Demonstrated During Installation. Acceptance is Subject to Continued Satisfactory Performance.
 12. 2 x 6 T&G Decking May Be Used. Decking is 4 Span Minimum in Length and is Nailed to the Supports with (2) 16d Nails. Butt Splice the Decking At the Supports.
 13. Sheet Metal Connectors Are As Manufactured By the Simpson Company or Approved Equivalent. Nails Shall Be Those Furnished By the Manufacturer For the Specific Use Shown. The Connector Type is Furnished, the Contractor Insures the Hanger Dimensions Fit the Appropriate Application.
 14. Shear Wall Lengths are Within 10% of Constructed Lenth UNO.
 15. Connector Plates & Hardware May Be Dapped, Rotated & Straps Rotated to Fit Final Constructed Condition.
 16. The Contractor Shall Be Responsible For Installing Wood Building Products That are Free of Emmission of Harmful or Caustic Fumes as a Result of Chemical, Moisture or Thermal Processes Associated With Those Building Products.
- Plywood Span Index Shall Be 32/16 For Roof,
48/24 For Floors U.N.O.
- Roof Diaphragms To Be Min. 1/2" CDX Plywood Nailed With
8d @ 4" O.C. Boundary
8d @ 6" O.C. Edge
(See Arch Plans for Roof Material)
- Floor Diaphragms To Be Min. 5/8" CDX Plywood Nailed With
10d @ 4" O.C. Boundary
10d @ 6" O.C. Edge
10d @ 10" O.C. Field
17. All 2 x Members That Are Part of the Floor Framing System Shall Be Kiln Dried, #2 Grade or Better, Douglas Fir. 85% of Material Shall Have a Moisture Content of 15% Or Less. Maximum Moisture Shall Be 19%. Each Piece Shall Be Grade Marked Indicating Kiln Dried With a Stamp Mark "S-Dry".
 18. Non-Bearing 2 x 4 Stud Walls, Stripping, Blocking, Backing & Other Non-Structural Lumber Shall Be No. 2 Grade or Better Douglas Fir, or Standard or Better Douglas Fir, S4S.
 19. All Nails Shall Be Common Size.
 20. Holes in Wood for Bolts Shall Be Drilled 1/16" Larger Than the Nominal Size of the Bolt.
 21. All Bolts Shall Have Malleable Iron or Plate Washers Under Head & Nuts. See Washer Schedule For Sizes.
 22. All Joists Shall Be Solid Blocked at Points of Bearing. Wood Crossbridging, Not Less Than 2 Inches by 3 Inches (2" x 3") Nominal, Metal Crossbridging of Equal Strength, or Solid Blocking Shall Be Placed Between Joists Where the Joist Span Exceeds Eight (8) Feet. The Distance Between Lines of Bridging or Between Bridging and Bearing Shall Not Exceed Eight (8) Feet. Crossbridging May Be Omitted For Roof and Ceiling Joists Eight Inches (8") and Less Depth.
 23. Minimum Dimension of Any Plywood Sheet Shall Be 24" and the Minimum Area Shall Be Six (6) Square Feet.
 24. Use Double Floor Joists Under Parallel Walls Above.
 25. Machine Applied Nailing: Satisfactory Installation Shall Be Demonstrated On the Job and the Acceptance of the Field Representative of the OSA and the Architect and/or Structural Engineer Shall be Obtained Before the Use of Machine-Applied Nails Can Be Approved. Approval is Subject To Continued Satisfactory Performance.
 26. All Nails and Timber Connectors Shall Be Galvanized.
 27. Steel Joists Hangers, Fasteners and Other Such Connection Devices Shall Be of Standard Manufacture, Having a Current ICC Approval, of the Types Required By the Drawings. Nails Shall Be Those Furnished By the Manufacturer For This Specific Use. Devices Shall Be Galvanized. Simpson Part Numbers are Shown on Drawings; Equivalent Union Stamping, KC Are Acceptable.
 28. All Plywood Flooring Shall Be Glued to the Floor Joists. Glue Shall Be PL400 Heavy Duty Subfloor Adhesive as Manufactured By Conteck Co.

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 gfrolenko@verizon.net



AS-BUILT PLANTER & WALL
 902 W. Islay St. - Santa Barbara, CA.
 Architect/Designer - Sherry & Associates

PROJECT SCOPE: PARTIAL CALCULATIONS PER REQUEST OF OWNER/ARCHITECT/DESIGNER AND/OR BUILDING DEPARTMENT.

FRAMING DESIGN

All calculations per 2022 CBC, 2021 IBC, ASCE 7-16, NDS 2018, ACI 318-19
 15% repetitive member reduction taken where applicable
 All calculations are for simply supported beams with uniform loads U.N.O.

Joists, Rafters and 4 x Beams to be No.1 D.F. or better
 Fb=1150 PSI Fv=180 PSI E=1.8 M.P.S.I.
 Other Beams and Stringers Fb=1350 PSI FV=170 PSI E=1.6 M.P.S.I.

FOUNDATION DESIGN

Design Foundation per 2021 IBC, 2022 CBC; Table 1806.2
 Design soil bearing value = **1000 PSF**

Timber & Lumber

1. Material Specifications: (Use UNO-Table Below Governs) DOC. PS20
 Dimension Lumber ---- Douglas Fir-Larch, No. 1 S4S,
 (Studs, Joists, Rafters & Ledgers)
 Timbers ---- Douglas Fir-Larch, No. 1 S4S,
 (Beams, Headers & Posts)
 Other Dimension Lumber -- Douglas Fir-Larch, No. 2 S4S,
 (2 x 4 Studs, Stripping, Blocking & Etc.)
 Plywood ---- Douglas Fir, Structural 1, DOC PS2
 (Interior Type, Exterior Glue) Grade C-D, 5 Ply Minimum
 Minimum Sheet Size 2 Ft. x 4 Ft.
 APA Rated Sheathing May Also Be Used
 See Framing Sheets for Specific Call Outs.
 Nails ---- Common
 Bolts and Threaded Rod --- ASTM A307
2. Sill Plates on Concrete: 3" Nominal Thick (4" @ V>350 PLF) With ACZA Pressure Treatment. Bolt to Concrete With 5/8" Diameter x 12" Long Anchor Bolts (7" Minimum Embedment) At 4' 0" Maximum Spacing Center to Center. See Sections & Details for Specific Information Regarding the Spacing. Place First Bolt 9" From End of Sill Plate. This Does Not Apply to Holddown Bolts. All Washers for Anchor Bolts are Simpson BP 5/8" Washers Square Cut, 3" x 3" x 0.229". Sill Pl. 4" @ Nail Sp. 4" or Closer. Anchor Bolts & Fasteners Into Green Seal Pressure Treated Plates Shall Be Hot Dipped Galvanized or Stainless Steel.
3. Where Stud Walls Frame to Concrete or Concrete Block Walls, Anchor the End Stud to the Wall 12" From the Top and Bottom of the Stud, and Above and Below the Fire Blocking. 4 Bolts Total Are Required. The Bolts Shall Be 5/8" Diameter and Be Embedded 5" Into the Concrete or Concrete Block.
4. Do Not Cut Structural Framing, (Joists, Beams, Studs, Sills or Etc.) For Pipes, Vents, Ducts, Conduit or Other Items Unless Specifically Instructed on the Construction Documents. Install Horizontal Framing Crown Up.
5. Place 2 x Solid Blocking Between All Joists and Rafters at All Points of Support and Under All Supported Transverse Partitions. 2 x Solid Blocking, Full Depth, Shall Be Placed Between All Joists and Rafters Greater than 8" In Depth as Follows: Roof Rafters - 10' Intervals, Floor Joists - 8' Intervals. Metal Joist Bridging in the Preceeding Locations May Be Used as Required.

S O B A N A C U A R A S T R E E T, S U I T E B
 S A N T A B A R B A R A, C A 9 3 1 0 1
 P O B O X 2 3 8 3 4
 S A N T A B A R B A R A, C A 9 3 1 2 1
 T E L (8 0 5) 9 6 3 - 0 9 8 6
 F A X (8 0 5) 9 6 3 - 0 1 7 8
 E M A I L - S H E R R Y @ S H E R R Y A N D A S S O C I A T E S . C O M
 T H E S E D R A W I N G S A R E T H E P R O P E R T Y O F D A W N S H E R R Y. A L L D E S I G N S A N D O T H E R I N F O R M A T I O N O N T H E D R A W I N G S A R E F O R U S E O N T H E S P E C I F I C P R O J E C T A N D A R E N O T T O B E R E P R O D U C E D, C H A N G E D, C O P I E D I N A N Y F O R M O R A S S I G N E D T O A N Y T H I R D P A R T Y W I T H O U T T H E W R I T T E N P E R M I S S I O N O F D A W N S H E R R Y, A R C H I T E C T.

STATEMENT OF VOLUNTARY PERFORMANCE FOR NEW 5-0H WALL AT 902 WEST ISLAY STREET, SANTA BARBARA, CA 93101. THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.

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SPECIAL INSPECTION

CONCRETE CONSTRUCTION SPECIAL INSPECTIONS * (per CBC 1704.4 & Table 1704.4)

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REF. STANDARD	IBC REFERENCE
1. Inspection of Reinforcing Steel Welding In Accordance with Table 1704.3 Item 5b.	-	-	AWS D1.4; ACI 318: 3.5.2	-
2. Verifying Use of Required Design Mix.	-	X	ACI 318: Ch. 4, 5.2 - 5.4	1904.2.2, 1913.2, 1913.3
3. Inspection of Adhesive/Epoxy Anchors and Their Installation	X	-	ICC Evaluation Report	
4. Post-Installed Anchors (wedge/expansion type)	-	X	ICC Evaluation Report	

* Concrete Inspections are Not Required Where Structure Qualifies for Exceptions Listed Below (from CBC)

- Isolated Spread Footing of Buildings Three Stories or Less in Height that are Fully Supported on Earth or Rock
- Continuous Footings of Buildings Three Stories or Less in Height that are Fully Supported on Earth or Rock Where:
 - The Footings Support Walls of [only] Light - Frame Construction;
 - <omitted - not applicable>
 - The Design of the Footing is Based on a Specified Compressive Strength, f_c , No Greater Than 2500 PSI
- Nonstructural Concrete Slabs Supported Directly on the Ground, Including Pre-stressed Slabs on Grade, Where the Effective Pre-Stress in the Concrete is Less Than 150 psi
- <omitted - not applicable>
- Concrete Patios, Driveways, and Sidewalks, on Grade.

ADDITIONAL SPECIAL INSPECTIONS (per CBC 1704.2, 1704.6, & 1707.3)

VERIFICATION AND INSPECTION TASK	CONTINUOUS	PERIODIC
1. Review of Procedures for Fabrication of Structural Load-Bearing Members and Assemblies Performed on the Premises of a Fabricator's Shop, Where the Fabricator is Not Registered and Approved To Perform Such Work Without Special Inspection. See CBC 1704.2.	-	
2. Field Gluing Operations of Wood Elements of the Seismic-Force-Resisting System.	X	-
3. Nailing, Bolting, Anchoring and Other Fastening of Components Within the Seismic-Force Resisting System, Including Wood Shear Walls, Wood Diaphragms, Drag Struts, Braces, Shear Panels and Holdowns. (Exception: These Inspections are Not Required for These Elements Where the Fastener Spacing of the Sheathing is More Than 4" O.C.)	-	X

ADDITIONAL NOTES REGARDING SPECIAL INSPECTORS

CBC 1704.1: The Special Inspector Shall Be a Qualified Person Who Shall Demonstrate Competence, to the Satisfaction of the Building Official, for Inspection of the Particular Type of Construction or Operation Requiring Inspection.

The Special Inspector Shall Observe the Work Assigned for Conformance With the Approved Design Drawing, Approved Specifications, and the Applicable Workmanship Provisions of the CBC. The Special Inspector Shall Furnish Inspection Reports to the Building Official, the Engineer or Architect of Record, and Other Designated Persons as Directed in Chapter 17 of the CBC. All Discrepancies Shall Be Brought to the Immediate Attention of the Contractor for Correction and then, if Uncorrected, to the Appropriate Design Authority and to the Building Official.

Engineers May Be Commissioned, Upon Request, to Perform Special Inspections of Wood Construction and Epoxy Installations.

