



BECK - KABASHIMA RESIDENCE

485 BRAEMAR RANCH LANE

SANTA BARBARA, CALIFORNIA 93109

ADDITION AND ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE

GENERAL REQUIREMENTS

ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL WORKMANLIKE MANNER BY A LICENSED CONTRACTOR AND SHALL COMPLY WITH THE FOLLOWING:

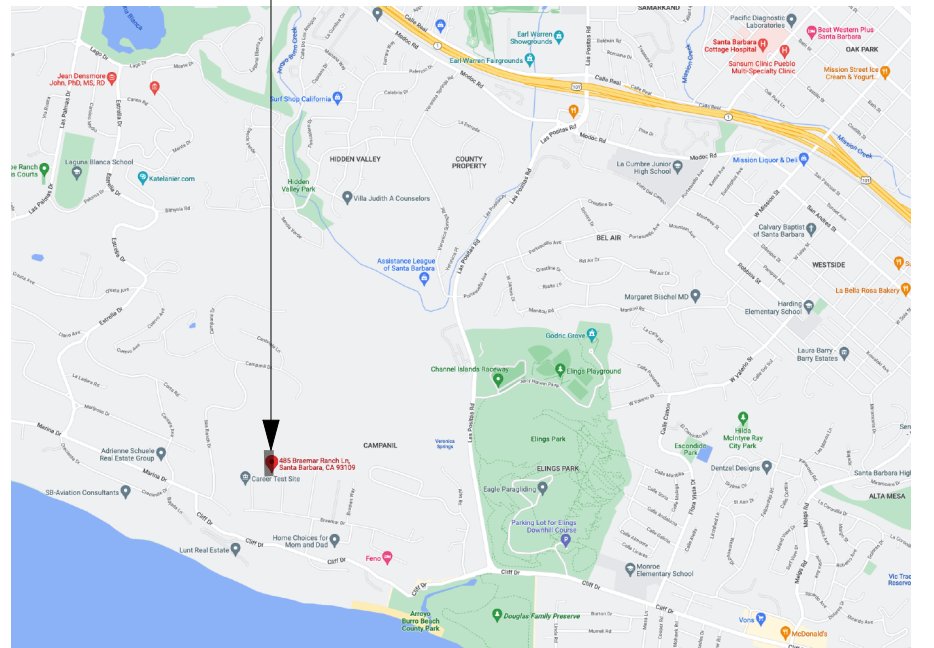
- THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- THIS PROJECT SHALL COMPLY WITH:
 - 2022 CALIFORNIA BUILDING CODE (TITLE 24)
 - 2022 CRC (OR CURRENT EDITION)
 - 2022 CMC (OR CURRENT EDITION)
 - 2022 CEC (OR CURRENT EDITION)
 - CALIFORNIA EFFICIENCY STANDARDS
 - CALIFORNIA GREEN BUILDING STANDARDS 2022
 - THE NEW ZONING ORDINANCE TITLE 28
 - CITY OF SANTA BARBARA ORDINANCE #5639
- ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
- STANDARD SPECIFICATIONS OF ASTM.
- IN CASE OF CONFLICTS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- "OR EQUAL": THE CONTRACTOR SHALL SUBMIT FOR THE DESIGNER'S AND BUILDER'S APPROVAL ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED.

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. EACH CONTRACTOR AND SUBCONTRACTOR SHALL REPORT TO DESIGNER AND PROJECT SUPERINTENDENT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK. CLIENT'S ARCHITECT AND PROJECT SUPERINTENDENT TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR AND SUB-CONTRACTOR SHOULD ANY DISCREPANCY, ERROR, OMISSION, ADDITION, OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK. SUB-CONTRACTOR SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTOR PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT OR BUILDER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTIONS MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY. THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER, RAIN, WIND, STORMS, FROST, HEAT OR BREAKAGE SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FREE FROM INJURY OR DAMAGE. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS BELONGING TO HIM FROM IN AND ABOUT THE BUILDING AND LEAVE WORK SITE "BROOM CLEAN" AT THE END OF THE DAY'S WORK. ALL WORK LIKELY TO BE DAMAGED SHALL BE COVERED. ANY WORK DAMAGED DUE TO FAILURE OF PROTECTION AS DEFINED ABOVE SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE. WORKMANSHIP: COMPLIANCE WITH DRAWINGS AND/OR SPECIFICATIONS WITH REGARD TO MATERIALS AND METHODS OF ASSEMBLY WILL NOT, IN ITSELF, ASSURE ACCEPTANCE OF THE WORK. OF EQUAL IMPORTANCE IS GOOD WORKMANSHIP. THE LACK OF WHICH WILL BE SUFFICIENT CAUSE TO REFUSE ACCEPTANCE OF THE WORK.

FAR CALCULATOR

ENTER Project Address: 485 BRAEMAR RANCH LANE	
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	5,172
ENTER Zone ONLY from drop-down list: A-1 or RS-1A	
ENTER Net Lot Area (in sq. ft.):	60,757
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	GUIDELINE**
ENTER Average Slope of Lot:	13.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	No
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC §28.15 or §30.20.030	
FLOOR AREA RATIO (FAR):	0.085
Lot Size Range:	>= 20,000 sq. ft.
MAX FAR Calculation (in sq. ft.):	4,430 + (0.013 x lot size in sq. ft.)
100% MAX FAR:	0.086
100% MAX FAR (in sq. ft.):	5,220
85% of MAX FAR (in sq. ft.):	4,437
80% of MAX FAR (in sq. ft.):	4,176
The 5,172 square foot proposed total is 99% of the MAX FAR.*	

PROJECT ADDRESS:
485 BRAEMAR RANCH LANE
SANTA BARBARA, CA 93109



VICINITY MAP
NOT TO SCALE

BEST MANAGEMENT PRACTICES

City of Santa Barbara
Building & Safety Division
Best Management Practices

Community Development
630 Garden Street
(805) 564-4800

Best Management Practices for Construction Activities:

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete wastes on site until they can be disposed of as a solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other

PROFESSIONALS

ARCHITECT: SHERRY & ASSOCIATES ARCHITECTS, INC.
608 ANACAPA STREET, STE. B
SANTA BARBARA, CA 93101

AGENCY CONTACT

CITY OF SANTA BARBARA: COMMUNITY DEVELOPMENT
630 GARDEN STREET
SANTA BARBARA, CA 93101
BUILDING DEPT: 564-5485
PLANNING DEPT: 564-5470

ELECTRICAL AGENCY: SOUTHERN CALIFORNIA EDISON
333 LOVE PLACE
SANTA BARBARA, CA 93117

GAS AGENCY: SOUTHERN CALIFORNIA GAS
P.O. BOX 8466
SANTA BARBARA, CA 93160-6466
(805) 681-8060

WATER/ SEWER AGENCY: CITY OF SANTA BARBARA
PUBLIC WORKS DEPT.
630 GARDEN STREET
SANTA BARBARA, CA 93101
(805) 564-5377

STORM WATER MANAGEMENT

PROPOSED NEW/ RE-DEVELOPED IMPERVIOUS SURFACES TOTALS +/- 2,403 SF. PROJECT SHALL COMPLY WITH TIER 3 SWMP REQUIREMENTS

LOT COVERAGE: +/- 14,894 SF

(E) IMPERVIOUS AREA: +/- 14,894 SF

NEW AND RE-DEVELOPED IMPERVIOUS AREA: +/- 139 SF
(N) ADDITION AT LOWER LEVEL LANDSCAPE AREAS:

PROPOSED REDEVELOPED IMPERVIOUS AREA AT UPPER LEVEL ADDITION, NEW AWNINGS OVER PAVED SURFACES AND RE-ROOF AREAS: +/- 2,491 SF

