

1553 SHORELINE DRIVE

FAR CALCULATOR - WITHOUT ADU

F.A.R. Calculator

Instructions: Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% max FAR (per the Zoning Ordinance for "Required FAR"), and the 85% max FAR (per the Zoning Ordinance for "Required FAR"). Additionally it will determine whether a FAR Modification is required. "Guideline FAR" calculations are as outlined in the "Applicability" section of the Single Family Residence Design Guidelines, page 23-C.

The **Net Lot Area** does not include any Public Road Easements or Public Road Right-of-Way areas. The proposed **TOTAL Net FAR Floor Area** shall include the net floor area of all stories of all building, but may or may not include basement/cellar floor area. For further clarification on these definitions please refer to SBMC §28.15.083 & 30.300. This form has not yet been updated for current Title 30 zone designations, see SBMC §30.05.010 for comparison.

ENTER Project Address:	1553 SHORELINE DRIVE
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	4,393
ENTER Zone ONLY from drop-down list:	E-3 or RS-7.5
ENTER Net Lot Area (in sq. ft.):	22,961
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	GUIDELINE**

ENTER Average Slope of Lot:	25.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	No
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC §28.15 or §30.20.030	

FLOOR AREA RATIO (FAR):	0.191
Lot Size Range:	>= 20,000 sq. ft.
MAX FAR Calculation (in sq. ft.):	4,430 + (0.013 x lot size in sq. ft.)
100% MAX FAR:	0.206
100% MAX FAR (in sq. ft.):	4,728
85% of MAX FAR (in sq. ft.):	4,019
80% of MAX FAR (in sq. ft.):	3,783
The 4393 square foot proposed total is 93% of the MAX FAR.*	

FAR CALCULATOR - WITH ADU

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ENTER Project Address:	1553 SHORELINE DRIVE
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	4,902
ENTER Zone ONLY from drop-down list:	E-3 or RS-7.5
ENTER Net Lot Area (in sq. ft.):	22,961
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	GUIDELINE**

ENTER Average Slope of Lot:	25.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	No
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC §28.15 or §30.20.030	

FLOOR AREA RATIO (FAR):	0.213
Lot Size Range:	>= 20,000 sq. ft.
MAX FAR Calculation (in sq. ft.):	4,430 + (0.013 x lot size in sq. ft.)
100% MAX FAR:	0.206
100% MAX FAR (in sq. ft.):	4,728
85% of MAX FAR (in sq. ft.):	4,019
80% of MAX FAR (in sq. ft.):	3,783
The 4902 square foot proposed total is 104% of the MAX FAR.*	

NORTH ELEVATION



BEST MANAGEMENT PRACTICES

ALL OF THE FOLLOWING MUST BE FOLLOWED

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, ARE DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPE WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

DEFERRED SUBMITTALS

FIRE SPRINKLERS

AREA CALCULATIONS

PROPOSED MAIN HOUSE AREAS

	NET PLANNING	GROSS PLANNING
MAIN HOUSE 1ST FLOOR	2,497 S.F.	2,802 S.F.
MAIN HOUSE 2ND FLOOR	1,408 S.F.	1,779 S.F.
ATTACHED GARAGE	488 S.F.	557 S.F.
TOTAL MAIN HOUSE PROPOSED AREA	4,393 S.F.	5,138 S.F.

PROPOSED ACCESSORY STRUCTURE AREAS

	NET PLANNING	GROSS PLANNING
PROPOSED ADU	509 S.F.	574 S.F.
TOTAL PROPOSED AREAS - MAIN HOUSE + ADU	4,902 S.F.	5,712 S.F.

PARKING CALCULATIONS

	PRIMARY RESIDENCE	ADU
EXISTING PARKING	NA	NA
PROPOSED PARKING	2 COVERED 0 UNCOVERED	0 COVERED 0 UNCOVERED
REQUIRED PARKING	2 COVERED	NONE REQUIRED (PROPERTY IS 1/2 MILE TO PUBLIC TRANSPORTATION)

PURSUANT TO SBMC 28.86, NO PARKING IS REQUIRED FOR THE ACCESSORY DWELLING UNIT, AS A PUBLIC TRANSIT STOP IS LOCATED WITHIN A WALKING DISTANCE OF ONE-HALF MILE (260 FEET), NEAREST TRANSIT STOP IS 0.4 MILES AT CLIFF DRIVE & SANTA CRUZ. PROJECT SITE IS NOT LOCATED IN A KEY PUBLIC ACCESS AREA.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CITY ORDINANCES
COUNTY AIR POLLUTION CONTROL DISTRICT REQUIREMENTS
2022 CALIFORNIA BUILDING ADMINISTRATIVE CODE, PART 1
2022 CALIFORNIA BUILDING CODE, PART 2
2022 CALIFORNIA RESIDENTIAL CODE, PART 2.5
2022 CALIFORNIA ELECTRICAL CODE, PART 3
2022 CALIFORNIA MECHANICAL CODE, PART 4
2022 CALIFORNIA PLUMBING CODE, PART 5
2022 CALIFORNIA ENERGY CODE, PART 6
2022 CALIFORNIA FIRE CODE, PART 9
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11
2022 CALIFORNIA REFERENCED STANDARDS CODE, PART 12
2022 CALIFORNIA CODE, TITLE 24 CD-ROM
2022 CALIFORNIA TITLE 24 COMPLETE COLLECTION
NATIONAL ELECTRIC CODE
FEDERAL - OSHA

SHEET INDEX

#	SY	DRAWING TITLE	ISSUE 1	ISSUE 2
GENERAL				
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T-1.2		AREA CALCULATIONS		
T-1.3		MATERIAL BOARD		
T-1.4		3D VIEWS		
T-1.5		SITE PHOTOS		
T-1.6		NEIGHBORHOOD PHOTOS		
T-1.7		SHORELINE DRIVE 2-STORY RESIDENCES		
T-1.8		STREET VIEW		
T-1.9		FAR NEIGHBORHOOD ANALYSIS		
GREEN BUILDING				
GB-1		GREEN BUILDING		
GB-2		GREEN BUILDING		
SURVEY				
S-1		EXISTING SITE SURVEY		
CIVIL				
C-1		GRADING AND DRAINAGE PLAN		
LANDSCAPE				
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L-1.1		TREE DISPOSITION PLAN		
L-1.2		ARBORIST REPORT		
L-2.0		CONSTRUCTION NOTES & SCHEDULE		
L-2.1		CONSTRUCTION PLAN		
L-3.0		PLANTING NOTES & SCHEDULE		
L-3.1		PLANTING PLAN		
L-4.0		IRRIGATION NOTES & SCHEDULE		
L-4.1		IRRIGATION PLAN		
L-5.1		LIGHTING PLAN, NOTES & SCHEDULE		
L-6.1		CONSTRUCTION DETAILS		
L-6.2		CONSTRUCTION DETAILS		
L-6.3		PLANTING DETAILS		
L-6.4		IRRIGATION DETAILS		
L-6.5		IRRIGATION DETAILS		
ARCHITECTURAL				
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A-2.0		LEVEL 1 FLOOR PLAN		
A-2.11		LEVEL 1 REFLECTED CEILING PLAN		
A-2.20		LEVEL 2 FLOOR PLAN		
A-2.21		LEVEL 2 REFLECTED CEILING PLAN		
A-2.30		ROOF PLAN		
A-3.1		EXTERIOR ELEVATIONS		
A-3.2		EXTERIOR ELEVATIONS		
A-3.3		ADU EXTERIOR ELEVATIONS		
A-3.4		COMBINED ELEVATIONS		
A-5.1		BUILDING SECTIONS		
A-5.2		BUILDING SECTIONS		
A-5.3		BUILDING SECTIONS		
A-8.1		DOOR SCHEDULE		
A-8.2		WINDOW SCHEDULE		
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MECHANICAL				
M-1		MECHANICAL NOTES		

PROJECT SCOPE

PROPOSED NEW TWO-STORY 3,905 SF SINGLE FAMILY RESIDENCE, A 488 SF ATTACHED GARAGE, AND A 509 SF SINGLE-STORY ACCESSORY DWELLING UNIT (ADU) TO BE CONSTRUCTED ON A 22,961 SF VACANT LOT LOCATED IN THE COASTAL ZONE. THE PROJECT WILL REQUIRE PLANNING COMMISSION APPROVAL OF A COASTAL DEVELOPMENT PERMIT.

ROOF MOUNTED SOLAR PANELS.

GRADING BUILDING FOOTPRINT:

CUT: 190 C.Y.
FILL: 190 C.Y.

GRADING OUTSIDE BUILDING FOOTPRINT:

CUT: 80 C.Y.
FILL: 0 C.Y.

EXPORT: 80 C.Y.

PROJECT DATA

OWNERS: PETER & SUZANNE HOOPER

PROJECT ADDRESS: 1553 SHORELINE DRIVE
SANTA BARBARA, CA 93109

APN: 045-173-043

OCCUPANCY: R-3

ZONING: E-3/S-D-3

STORIES: 2

LOT SIZE: 0.52 ACRES / 22,961 S.F.

BUILDING HEIGHT: 24'-6"

SPRINKLERS: YES

SLOPE: 46%

HIGH FIRE AREA: NO

CONSTRUCTION TYPE: V-B

SWMP COMPLIANCE: TIER 3

AREA OF NEW OR RELOCATED IMPERMEABLE: 6,682 SF

FRONT SETBACK: 20'

INTERIOR SETBACK: 6'

EXISTING PARKING: N/A

PROPOSED PARKING: 2 COVERED

REQUIRED PARKING: 2 COVERED

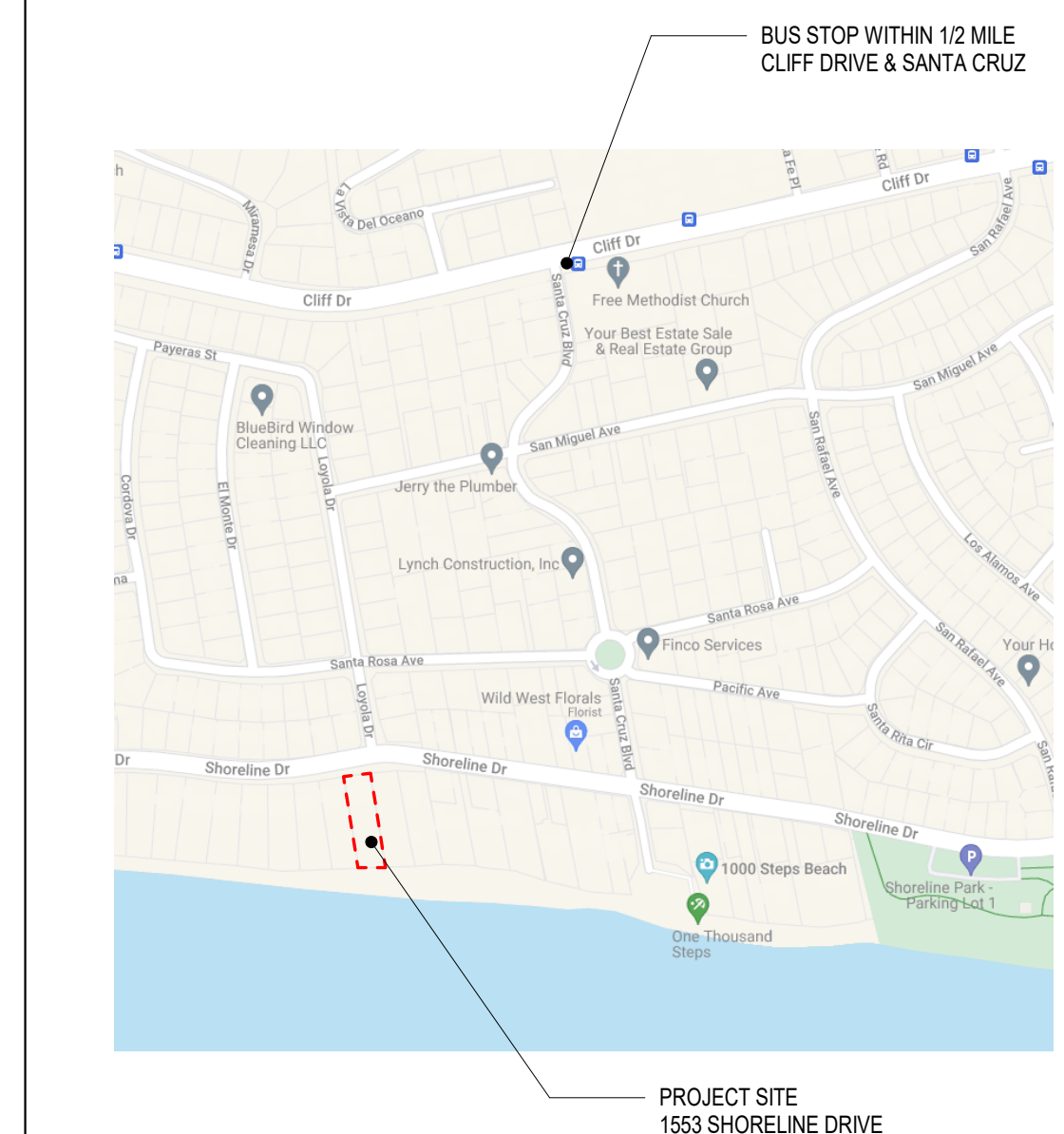
SITE COVERAGE

EXISTING			
BUILDING	0 SF	0 %	
LANDSCAPE/ PERMEABLE PAVING	22,961 SF	100 %	
IMPERMEABLE PAVING	0 SF	0 %	

PROPOSED

BUILDING	5,092 SF	22.2%
LANDSCAPE/ PERMEABLE PAVING	16,279 SF	70.9%
IMPERMEABLE PAVING	1,590 SF	6.9%

VICINITY MAP



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CLIENT

PETER AND
SUZANNE
HOOPER

PROJECT

NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

COVER SHEET

REVISIONS

DATE: CONCEPTUAL DESIGN REVIEW



PROJECT NAME: NEW RESIDENCE & DETACHED ADU

DATE DRAWN:

DATE: 4/22/2024

SHEET NO.:

T-1.0



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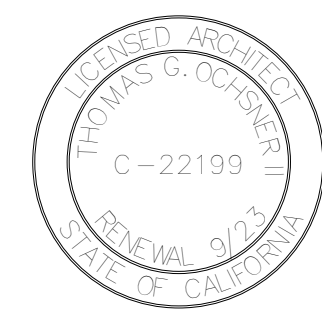
**NEW
RESIDENCE &
DETACHED ADU**