NOTICE TO OWNER

The engineer does not warrant or guarantee the accuracy and completeness of the work herein beyond a reasonable diligence and this structural design has incorporated a reasonable assumption of economy of design. If any omissions, mistakes, or discrepancies are found to exist within the work product, the engineer shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the engineer of such conditions shall absolve him from any responsibility for the consequences of such failure. The contractor shall be licensed and insured, otherwise the engineer does not assume any responsibility for the engineer's work product. Contractor shall verify all dimensions, elevations and shall evaluate the existing site and design conditions prior to starting any work. The contractor shall promptly and before such conditions are disturbed, notify the design professionals in writing of subsurface or latent physical conditions at the site differing materially from those indicated in the documents or unknown physical conditions at the site of an unusual nature differing materially from those ordinarily encountered and generally recognized as inherent in the work of the character provided for in this product.

Additions & Remodels:

This report does not cover latent defects or the evaluations of geological conditions, exterior drainage or household pests and no assurance is given that the subject home or its systems are built or maintained in accordance with building codes. The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work and shall be in strict accordance with the best standard specifications of materials and applications. The owner prior to installation shall approve all finish material. The contractor is responsible for installing all required temporary bracing and shoring to insure the safety of the work until is completed. He shall insure that all applicable safety laws are strictly enforced and shall protect all work and materials from damage.

Engineer always recommends a soils report from the owner. If one is not provided, the engineer shall design footings per CBC2(022) or latest revision). Site observation and site review shall be per separate contract with the owner.

Should any dispute arise regarding this work, all parties agree that the sole remedy for any such dispute shall be decided by the procedures provided by the American Arbitration Association and this arbitration shall be binding upon all parties and if the engineer is found to have performed his work per contract or agreement, then the engineer shall be reimbursed for reasonable attorney's fees and in addition if it is found that a "bad faith" claim was filed or owner cardinal changes made, punitive or treble damages shall be recovered from the claimant and said claimant shall be responsible for consequential, direct, impact and loss of efficiency damages to the engineer. Under no circumstances shall engineer pay claimant attorney fees or other costs associated with this project.

SPICES

Conform To ACI 318-19, Refer To "Lap Splice" 48 Bar Dia. Typical Splices. The Splices Indicated On Individual Sheets Control Over the Schedule. Use Class B Splices Unless Noted. Mechanical Connections May Be Used When Approved By the Engineer.

FIELD BENDING

Conform To ACI 318-19, "Field Bending Or Straightening," Bar Sizes #3 Through #5 May Be Field Bent Cold the First Time. Other Bars Require Preheating. Do Not Twist Bars.

CORROSION PROTECTION

- Metal In Contact With Moisture and Treatment Products Shall Be Protected Against Corrosion.
- Protection Can Be Paint, Galvanization, Or Use Of Stainless Steel, (Not Type 304).
- This Includes, But is Not Limited To:
 - Reinforcing Steel
 - Sheet Metal
 - Fasteners & Nails
 - Nuts, Bolts, Washers, Screws & Lag Bolts
 - Shapes, Plates & Bars
- Processes Shall Be In Accordance With ASTM 153, ASTM 123, ASTM B695, Or ASTM A653.

PRODUCT	GALVANIZING	THICKNESS OR AMOUNT
SHAPES	A123	10 MILS DFT
PLATES	A123	10 MILS DFT
BARs	A123	10 MILS DFT
SHEET METAL CONNECTORS	A123	2 OZ PER SF
FASTENERS	A123	2 OZ PER SF
NAILS	TUMBLLED	N/A

- Factory Coatings of G185, For Sheet Metal Products is Acceptable.
- The Following Standards Shall Apply:

A143	B487	F1789	A767
A780	B6	A384	
A90	E367	A47	
- Connector Assemblies Primarily Nuts, Bolts, and Washers Shall Be Shipped Assembled To Ensure Proper Fit.
- Alter Threaded Product Dimension to Ensure Fit After Galvanization.

MASONRY SPECIFICATIONS

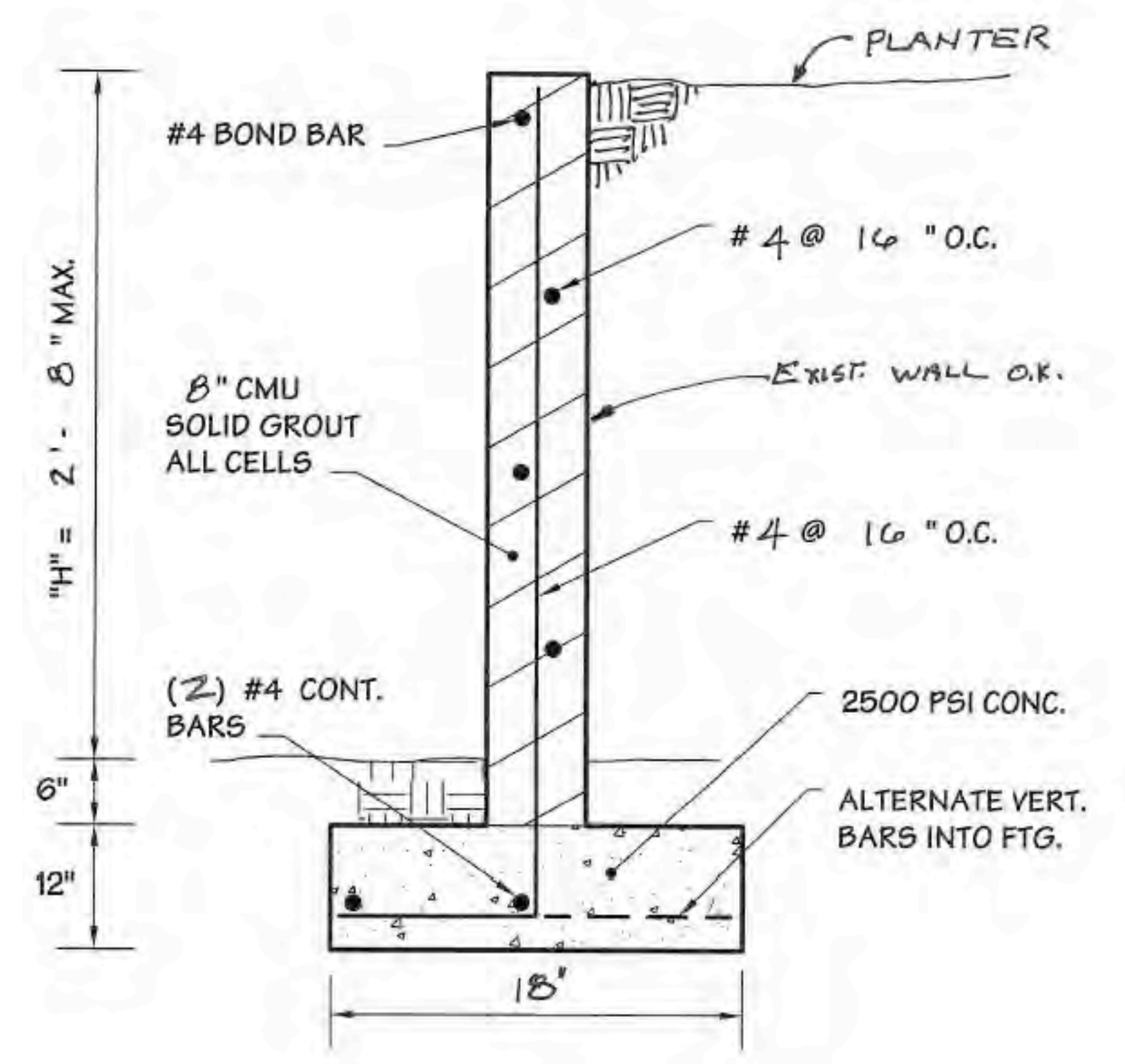
- Concrete Block shall be Manufactured from Standard Weight Aggregate and shall Conform to Grade "N" Hollow Load-Bearing Units per ASTM C-90.
- Mortar shall Conform to Type "S" of the C.B.C. Mortar Mix shall be 1 Part Portland Cement, 1/3 Part Hydrated Lime, and 3-1/2 Parts Sand, and shall Have an Ultimate Compressive Strength of 28 days of 1800 PSI.
- Transit Mixed Grout shall Contain 7 Sacks of Cement per Cubic Yard of Grout and Mixed in the Following Proportions: 1 Part Cement, 3 Parts Sand, 2 Parts Pea Gravel and have a Maximum Slump of 9-1/2 Inches. Minimum Ultimate Compressive Strength shall be 2000 PSI at 28 days.
- Masonry Work is Designed on the Basis of $F'm=1500$ psi.
- Cleanouts shall be Provided if Grout Lifts Exceed 4 ft.
- Reinforcing Steel shall be Accurately and Securely Held in Place Before Any Grouting is to Commence.
- Reinforcing Steel Bars shall be of Intermediate Grade Conforming to ASTM A615-Grade 60
- Splices in Reinforcing Steel shall be Lapped a Minimum of 40 bar diameters. ACI 318-14
- Horizontal Reinforcing Steel shall be Placed in Bond Beam Blocks Except at Lintels; Where Lintel Blocks shall be Used.
- All Walls shall be Solid Grouted. Grout shall be Well Rodded.
- Backfill Behind Retaining Walls should not be Placed Sooner than 14 Days After Final Grouting. If the Work Has Stopped for One Hour or Longer, a Horizontal Construction Joint shall be Formed by Stopping All Tiers at the Same Elevation.

STATEMENT OF VOLUNTARY PERMITTING FOR NEW 5-09H WALL AT PERMITS PROPERTY ADDRESS (SEE PERMITTING DETACHED TWO CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT
 902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101
 DATE DESCRIPTION
 03/1/24 1ST PLANNING DEPT. SUBMITTAL
 05/15/24 2ND PLANNING DEPT. SUBMITTAL
 07/08/24 3RD PLANNING DEPT. SUBMITTAL

S 1.1

NEW PLASTER WALL
STRUCTURAL GENERAL NOTES

SOB ANACUARA STREET, SUITE B
 SANTA BARBARA, CA 93101
 MAIL TO:
 P.O. BOX 23834
 SANTA BARBARA, CA 93121
 TEL: (805) 963-0986
 FAX: (805) 963-0178
 E. M. A. L. I.
 ENGINEER
 THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAWN SHERRY ARCHITECT.



1 RETAINING WALL DETAIL
N.T.S.

STATEMENT OF VIOLATIONS PER ENR 2003-00585 FOR NEW 5-0TH WALL AT
 902 WEST ISLAY STREET, SANTA BARBARA, CA 93101, INCLUDING DETACHED TWO
 CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT

902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101

DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

S 1.2
 NEW PLASTER WALL
 STRUCTURAL DETAILS

S H E R R Y & A S S O C I A T E S
 A R C H I T E C T S

608 ANACAPA STREET, SUITE B
 SANTA BARBARA, CA 93101
 MAIL TO:
 P.O. BOX 23834
 SANTA BARBARA, CA 93121
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 E M A I L :
 DAN@SHERRYARCHITECT.COM
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Timber & Lumber (Cont.)

CONCRETE SPECIFICATIONS

1. All Concrete per **ACI 318**. Concrete Strength to be **2500 PSI UNO**. Per CBC Table 1808.8.1
2. #4 and Smaller Bars to be **Grade 40 Steel**. #5 & Larger to be **Grade 60**.
3. All Reinforcing Steel shall be of Intermediate Grade Billet Steel as per **ASTM-615**. Deformed per **ASTM A305**.
4. All Bar Splices shall be **48 Bar Diameters** unless Noted Otherwise. Splices of Adjacent Reinforcing Bars shall be Staggered Whenever Possible & Conform to **ACI 318- 19**
5. Anchor Bolts shall be a Minimum Embedment of 7 Inches.
6. Do Not Use Aggregates Known to Cause Excessive Shrinkage.
7. Cement Conforming to **ASTM C-150**. Aggregate per **ASTM C-33**.
8. Interior and Exterior Slabs on Grade shall be Reinforced with Welded Wire Fabric and Placed in Center of Slab UNO.
9. All Anchor Bolts, Reinforcing Steel, Dowels, Inserts etc. shall be Well Secured in Position Prior to Concrete Pour.
10. Footings per **CBC 2022** Must be Poured Against Undisturbed Natural Soil with 12 in. Minimum Depth into Firm Natural Soil. UNO.
11. It is the Contractors Responsibility to Verify Soil Conditions Unless a Soils Engineer is Consulted.
12. Welded Wire Fabric per **ASTM A185**. Bending per **ACI 318 & ACI 301**.
13. Concrete Protection for Reinforcement shall be as Follows:

Concrete Placed Against Ground	3"
Formed Concrete Exposed to Ground	2"
Slabs and Walls Not Exposed to Ground or Weather	3/4"
14. No Pipes or Ducts shall be Placed in Concrete Unless Specifically Detailed.
15. Slab on Grade shall be Placed in Checkerboard Manner: Each Area of Pour Not to Exceed 600 Sq. Ft. or a Maximum Run of 40' Linear Ft.
16. Horizontal Wall Bar Splices shall be Staggered 4 Ft. Min.