TOTAL NEW AND RE-DEVELOPED IMPERVIOUS AREA: +/- 2,630 SF

PROJECT STATISTICS

OWNER: MARCUS BECK & DANA KABASHIMA
485 BRAEMAR RANCH LANE
SANTA BARBARA, CA 93109

PROJECT ADDRESS: 485 BRAEMAR RANCH LANE
SANTA BARBARA, CA 93109

APN: 047-030-029

LAND USE ZONE: A-1/S-D-3

PROPERTY USE: EXISTING: SINGLE FAMILY RESIDENCE
PROPOSED: ADDITIONALL DWELLING UNIT

AVERAGE SLOPE: +/- 13%

HIGH FIRE: YES

FLOOD ZONE: NO

HILLSIDE DESIGN DISTRICT: YES

LOT SIZE: +/- 1.41 ACRES / 60,757.16 SQ FT

SQUARE FOOTAGE BREAKDOWN

EXISTING SF:	NET	GROSS
(E) SINGLE FAMILY RESIDENCE:		
(E) MAIN RESIDENCE:	± 3,072 SF	± 3,308 SF
(E) ATTACHED 2-CAR GARAGE	± 503 SF	± 541 SF
TOTAL EXISTING MAIN RESIDENCE SF	± 3,575 SF	± 3,849 SF
(E) DECK SQUARE FOOTAGE:		
(E) POOL DECK:	± 3,475 SF	
TOTAL EXISTING DECK SF	± 3,475 SF	
(E) ACCESSORY STRUCTURE: ADU CONVERSION UNDER SEPARATE PERMIT NO CHANGES TO SF)		
(E) ATTACHED 2-CAR GARAGE	± 445 SF	± 484 SF
TOTAL EXISTING ACCESSORY SF	± 445 SF	± 484 SF
(E) CARPORT:		
(E) CARPORT	± 219 SF	± 252 SF
TOTAL EXISTING CARPORT SF	± 219 SF	± 252 SF
MAIN RESIDENCE PROPOSED SF:		
(E) FIRST FLOOR	± 3,072 SF	± 3,308 SF
(N) ADDITION AT ENTRY	± 110 SF	± 143 SF
(N) ADDITION AT KITCHEN:	± 86 SF	± 103 SF
(N) SECOND FLOOR ADDITION:	± 737 SF	± 848 SF
(E) ATTACHED 2-CAR GARAGE:	± 503 SF	± 541 SF
TOTAL PROPOSED MAIN RESIDENCE SF:	± 4,508 SF	± 4,943 SF
PROPOSED DECK SQUARE FOOTAGE:		
(E) POOL DECK:	± 3,427 SF	
(N) SECOND FLOOR DECK:	± 160 SF	
TOTAL PROPOSED DECK SF	± 3,587 SF	
MAIN RESIDENCE AREA OF INTERIOR REMODEL:		
FIRST FLOOR AREA OF REMODEL	± 855 SF	
TOTAL AREA OF REMODEL	± 855 SF	
PARKING ALL PARKING IS EXISTING TO REMAIN, NO CHANGES TO NUMBER OR LOCATION OF PARKING SPACES PROPOSED		
EXISTING PARKING/ PROPOSED (NO CHANGES):		
(E) COVERED PARKING SPOTS:		3 SPACES
(E) UNCOVERED PARKING SPOTS:		3 SPACES
TOTAL EXISTING PARKING SPACES:		6 SPACES

PROJECT DESCRIPTION

ADDITION AND ALTERATION TO EXISTING ONE-STORY SINGLE FAMILY RESIDENCE. PROJECT SCOPE TO INCLUDE:

EXTERIOR

- NEW +/- 848 SF SECOND STORY ADDITION WITH NEW BEDROOM, BATHROOM AND PLAY ROOM
- NEW +/- 143 SF ADDITION AT ENTRY
- NEW +/- 103 SF ADDITION AT KITCHEN
- DOOR AND WINDOW ALTERATIONS
- NEW AWNINGS
- REMOVE DECORATIVE PILASTERS AND WINDOW FRAMES
- ALTERATIONS TO EXTERIOR SIDING MATERIALS PER PLAN
- NEW DECK AT SECOND FLOOR ADDITION

INTERIOR

- NEW HALF BATH AT (E) ENTRY CLOSETS
- RAISE CEILING AT (E) LIVING ROOM
- REMODEL (E) KITCHEN
- REMODEL (E) PRIMARY AND SECONDARY BATHS

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ADDITION AND ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE

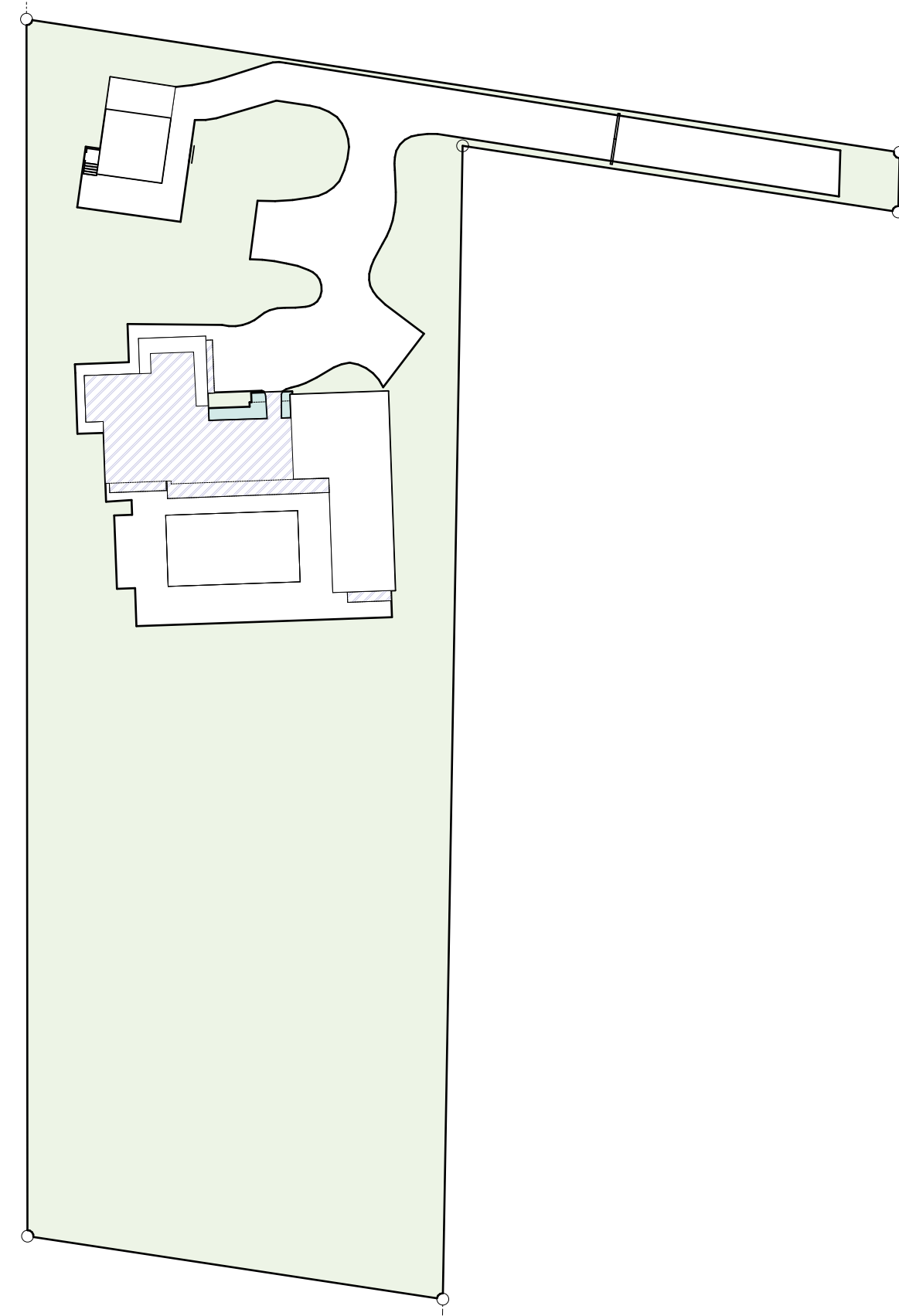
BECK KABASHIMA RESIDENCE
 485 BRAEMAR RANCH LANE
 SANTA BARBARA, CA

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TITLE SHEET

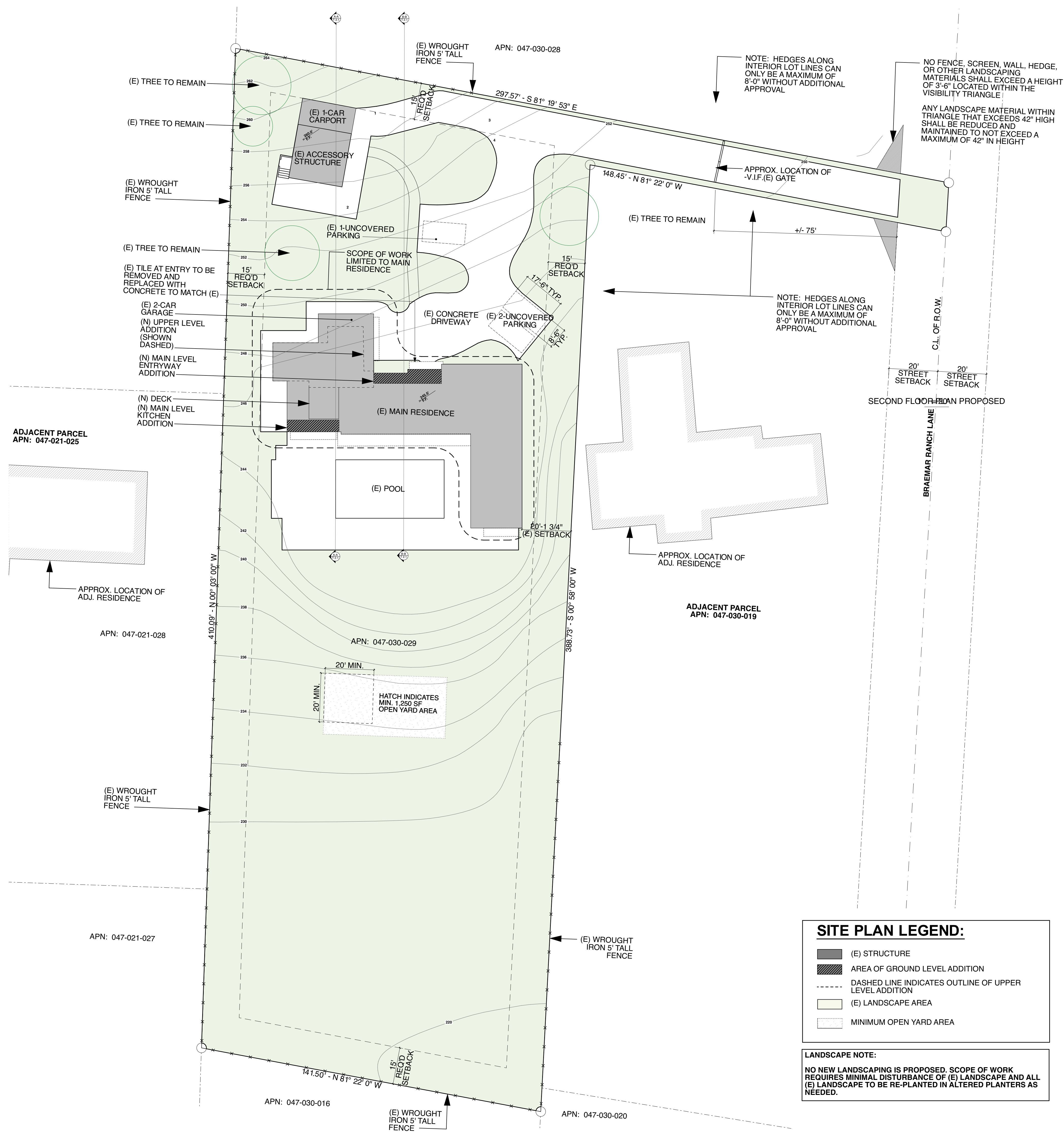


SWMP DIAGRAM

SCALE 1" = 50'

LOT COVERAGE:

(E) IMPERVIOUS AREA:	+/- 14,894 SF
NEW AND RE-DEVELOPED IMPERVIOUS AREA:	
(N) ADDITION AT LOWER LEVEL LANDSCAPE AREAS:	± 139 SF
PROPOSED REDEVELOPED IMPERVIOUS AREA AT UPPER LEVEL ADDITION, NEW AWNINGS OVER PAVED SURFACES AND RE-ROOF AREAS:	± 2,491 SF
TOTAL NEW AND RE-DEVELOPED IMPERVIOUS AREA:	± 2,630 SF



SITE PLAN-EXISTING PROPOSED

SCALE 1" = 20'

SITE PLAN LEGEND:

[Solid Grey]	(E) STRUCTURE
[Hatched Grey]	AREA OF GROUND LEVEL ADDITION
[Dashed Line]	DASHED LINE INDICATES OUTLINE OF UPPER LEVEL ADDITION
[Light Green]	(E) LANDSCAPE AREA
[Dotted Line]	MINIMUM OPEN YARD AREA

LANDSCAPE NOTE:
NO NEW LANDSCAPING IS PROPOSED. SCOPE OF WORK REQUIRES MINIMAL DISTURBANCE OF (E) LANDSCAPE AND ALL (E) LANDSCAPE TO BE RE-PLANTED IN ALTERED PLANTERS AS NEEDED.

608 ANACAPA STREET, SUITE B
 MAIL TO:
 P.O. BOX 23634
 SANTA BARBARA, CA 93121
 TEL: (805) 963-0988
 FAX: (805) 963-0178
 E-MAIL:
 DAWN@DAWN8HERRY.COM

ADDITION AND ALTERATIONS TO
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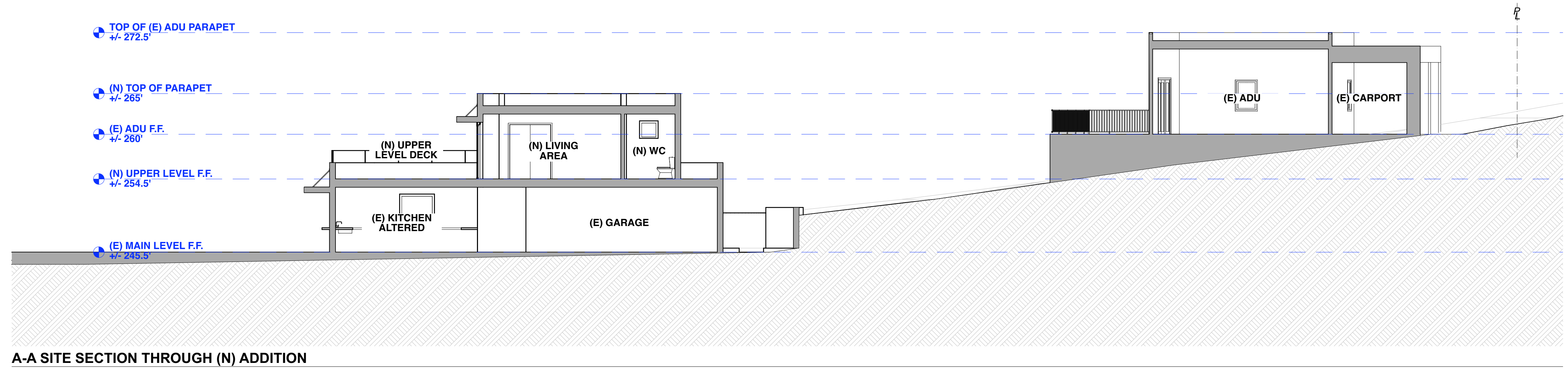
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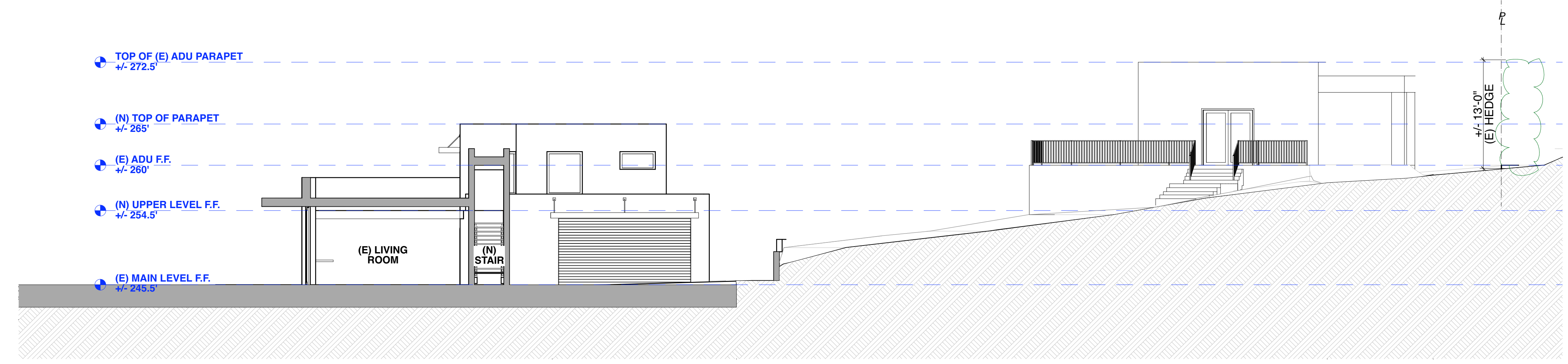
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SITE PLAN

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A-A SITE SECTION THROUGH (N) ADDITION
SCALE 1/8" = 1'-0"



B-B SITE SECTION THROUGH ALTERED ENTRY
SCALE 1/8" = 1'-0"