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

**AREA
CALCULATIONS**

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

T-1.2

AREA CALCULATIONS

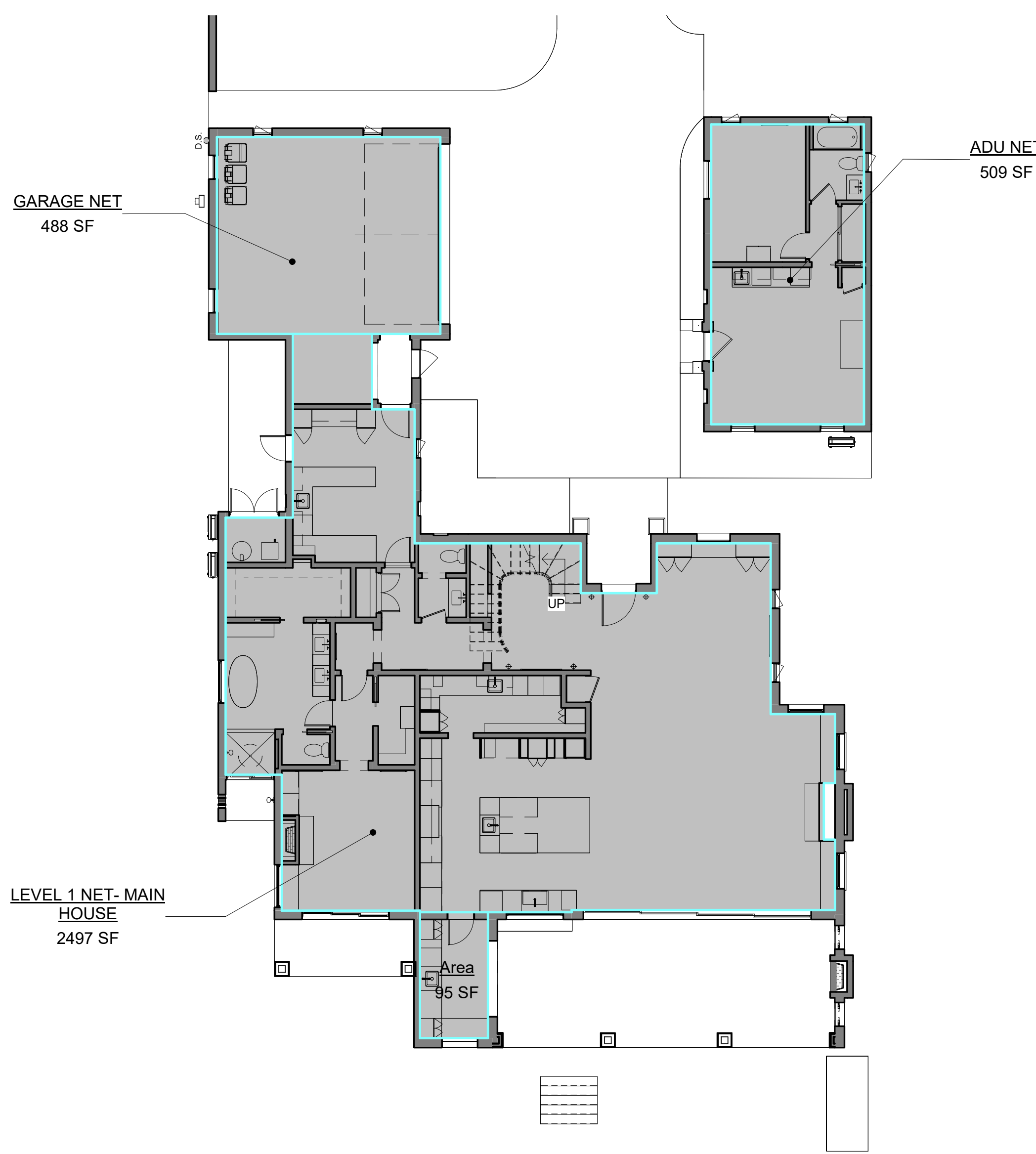
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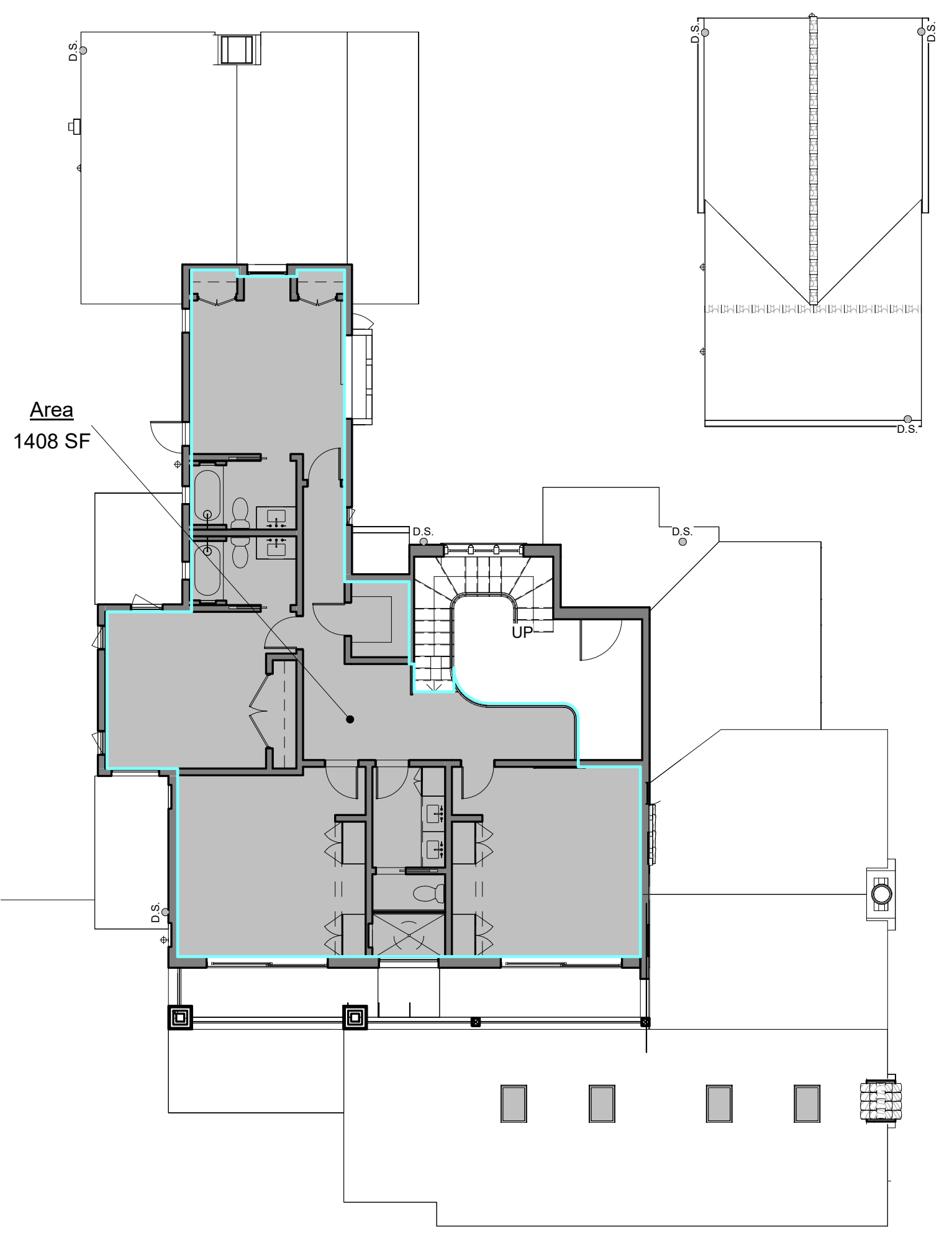
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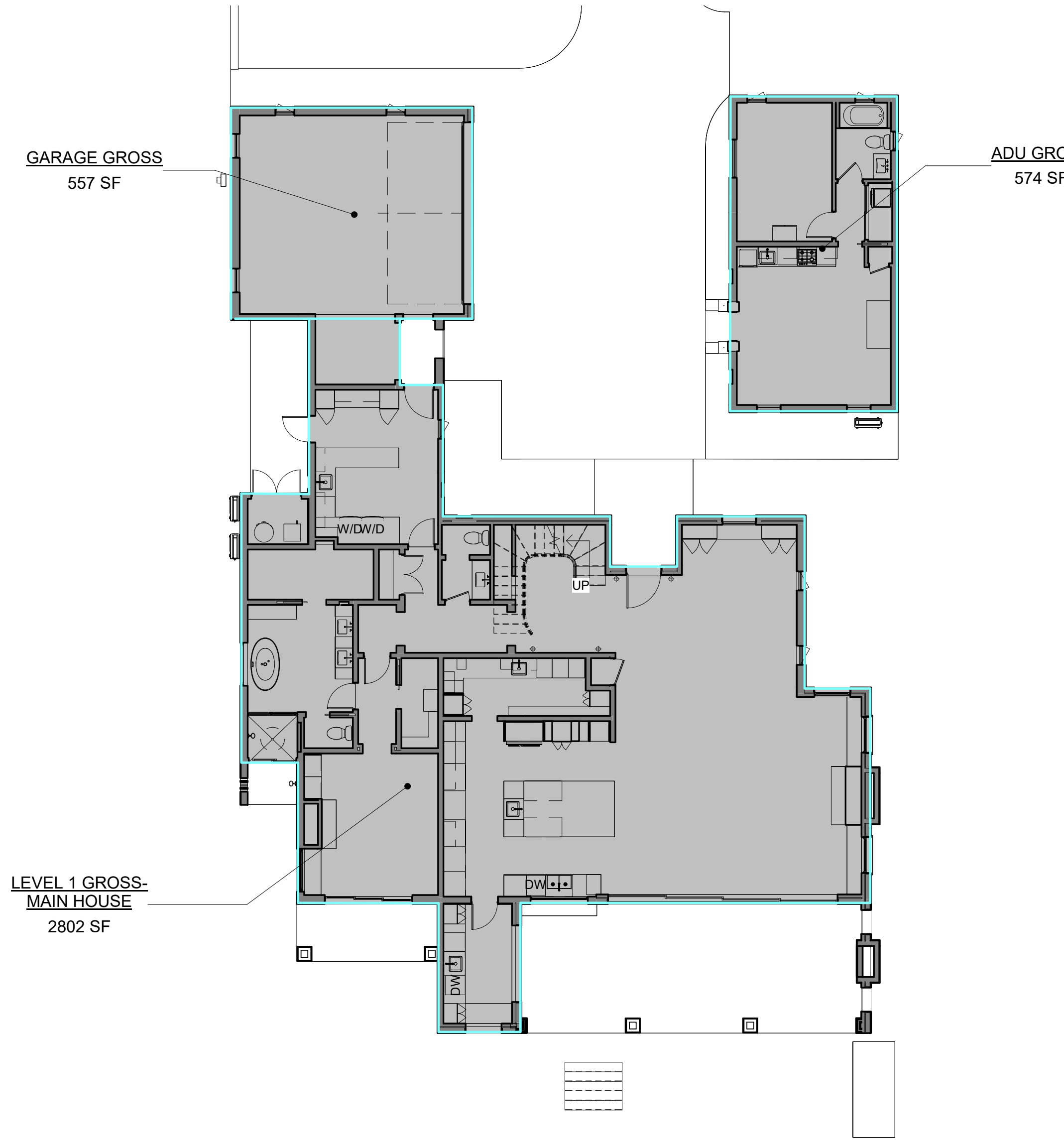
TOTAL PROPOSED AREAS - MAIN HOUSE + ADU 4,902 S.F. 5,712 S.F.



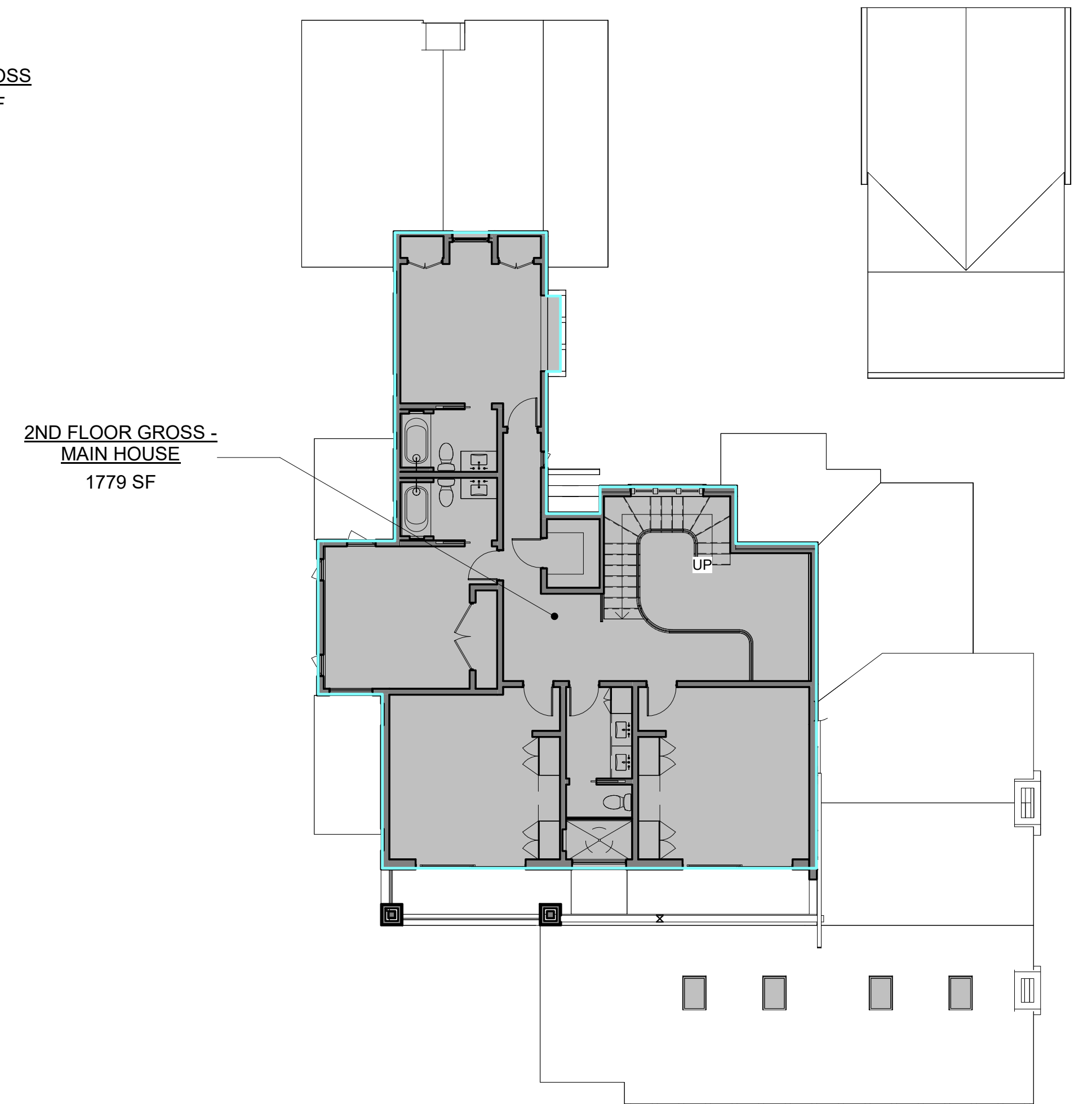
LEVEL 1 AREA - NET
SCALE: 1" = 10'-0"



LEVEL 2 AREA - NET
SCALE: 1" = 10'-0"



LEVEL 1 AREA - GROSS
SCALE: 1" = 10'-0"



LEVEL 2 AREA - GROSS
SCALE: 1" = 10'-0"