HOLD DOWN ANCHORS

17. All Anchor Bolts and Hold-Down Anchors shall be Placed 1.75 Inches Min. Edge Distance. Embedment of Hold-Down Bolts shall be 16 Inches. UNO
18. Corner Installation. Where Hold-Down is Installed Less Than 5 Inches from Corner, a #4 Bar shall be Placed Outside of HD-Bolt, 6 Inches Below Top of Slab and shall Extend 30 Inches in Both Directions from Center.
19. In No Case shall Hold-Down Anchors be Closer than 2.5 In. End Distance

REINFORCING STEEL

CONCRETE AND CMU BLOCK REINFORCING STEEL

REFERENCE STANDARDS:

- Conform To:
- (1) ACI 318-19 "Standard Specifications for Structural Concrete", Section 3 "Reinforcement Supports."
 - (2) ACI SP-66 "ACI Detailing Manual" Including ACI 315 "Details and Detailing of Concrete Reinforcement."
 - (3) CRSI MSP - "Manual of Standard Practice."
 - (4) ANS/AWS D1.4 "Structural Welding Code - Reinforcing Steel."
 - (5) CBC Chapter 19 - Concrete.
 - (6) ACI 318 - Latest Edition. (318-19)
 - (7) Conform to ASTM A-185, For Welded Wire Fabric.

SUBMITTALS:

Conform to ACI Sec. 3.11 "Submittals, Data and Drawings." Submit Placing Drawings Showing Fabrication Dimensions and Locations for Placement of Reinforcement and Reinforcement Supports.

MATERIALS:

Reinforcing Bars...ASTM A615, and Supplement S1 Grade 60, Deformed Bars, Fy = 60,000 PSI
 Bar SupportsCRSI MSP -, Chapter 3 "Bar Supports."
 Tie Wire16.5 Gage or Heavier, Jack Annealed.
 Fibrous ReinforcementFibermesh or Approved Equivalent.
(See CIP Concrete for Specifications)

FABRICATION:

Conform to ACI 318-19 "Fabrication", and ACI SP-66 "ACI Detailing Manual."

WELDING:

Bars Shall Not Be Welded Unless Authorized. When Authorized, Conform to ACI 301, "Welding" and Provide ASTM A706, Grade 60 Reinforcement.

PLACING:

1. Conform to ACI 318- "Placement." Placing Tolerances Shall Conform to Sec. 3.3.2.1 "Tolerances."
2. No Bars Partially Embedded in Hardened Concrete Shall Be Field Bent Unless Specifically So Detailed or Approved By the Structural Engineer.
3. Concrete Wall Reinforcing -- Provide the Following Unless Detailed Otherwise:

6" Walls	#4 @ 16" Horizontal	#4 @ 18" Vertical	1 Curtain
8" Walls	#4 @ 18" Horizontal	#4 @ 18" Vertical	2 Curtains
10" Walls	#5 @ 18" Horizontal	#5 @ 18" Vertical	2 Curtains
12" Walls	#5 @ 16" Horizontal	#5 @ 18" Vertical	2 Curtains

4. Reinforcing Steel Shall Bae Detailed (Including Hooks and Bends) In Accordance With ACI 315 & 318 Current Edition.

CONCRETE COVER:

Conform to the Following Cover Requirements From ACI 318-14:

Concrete Cast Against Earth	3"
Concrete Exposed to Earth or Weather	2"
Ties in Columns and Beams	1 1/2"
Bars in Slabs and Walls	3/4"
Exterior Bars in Tilt-Up Panels	1"

6. Lap Splice All Double Top Plates At the Top of All Walls With a 4' 0" Minimum Splice. Provide (8) 16d Nails Each Side of Each Splice.
7. Provide Doubled Framing Members, Same Size as Adjacent Members, Under All Partitions Parallel to Joists or Rafters.
8. All Holes For Bolts Shall Be 1/16" Larger Diameter Than the Bolt. Provide Washers For All Bolts Thru Wood Members.
9. Anchor Non-Structural Walls With 1/2" Diameter Anchor Bolts 6" Long, Scoop Out Below Slab to Provide 3" Minimum Coverage. Place Bolts At 4' 0" On Center. Use Powder Driven Pins @ 32" On Center as an Alternate Method of Anchorage. Powder Driven Pins Shall Extend 1" Minimum Into Concrete.
10. For Minimum Nailing, Refer to the Nailing Schedule In The Typical Details.
11. Machine Applied Nailing is Acceptable, But Satisfactory Performance Shall Be Demonstrated During Installation. Acceptance is Subject to Continued Satisfactory Performance.
12. 2 x 6 T&G Decking May Be Used. Decking is 4 Span Minimum in Length and is Nailed to the Supports with (2) 16d Nails. Butt Splice the Decking At the Supports.
13. Sheet Metal Connectors Are As Manufactured By the Simpson Company or Approved Equivalent. Nails Shall Be Those Furnished by the Manufacturer For the Specific Use Shown. The Connector Type is Furnished, the Contractor Insures the Hanger Dimensions Fit the Appropriate Application.
14. Shear Wall Lengths are Within 10% of Constructed Lenth UNO.
15. Connector Plates & Hardware May Be Dapped, Rotated & Straps Rotated to Fit Final Constructed Condition.
16. The Contractor Shall Be Responsible For Installing Wood Building Products That are Free of Emmission of Harmful or Caustic Fumes as a Result of Chemical, Moisture or Thermal Processes Associated With Those Building Products.

Plywood Span Index Shall Be 32/16 For Roof,
48/24 For Floors U.N.O.

Roof Diaphragms To Be Min. 1/2" CDX Plywood Nailed With
 8d @ 4" O.C. Boundary
 8d @ 6" O.C. Edge
 (See Arch Plans for Roof Material)

Floor Diaphragms To Be Min. 5/8" CDX Plywood Nailed With
 10d @ 4" O.C. Boundary
 10d @ 6" O.C. Edge
 10d @ 10" O.C. Field

17. All 2 x Members That Are Part of the Floor Framing System Shall Be Kiln Dried, #2 Grade or Better, Douglas Fir. 85% of Material Shall Have a Moisture Content of 15% Or Less. Maximum Moisture Shall Be 19%. Each Piece Shall Be Grade Marked Indicating Kiln Dried With a Stamp Mark "S-Dry".
18. Non-Bearing 2 x 4 Stud Walls, Stripping, Blocking, Backing & Other Non-Structural Lumber Shall Be No. 2 Grade or Better Douglas Fir, or Standard or Better Douglas Fir, S4S.
19. All Nails Shall Be Common Size.
20. Holes in Wood for Bolts Shall Be Drilled 1/16" Larger Than the Nominal Size of the Bolt.
21. All Bolts Shall Have Malleable Iron or Plate Washers Under Head & Nuts. See Washer Schedule For Sizes.
22. All Joists Shall Be Solid Blocked at Points of Bearing. Wood Crossbridging, Not Less Than 2 Inches by 3 Inches (2" x 3") Nominal, Metal Crossbridging of Equal Strength, or Solid Blocking Shall Be Placed Between Joists Where the Joist Span Exceeds Eight (8) Feet. The Distance Between Lines of Bridging or Between Bridging and Bearing Shall Not Exceed Eight (8) Feet. Crossbridging May Be Omitted For Roof and Ceiling Joists Eight Inches (8") and Less Depth.
23. Minimum Dimension of Any Plywood Sheet Shall Be 24" and the Minimum Area Shall Be Six (6) Square Feet.
24. Use Double Floor Joists Under Parallel Walls Above.
25. Machine Applied Nailing: Satisfactory Installation Shall Be Demonstrated On the Job and the Acceptance of the Field Representative of the OSA and the Architect and/or Structural Engineer Shall be Obtained Before the Use of Machine-Applied Nails Can Be Approved. Approval is Subject To Continued Satisfactory Performance.
26. All Nails and Timber Connectors Shall Be Galvanized.
27. Steel Joists Hangers, Fasteners and Other Such Connection Devices Shall Be of Standard Manufacture, Having a Current ICC Approval, of the Types Required By the Drawings. Nails Shall Be Those Furnished by the Manufacturer For This Specific Use. Devices Shall Be Galvanized. Simpson Part Numbers are Shown on Drawings; Equivalent Union Stamping, KC Are Acceptable.
28. All Plywood Flooring Shall Be Glued to the Floor Joists. Glue Shall Be PL400 Heavy Duty Subfloor Adhesive as Manufactured By Conteck Co.

Gary Frolenko Engineering civil structural shf |
 23 Hitchcock Way, Suite 104, Santa Barbara 93105
 805 682-3887 FAX 805 682-3887 r.c.e. #27863
gfrolenko@verizon.net 4-21-24



LEFEBVRE RES. - A.D.U.
 902 W. Islay St. - Santa Barbara, CA.
 Architect/Designer - Sherry & Associates

FRAMING DESIGN

All calculations per 2022 CBC, 2021 IBC, ASCE 7-16, NDS 2018, ACI 318-19
 15% repetitive member reduction taken where applicable
 All calculations are for simply supported beams with uniform loads U.N.O.

Joists, Rafters and 4 x Beams to be No.1 D.F. or better
 Fb=1150 PSI Fv=180 PSI E=1.8 M.P.S.I.
 Other Beams and Stringers Fb=1350 PSI FV=170 PSI E=1.6 M.P.S.I.

ROOF / Composition Shingles

27 PSF TOTAL LOAD

Loads: Live Load = 20 PSF

Framing Dead Load = 5.5 PSF

Roofing Dead Load = 1.5 PSF

FOUNDATION DESIGN

Design Foundation per 2021 IBC, 2022 CBC; Table 1806.2
 Design soil bearing value = **1000 PSF**

Timber & Lumber

1. Material Specifications: (Use UNO-Table Below Governs) DOC. PS20
 Dimension Lumber ---- Douglas Fir-Larch, No. 1 S4S,
 (Studs, Joists, Rafters & Ledgers)
 Timbers -----Douglas Fir-Larch, No. 1 S4S,
 (Beams, Headers & Posts)
 Other Dimension Lumber -- Douglas Fir-Larch, No. 2 S4S,
 (2 x 4 Studs, Stripping, Blocking & Etc.)
 Plywood -----Douglas Fir, Structural 1, DOC PS2
 (Interior Type, Exterior Glue) Grade C-D, 5 Ply Minimum
 Minimum Sheet Size 2 Ft. x 4 Ft.
 APA Rated Sheathing May Also Be Used
 See Framing Sheets for Specific Call Outs.
 Nails ----- Common
 Bolts and Threaded Rod --- ASTM A307
2. Sill Plates on Concrete: 3" Nominal Thick (4" @ V>350 PLF) With ACZA Pressure Treatment. Bolt to Concrete With 5/8" Diameter x 12" Long Anchor Bolts (7" Minimum Embedment) At 4' 0" Maximum Spacing Center to Center. See Sections & Details for Specific Information Regarding the Spacing. Place First Bolt 9" From End of Sill Plate. This Does Not Apply to Holddown Bolts. All Washers for Anchor Bolts are Simpson BP 5/8" Washers Square Cut, 3" x 3" x 0.229". Sill Pl. 4" @ Nail Sp. 4" or Closer. Anchor Bolts & Fasteners Into Green Seal Pressure Treated Plates Shall Be Hot Dipped Galvanized or Stainless Steel.
3. Where Stud Walls Frame to Concrete or Concrete Block Walls, Anchor the End Stud to the Wall 12" From the Top and Bottom of the Stud, and Above and Below the Fire Blocking. 4 Bolts Total Are Required. The Bolts Shall Be 5/8" Diameter and Be Embedded 5" Into the Concrete or Concrete Block.
4. Do Not Cut Structural Framing, (Joists, Beams, Studs, Sills or Etc.) For Pipes, Vents, Ducts, Conduit or Other Items Unless Specifically Instructed on the Construction Documents. Install Horizontal Framing Crown Up.
5. Place 2 x Solid Blocking Between All Joists and Rafters at All Points of Support and Under All Supported Transverse Partitions. 2 x Solid Blocking, Full Depth, Shall Be Placed Between All Joists and Rafters Greater than 8" In Depth as Follows: Roof Rafters - 10' Intervals, Floor Joists - 8' Intervals. Metal Joist Bridging in the Preceding Locations May Be Used as Required.