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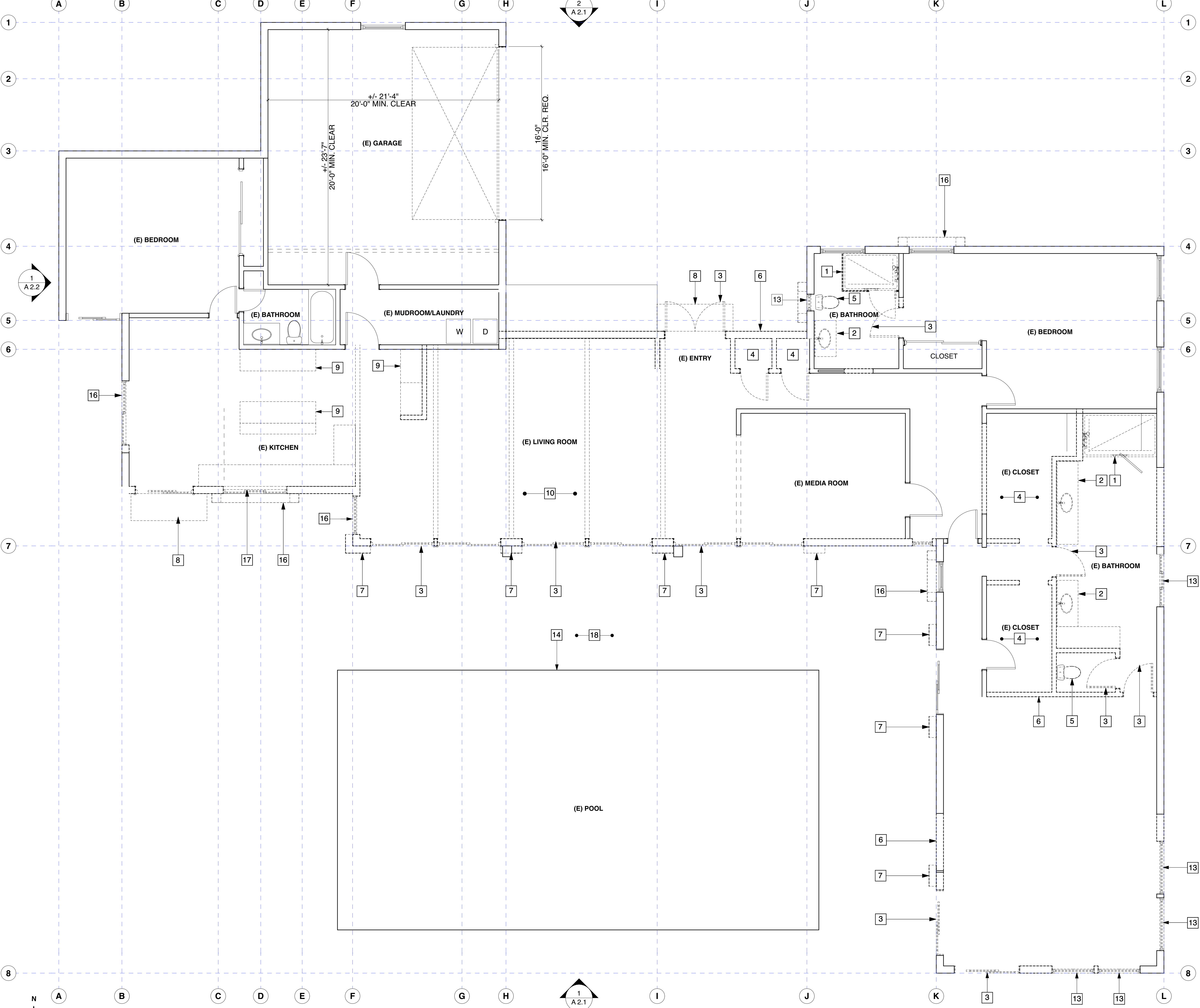
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SITE SECTIONS



DEMOLITION NOTES

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL. DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA. NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION OF THESE PLANS, OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR COUNTY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL. STRUCTURAL ITEMS SHOWN "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER FOR APPROPRIATE SHORING (IF APPLICABLE). CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION. ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS. EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF FINISHES. STRUCTURAL ELEMENTS MECHANICAL SYSTEMS PLUMBING SYSTEMS ELECTRICAL SYSTEMS. EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION.

EXISTING/DEMOLITION REFERENCE NOTES:

- 1 REMOVE (E) SHOWER
- 2 REMOVE (E) VANITY
- 3 REMOVE (E) DOOR
- 4 REMOVE (E) CLOSET
- 5 REMOVE (E) WATER CLOSET
- 6 REMOVE PORTION OF EXISTING WALL, TYP. (SHOWN DASHED)
- 7 REMOVE (E) PILASTER
- 8 REMOVE (E) AWNING (TYP)
- 9 REMOVE (E) MILLWORK
- 10 REMOVE (E) CEILING AND FRAMING
- 11 NOT USED
- 12 NOT USED
- 13 REMOVE (E) WINDOW
- 14 (E) POOL TO REMAIN
- 15 (E) POOLDECK TO REMAIN
- 16 REMOVE DECORATIVE FRAME SURROUNDING WINDOW

ARCHITECT & ASSOCIATES
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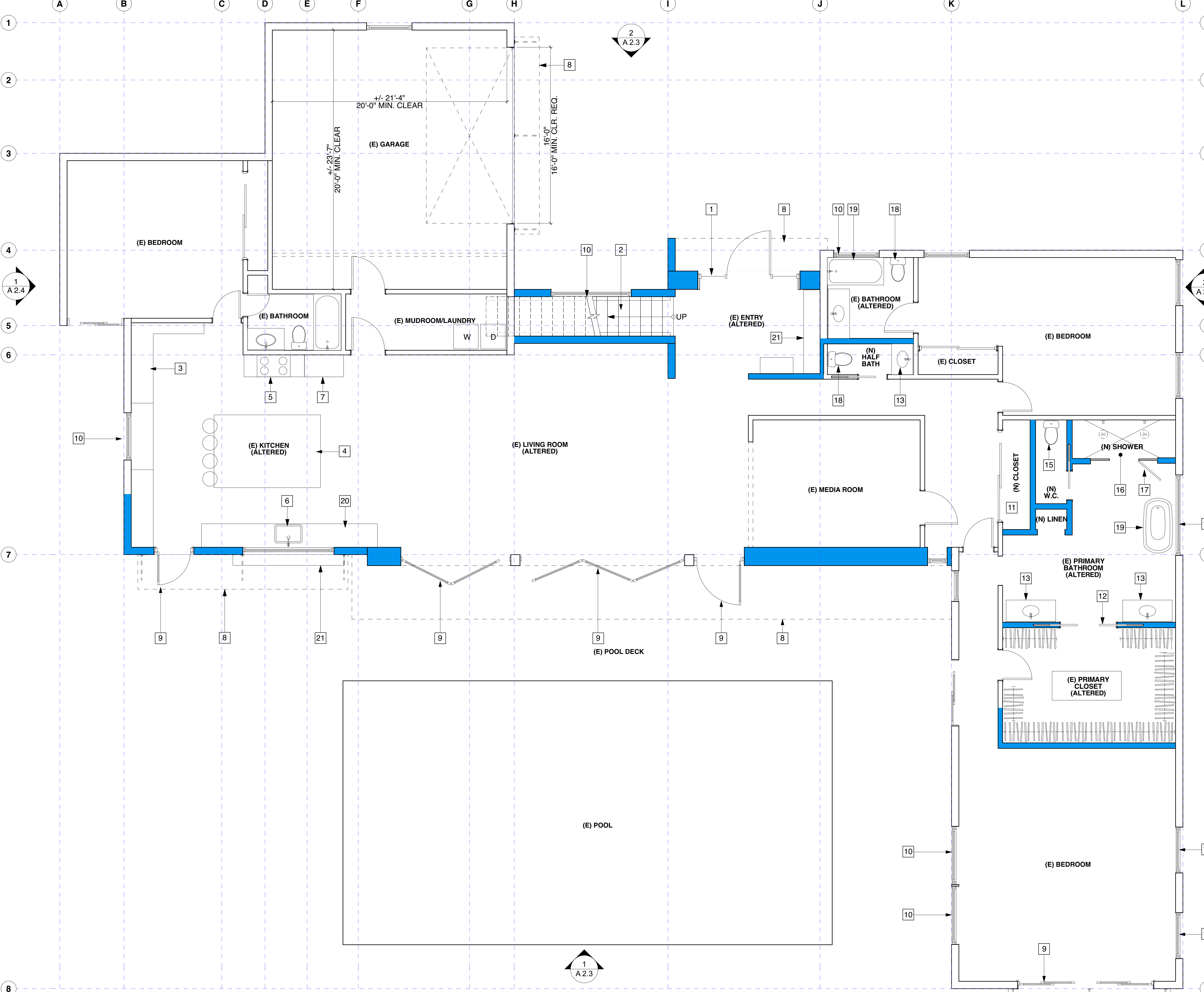
ADDITION AND ALTERATIONS TO
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EXISTING/DEMOLITION PLAN



REFERENCE NOTES:

- 1 (N) FRONT DOOR WITH SIDELITES
- 2 (N) STAIRCASE
- 3 (N) FULL HT. CABINTRY
- 4 (N) ISLAND WITH CABINETS BELOW
- 5 (N) RANGE
- 6 (N) SINK
- 7 (N) REFRIGERATOR
- 8 (N) AWNING (TYP)
- 9 (N) DOOR
- 10 (N) WINDOW
- 11 (N) COUNTERTOP
- 12 (N) POCKET DOORS
- 13 (N) VANITY
- 14 NOT USED
- 15 (N) WATER CLOSET
- 16 (N) WALK-IN STEAM SHOWER
- 17 (N) TEMPERED GLASS PARTITION W/ SHOWER DOOR
- 18 (N) WATER CLOSET
- 19 (N) BATHTUB
- 20 (N) 36" H. COUNTER WITH CABINETS BELOW
- 21 (N) 36" H. EXTERIOR COUNTER BELOW WINDOW
- 22 (N) 42" H. MIN. GLASS RAILING AT UPPER LEVEL DECK