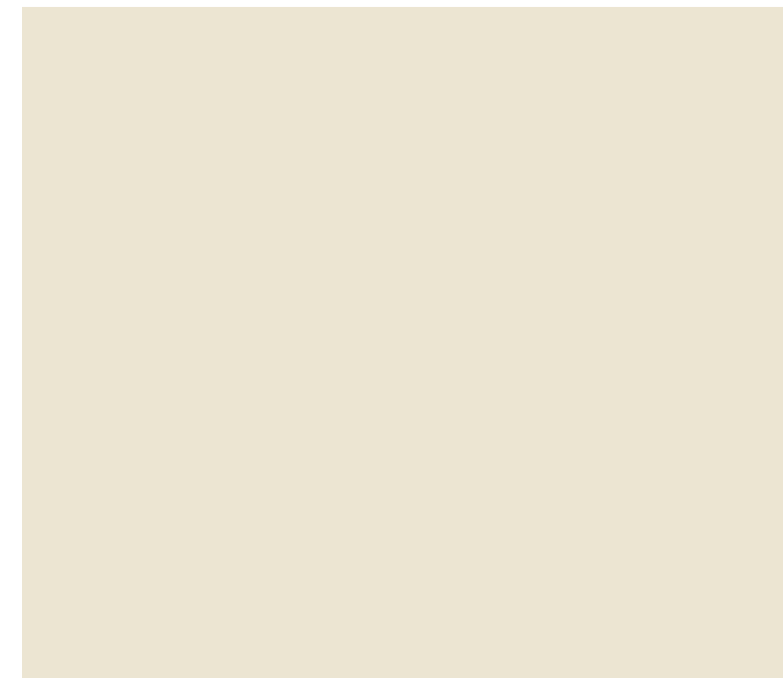
EX-01 ROOF TILES

MANUFACTURER: REDLAND CLAY TILES
 COLOR/STYLE: CUSTOM, OLD HACIENDA SANDCAST & ATIGUA SANDCAST BLEND



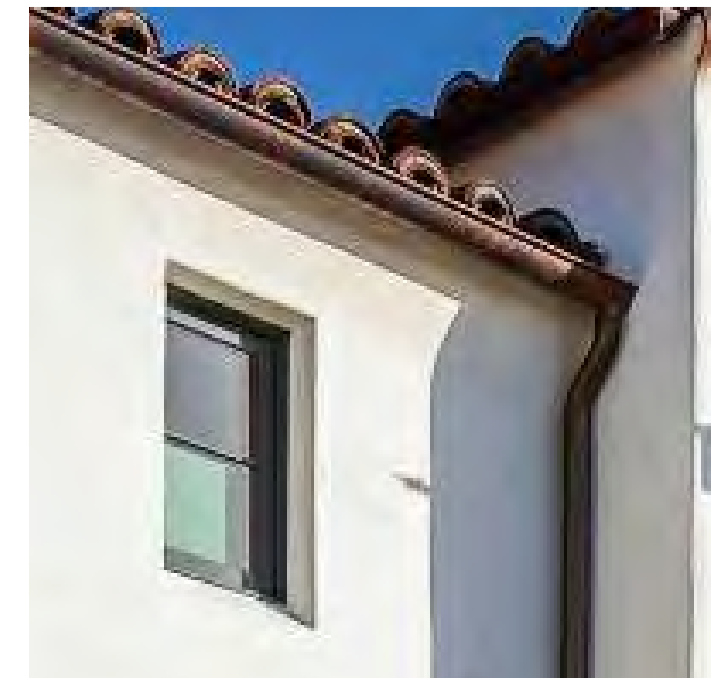
EX-03 PLASTER

MANUFACTURER: SKIM COAT SMOOTH TROWELED PLASTER, INTEGRAL COLOR
 COLOR/STYLE: SMOOTH TROWELED, MATCH COLOR BENJAMIN MOORE 'SPANISH WHITE' 943, LRV 77.83, LA HABRA COLOR



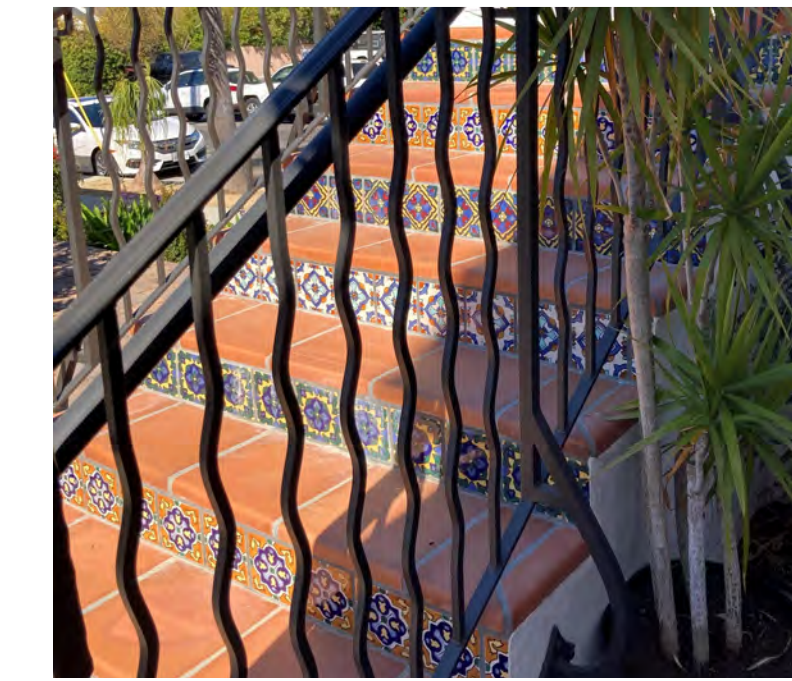
EX-03 DOORS & WINDOWS

MANUFACTURER: METAL WORKS
 COLOR/STYLE: DARK BRONZE



EX-04 STEEL GUARDRAIL

MANUFACTURER: CUSTOM
 COLOR/STYLE: BLACK, MATCH EXISTING



EX-05 WOOD RAFTERS/ POSTS

MANUFACTURER: CUSTOM
 COLOR/STYLE: CEDAR, CABOT STAIN XXX



EX-06 GUTTERS

MANUFACTURER: CUSTOM 6 IN. HALF ROUND
 COLOR/STYLE: PAINTED, BROWN



EX-07 TILE DECK

COLOR/STYLE: FLAGSTONE, CHEROKEE CREEK TANS, BROWNS



EX-08 STONE VENEER

2" SANDSTONE VENEER



EX-09 GUTTER/ DOWNSPOUT

MANUFACTURER: CUSTOM 6 IN. HALF ROUND
 COLOR/STYLE: COPPER DOWNSPOUT



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PROJECT

NEW
 RESIDENCE &
 DETACHED ADU

1553 SHORELINE DRIVE
 SANTA BARBARA, CA

SHEET TITLE

MATERIAL
 BOARD

REVISIONS

EXTERIOR SCONCE LIGHT

thegreatoutdoors
 by MINKA LAWERY™

Item #	JPC Code
8281-A61	747296079929
Product Family Name:	Finish
Sage Ridge™	Vintage Rust™
Category:	Category Type
WALL MOUNT	
UPC:	
3057374	
Patents:	
Notes:	



Image File Name: 8281-A61.jpg

MEASUREMENTS

Width:	Length:	Height:	Extension:
8.5	12.75	8.25	8.25
Height Adjustable:	Min Overall Height:	Max Overall Height:	Notes:
No	No	No	
Wire Length:	Chain Length:	Safety Cable Included:	Net Weight:
7		No	1.63
Canopy Width:	Canopy Height:	Canopy Length:	Center to Bottom:
4.63	8.0	8.75	No
Backplate Width:	Backplate Height:	Center to Top:	
	4.0		

No. of Bulbs:	Light Type:
1	A-15, MED
Max. Bulb Wattage:	Socket:
60	E26, MED
Dimmable:	Ballast:
Yes	Rated Life Hours:
	Protocol:
	Included:
	Sub/LED:
	Included:
	Color Temp.:
	CRI:
	Initial Lumens:
	Delivered Lumens:

SHIPPING

Carton Width:	Carton Height:	Carton Length:
9.0	15.0	10.5
Carton Weight:	Carton Cubic Feet:	Small Package Shippable:
2.84	0.82	Yes
Master Pack Width:	Master Pack Height:	Master Pack Length:
15.5	21.75	28.0
Master Pack Weight:	Master Cubic Feet:	Master Pack:
18.524	5.463	1

ETL Intertek
 Dark Sky
 Wet Location

WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.
 For additional information, please contact Customer Care: 1-800-251-7071. Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent. Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.
 Rev. 09.30.2020 01:43 PM

EXTERIOR RECESSED LIGHT

WAC LIGHTING

Lotos 4" & 6" Round
 Adjustable Downlight 5-CCT

Model:	Beam:	Color Temp. & CRI:	Lumens:	CRP:	Finish:
REBAR	4 W	2700K-5000K	800	1340	1896
REBAR	4 W	2700K-5000K	800	1340	1896

Example: REBAR-WCS-WT

DESCRIPTION

The ultra-thin Lotos LED Recessed Kit with remote driver contains high-quality light output and efficiency value elevating the need for a large housing. This innovative design can be installed easily as a remodel or new construction with an optional frame-in kit sold separately. Lotos is available in a downlight version for general ambient lighting and adjustable version with a gimbal that pivots 360 degrees on a hinge. Now available with 5-CCT options.

FEATURES

- 5-CCT Switchable between 2700K and 5000K
- Multiple LED array for uniform illumination
- Rotatable multi-sets gimbal ring
- Driver included
- 5 year warranty

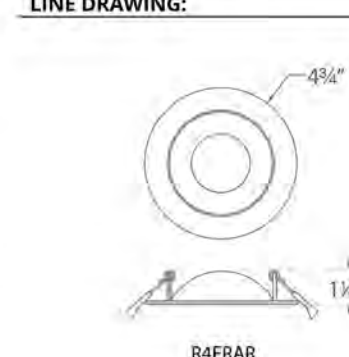
SPECIFICATIONS

Construction:	Seal with frosted TR lens
Power:	9W, 13W
Input:	120-277 VAC, 50/60Hz
Dimming:	ELV: 100-5%, TRIAC: 100-5%
Light Source:	Hologram LED
Lens:	Translucent acrylic diffuser
Rated Life:	50000 Hours
Mounting:	Heavy gauge retention clips secure fixture to ceiling
Cut-Out:	4.1x4.1"
Finish:	Electrostatically powder coated White
Ceiling Thickness:	1/2" - 1"
Operating Temp:	-4°F to 104°F (-20°C to 40°C)
Standards:	ETL, cUL, Wet Location Listed, Energy Star 2.0, Title 24 JAB-2019 Compliance, IC, Airight

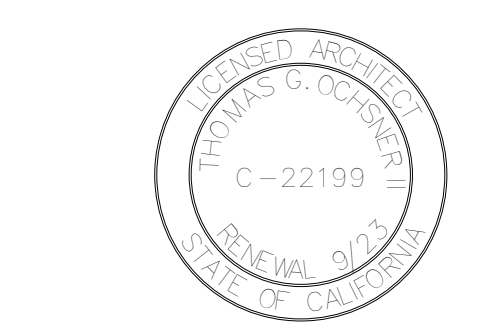
FINISHES:

White

LINE DRAWING:



waclighting.com | Phone (800) 526-2288 | Fax (805) 526-2285 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 100% recycled post-consumer recycled paper with 50% recycled content (including 10% post consumer recycled paper) April 2021



PROJECT NAME: NEW RESIDENCE & DETACHED ADU

DATE DRAWN:

DATE: 4/22/2024

SHEET NO.:

T-1.3

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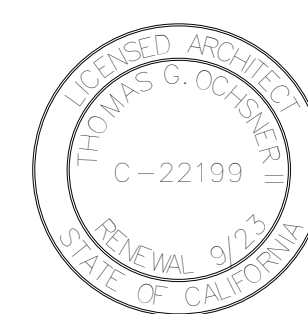
NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

3D VIEWS

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

T-1.4





1



2



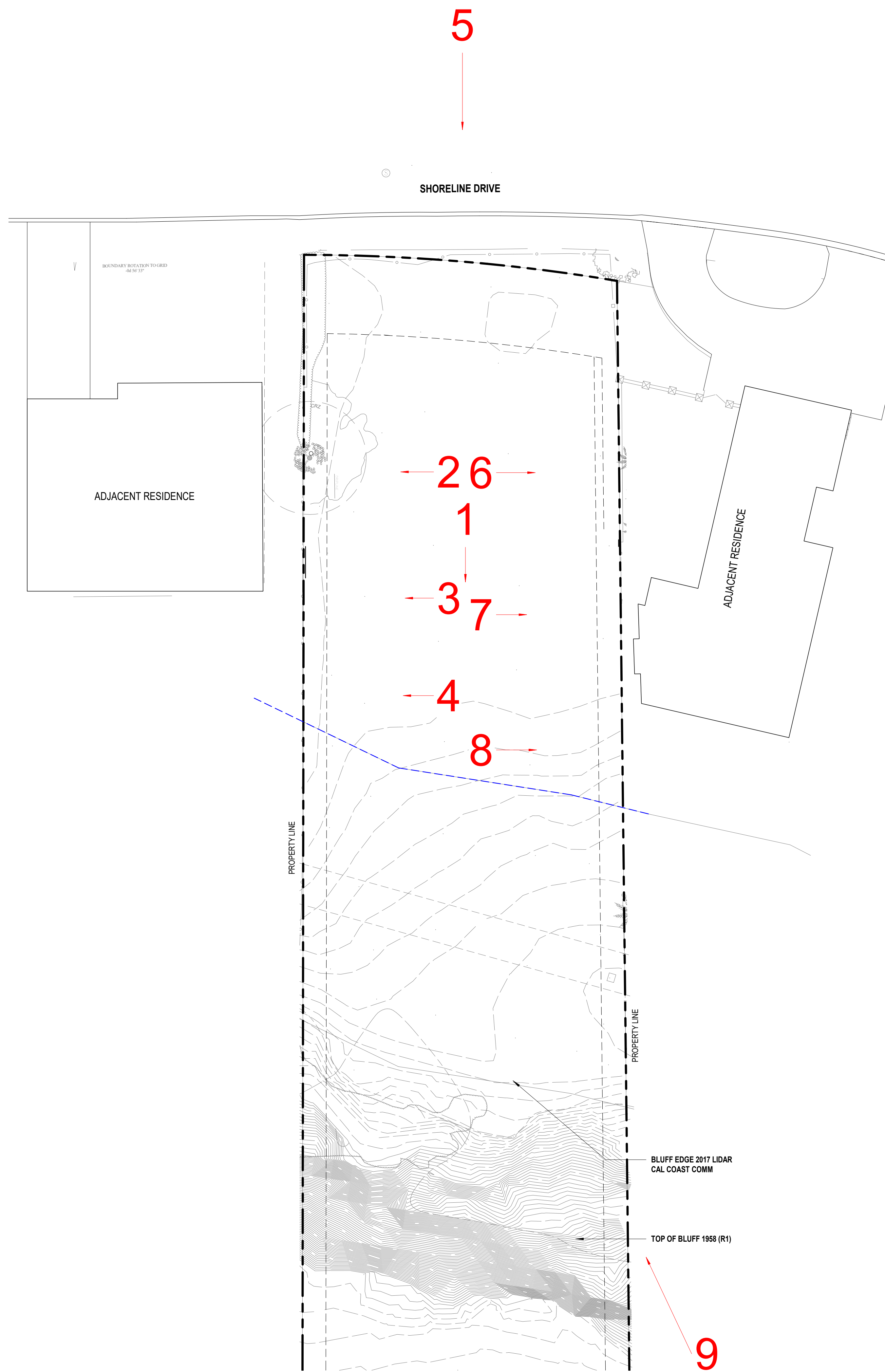
3



4



5



6



7



8



9

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HOOPER

PROJECT

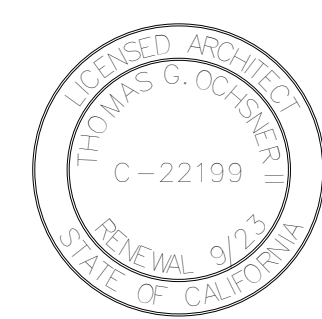
NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