S O B A N A C U A R A S T R E E T, S U I T E B
 S A N T A B A R B A R A, C A 9 3 1 0 1
 P O B O X 2 3 8 3 4
 S A N T A B A R B A R A, C A 9 3 1 2 1
 T E L (8 0 5) 9 6 3 - 0 9 8 6
 F A X (8 0 5) 9 6 3 - 0 1 7 8
 E M A I L
 S H E R R Y @ S H E R R Y A R C H I T E C T . C O
 T H E S E D R A W I N G S A R E T H E P R O P E R T Y O F D A W N S H E R R Y . A L L D E S I G N S A N D O T H E R I N F O R M A T I O N O N T H E D R A W I N G S A R E F O R U S E O N T H E S P E C I F I C P R O J E C T A N D A R E N O T T O B E R E P R O D U C E D, C H A N G E D, C O P I E D I N A N Y F O R M O R A S S I G N E D T O A N Y T H I R D P A R T Y W I T H O U T T H E W R I T T E N P E R M I S S I O N O F D A W N S H E R R Y A R C H I T E C T .

S O B A N A C U A R A S T R E E T, S U I T E B
 S A N T A B A R B A R A, C A 9 3 1 0 1
 P O B O X 2 3 8 3 4
 S A N T A B A R B A R A, C A 9 3 1 2 1
 T E L (8 0 5) 9 6 3 - 0 9 8 6
 F A X (8 0 5) 9 6 3 - 0 1 7 8
 E M A I L
 S H E R R Y @ S H E R R Y A R C H I T E C T . C O
 T H E S E D R A W I N G S A R E T H E P R O P E R T Y O F D A W N S H E R R Y . A L L D E S I G N S A N D O T H E R I N F O R M A T I O N O N T H E D R A W I N G S A R E F O R U S E O N T H E S P E C I F I C P R O J E C T A N D A R E N O T T O B E R E P R O D U C E D, C H A N G E D, C O P I E D I N A N Y F O R M O R A S S I G N E D T O A N Y T H I R D P A R T Y W I T H O U T T H E W R I T T E N P E R M I S S I O N O F D A W N S H E R R Y A R C H I T E C T .

S O B A N A C U A R A S T R E E T, S U I T E B
 S A N T A B A R B A R A, C A 9 3 1 0 1
 P O B O X 2 3 8 3 4
 S A N T A B A R B A R A, C A 9 3 1 2 1
 T E L (8 0 5) 9 6 3 - 0 9 8 6
 F A X (8 0 5) 9 6 3 - 0 1 7 8
 E M A I L
 S H E R R Y @ S H E R R Y A R C H I T E C T . C O
 T H E S E D R A W I N G S A R E T H E P R O P E R T Y O F D A W N S H E R R Y . A L L D E S I G N S A N D O T H E R I N F O R M A T I O N O N T H E D R A W I N G S A R E F O R U S E O N T H E S P E C I F I C P R O J E C T A N D A R E N O T T O B E R E P R O D U C E D, C H A N G E D, C O P I E D I N A N Y F O R M O R A S S I G N E D T O A N Y T H I R D P A R T Y W I T H O U T T H E W R I T T E N P E R M I S S I O N O F D A W N S H E R R Y A R C H I T E C T .

S O B A N A C U A R A S T R E E T, S U I T E B
 S A N T A B A R B A R A, C A 9 3 1 0 1
 P O B O X 2 3 8 3 4
 S A N T A B A R B A R A, C A 9 3 1 2 1
 T E L (8 0 5) 9 6 3 - 0 9 8 6
 F A X (8 0 5) 9 6 3 - 0 1 7 8
 E M A I L
 S H E R R Y @ S H E R R Y A R C H I T E C T . C O
 T H E S E D R A W I N G S A R E T H E P R O P E R T Y O F D A W N S H E R R Y . A L L D E S I G N S A N D O T H E R I N F O R M A T I O N O N T H E D R A W I N G S A R E F O R U S E O N T H E S P E C I F I C P R O J E C T A N D A R E N O T T O B E R E P R O D U C E D, C H A N G E D, C O P I E D I N A N Y F O R M O R A S S I G N E D T O A N Y T H I R D P A R T Y W I T H O U T T H E W R I T T E N P E R M I S S I O N O F D A W N S H E R R Y A R C H I T E C T .

DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

S 1.3

ACCESSORY DWELLING UNIT
STRUCTURAL GENERAL NOTES

NOTICE TO OWNER

The engineer does not warrant or guarantee the accuracy and completeness of the work herein beyond a reasonable diligence and this structural design has incorporated a reasonable assumption of economy of design. If any omissions, mistakes, or discrepancies are found to exist within the work product, the engineer shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the engineer of such conditions shall absolve him from any responsibility for the consequences of such failure. The contractor shall be licensed and insured, otherwise the engineer does not assume any responsibility for the engineers work product. Contractor shall verify all dimensions, elevations and shall evaluate the existing site and design conditions prior to starting any work. The contractor shall promptly and before such conditions are disturbed, notify the design professionals in writing of subsurface or latent physical conditions at the site differing materially from those indicated in the documents or unknown physical conditions at the site of an unusual nature differing materially from those ordinarily encountered and generally recognized as inherent in the work of the character provided for in this product.

Additions & Remodels:

This report does not cover latent defects or the evaluations of geological conditions, exterior drainage or household pests and no assurance is given that the subject home or its systems are built or maintained in accordance with building codes. The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work and shall be in strict accordance with the best standard specifications of materials and applications. The owner prior to installation shall approve all finish material. The contractor is responsible for installing all required temporary bracing and shoring to insure the safety of the work until is completed. He shall insure that all applicable safety laws are strictly enforced and shall protect all work and materials from damage.

Engineer always recommends a soils report from the owner. If one is not provided, the engineer shall design footings per CBC2022 or latest revision). Site observation and site review shall be per separate contract with the owner. Should any dispute arise regarding this work, all parties agree that the sole remedy for any such dispute shall be decided by the procedures provided by the American Arbitration Association and this arbitration shall be binding upon all parties and if the engineer is found to have performed his work per contract or agreement, then the engineer shall be reimbursed for reasonable attorney's fees and in addition if it is found that a "bad faith" claim was filed or owner cardinal changes made, punitive or treble damages shall be recovered from the claimant and said claimant shall be responsible for consequential, direct, impact and loss of efficiency damages to the engineer. Under no circumstances shall engineer pay claimant attorney fees or other costs associated with this project.

SPLICES

Conform To ACI 318-19. Refer To "Lap Splice" 48 Bar Dia. Typical Splices. The Splices Indicated On Individual Sheets Control Over the Schedule. Use Class B Splices Unless Noted. Mechanical Connections May Be Used When Approved By the Engineer.

FIELD BENDING

Conform To ACI 318-19, "Field Bending Or Straightening." Bar Sizes #3 Through #5 May Be Field Bent Cold the First Time. Other Bars Require Preheating. Do Not Twist Bars.

CORROSION PROTECTION

1. Metal In Contact With Moisture and Treatment Products Shall Be Protected Against Corrosion.
2. Protection Can Be Paint, Galvanization, Or Use Of Stainless Steel, (Not Type 304).
3. This Includes, But is Not Limited To:
 Reinforcing Steel
 Sheet Metal
 Fasteners & Nails
 Nuts, Bolts, Washers, Screws & Lag Bolts
 Shapes, Plates & Bars
4. Processes Shall Be In Accordance With ASTM 153, ASTM 123, ASTM B695, Or ASTM A653.

PRODUCT	GALVANIZING	THICKNESS OR AMOUNT
SHAPES	A123	10 MILS DFT
PLATES	A123	10 MILS DFT
BARs	A123	10 MILS DFT
SHEET METAL CONNECTORS	A123	2 OZ PER SF
FASTENERS	A123	2 OZ PER SF
NAILS	TUMBLLED	N/A

5. Factory Coatings of G185, For Sheet Metal Products is Acceptable.
6. The Following Standards Shall Apply:
 A143 B487 F1789 A767
 A780 B6 A384
 A90 E367 A47
7. Connector Assemblies Primarily Nuts, Bolts, and Washers Shall Be Shipped Assembled To Ensure Proper Fit.
8. Alter Threaded Product Dimension to Ensure Fit After Galvanization.

SPECIAL INSPECTION

CONCRETE CONSTRUCTION SPECIAL INSPECTIONS * (per CBC 1704.4 & Table 1704.4)

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REF. STANDARD	IBC REFERENCE
1. Inspection of Reinforcing Steel Welding In Accordance with Table 1704.3 Item 5b.	-	-	AWS D1.4; ACI 318: 3.5.2	-
2. Verifying Use of Required Design Mix.	-	X	ACI 318: Ch. 4, 5.2 - 5.4	1904.2.2, 1913.2, 1913.3
3. Inspection of Adhesive/Epoxyed Anchors and Their Installation	X	-	ICC Evaluation Report	
4. Post-Installed Anchors (wedge/expansion type)	-	X	ICC Evaluation Report	

- * Concrete Inspections are Not Required Where Structure Qualifies for Exceptions Listed Below (from CBC)
1. Isolated Spread Footing of Buildings Three Stories or Less in Height that are Fully Supported on Earth or Rock
 2. Continuous Footings of Buildings Three Stories or Less in Height that are Fully Supported on Earth or Rock Where:
 - 2.1. The Footings Support Walls of [only] Light - Frame Construction;
 - 2.2. <omitted - not applicable>
 - 2.3. The Design of the Footing is Based on a Specified Compressive Strength, f_c, No Greater Than 2500 PSI
 3. Nonstructural Concrete Slabs Supported Directly on the Ground, Including Pre-stressed Slabs on Grade, Where the Effective Pre-Stress In the Concrete is Less Than 150 psi
 4. <omitted - not applicable>
 5. Concrete Patios, Driveways, and Sidewalks, on Grade.

ADDITIONAL SPECIAL INSPECTIONS (per CBC 1704.2, 1704.6, & 1707.3)

VERIFICATION AND INSPECTION TASK	CONTINUOUS	PERIODIC
1. Review of Procedures for Fabrication of Structural Load-Bearing Members and Assemblies Performed on the Premises of a Fabricator's Shop, Where the Fabricator is Not Registered and Approved To Perform Such Work Without Special Inspection. See CBC 1704.2.	-	
2. Field Gluing Operations of Wood Elements of the Seismic-Force-Resisting System.	X	-
3. Nailing, Bolting, Anchoring and Other Fastening of Components Within the Seismic-Force Resisting System, Including Wood Shear Walls, Wood Diaphragms, Drag Struts, Braces, Shear Panels and Holdowns. (Exception: These Inspections are Not Required for These Elements Where the Fastener Spacing of the Sheathing is More Than 4" O.C.)	-	X

ADDITIONAL NOTES REGARDING SPECIAL INSPECTORS

CBC 1704.1: The Special Inspector Shall Be a Qualified Person Who Shall Demonstrate Competence, to the Satisfaction of the Building Official, for Inspection of the Particular Type of Construction or Operation Requiring Inspection. The Special Inspector Shall Observe the Work Assigned for Conformance With the Approved Design Drawing, Approved Specifications, and the Applicable Workmanship Provisions of the CBC. The Special Inspector Shall Furnish Inspection Reports to the Building Official, the Engineer or Architect of Record, and Other Designated Persons as Directed in Chapter 17 of the CBC. All Discrepancies Shall Be Brought to the Immediate Attention of the Contractor for Correction and then, if Uncorrected, to the Appropriate Design Authority and to the Building Official. Engineers May Be Commissioned, Upon Request, to Perform Special Inspections of Wood Construction and Epoxy Installations.