WALL LEGEND

- (E) WALL TO REMAIN
- (N) 2X WALL
- (N) PARAPET WALL

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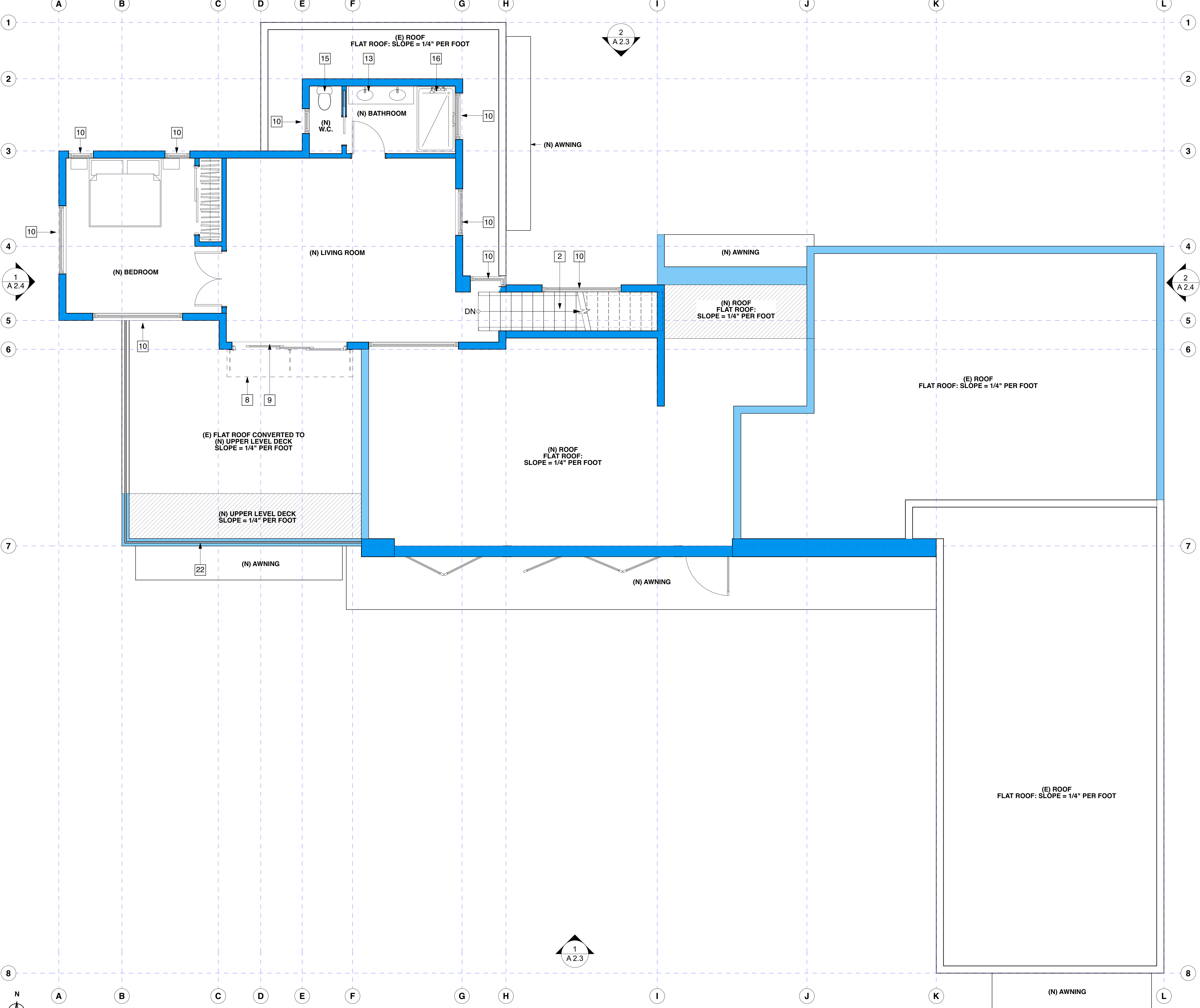
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FIRST FLOOR PLAN - PROPOSED

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REFERENCE NOTES:

- 1 (N) FRONT DOOR WITH SIDELITES
- 2 (N) STAIRCASE
- 3 (N) FULL HT. CABINETS
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- 22 (N) 42" H. MIN. GLASS RAILING AT UPPER LEVEL DECK

WALL LEGEND

- (E) WALL TO REMAIN
- (N) 2X WALL
- (N) PARAPET WALL

S H E R R Y & A R C H I T E C T S

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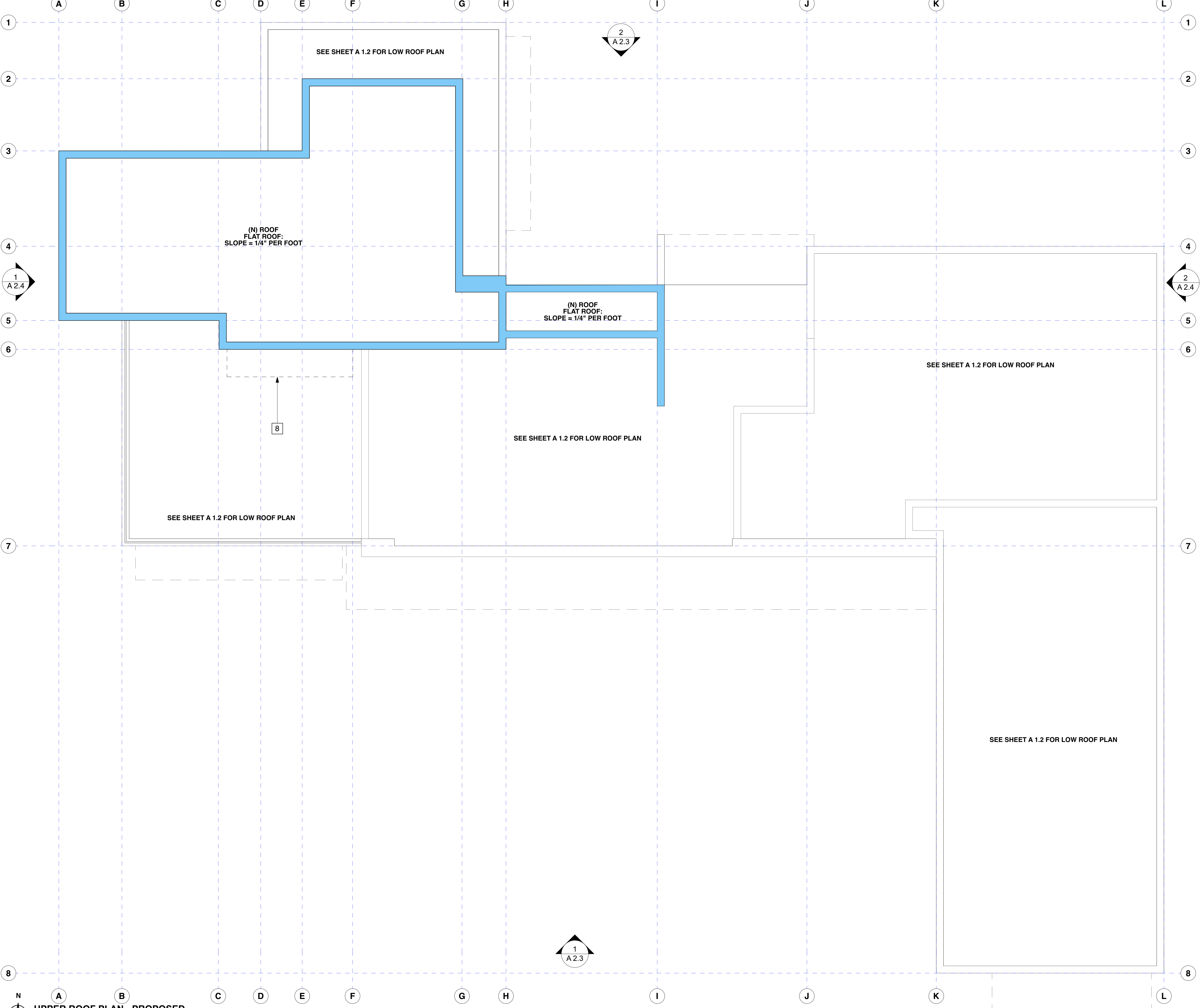
SECOND FLOOR PLAN - PROPOSED

ADDITION AND ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE

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- 16 (N) WALK-IN STEAM SHOWER
- 17 (N) TEMPERED GLASS PARTITION W/ SHOWER DOOR
- 18 (N) WATER CLOSET
- 19 (N) BATHTUB
- 20 (N) 36" H. COUNTER WITH CABINETS BELOW
- 21 (N) 36" H. EXTERIOR COUNTER BELOW WINDOW
- 22 (N) 42" H. MIN. GLASS RAILING AT UPPER LEVEL DECK