SITE PHOTOS

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

T-1.5

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Santa Barbara, CA
93101
Tel 805.770.7576
Cel 805.705.6558
tom@toarchitect.com
www.toarchitect.com

CLIENT

PETER AND
SUZANNE
HOOPER

PROJECT

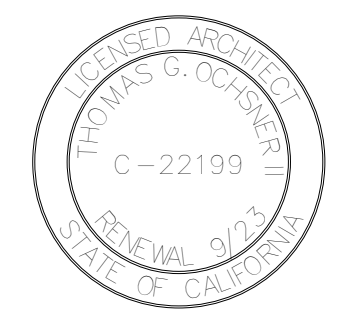
NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

NEIGHBORHOOD
PHOTOS

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

T-1.6



1



2



3



4



5



REFERENCE MAP



6



7



AERIAL PHOTO

TWO STORY SHORELINE RESIDENCES

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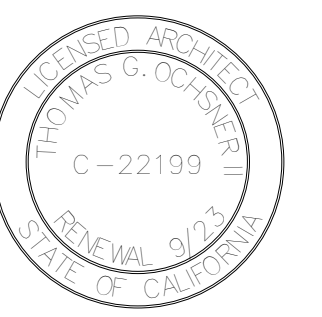
NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

SHORELINE
DRIVE
2-STORY
RESIDENCES

REVISIONS



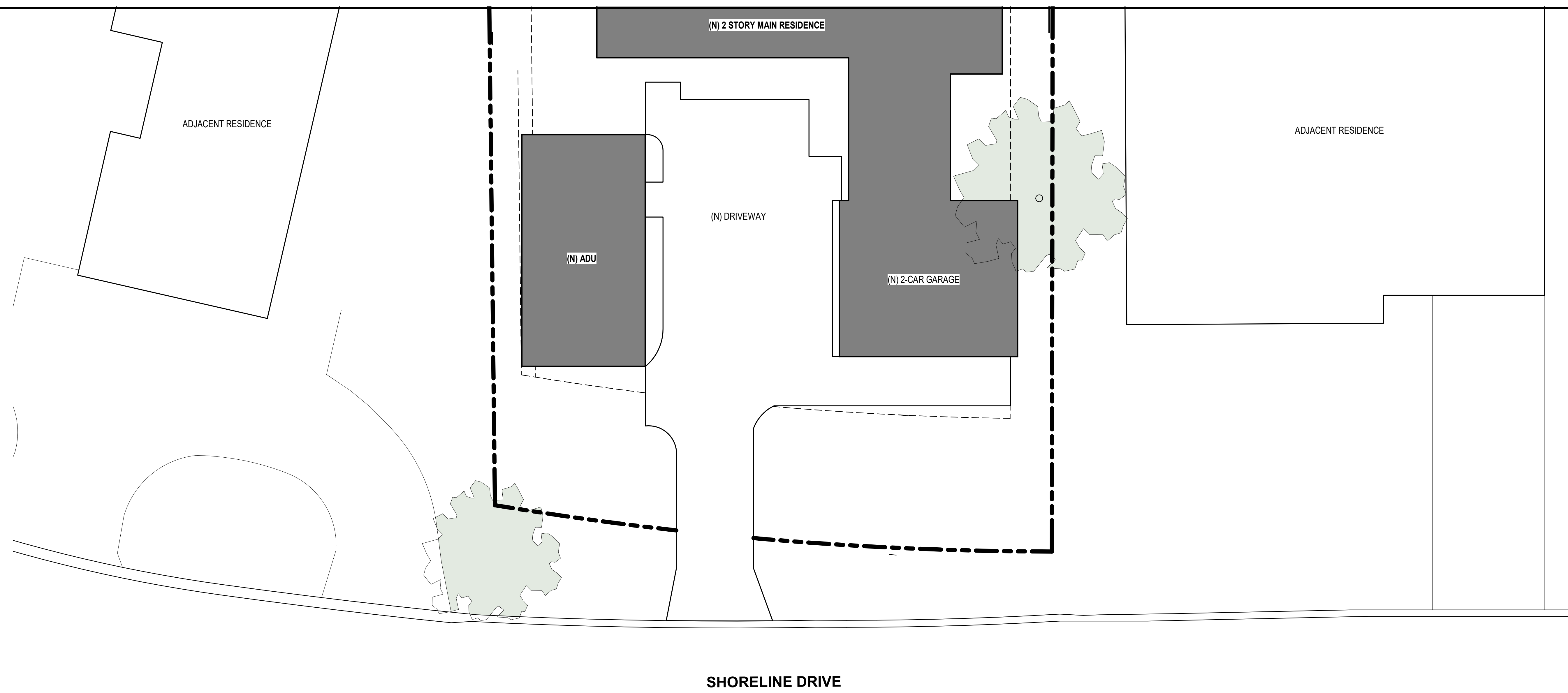
PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

T-1.7



PARTIAL SITE PLAN
SCALE: 1/8" = 1'-0"



STREET VIEW (NORTH ELEVATION)
SCALE: 1/8" = 1'-0"

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**PETER AND
SUZANNE
HOOPER**

PROJECT

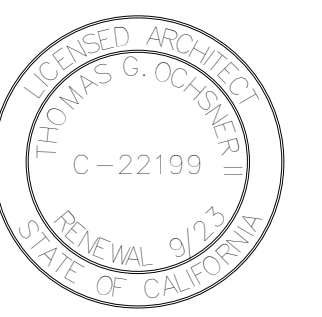
**NEW
RESIDENCE &
DETACHED ADU**

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

STREET VIEW

REVISIONS



PROJECT NAME **NEW RESIDENCE &
DETACHED ADU**

DATE DRAWN

DATE **4/22/2024**

SHEET NO.

T-1.8



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Architect

ARCHITECTURE & PLANNING

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CLIENT

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PROJECT

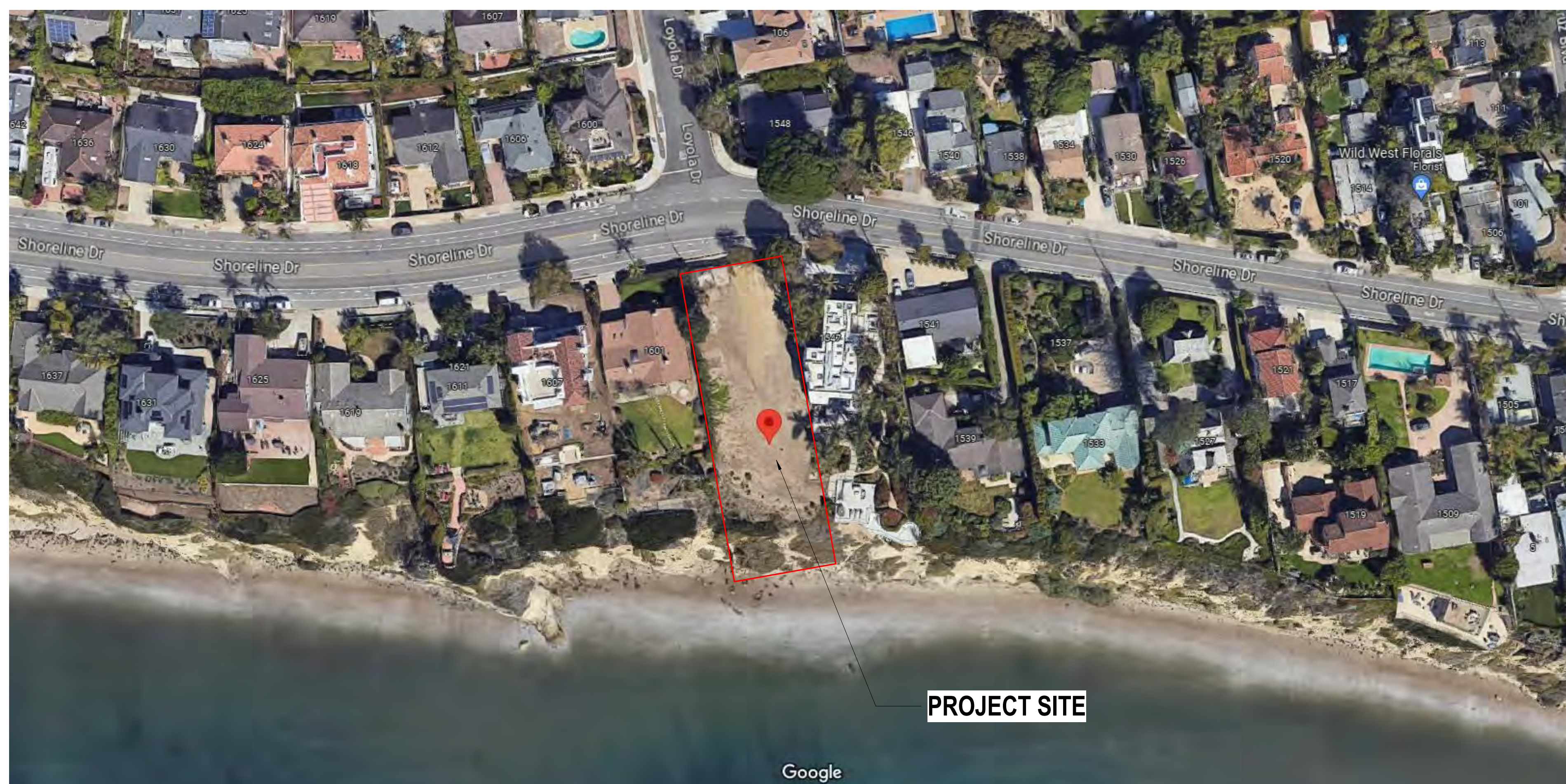
NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

FAR
NEIGHBORHOOD
ANALYSIS

REVISIONS



RESIDENCES IN IMMEDIATE NEIGHBORHOOD BY FAR:

1618 SHORELINE	142%
1624 SHORELINE	123%
1521 SHORELINE	120%
1547 SHORELINE	118%
106 LOYOLA	118%
1600 SHORELINE	104%
1530 SHORELINE	97%
1553 SHORELINE	93%
1631 SHORELINE	83%
1607 SHORELINE	91%
1601 SANTA ROSA	90%
1540 SHORELINE	89%
1541 SHORELINE	79%
1519 SHORELINE	78%
1611 SHORELINE	76%
1601 SHORELINE	74%
1539 SHORELINE	64%
1548 SHORELINE	63%
1533 SHORELINE	58%

PROJECT SITE

Google



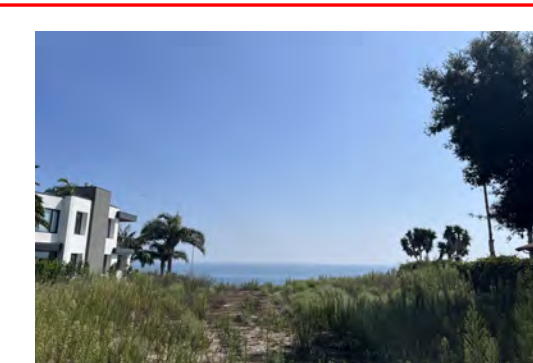
1607 SHORELINE

APN: 045-173-042
LOT AREA: 20,037.6 SF, 0.46 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 3,818 SF + 441 SF GARAGE
FAR PERCENTAGE: 91%
85% FAR: 3,067 SF



1601 SHORELINE

APN: 045-173-021
LOT AREA: 21,344.4 SF, 0.49 ACRES
STORIES: 1 STORY
SQUARE FOOTAGE: 2,987 SF + 480 SF GARAGE
FAR PERCENTAGE: 74%
85% FAR: 4,001 SF



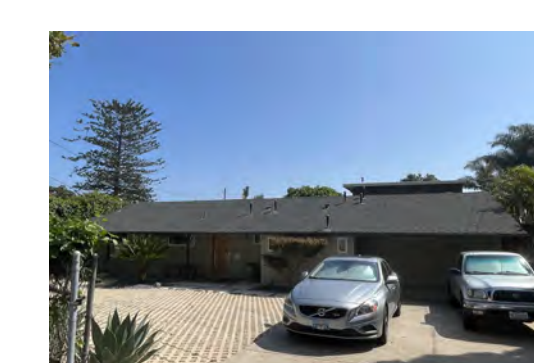
1553 SHORELINE

APN: 045-173-043
LOT AREA: 23,333 SF, 0.52 ACRES
STORIES: N/A
SQUARE FOOTAGE: 3,905 SF + 488 SF GARAGE
FAR PERCENTAGE: 93%
85% FAR: 4,021 SF



1547 SHORELINE

APN: 045-173-041
LOT AREA: 22,851.2 SF, 0.52 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 4,996 SF + 540 SF GARAGE
FAR PERCENTAGE: 118%
85% FAR: 4,016 SF



1541 SHORELINE

APN: 045-182-001
LOT AREA: 6,869.6 SF, 0.16 ACRES
STORIES: 1 STORY
SQUARE FOOTAGE: 1,907 SF + 396 SF GARAGE
FAR PERCENTAGE: 79%
85% FAR: 2,501 SF



106 LOYOLA

APN: 045-174-002
LOT AREA: 6,534 SF, 0.15 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,899 SF + 441 SF GARAGE
FAR PERCENTAGE: 119%
85% FAR: 2,408 SF



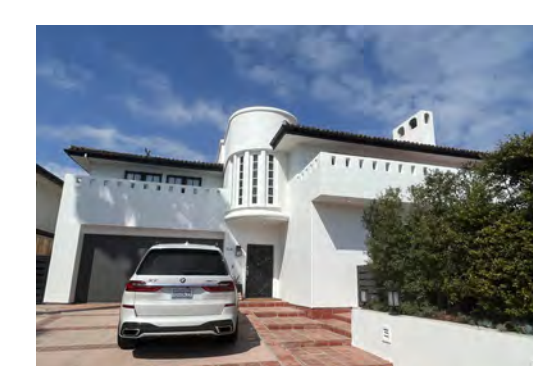
1600 SHORELINE

APN: 045-172-019
LOT AREA: 7,840.8 SF, 0.18 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,627 SF + 441 SF GARAGE
FAR PERCENTAGE: 104%
85% FAR: 2,516 SF