S O B A N A C U A T A S T R E E T, S U I T E 1 0 4
 S A N T A B A R B A R A, C A 9 3 1 0 1
 P. O. B O X 2 3 8 2 4
 S A N T A B A R B A R A, C A 9 3 1 2 1
 T E L: (8 0 5) 9 6 3 - 0 9 8 6
 F A X: (8 0 5) 9 6 3 - 0 1 7 8
 E M A I L: g f r o l e n k o @ v e r i z o n . n e t

S H E R R Y & A R C H I T E C T S
 9 0 2 W E S T I S L A Y S T R E E T
 S A N T A B A R B A R A, C A 9 3 1 0 1

STATEMENT OF VOLUNTARY SERVICES FOR NEW 5-09H WALL/LAT
 REPAIR WORK ONLY. THE WORK IS TO BE COMPLETED BY
 CAR GARAGE TO A NEW ACCESSORY DWELLING UNIT.

DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

DATE	DESCRIPTION

Plywood Shear Panel Schedule

Sym	Structural I	Wall Framing	Application	N.D.S.	
				Seismic	Wind
A	15" 32"	2x4	Apply One Side	340#/Ft.	475#/Ft.
B	↓	↓	↓	510#/Ft.	715#/Ft.
C	↓	↓	↓	665#/Ft.	930#/Ft.
D	↓	3x4	↓	870#/Ft.	1217#/Ft.

Sym	Max. Shear Used	Nailing Schedule			Anchor Bolt "φ" @ "O.C."	Retro-Fit - Threaded Rod W/ 7" Embedment / With Simpson "Set XP"
		Shear Panel B.N. /Edge	Interim Field	Sill Plate Nailing		
A	340#/FT	10d @ 6" O.C.	12" O.C.	16d @ 4" O.C.	5/8"φ @ 32" O.C.	5/8"φ @ 32" O.C.
B	510#/FT	@ 4" O.C.	↓	**SDS @ 6" O.C. w/ 3/4" Comp. Lumber	@ 24" O.C.	@ 24" O.C.
C	665#/FT	@ 3" O.C.	↓	**SDS @ 6" O.C. w/ 1 3/4" Comp. Lumber	@ 16" O.C.	@ 16" O.C.
D	870#/FT	@ 2" O.C.	↓	**SDS @ 6" O.C. w/ 3 1/2" Comp. Lumber	@ 16" O.C.	@ 16" O.C.

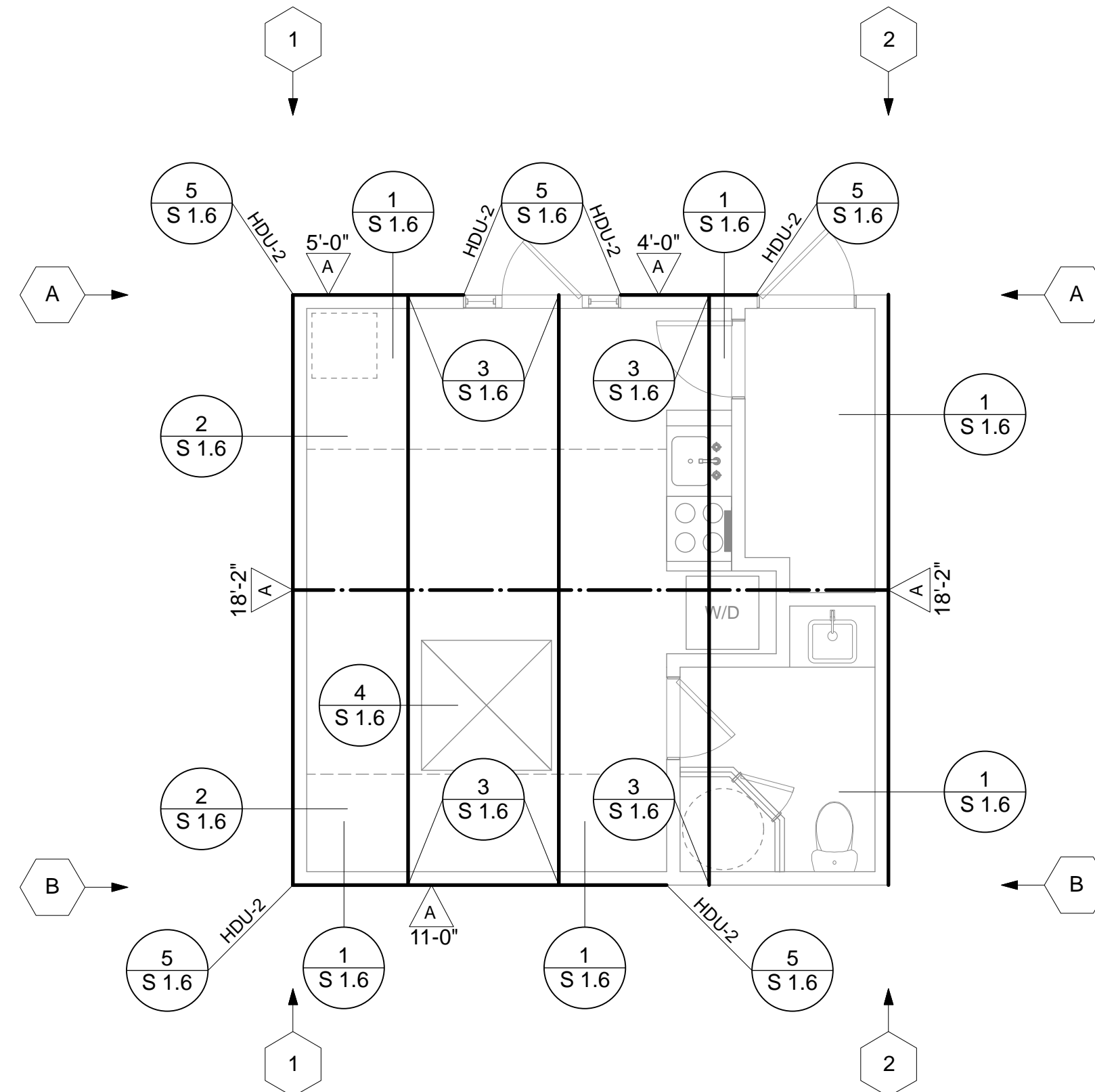
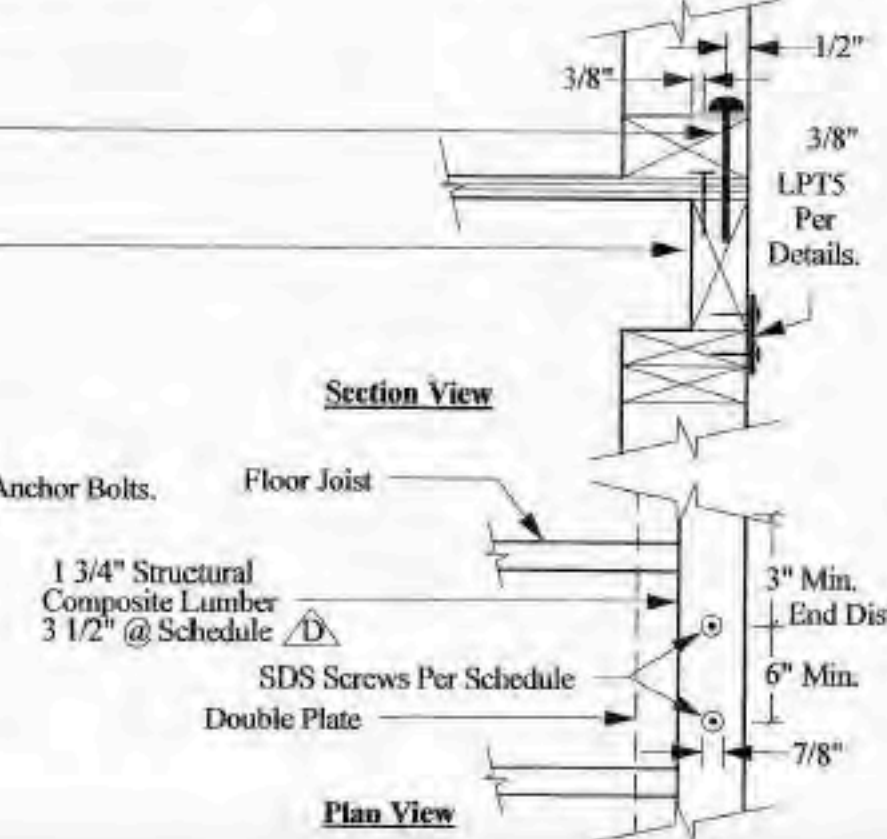
Notes:
 May Use 3x4 Studs in Lieu of 2x6 Studs
 ** 3x Sill w/ SDS 1/4" x 6" Self Drilling Screws. Per Shear Schedule to Hkg. Below.

Continuous
 ** 1 3/4" Structural Composite Lumber
 ** 3 1/2" Structural Composite Lumber @ Schedule D.
 Use 3x Blocking at all Panel Edges.
 Multiple 2x is Acceptable with Stitch Nailing
 + Stagger Nailing

Minimum Size for Square Plate Washers

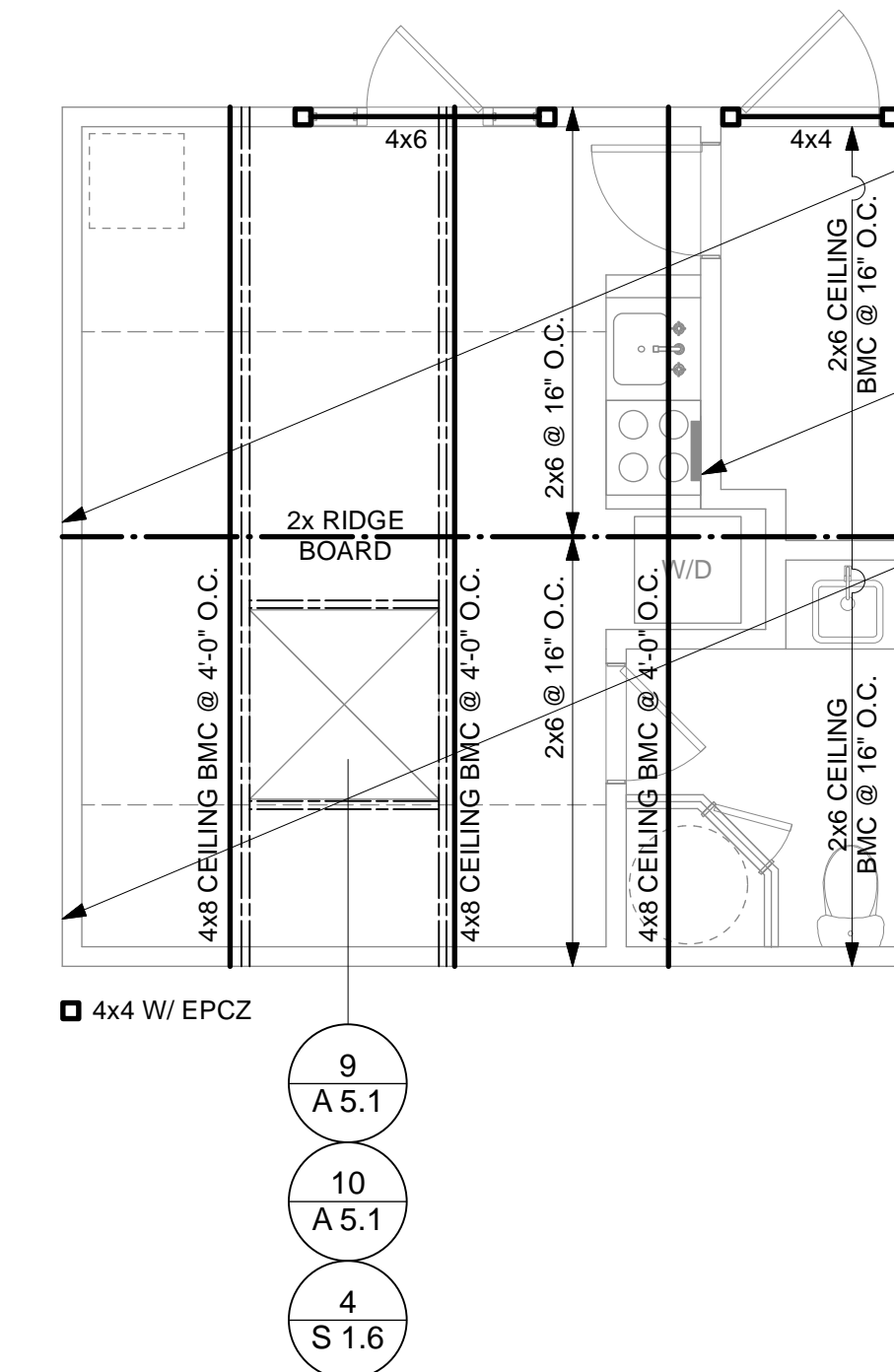
Plate Washers shall be Provided for all Plywood Shear Wall Sill Plate Anchor Bolts.