WALL LEGEND

- (E) WALL TO REMAIN
- (N) 2X WALL
- (N) PARAPET WALL

S H E R R Y & A R C H I T E C T S

A 1.3

ROOF PLAN

ADDITION AND ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE

BECK KABASHIMA RESIDENCE

485 BRAEMAR RANCH LANE
SANTA BARBARA, CA

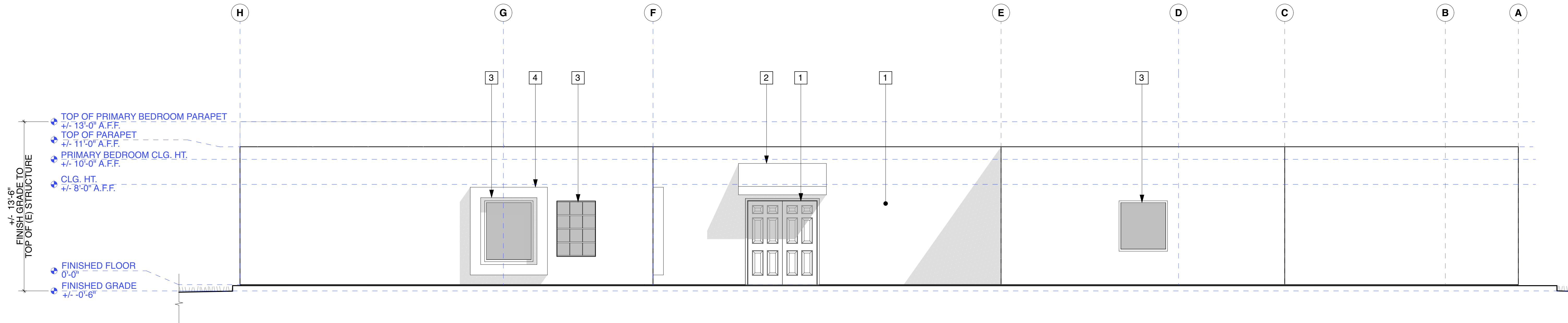
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05/03/23	SFDB RE-SUBMITTAL
04/03/23	SFDB RE-SUBMITTAL

608 ANACAPA STREET, SUITE B
 MAIL TO:
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 DAWN@DAWNERRYS.COM

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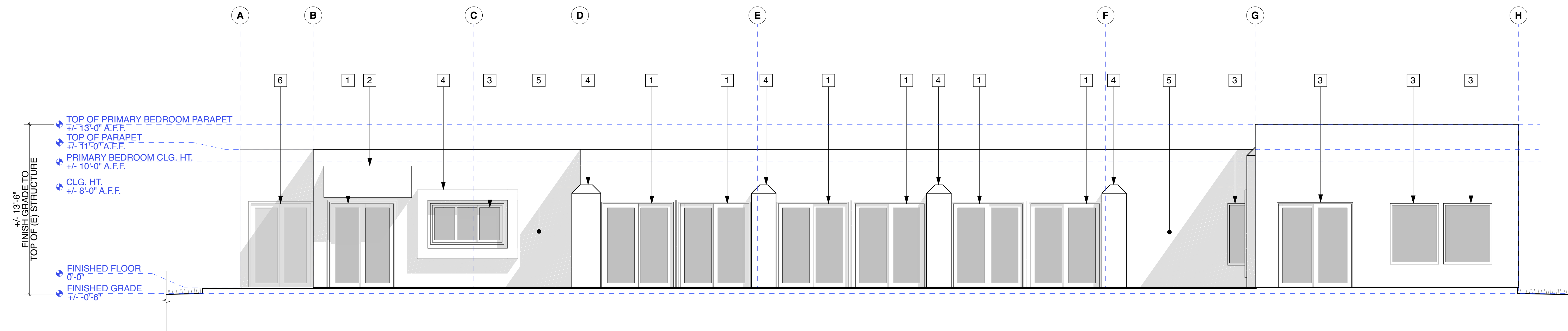
ELEVATION REFERENCE NOTES:

- 1 (E) DOOR TO BE REMOVED
- 2 (E) AWNING TO BE REMOVED
- 3 (N) WINDOW TO BE REMOVED
- 4 (E) ARCHITECTURAL ACCENTS TO BE REMOVED
- 5 (E) PLASTER FINISH EXTERIOR WALLS (TYP)
- 6 (E) DOOR TO REMAIN



2 NORTH ELEVATION - EXISTING

Scale 1/4" = 1'-0"



1 SOUTH ELEVATION - EXISTING

Scale 1/4" = 1'-0"

S H E R R Y & A S S O C I A T E S
 ARCHITECTS
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ADDITION AND ALTERATIONS TO
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 RESIDENCE**
 485 BRAEMAR RANCH LANE
 SANTA BARBARA, CA

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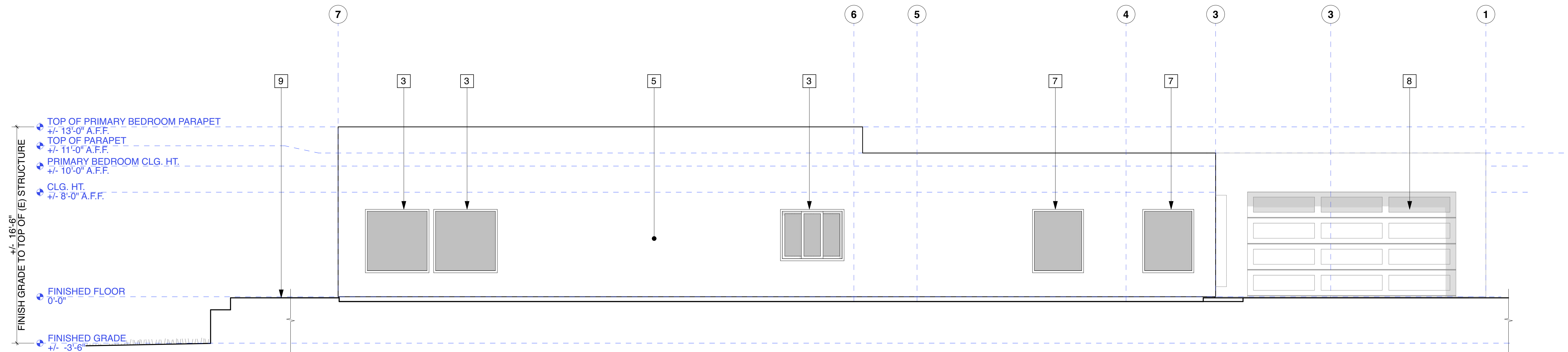
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04/03/23	SFDB RE-SUBMITTAL

A 2.1

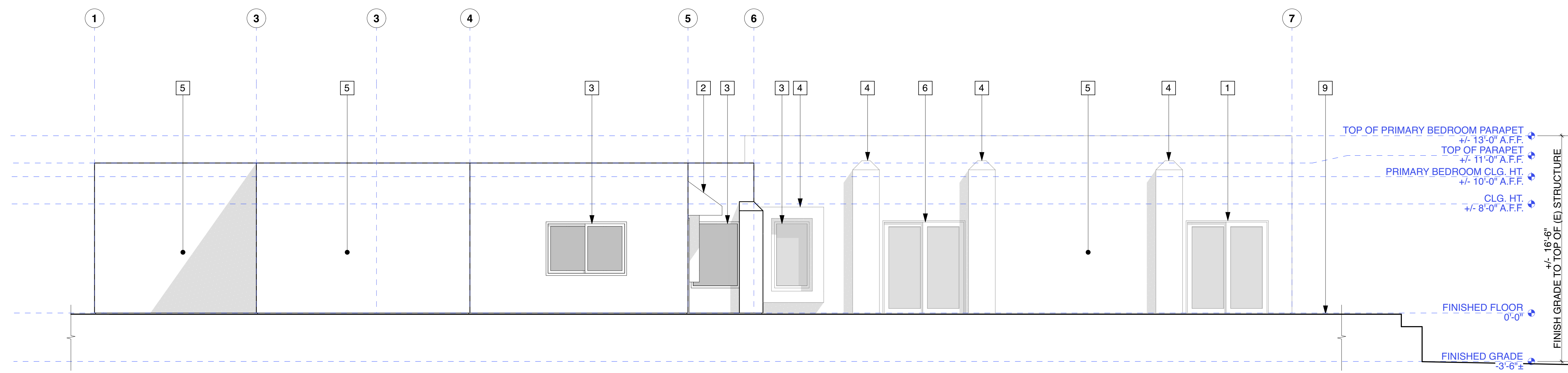
EXTERIOR ELEVATIONS- EXISTING

ELEVATION REFERENCE NOTES:

- 1 (E) DOOR TO BE REMOVED
- 2 (E) AWNING TO BE REMOVED
- 3 (N) WINDOW TO BE REMOVED
- 4 (E) ARCHITECTURAL ACCENTS TO BE REMOVED
- 5 (E) PLASTER FINISH EXTERIOR WALLS (TYP)
- 6 (E) DOOR TO REMAIN
- 7 (E) WINDOW TO REMAIN
- 8 (E) GARAGE DOOR TO REMAIN
- 9 (E) POOL DECK TOP REMAIN



2 EAST ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



1 WEST ELEVATION - EXISTING
SCALE 1/4" = 1'-0"

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S H E R R Y &
 A R C H I T E C T S