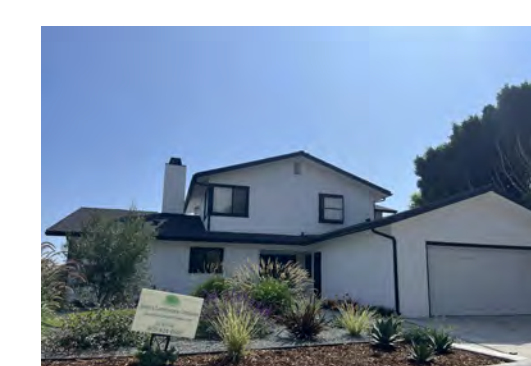
1611 SHORELINE

APN: 045-172-033
LOT AREA: 21,344.4 SF, 0.49 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,985 SF + 589 SF GARAGE
FAR PERCENTAGE: 79%
85% FAR: 4,001 SF



1618 SHORELINE

APN: 045-172-016
LOT AREA: 7,405.2 SF, 0.17 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 3,867 SF + 464 SF GARAGE
FAR PERCENTAGE: 142%
85% FAR: 2,594 SF



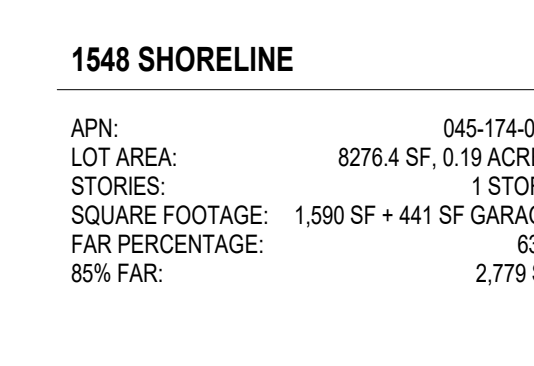
1601 SANTA ROSA

APN: 045-172-012
LOT AREA: 8,276.4 SF, 0.19 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,510 SF + 420 SF GARAGE
FAR PERCENTAGE: 96%
85% FAR: 2,779 SF



1540 SHORELINE

APN: 045-181-018
LOT AREA: 6,098.4 SF, 0.14 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,023 SF + 400 SF GARAGE
FAR PERCENTAGE: 89%
85% FAR: 2,316 SF



1548 SHORELINE

APN: 045-174-003
LOT AREA: 8,276.4 SF, 0.19 ACRES
STORIES: 1 STORY
SQUARE FOOTAGE: 1,590 SF + 441 SF GARAGE
FAR PERCENTAGE: 63%
85% FAR: 2,779 SF



1631 SHORELINE

APN: 045-173-022
LOT AREA: 20,037.6 SF, 0.46 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 3,922 SF + 420 SF GARAGE
FAR PERCENTAGE: 93%
85% FAR: 3,967 SF



1624 SHORELINE

APN: 045-172-017
LOT AREA: 7,840.8 SF, 0.18 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 3,417 SF + 441 SF GARAGE
FAR PERCENTAGE: 123%
85% FAR: 2,686 SF



1533 SHORELINE

APN: 045-182-019
LOT AREA: 18,295.20, 0.42 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,196 SF + 361 SF GARAGE
FAR PERCENTAGE: 58%
85% FAR: 3,755 SF



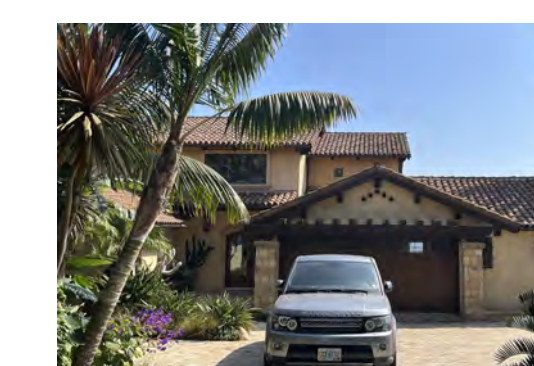
1530 SHORELINE

APN: 045-181-023
LOT AREA: 6,969.6 SF, 0.16 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,353 SF + 480 SF GARAGE
FAR PERCENTAGE: 97%
85% FAR: 2,501 SF



1521 SHORELINE

APN: 045-182-017
LOT AREA: 4,791.6 SF, 0.11 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 2,414 SF + 441 SF GARAGE
FAR PERCENTAGE: 120%
85% FAR: 2,038 SF



1519 SHORELINE

APN: 045-182-006
LOT AREA: 18,296.2 SF, 0.42 ACRES
STORIES: 2 STORY
SQUARE FOOTAGE: 3,129 SF + 400 SF GARAGE
FAR PERCENTAGE: 78%
85% FAR: 2,755 SF

FAR NEIGHBORHOOD ANALYSIS

NOT TO SCALE

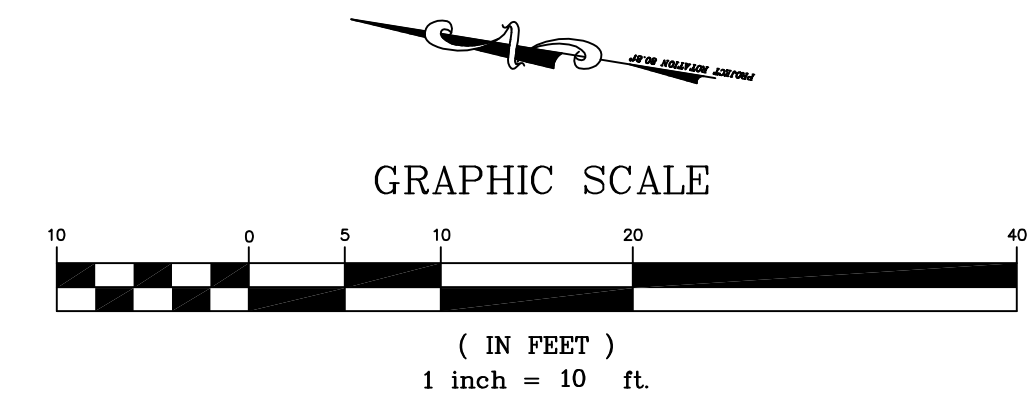


PROJECT NAME NEW RESIDENCE & DETACHED ADU

DATE DRAWN

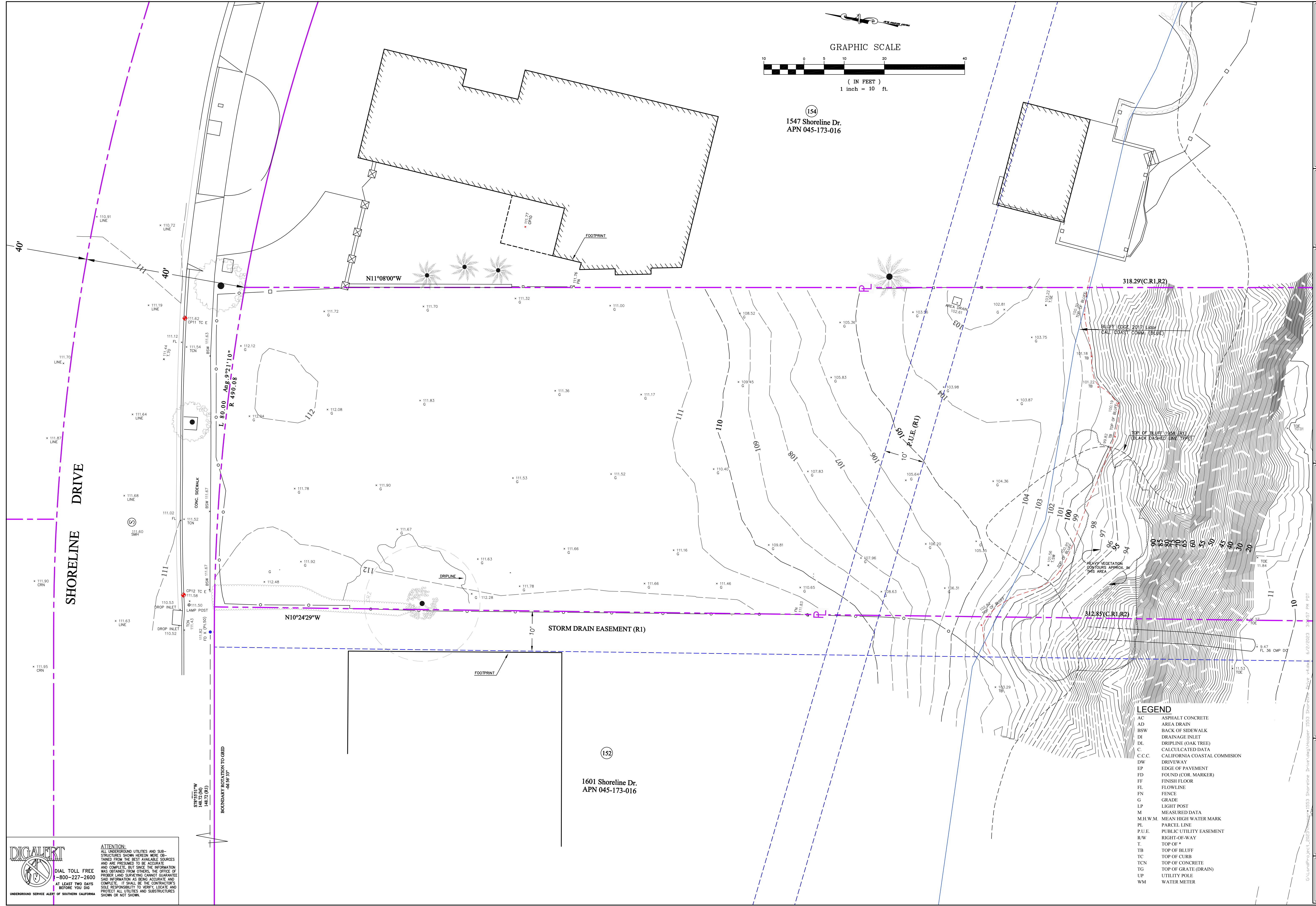
DATE 4/22/2024

SHEET NO.



154
1547 Shoreline Dr.
APN 045-173-016

152
1601 Shoreline Dr.
APN 045-173-016



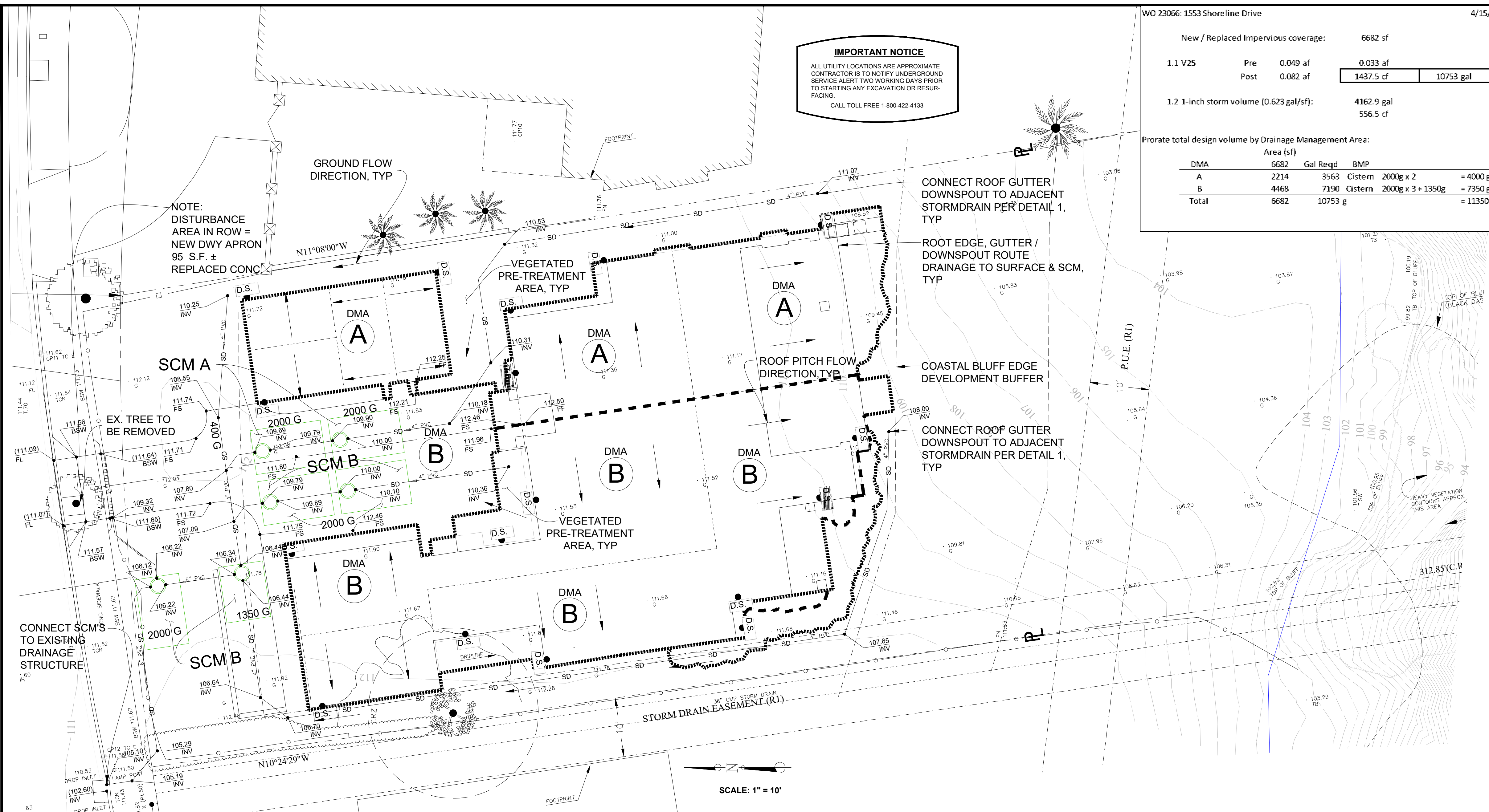
LEGEND

AC	ASPHALT CONCRETE
AD	AREA DRAIN
BSW	BACK OF SIDEWALK
DI	DRAINAGE INLET
DL	DRIPLINE (OAK TREE)
C	CALCULATED DATA
C.C.C.	CALIFORNIA COASTAL COMMISSION
DW	DRIVEWAY
EP	EDGE OF PAVEMENT
FD	FOUND (COR. MARKER)
FF	FINISH FLOOR
FL	FLOWLINE
FN	FENCE
G	GRADE
LP	LIGHT POST
M	MEASURED DATA
M.H.W.M.	MEAN HIGH WATER MARK
PL	PARCEL LINE
P.U.E.	PUBLIC UTILITY EASEMENT
R.W.	RIGHT-OF-WAY
T	TOP OF *
TB	TOP OF BLUFF
TC	TOP OF CURB
TCN	TOP OF CONCRETE
IG	TOP OF GRATE (DRAIN)
UP	UTILITY POLE
WM	WATER METER

DIGALERT
DIAL TOLL FREE
1-800-227-2600
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

ATTENTION:
ALL UNDERGROUND UTILITIES AND SUB-STRUCTURES SHOWN HEREON WERE OBTAINED FROM THE BEST AVAILABLE SOURCES AND ARE PRESUMED TO BE ACCURATE AND COMPLETE. BUT SINCE THE INFORMATION WAS OBTAINED FROM OTHERS, THE OFFICE OF PROBER LAND SURVEYING CANNOT GUARANTEE SAID INFORMATION AS BEING ACCURATE AND COMPLETE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY, LOCATE AND PROTECT ALL UTILITIES AND SUBSTRUCTURES SHOWN OR NOT SHOWN.