Bolt Size	Plate Size
5/8"φ	.229 x 3" x 3"
3/4"φ	5/16" x 3" x 3"
7/8"φ	5/16" x 3" x 3"



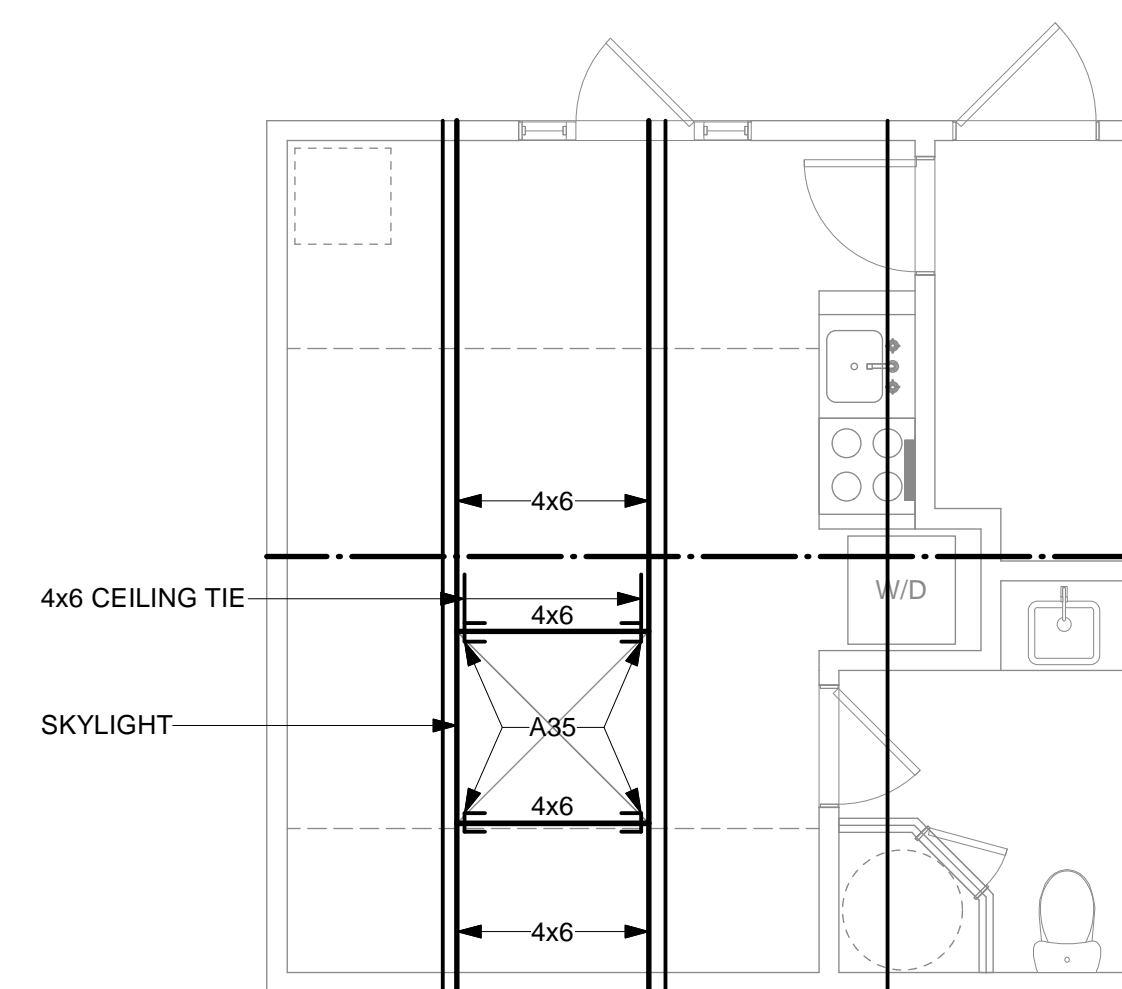
LATERAL ANALYSIS

SCALE: 1/4" = 1'-0"



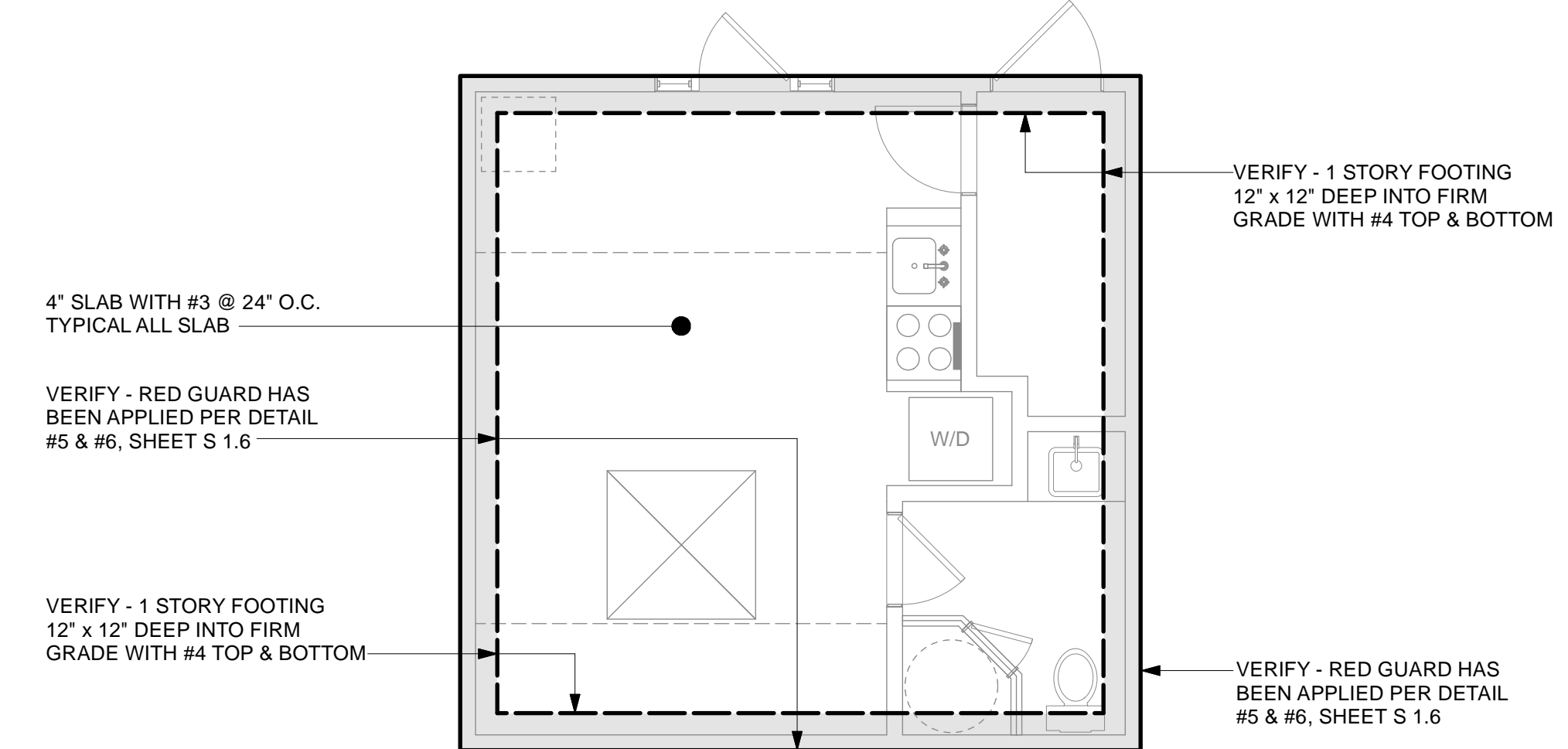
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



SKYLIGHT OPTION

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

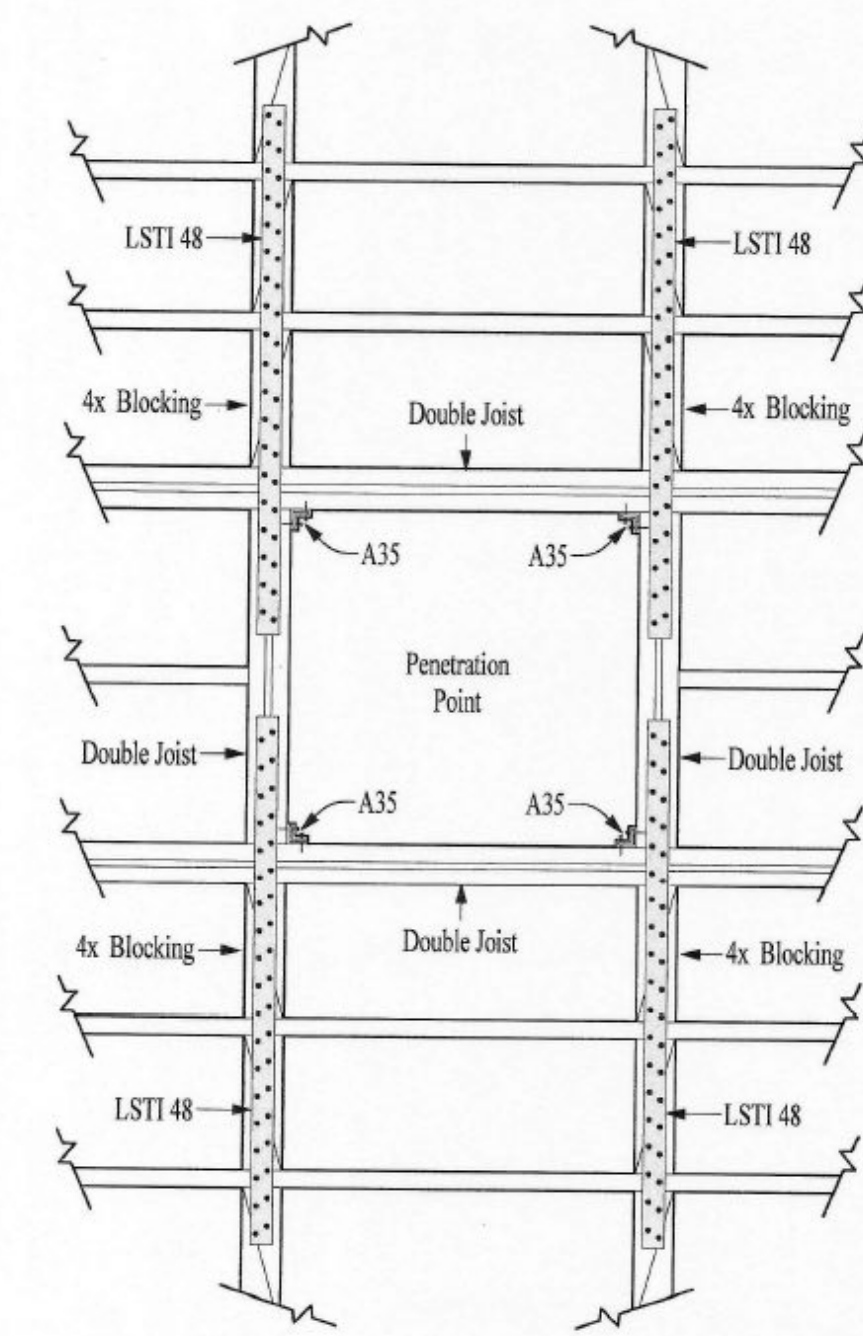
S H E R R Y & A S S O C I A T E S
 ARCHITECTS
 608 ANACAPA STREET, SUITE B
 SANTA BARBARA, CA 93101
 MAIL TO:
 P.O. BOX 23834
 SANTA BARBARA, CA 93121
 TEL: (805) 963-0986
 FAX: (805) 963-0178
 E.M.A.L.I.
 ENGINEER
 THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY ARCHITECT.