ADDITION AND ALTERATIONS TO
 EXISTING SINGLE FAMILY RESIDENCE

**BECK KABASHIMA
 RESIDENCE**
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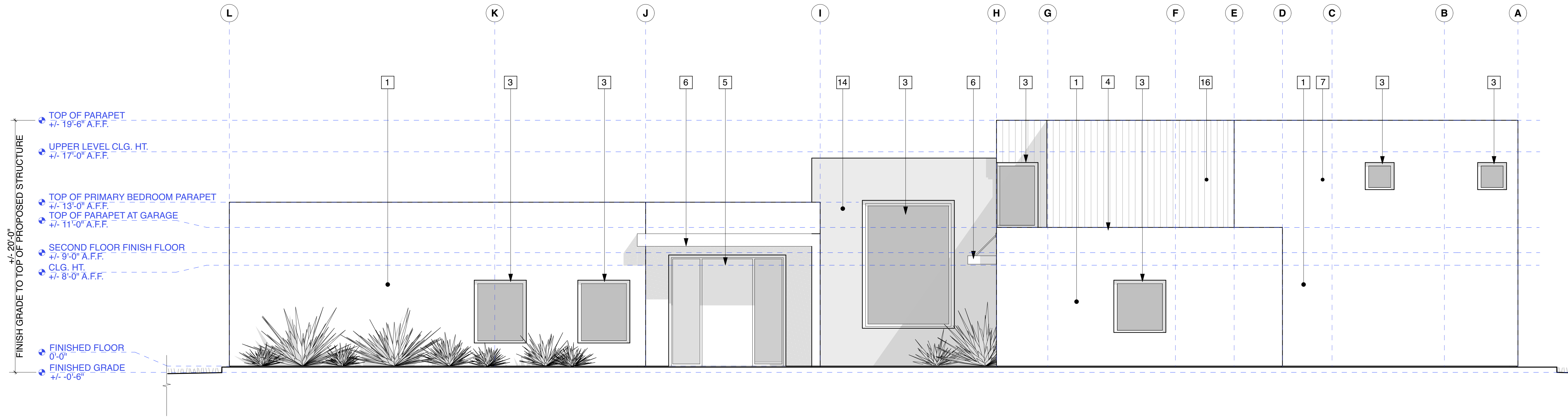
DATE	DESCRIPTION
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04/03/23	SFDB RE-SUBMITTAL

A 2.2

EXTERIOR ELEVATIONS- EXISTING

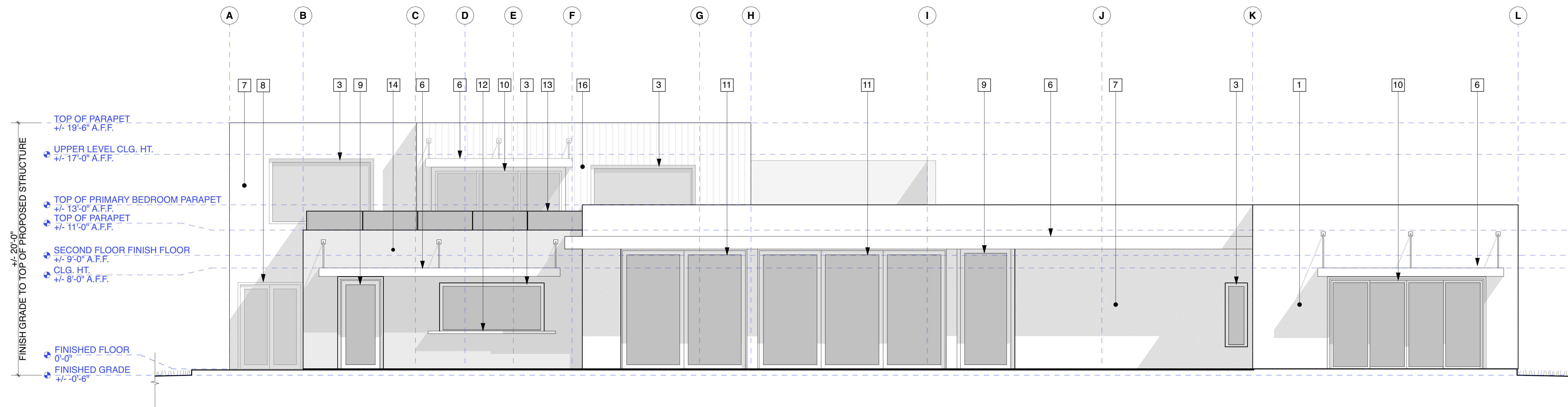
ELEVATION REFERENCE NOTES:

- | | |
|--|---|
| 1 (E) PLASTER FINISH TO BE PAINTED SWISS COFFEE OR SIMILAR | 9 (N) FRENCH DOOR -BLACK ANODIZED FINISH |
| 2 (E) WINDOW TO REMAIN | 10 (N) SLIDING DOOR -BLACK ANODIZED FINISH |
| 3 (N) WINDOW -BLACK ANODIZED FINISH | 11 (N) FOLDING DOORS -BLACK ANODIZED FINISH |
| 4 (E) GARAGE TO REMAIN | 12 (N) COUNTER AT WINDOW WILL |
| 5 (N) SOLID METAL DOOR WITH SIDELITES | 13 (N) 42" H. MIN. GLASS GUARDRAIL |
| 6 (N) AWNING, WOOD WITH METAL FRAME | 14 (N) CONCRETE FINISH AT NEW WALL |
| 7 (N) PLASTER WALLS, 'SWISS COFFEE' OR SIMILAR | 15 (N) CONCRETE FINISH AT EXISTING WALL |
| 8 (E) DOOR TO REMAIN | 16 (N) WALL- VERTICAL COMPOSITE WOOD SIDING |
| | 17 (E) POOL DECK TO REMAIN |



2 NORTH ELEVATION - PROPOSED

Scale 1/4" = 1'-0"



1 SOUTH ELEVATION - PROPOSED

Scale 1/4" = 1'-0"

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S H E R R Y & A R C H I T E C T S

ADDITION AND ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE

BECK KABASHIMA RESIDENCE
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 SANTA BARBARA, CA

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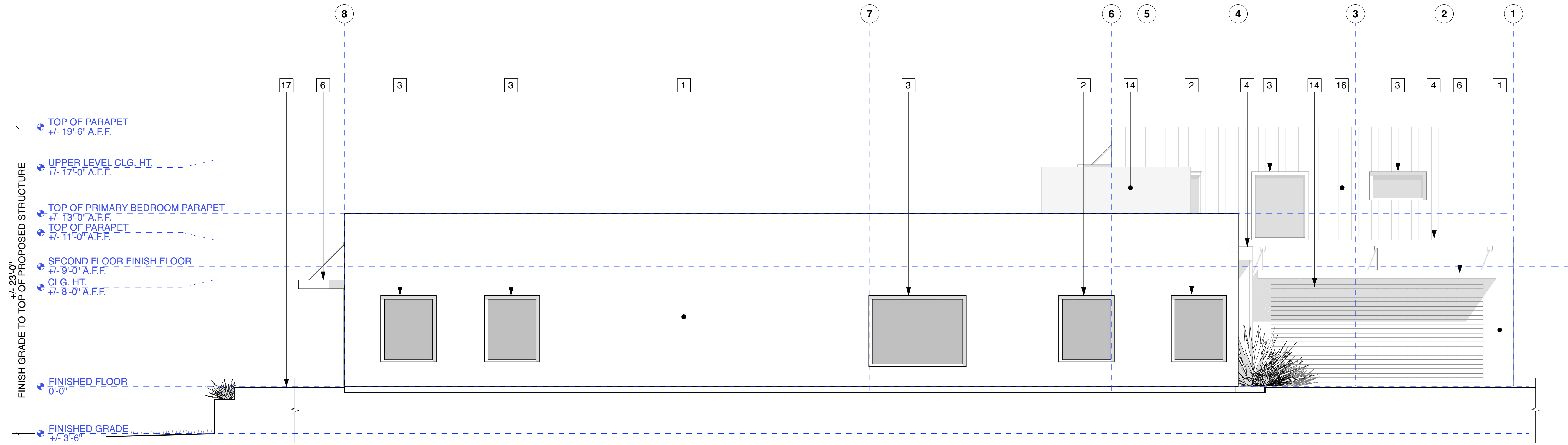
DATE	DESCRIPTION
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04/03/23	SFDB RE-SUBMITTAL