G:\Land\proj\1_2023\1553 Shoreline - Drive\Map\1553 Shoreline - Drive.apx 6/27/2023 10:57 PM PPT



IMPORTANT NOTICE
 ALL UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR IS TO NOTIFY UNDERGROUND SERVICE ALERT TWO WORKING DAYS PRIOR TO STARTING ANY EXCAVATION OR RESURFACING.
 CALL TOLL FREE 1-800-422-4133

WO 23066: 1553 Shoreline Drive 4/15/2024

New / Replaced Impervious coverage: 6682 sf

1.1 V25	Pre	0.049 af	0.033 af	
	Post	0.082 af	1437.5 cf	10753 gal

1.2 1-inch storm volume (0.623 gal/sf): 4162.9 gal / 556.5 cf

Prorate total design volume by Drainage Management Area:

DMA	Area (sf)	Gal Req'd	BMP	
A	2214	3563	Cistern	2000g x 2 = 4000 g
B	4468	7190	Cistern	2000g x 3 + 1350g = 7350 g
Total	6682	10753 g		= 11350 g

I UNDERSTAND THIS PROJECT IS SUBJECT TO CITY OF SANTA BARBARA TIER 3 STORMWATER REQUIREMENTS AND AGREE TO CONTRACT WITH THE CIVIL ENGINEER SUCH THAT A STAMPED LETTER VERIFYING THAT ALL POST CONSTRUCTION BMP'S ARE INSTALLED AS DESIGNED AND APPROVED.

I ALSO AGREE TO MAINTAIN THE PROPOSED STORMWATER BMP'S INCLUDING BIORETENTION AREA, PERMEABLE PAVERS AND RAINWATER TANKS PER PURSUANT TO SBMC 22.87.050.

PROPERTY OWNER _____

STORMWATER BMP REQUIREMENTS AND CAPACITIES

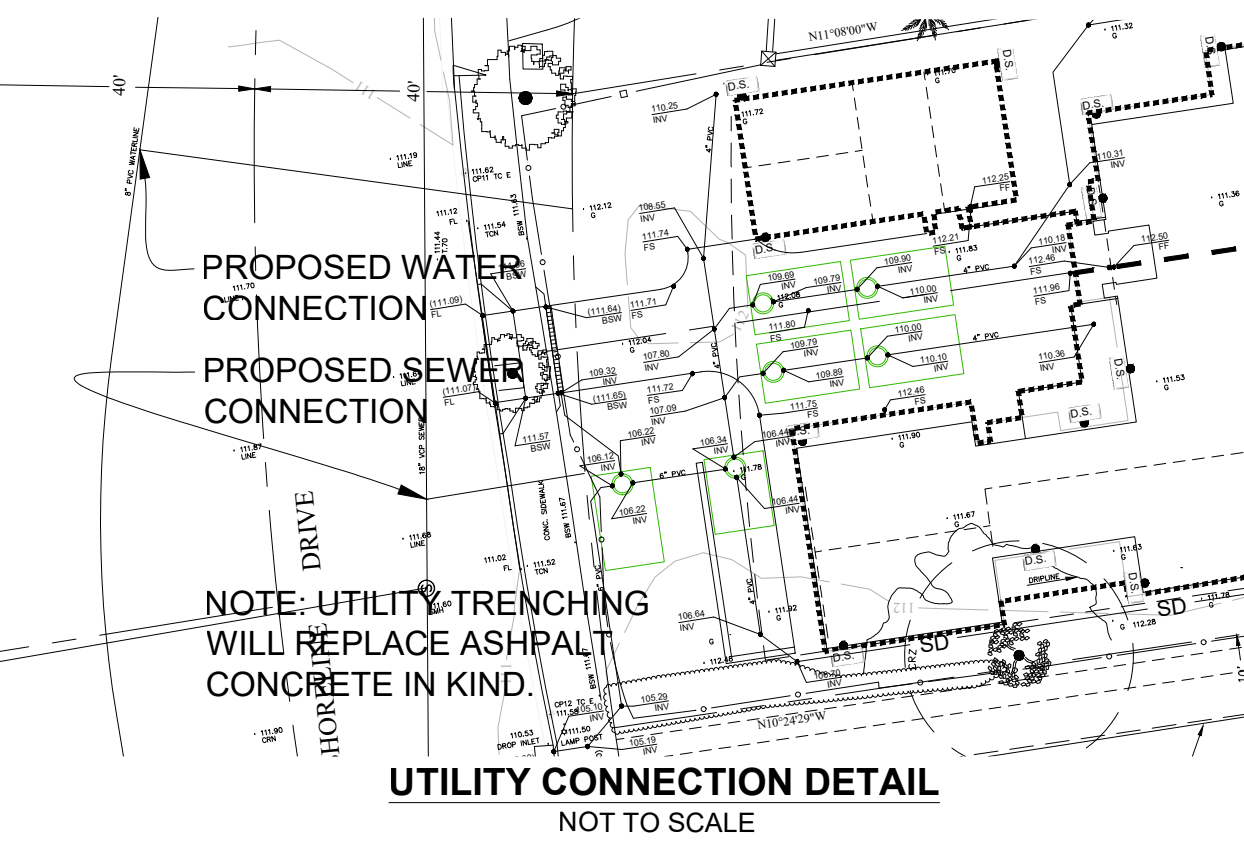
SCM A; CISTERNS
 VOL. REQUIRED; 3,563 GAL.
 VOL. PROVIDED; 4,000 GAL.

SCM B; CISTERNS
 VOL. REQUIRED; 7,190 GAL.
 VOL. PROVIDED; 7,350 GAL.

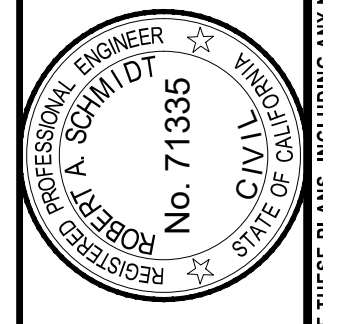
NOTE: SCM'S OVERSIZED TO ENSURE CAPTURE AND TREATMENT OF ALL HARDSCAPE RUNOFF.

SITE COVERAGE DATA

PROPD NEW IMP. AREA	= 6,682 SF
PROPD REPLACED IMP. AREA	= 0 SF
PROPD REMOVED IMP. AREA	= 0 SF
PROPD NEW PERVIOUS AREA	= 0 SF



NO.	DESCRIPTION	DATE APPROVED



F&A ASSOCIATES, INC.
 115 W. Canon, Partridge Street
 Santa Barbara, CA 93101
 Telephone (805) 966-2224
 PRELIMINARY
 BY: NOT FOR CONSTRUCTION DATE: _____



GRADING & DRAINAGE PLAN
 1553 SHORELINE DRIVE
 CITY OF SANTA BARBARA, CALIFORNIA

C-1
 DATE: 4/15/2024
 SHT. 1 OF 1

RainHarvest Systems

Graf Platin® Rainwater Tanks

The new generation of Platin low-profile underground rainwater tanks makes it easy for the homeowner to install

The Platin® Low Profile Underground Tank:

The lineup consists of four low-profile tanks ranging from 400 gallons to 2,000 gallons. The ultra-high strength design of the Platin makes it groundwater stable up to the tank's shoulder and, when fitted with the appropriate lid, is safe for vehicle traffic. The Platin tank is guaranteed not to collapse when empty when installed per the manufacturer's specifications.

Platin Tank Features:

- 15 Year manufacturer's warranty
- Minimal installation depth
- Suitable for vehicle loading (when combined with the cast iron lid option)
- Groundwater stable to the tank shoulder
- Convenient 26" manway opening
- Variable installation depth with double-sealed telescopic riser
- Attractive locking green lid
- Internal pre-filtration option
- Easy to transport and install
- Ultra-high strength materials and design

Internal Filter Package Option:

Specially designed for rainwater harvesting, the Graf Minimax-Pre® internal self-cleaning filter handles debris from roof areas up to 3,750 sq. ft.

- Greatly simplified installation
- Only one manway and lid in the yard
- Provides over 95% water yield
- Self-cleaning
- Very low maintenance

Graf Platin Tank Ease of Installation:

- Minimum installation depth greatly reduces installation time and cost, while modular components and integrated filter technology make the system easy to assemble.
- Existing irrigation systems can be connected to the automatically controlled pump which starts pumping whenever a zone is activated.
- Water can be delivered using an internal pump connection and/or by the integrated hose connection in the tank lid. Hose connection in the tank lid snaps shut while not in use.

Platin Tank Dimensions:

Tank	400 US Gallons	800 US Gallons	1350 US Gallons	2000 US Gallons
Part No.	390000	390001	390002	390005
Weight (approx.)	175 lb.	375 lb.	530 lb.	795 lb.
Length [in]	83"	96"	114"	142"
Width [in]	49"	83"	91"	89"
Height of tank shoulder [in]	28"	29"	37"	49"
Height of dome collar [in]	12.5"	12.5"	12.5"	12.5"
Ø Manway opening [in]	26"	26"	26"	26"
Ø Tank dome [in]	31.5"	31.5"	31.5"	31.5"

RainFlo IGB In-Ground Rainwater Collection Bundle 1.25 HP 115V

RainFlo professional in-ground rainwater collection bundle. You choose the tank and this in-ground package includes everything else you need to start your own rain harvesting system.

Our Price	\$1,999.95
List Price	\$2,299.99
SKU	UGSkg1-A
Weight	125
Free U.S. Shipping (excludes Hawaii/Alaska)	

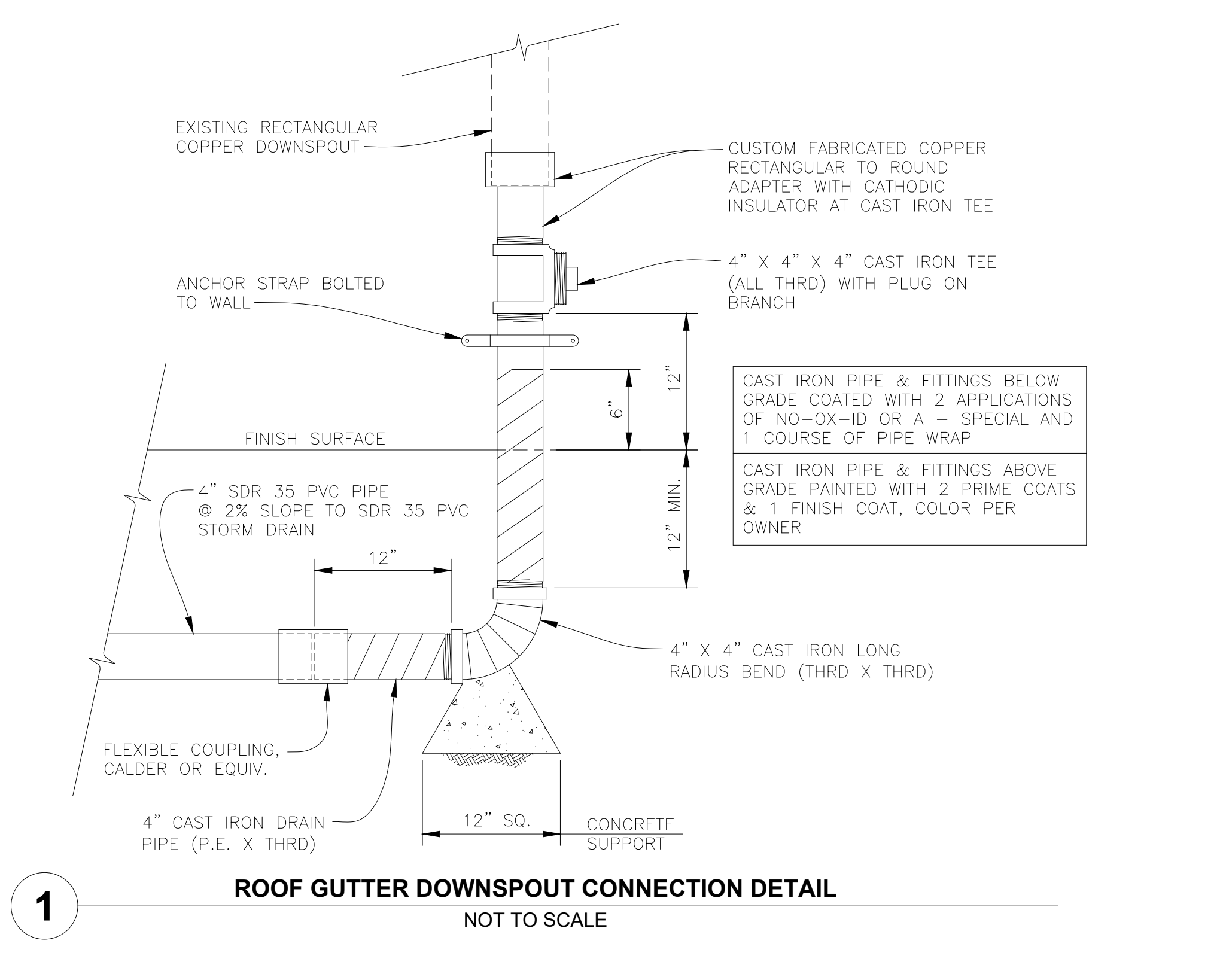
Product Description:

You choose the tank and this package includes everything else you need to start your own in-ground rain harvesting system*

Package Features:

NOTE: 2000 G. TANKS IN DRIVEWAY AND TANKS IN NWLY AREA TO BE MANIFOLDED / VENTED PER MANUFACTURER SPECIFICATIONS

Overflow Siphon
 RainFlo 1.25 Horsepower 115V Pump
 Floating Filter
 Graf Outmax Self-cleaning Filter
 RainFlo Electronic Pump Control (115V)
 Multi-Tile 4" Entry and Overflow Grommets (2)
 Bulkhead Fitting (1.25")
 Calming Inlet



LANDSCAPE COMPLIANCE CHECKLIST 2023

The person who prepared the landscape plan must complete and sign this checklist and include it on the landscape plans. Read each checked line and add sheet references to verify compliance, or indicate N/A if "not applicable".