STATEMENT OF VOLUNTIONS PER ENR 9203-0088 FOR NEW 5-0TH WALL AT PER PROPERTY LINE PER ENR 9203-0088 FOR GARAGE TO A NEW ACCESSORY DWELLING UNIT

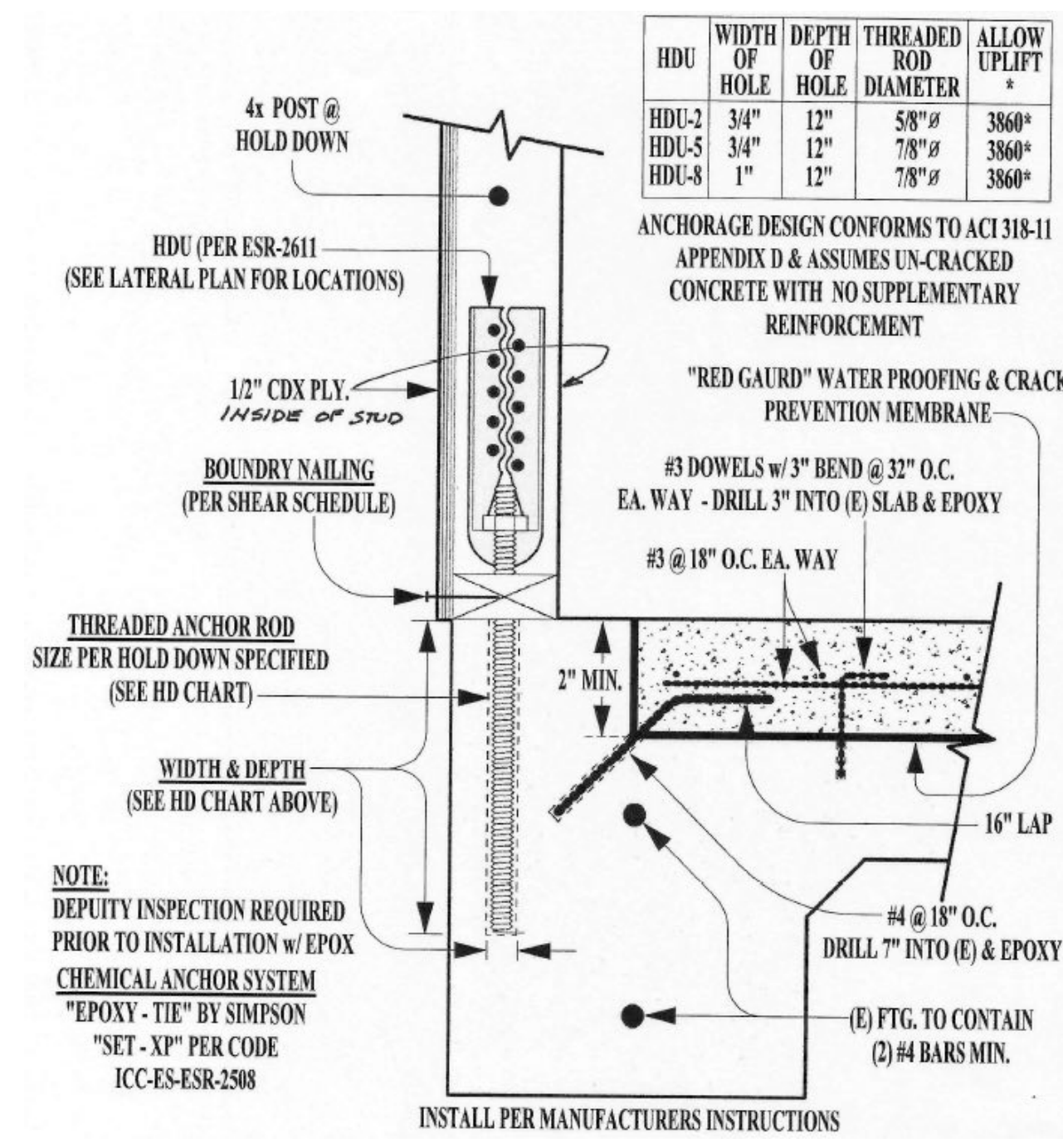
902 WEST ISLAY STREET
 SANTA BARBARA, CA 93101

DATE	DESCRIPTION
03/11/24	1ST PLANNING DEPT. SUBMITTAL
05/15/24	2ND PLANNING DEPT. SUBMITTAL
07/08/24	3RD PLANNING DEPT. SUBMITTAL

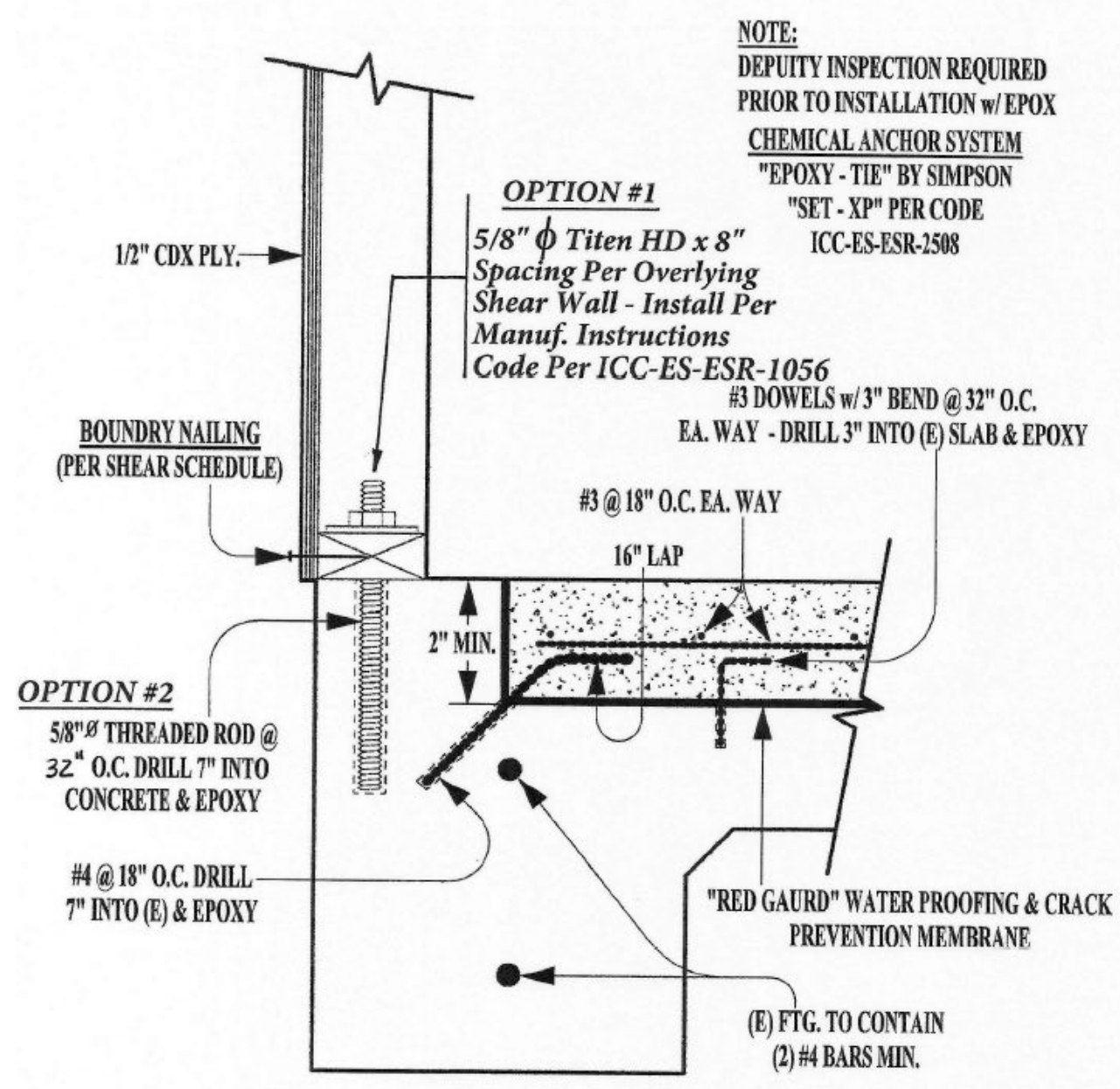
S 1.5
 ACCESSORY DWELLING UNIT
 STRUCTURAL ENGINEERING



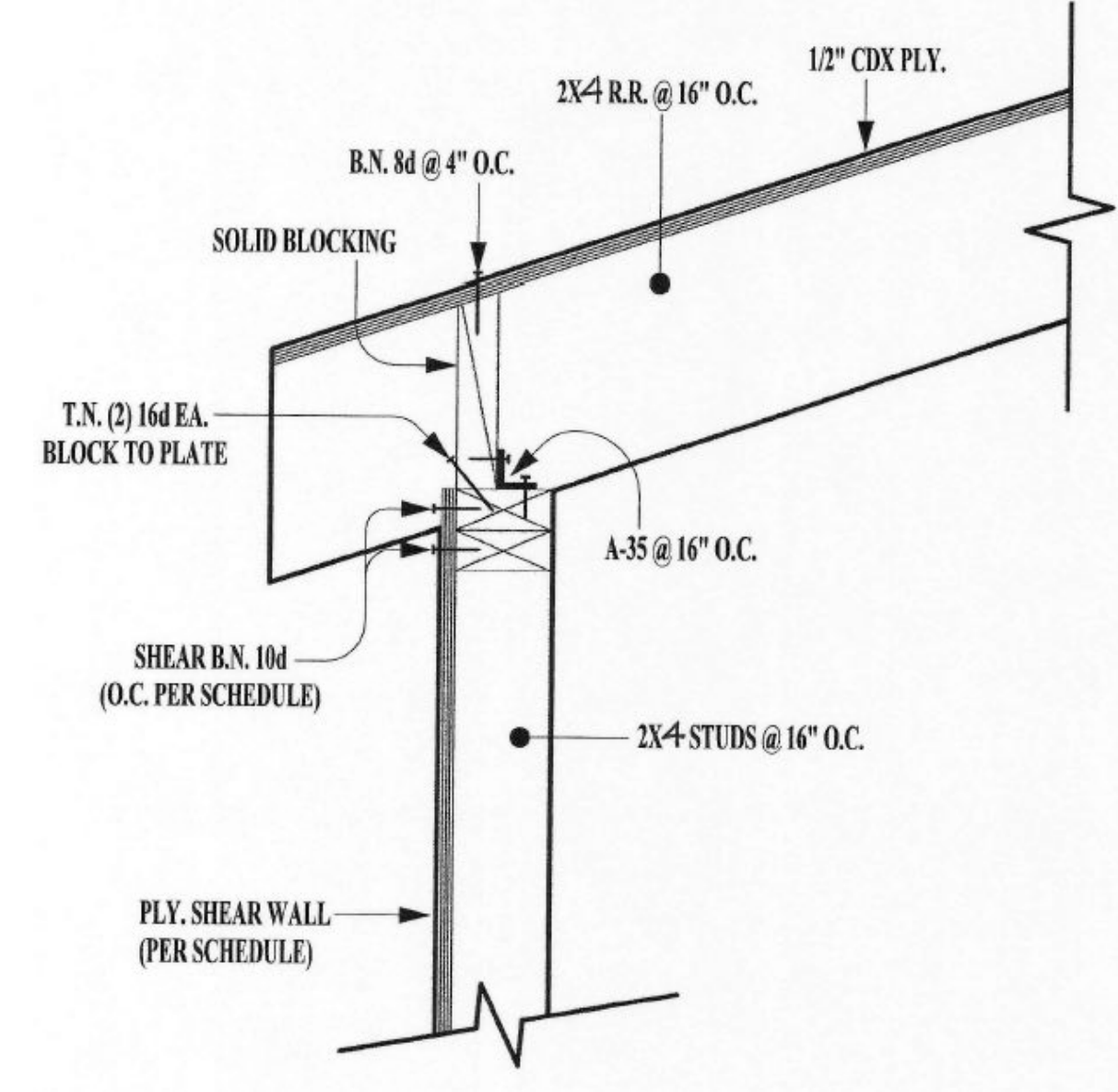
4 DIAPHRAGM PENETRATION
ROOF OR FLOOR JOIST PENETRATION - N.T.S.