A 2.3

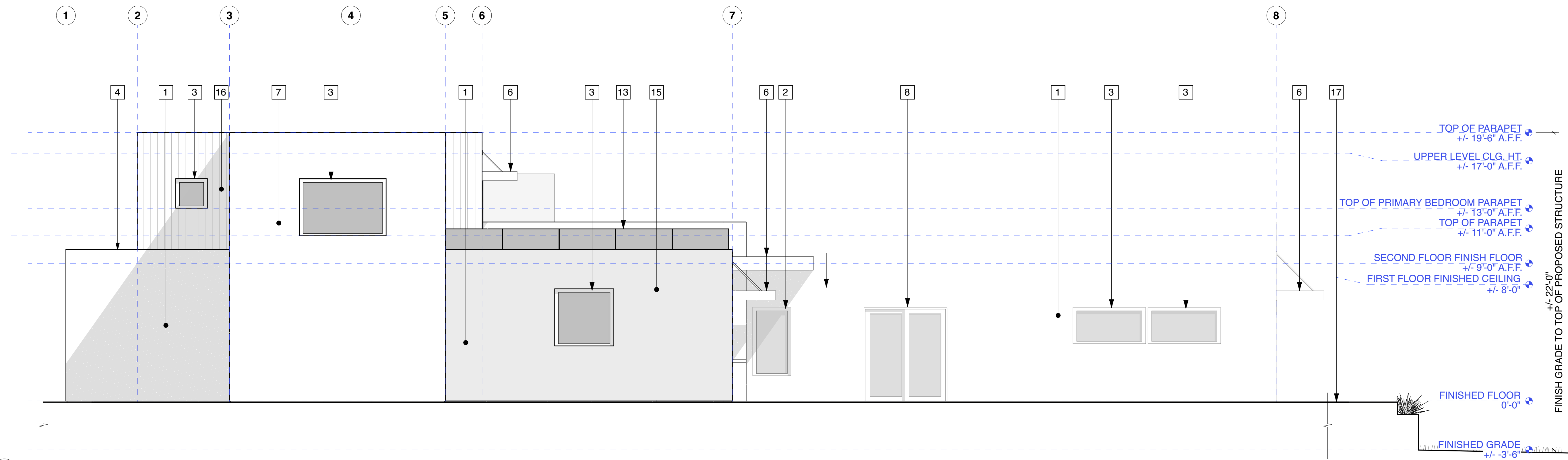
EXTERIOR ELEVATIONS- PROPOSED

ELEVATION REFERENCE NOTES:

- | | |
|--|---|
| 1 (E) PLASTER FINISH TO BE PAINTED SWISS COFFEE OR SIMILAR | 9 (N) FRENCH DOOR -BLACK ANODIZED FINISH |
| 2 (E) WINDOW TO REMAIN | 10 (N) SLIDING DOOR -BLACK ANODIZED FINISH |
| 3 (N) WINDOW -BLACK ANODIZED FINISH | 11 (N) FOLDING DOORS -BLACK ANODIZED FINISH |
| 4 (E) GARAGE TO REMAIN | 12 (N) COUNTER AT WINDOW WILL |
| 5 (N) SOLID METAL DOOR WITH SIDELITES | 13 (N) 42" H. MIN. GLASS GUARDRAIL |
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| 8 (E) DOOR TO REMAIN | 16 (N) WALL- VERTICAL COMPOSITE WOOD SIDING |
| | 17 (E) POOL DECK TO REMAIN |



2 EAST ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



1 WEST ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"

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S H E R R Y & A R C H I T E C T S
 S O C I A T E S

ADDITION AND ALTERATIONS TO
 EXISTING SINGLE FAMILY RESIDENCE
**BECK KABASHIMA
 RESIDENCE**
 485 BRAEMAR RANCH LANE
 SANTA BARBARA, CA

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A 2.4

EXTERIOR ELEVATIONS- PROPOSED



NORTHEAST PERSPECTIVE

NOT TO SCALE



NORTH EAST PERSPECTIVE

NOT TO SCALE



ENLARGED ENTRY PERSPECTIVE

NOT TO SCALE



NORTH PERSPECTIVE

NOT TO SCALE

DATE	DESCRIPTION
01/03/23	SFDB SUBMITTAL
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SOUTHWEST PERSPECTIVE
NOT TO SCALE



SOUTH WEST PERSPECTIVE
NOT TO SCALE



SOUTHEAST PERSPECTIVE
NOT TO SCALE



SOUTH PERSPECTIVE
NOT TO SCALE

S H E R R Y & A S S O C I A T E S A R C H I T E C T S

ADDITION AND ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE

BECK KABASHIMA RESIDENCE
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A 2.6

PERSPECTIVE RENDERINGS

485 BRAEMAR RANCH LANE MATERIAL INSPIRATION IMAGES



485 BRAEMAR RANCH LANE AWNING INSPIRATION IMAGES



485 BRAEMAR RANCH LANE COLOR & MATERIALS BOARD



**SMOOTH STUCCO FINISH
'SWISS COFFEE' OR SIMILAR**



**'NEWTECHWOOD' EUROPEAN
STYLE COMPOSITE WOOD SIDING
OR SIMILAR**



**CONCRETE AND/ OR FAUX
CONCRETE PANELS**



**BLACK ANODIZED ALUMINUM
DOORS AND WINDOWS
AND AWNING FRAME
OR SIMILAR**

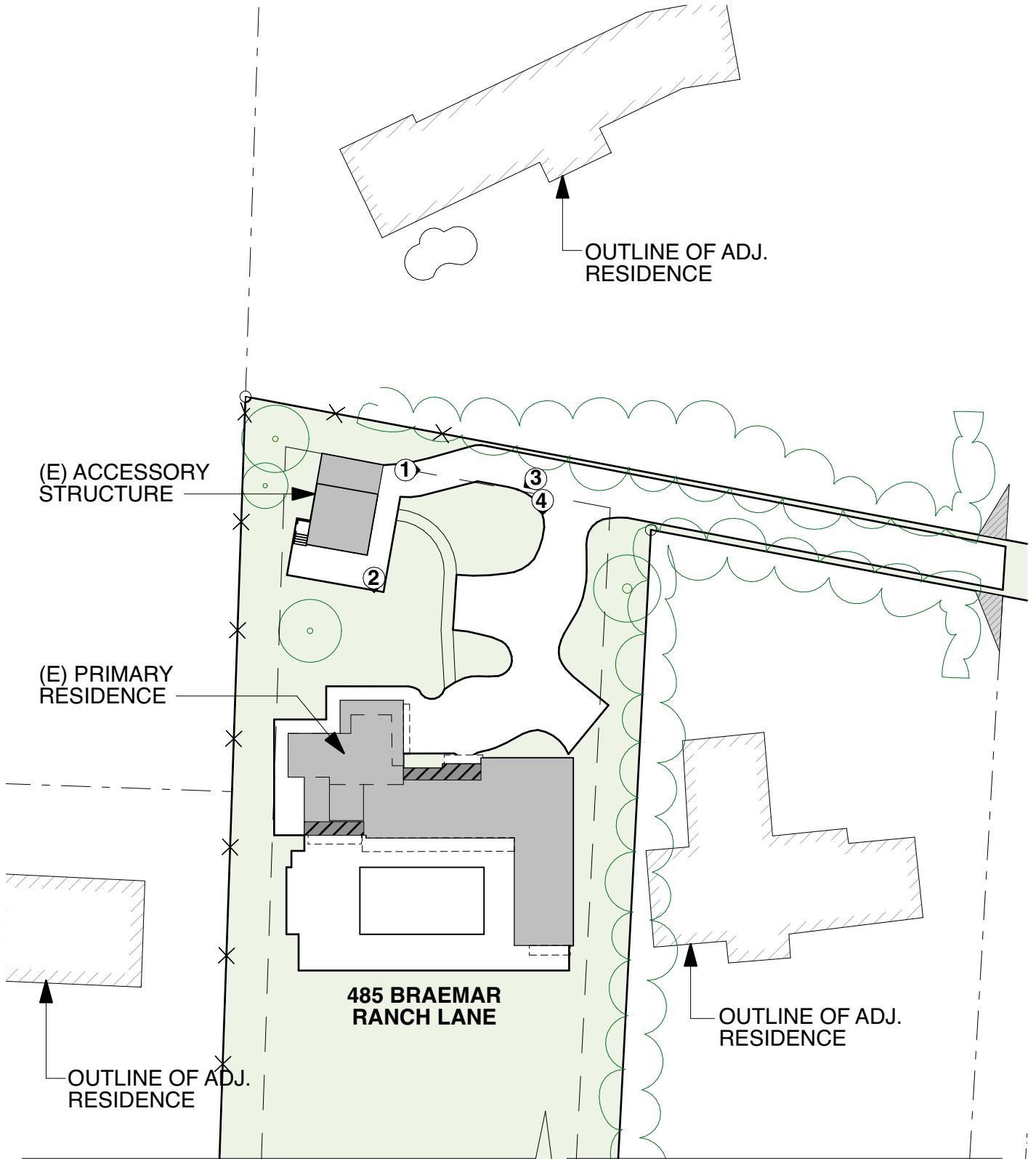


**GREY BUILT UP ROOF
-TO MATCH EXISTING**



**LARGE FORMAT GREY PORCELAIN
TILE AT ROOF DECK**

485 BRAEMAR RANCH LANE PHOTO PAGES



**485 BRAEMAR RANCH LANE
PHOTO PAGES**



**LOOKING EAST FROM ADU CARPORT TOWARDS
BRAEMAR RANCH LANE**



**LOOKING SOUTH FROM ADU PORCH TOWARDS MAIN
RESIDENCE AND AREA OF ALTERATION**

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608 ANACAPA ST. SUITE B SANTA BARBARA, CA**

**485 BRAEMAR RANCH LANE
PHOTO PAGES**



**LOOKING SOUTHWEST FROM DRIVEWAY AT RELATIVE
STRUCTURE HEIGHTS AND AREA OF ALTERATION**



**LOOKING SOUTH FROM DRIVEWAY TOWARDS MAIN
RESIDENCE AND AREA OF ALTERATION**

**S H E R R Y & A S S O C I A T E S
A R C H I T E C T S , I N C .
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