1) Limit Your Lawn	Sheet #
✓ No turfgrass or high water using plants in parkways, medians, or areas with dimension of < 8 feet	N/A
✓ No turfgrass or high-water using plants located on slopes of 20% or greater	N/A
2) Plant Water-Wise	Sheet #
✓ Nonresidential projects are designed with 100% water-wise plants, or City WELS Worksheet shows ETAF of 0.37 or less and is reproduced on plans	N/A
✓ Residential projects are designed with 80% water-wise plants, or City WELS Worksheet shows ETAF of 0.5 or less and is reproduced on plans	L-3.0/L-3.1
✓ Plant list includes botanical name, common name, and WUCOLS classification	L-3.0
✓ Plans show total square feet of all new/revised landscaping and provide total sub-areas of irrigated water-wise, moderate, high water use plants	L-1.0/L-4.2
3) Mulch, Mulch, Mulch	Sheet #
✓ All appropriate landscaped areas will be covered with at least 3" mulch, organic is preferred	L-3.0
✓ Compost incorporated into soil of landscaped area, if soil is <6% organic matter in top 6"	L-3.0
4) Irrigate Efficiently	Sheet #
✓ A weather-based irrigation controller with a rain shutoff sensor is provided	L-4.0/L-4.1
✓ Drip irrigation, with emitters with < 2 GPH, is provided on at least 25% of the landscaped area	L-4.0/L-4.1
✓ If required, plans show private irrigation sub-meter or City issued dedicated irrigation meter	L-4.0/L-4.1
✓ Pressure regulators are provided for mainline, if necessary; inline regulators at each valve	L-4.0/L-4.1
✓ Manual shut-off valve close to point of connection provided	L-4.1
✓ For projects > 5,000 square feet, flow sensor and master shut-off valve is provided	L-4.0/L-4.1
✓ Hydrozones clearly demonstrated on plans and valves show hydrozones separated based on plant water needs. Hydrozones do not mix low, moderate and high water using plants	L-4.2
✓ Irrigation systems are designed to avoid overspray and runoff	L-4.1
✓ Areas less than 8' are irrigated with bubblers, pop-up rotating nozzle, sub-surface, or drip	L-4.1
✓ Overhead irrigation at least 24" setback of any non-permeable surface	L-4.1
✓ Sprinklers have matched precipitation rates within each valve and circuit	N/A
✓ Sprinklers have uniform distribution, head-to-head spacing, and setbacks from paved areas	N/A
5) Certify	Sheet #

I certify that the foregoing is true and correct and that verification will be necessary upon final inspection.

Signature *Chill* COURTNEY JANE MILLER #5581 EXP: 9/30/2024
Name License # and Exp. Date

1553 SHORELINE DRIVE RESIDENCE

LANDSCAPE PLANS

1553 SHORELINE DRIVE
SANTA BARBARA, CA 93109

PROJECT CONTACTS

LANDSCAPE ARCHITECT
CJM::LA, INC.
CONTACT: ARTURO ZARAGOZA
805.698.2120
arturo@cjm-la.com

ARCHITECT
TOM OCHSNER ARCHITECT, AIA
CONTACT: LIZ HUGHES
805.770.7576
liz@toarchitect.com

CIVIL ENGINEER
FLOWERS & ASSOCIATES, INC.
CONTACT: WESLEY BARBER
805.966.2224 x113
wbarber@flowersassoc.com

TOTAL ONSITE LANDSCAPE AREA: 7,541 SF (MINIMUM 80% LOW WATER)

TOTAL OFFSITE (R.O.W.) LANDSCAPE AREA: 238 SF (MINIMUM 80% LOW WATER)

SHEET INDEX

SHEET	DESCRIPTION
L-0.0	TITLE SHEET
L-1.1	TREE DISPOSITION PLAN
L-1.2	ARBORIST REPORT
L-2.0	CONSTRUCTION NOTES & SCHEDULE
L-2.1	CONSTRUCTION PLAN
L-3.0	PLANTING NOTES & SCHEDULE
L-3.1	PLANTING PLAN
L-4.0	IRRIGATION NOTES & SCHEDULE
L-4.1	IRRIGATION PLAN
L-5.1	LIGHTING PLAN, NOTES & SCHEDULE
L-6.1	CONSTRUCTION DETAILS
L-6.2	CONSTRUCTION DETAILS
L-6.3	PLANTING DETAILS
L-6.4	IRRIGATION DETAILS
L-6.5	IRRIGATION DETAILS



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NOT FOR CONSTRUCTION
1553 SHORELINE DRIVE RESIDENCE
1553 Shoreline Drive
Santa Barbara, CA 93109

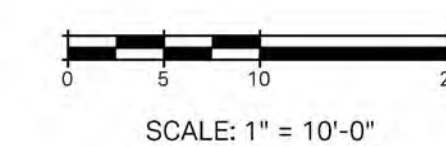


REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER
2305
DRAWN BY
AZ
DATE DRAWN
04/04/24
SCALE
1"=10'-0"
PRINT DATE
4/22/24

SHEET NUMBER
L-0.0





Administration
Tel: 805.564.6431
Fax: 805.564.5480

October 10, 2023

Parks Division Office
Tel: 805.564.6433
Fax: 805.897.2524

Jianhua Chen
jianhua@cjm-la.com

Recreation Division Office
Tel: 805.564.5419
Fax: 805.564.5480

THIS IS NOT A PERMIT

Crews Division Office
Tel: 805.897.2658
Fax: 805.897.2626

Subject: *Erythrina caffra*, South African Coral Tree at 1553 Shoreline Drive

Dear Mr. Chen,

Your request to remove an *Erythrina caffra*, South African Coral Tree at 1553 Shoreline Drive is approved.

Permits for this work are only valid for sixty (60) days, once obtained (SBMC15.20.120). Please contact me when you are ready for a permit.

Thank you,

Nathan Slack
Urban Forest Superintendent

625 Laguna St.
PO Box 1990
Santa Barbara, CA
93102-1990

Golf Course
Tel: 805.284.5547
Fax: 805.897.2644
3500 McCaw Ave.
PO Box 1990
Santa Barbara, CA
93102-1990

Neighborhood and
Outreach Services
Tel: 805.897.2560
Fax: 805.963.7569
423 W. Victoria St.
P.O. Box 1990
Santa Barbara, CA
93102-1990

SITE STATISTICS

TOTAL **ONSITE** EXISTING TREES: 1
TREES TO BE REMOVED: 0
TREES TO BE PROTECTED IN PLACE: 1

TOTAL **OFFSITE** EXISTING TREES: 1
TREES TO BE REMOVED: 1
TREES TO BE PROTECTED IN PLACE: 0

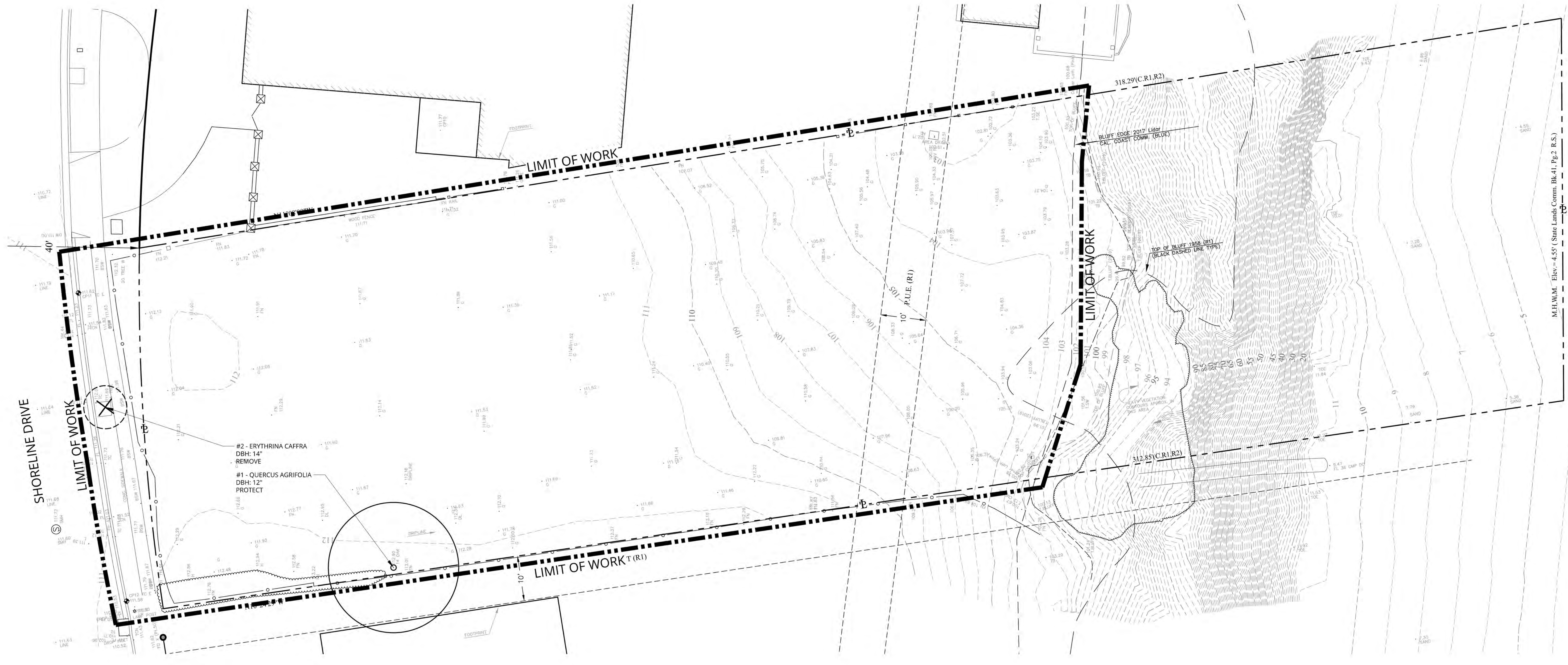
TREE PROTECTION GENERAL NOTES

- EXISTING TREES LOCATED ON SITE SHALL BE PROTECTED TO THE MAXIMUM EXTENT FEASIBLE.
- NO GRADING OR DEVELOPMENT SHALL OCCUR WITHIN THE DRIPLEINES OF TREES WHICH OCCUR IN THE CONSTRUCTION AREA. THIS INCLUDES TREE CANOPIES WHICH OVERHANG INTO THE LIMIT OF WORK FROM ADJACENT PROPERTIES.
- ALL TREES WITHIN 25 FEET OF PROPOSED GROUND DISTURBANCES SHALL BE TEMPORARILY FENCED WITH CHAIN-LINK OR OTHER MATERIAL SATISFACTORY TO THE CITY OF SANTA BARBARA THROUGHOUT ALL GRADING AND CONSTRUCTION ACTIVITIES. AT A MINIMUM, THE FENCING SHALL BE INSTALLED SIX FEET OUTSIDE THE DRIFLINE OF EACH TREE WHERE FEASIBLE. THE FENCE SHALL BE STAKED EVERY SIX FEET. FENCING SHOWN ON THIS PLAN SHALL TAKE PRECEDENCE OVER THIS MINIMUM.
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED, STORED, OR OPERATED WITHIN SIX FEET OF TREE DRIPLEINES, OR WITHIN THE LIMITS OF THE TREE PROTECTION FENCING.
- NO FILL SOIL, ROCKS, OR CONSTRUCTION MATERIALS SHALL BE STORED OR PLACED WITHIN SIX FEET OF TREE DRIPLEINES, OR WITHIN THE LIMITS OF THE TREE PROTECTION FENCING.
- ROOTS ENCOUNTERED THAT ARE ONE INCH IN DIAMETER OR GREATER SHALL BE CLEANLY CUT. THIS SHALL BE DONE UNDER DIRECTION OF THE PROJECT ARBORIST.
- TRENCHING OR OTHER CONSTRUCTION ACTIVITY REQUIRED WITHIN THE DRIFLINE OR SENSITIVE ROOT ZONE OF TREES SHALL BE DONE BY HAND AND UNDER THE SUPERVISION OF THE PROJECT ARBORIST.
- TREES LOCATED WITHIN 25 FEET OF PROPOSED BUILDINGS SHALL BE PROTECTED FROM STUCCO OR PAINT DURING CONSTRUCTION.
- REFER TO THE ARBORIST REPORT FOR COMPLETE TREE PROTECTION MEASURES. WHEN THE ARBORIST REPORT REQUIRES ALTERNATIVE TREE PROTECTION ZONES OR FENCING REQUIREMENTS THAN THE ABOVE NOTES, THE MORE STRINGENT REQUIREMENTS SHALL BE MET.



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NOT FOR CONSTRUCTION
TREE DISPOSITION PLAN
1553 SHORELINE DRIVE RESIDENCE
 1553 Shoreline Drive
 Santa Barbara, CA 93109



REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

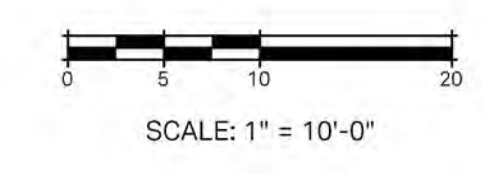
PROJECT NUMBER
2305

DRAWN BY
AZ

DATE DRAWN
04/04/24

SCALE
1"=10'-0"

PRINT DATE
4/22/24



ARBORIST DISCLOSURE STATEMENT & CERTIFICATION OF PERFORMANCE

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to structural failure of a tree. Trees are living organisms that fall in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

I, Bill Spiewak, certify:

That I have personally inspected the tree on the property referred to in this report and have stated my findings accurately. The analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and commonly accepted arboricultural practices.

Signed: Bill Spiewak
 Bill Spiewak
 Registered Consulting Arborist #381
 American Society of Consulting Arborists

 Board Certified Master Arborist #310B
 International Society of Arboriculture
 Qualified Tree Risk Assessor



TREE ASSESSMENT AND PROTECTION PLAN
Project Site: 1553 Shoreline Dr.

Prepared for:
 Thomas Ochsner, AIA
 10 E. Yanonali St. Suite 2D
 Santa Barbara, CA 93101
 M (805) 705-6558 / O (805) 770-7576 / tom@toarchitect.com

Prepared by:
 Bill Spiewak Consulting Arborist
 3517 San Jose Lane
 Santa Barbara, CA 93105
 (805) 331-4075 / bill@sbarborist.com

July 27, 2023

BACKGROUND

The owner of the subject property is proposing to build a house on his vacant lot. There is one young oak tree along the western property line. I was retained to inspect the oak, assess potential impacts from construction, and prepare a report with my findings and recommendations.

OBSERVATIONS

The California Live Oak (*Quercus agrifolia*) has a 14" DBH (diameter at breast height measured at 54" above ground). It is a young tree in good health as indicated by its vigorous growth. The northeastern quadrant of the critical root zone of this oak will be partially encroached upon by a small portion of the garage. Total encroachment is approximately 20%. The dense crown will benefit from pruning to improve its structure and direct growth away from the proposed structure.

CONCLUSIONS

Due to the young age and good condition, this project will no significantly impact the oak provided tree protection measures are followed as listed below.