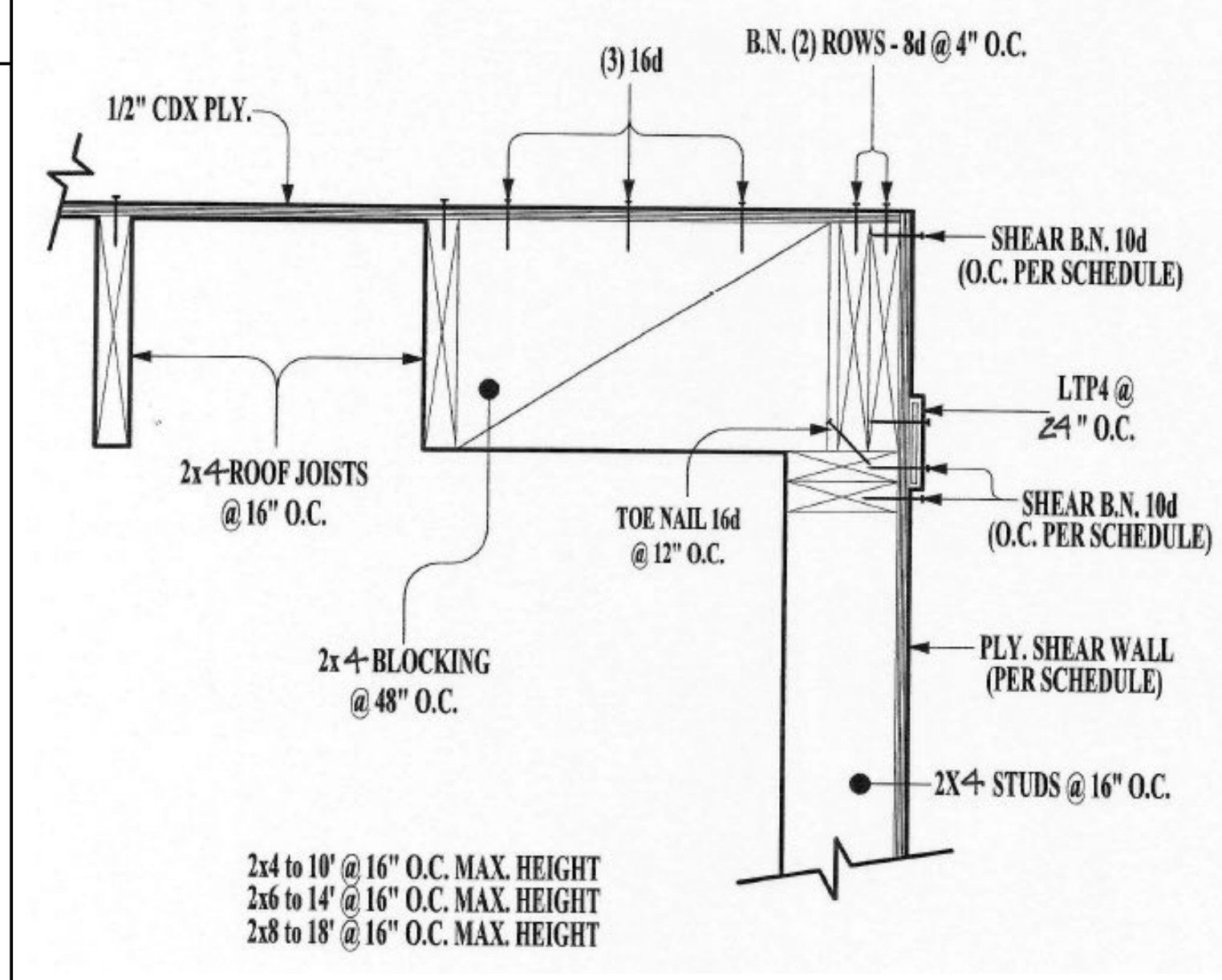
5 RETRO-FIT HOLD DOWN
RETRO-FIT HOLD DOWN W/ STEM WALL - N.T.S.



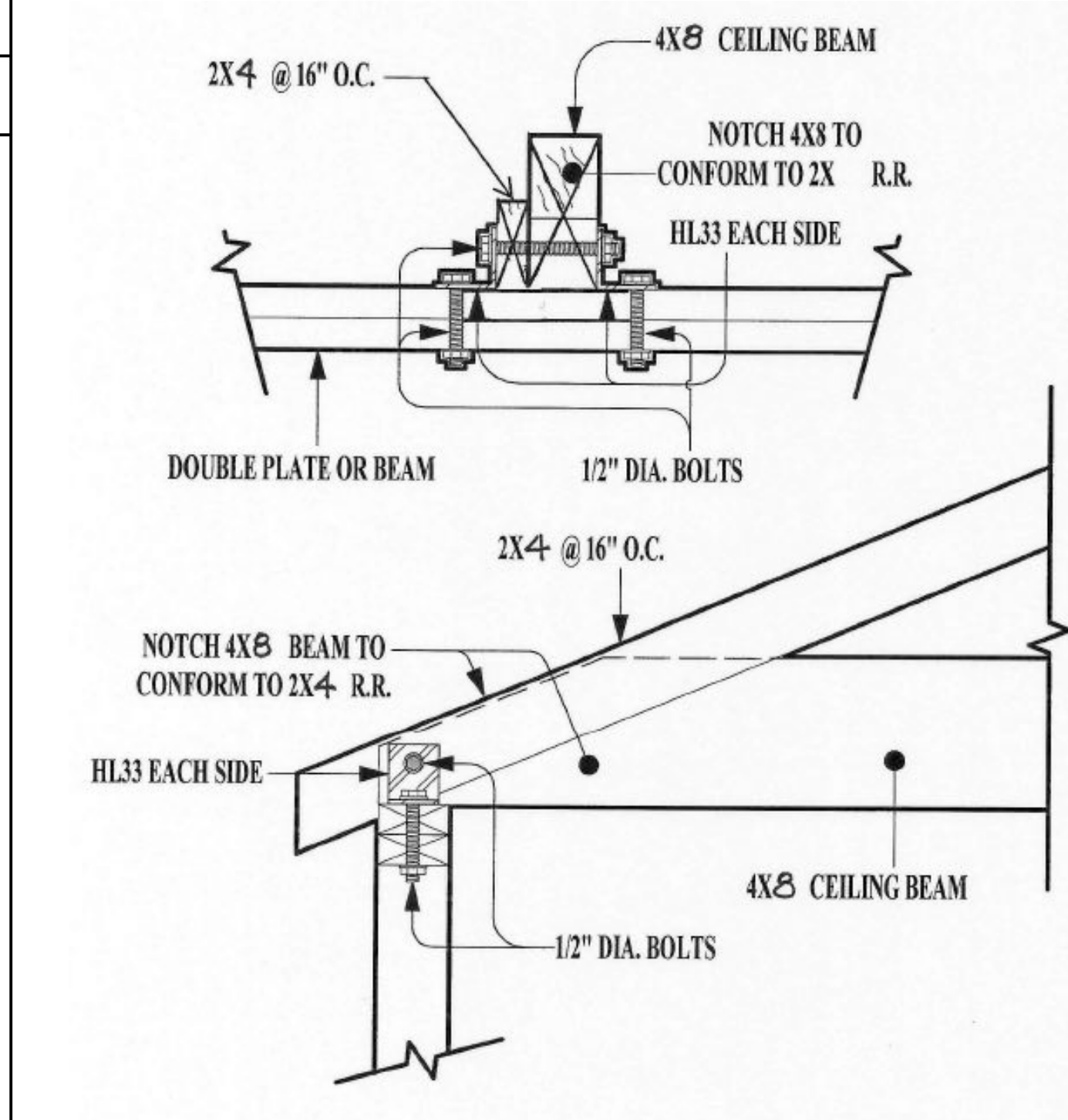
6 RETRO-FIT ANCHOR BOLT
RETRO-FIT ANCHOR BOLT W/ STEM WALL - N.T.S.



1 SHEAR TRANSFER - ROOF TO WALL
ROOF RAFTERS PERPENDICULAR - N.T.S.



2 SHEAR TRANSFER - ROOF TO WALL
RAFTERS PARALLEL - N.T.S.



3 SHEAR TRANSFER
FRAMING DETAIL - N.T.S.

606 ANACAPA STREET, SUITE B
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 SANTA BARBARA, CA 93101
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DATE	DESCRIPTION
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07/08/24	3RD PLANNING DEPT. SUBMITTAL

**902 W. ISLAY STREET
SANTA BARBARA, CA
PHOTO PAGES**



FACING 902 W. ISLAY STREET FROM W. ISLAY STREET
(PRIMARY RESIDENCE)



FACING 902 W. ISLAY STREET FROM GILLESPIE STREET
(PRIMARY RESIDENCE)

SHERRY & ASSOCIATES ARCHITECTS
608 Anacapa Street, Suite B, Santa Barbara, CA 93101
phone: 805.963.0986 fax: 805.963.0178

**902 W. ISLAY STREET
SANTA BARBARA, CA
PHOTO PAGES**



FACING 902 W. ISLAY STREET FROM THE INTERSECTION OF
W. ISLAY STREET & GILLESPIE STREET
(PRIMARY RESIDENCE)



NEXT DOOR NEIGHBOR AT 1811 GILLESPIE STREET

SHERRY & ASSOCIATES ARCHITECTS
608 Anacapa Street, Suite B, Santa Barbara, CA 93101
phone: 805.963.0986 fax: 805.963.0178

**902 W. ISLAY STREET
SANTA BARBARA, CA
PHOTO PAGES**



NEXT DOOR NEIGHBOR AT 908 W. ISLAY STREET



LOOKING ACROSS THE STREET TOWARDS 1735 GILLESPIE STREET
FROM 902 W. ISLAY STREET

SHERRY & ASSOCIATES ARCHITECTS

608 Anacapa Street, Suite B, Santa Barbara, CA 93101
phone: 805.963.0986 fax: 805.963.0178

**902 W. ISLAY STREET
SANTA BARBARA, CA
PHOTO PAGES**



(E) DETACHED GARAGE TO BE CONVERTED TO NEW
ACCESSORY DWELLING UNIT

SHERRY & ASSOCIATES ARCHITECTS

608 Anacapa Street, Suite B, Santa Barbara, CA 93101
phone: 805.963.0986 fax: 805.963.0178

- ★ 1 902 W Islay St
- 2 1735 Gillespie St
- 3 912 W Islay St
- 4 922 W Islay St
- 5 921 W Pedregosa St
- 6 835 W Pedregosa St
- 7 826 W Valerio St
- 8 1705 Villa Ave
- 9 814 W Valerio St
- 10 1736 Villa Ave
- 11 1729 Chino St
- 12 800 W Valerio St
- 13 1619 Chino St
- 14 1601 Chino St
- 15 835 W Arrellaga St
- 16 836 Alberta Ave
- 17 1523 Chino St
- 18 901 W Valerio Ave
- 19 916 W Valerio Ave
- 20 921 W Islay St
- 21 935 W Islay St
- 22 1728 Robbins St
- 23 1004 W Valerio St
- 24 936 W Valerio St
- 25 935 W Valerio St
- 26 1023 W Valerio St
- 27 935 W Pedregosa St
- 28 1905 Chino St
- 29 1835 San Andres St
- 30 711 W Valerio St
- 31 710 W Arrellaga St
- 32 1526 San Andreas St
- 33 1524 Chino St
- 34 1435 Gillespie St
- 35 909 W Micheltorena St
- 36 915 W Micheltorena St
- 37 1002 W Micheltorena St
- 38 1401 Robbins St
- 39 1425 Robbins St
- 40 935 W Micheltorena St

Key: ● corner lot ● white or block wall ● hedge (< 8ft)



1 902 W Islay St



4 922 W Islay St



2 1735 Gillespie St



5 921 W Pedregosa St



3 912 W Islay St



6 835 W Pedregosa St



7

826 W Valerio St



10

1736 Villa Ave



13

1619 Chino St



8

1705 Villa Ave



11

1729 Chino St



14

1601 Chino St



9

814 W Valerio St



12

800 W Valerio St



15

835 W Arrellaga St



16 836 Alberta Ave



19 916 W Valerio Ave



17 1523 Chino St



20 921 W Islay St



18 901 W Valerio Ave



21 935 W Islay St



22

1728 Robbins St



25

935 W Valerio St



28

1905 Chino St



23

1004 W Valerio St



26

1023 W Valerio St



29

1835 San Andres St



24

936 W Valerio St



27

935 W Pedregosa St



30

711 W Valerio St



31 710 W Arrellaga St



34 1435 Gillespie St



37 1002 W Micheltorena St



40 935 W Micheltorena St



32 1526 San Andreas St



35 909 W Micheltorena St



38 1401 Robbins St



33 1524 Chino St



36 915 W Micheltorena St



39 1425 Robbins St