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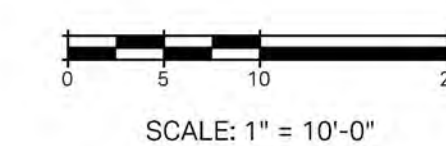
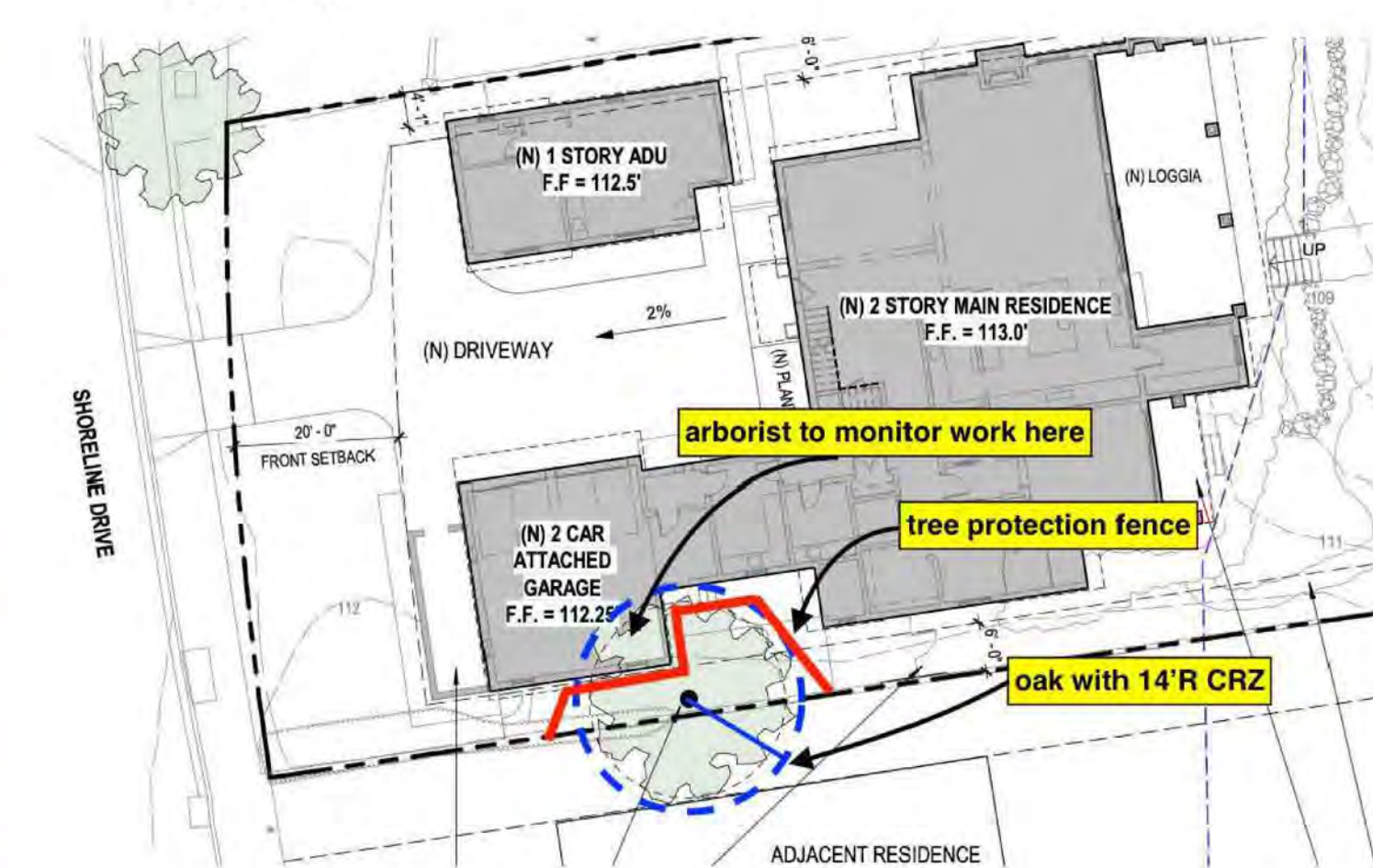
Looking south from the street. Some pruning to reduce density of the crown is recommended.



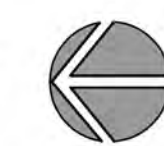
TREE PROTECTION MEASURES

1. Prior to commencement of the project a pre-construction meeting shall be held with contractors, to discuss tree protection measures.
2. Some pruning is recommended to improve the tree's structure and direct growth away from the proposed building.
3. Before commencement of any construction activities, the oak tree should be fenced at the outside edge of the work area. The work area between the proposed footing and tree protection fence should be covered with 2'-3" of mulch (coarse wood chips) and then covered with 1" plywood or suitable other to avoid compaction by workers.
4. The tree protection zone should be void of activities, including operation of equipment, storage of materials and dumping (including temporary spoils from excavation).
5. The project arborist should monitor activities adjacent to the tree throughout the construction period, specifically during excavation and periodically during construction to assure compliance with these tree protection measures.
6. When excavating and grading for the foundation, cleanly cut any roots encountered that are 1/2" and greater. Root sealers are ineffective and should not be used.
7. Any landscape plantings should be small enough to avoid damaging oak roots.
8. Landscape plantings should be low in water requirements similar to the oak.
9. The base of the tree should not be covered with any vegetation nor should irrigation wet the base of the tree.

SITE PLAN



SCALE: 1" = 10'-0"



NOT FOR CONSTRUCTION
ARBORIST REPORT
1553 SHORELINE DRIVE RESIDENCE
 1553 Shoreline Drive
 Santa Barbara, CA 93109



REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER
2309
 DRAWN BY
AZ
 DATE DRAWN
04/04/24
 SCALE
1" = 10'-0"
 PRINT DATE
4/22/24

SHEET NUMBER
L-1.2

CONSTRUCTION LEGEND

A.C.	Asphaltic Concrete
B.C.R.	Beginning Curve Radius
B.O.C.	Back of Curb
C.J.	Cold Joint
C.L.	Center Line
CLR.	Clear/Clearance
CONC.	Concrete
CONT.	Continuous
DIA.	Diameter
D.G.	Decomposed Granite
EA.	Each
E.C.R.	End Curve Radius
EJ.	Expansion Joint
EQ.	Equal
EX.	Existing
F.O.B.	Face of Building
F.O.W.	Face of Wall
F.O.C.	Face of Curb
FG.	Finish Grade
FS.	Finish Surface
FOOD.	Fooding
GALV.	Galvanized
HDR.	Header Board
L.A.	Landscape Architect
MAX.	Maximum
MIN.	Minimum
MB.	Mail Box
NAT.	Natural
N.I.C.	Not In Contract
N.T.S.	Not To Scale
O.C.	On Center
PA.	Planting Area
PIP.	Poured In Place
PL.	Property Line
R.	Radius
RDWD.	Redwood
S.A.D.	See Architect's Drawings
S.C.D.	See Civil Engineer's Drawings
SD.	Slot Drain
S.I.D.	See Interior Designer's Drawings
S.S.D.	See Structural Engineer's Drawings
SHT.	Sheet
SL.	Score Line
SQ.	Square
S4S.	Surfaced Four Sides
STD.	Standard
TF.	Top of footing
TW.	Top of wall
TRANS.	Transformer
TYP.	Typical
V.I.F.	Verify In Field
W.I.	Wrought Iron

DIMENSION LEGEND

- Point of reference
- ⊙ Radius = 2'-0"
- ⊙ Radius = 2'-6"
- ⊙ Radius = 3'-0"
- ⊙ Radius = 4'-0"
- ⊙ Radius = 5'-0"
- ⊙ Radius = 6'-0"
- ⊙ Radius = 18"

MATERIALS SUPPLIER LIST

- CONCRETE COLOR: DAVIS COLORS, 323.265.8323
- COBBLESTONE: ECO OUTDOOR, 855.413.1413
- FLAGSTONE: SANTA BARBARA STONE, 805.963.5891
- GRAVEL: PRIME BUILDING MATERIALS, 818.903.4242
- STEEL HEADER: BORDER CONCEPTS, INC., 253.872.1144
- BOULDERS: STONEYARD BUILDING MATERIALS, 805.962.9511

MOCK-UP/SHOP DRAWING REQUIREMENTS

- CONCRETE PAVING: PROVIDE 4'x4' SQUARE MOCK-UP INDICATIVE OF COLOR, FINISH, AND JOINTING. MULTIPLE MOCK-UPS MAY BE REQUIRED.
- COBBLESTONE PAVING: PROVIDE 4'x4' SQUARE MOCK-UP INDICATIVE OF COLOR, FINISH, AND JOINTING. MULTIPLE MOCK-UPS MAY BE REQUIRED.
- FLAGSTONE PAVING: PROVIDE 4'x4' SQUARE MOCK-UP INDICATIVE OF COLOR AND JOINTING FOR EACH TYPE (ON CONCRETE SLAB, PERMEABLE) AS INDICATED ON PAVING SCHEDULE. MULTIPLE MOCK-UPS MAY BE REQUIRED.
- GRAVEL PAVING: PROVIDE 4'x4' SQUARE MOCK-UP INDICATIVE OF COLOR AND SIZE AS NOTED IN PAVING SCHEDULE. MULTIPLE MOCK-UPS MAY BE REQUIRED.
- DRY STACK BOULDER WALL: PROVIDE 5' LONG MOCK-UP INDICATIVE OF FORM. MULTIPLE MOCK-UPS MAY BE REQUIRED.
- STEEL FENCE/GATES: PROVIDE SHOP DRAWINGS AND 3' LONG MOCKUP INDICATIVE OF COLOR AND FINISH FOR EACH TYPE AS INDICATED ON FENCE & GATE SCHEDULES. MULTIPLE MOCK-UPS MAY BE REQUIRED.
- HANDRAIL: PROVIDE SHOP DRAWINGS AND 3' LONG MOCKUP INDICATIVE OF COLOR AND FINISH.
- OUTDOOR KITCHEN: PROVIDE SHOP DRAWINGS, 4'x4' SQUARE MOCKUP OF CONCRETE COUNTER, INDICATIVE OF COLOR AND FINISH.

*MOCK-UPS TO BE REVIEWED BY L.A. FOR REVIEW AND APPROVAL

SUBMITTAL REQUIREMENTS

- CONCRETE PAVING: SUBMIT COLOR SAMPLE TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- COBBLESTONE PAVING: SUBMIT PRODUCT CUT SHEETS AND PHYSICAL SAMPLES TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- FLAGSTONE PAVING: SUBMIT PHYSICAL SAMPLES TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- GRAVEL: SUBMIT PHYSICAL SAMPLE TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- STEEL HEADER: SUBMIT PRODUCT CUT SHEET TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- BOULDERS: SUBMIT PHOTOS TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- PAINT: SUBMIT SAMPLES FOR FREESTANDING WALL, FENCING, GATES, AND HANDRAIL TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- BLUFF FENCE: PROVIDE PRODUCT CUT SHEET AND PHYSICAL SAMPLE OF WELDED WIRE MESH.
- GATE HARDWARE: SUBMIT PRODUCT CUT SHEETS FOR ALL GATES TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- OUTDOOR KITCHEN: SUBMIT PRODUCT CUT SHEETS FOR ALL APPLIANCES, CONCRETE COUNTER COLOR SAMPLE, AND PLASTER PAINT SAMPLES TO L.A. FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.

COASTAL LAND USE POLICY 5.1-33C AND 5.1-38

- HARDSCAPE IMPROVEMENTS WITHIN THE COASTAL BLUFF EDGE DEVELOPMENT BUFFER WILL CONSIST OF SMALL FORMAT, PERMEABLE, LOW-IMPACT PAVERS AND PERMEABLE DECORATIVE GRAVEL. ALL FLATWORK AND/OR DECKING WILL BE NO MORE THAN 10 INCHES ABOVE THE EXISTING GRADE. NEW FENCING WILL NOT EXCEED 42 INCHES IN HEIGHT. ALL IMPROVEMENTS WILL BE DESIGNED TO BE EASILY REMOVABLE WITHOUT THE USE OF MECHANIZED EQUIPMENT, LOCATED A MINIMUM 10 FEET FROM THE COASTAL BLUFF EDGE, AND DESIGNED TO BE VISUALLY COMPATIBLE WITH THE SURROUNDING AREA.
- ALL LANDSCAPE IMPROVEMENTS WITHIN THE COASTAL BLUFF EDGE DEVELOPMENT BUFFER WILL BE LOCATED AND DESIGNED TO PREVENT AN INCREASE IN WATER PERCOLATION OR EXCESSIVE WEIGHT AND TO AVOID INCREASED DRAINAGE OVER THE COASTAL BLUFF EDGE. THE PROPOSED PLANTINGS WITHIN THE COASTAL BLUFF EDGE DEVELOPMENT BUFFER WILL BE NATIVE AND DROUGHT TOLERANT. NO SUBSTANTIAL SPRINKLER SYSTEMS, IRRIGATION PLUMBING, OR IN-GROUND IRRIGATION SYSTEMS WILL BE PROPOSED WITHIN THE COASTAL BLUFF EDGE DEVELOPMENT BUFFER. IRRIGATION WILL BE LIMITED TO THE MINIMUM NECESSARY FOR PLANT SURVIVAL AND ESTABLISHMENT WITH EASILY REMOVABLE DRIP IRRIGATION TUBING DESIGNED WITH A DEDICATED SHUTOFF VALVE.

PAVING INSTALLATION NOTES

- INSTALL BRICK, STONE & UNIT PAVERS SUCH THAT FINISH SURFACE OF PAVED AREA IS LEVEL.
- NO INDIVIDUAL PAVERS OR STONES SHALL EXCEED 1/4" HIGH VERTICAL DIFFERENCE BETWEEN ADJACENT PAVERS, BRICKS OR STONES.
- UNIT PAYER AREA SHALL BE FLUSH WITH ALL ADJACENT PAVED SURFACES. CHANGES IN LEVEL AT ALL ADJACENT PAVED SURFACES SHALL NOT EXCEED 1/4" HIGH MAXIMUM.
- CONTRACTOR IS RESPONSIBLE FOR ACHIEVING A LEVEL SURFACE FOR ALL PAVED AREAS IN COMPLIANCE WITH CBC 11B-303.

FENCE, WALL & HEDGE HEIGHT NOTES

- WITHIN THE FRONT AND INTERIOR LOT SETBACKS, FENCES, WALLS & HEDGES SHALL NOT EXCEED 8'-0" IN HEIGHT.
- WITHIN 10'-0" OF THE FRONT LOT LINE, FENCES & WALLS SHALL NOT EXCEED 3'-6" IN HEIGHT.
- VISIBILITY TRIANGLE: WHERE A DRIVEWAY DIRECTLY ADJUTS THE PUBLIC R.O.W., NO FENCE, WALL OR HEDGE HEIGHT SHALL EXCEED 3'-6" WITHIN 10'-0" ON EITHER SIDE OF THE DRIVEWAY AND 10'-0" FROM THE FRONT LOT LINE.

UTILITY SCREENING NOTES

- ALL ABOVE-GROUND UTILITIES SHALL BE SCREENED TO THE MAXIMUM EXTENT FEASIBLE, WHILE ALSO ALLOWING FOR REQUIRED CLEARANCES AND MAINTENANCE ACCESS. BACKFLOW PREVENTION DEVICES SHALL BE PAINTED MALAGA GREEN (RAL6005), EXCEPT FOR MOVING PARTS, PER THE CITY OF SANTA BARBARA'S "BACKFLOW PREVENTION DEVICE GUIDELINES."
- TRANSFORMER ENCLOSURE SHALL ALSO BE PAINTED A MALAGA GREEN.
- UTILITIES SHALL BE SCREENED FROM PUBLIC VIEW WITH MIN. 4'-0" TALL EVERGREEN SHRUBS OR GRASSES SPACED TIGHTLY TO ACHIEVE MAXIMUM SCREENING POTENTIAL.

EROSION CONTROL & SLOPE STABILIZATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING AND AFTER CONSTRUCTION AND STORM EVENTS.
- CONTRACTOR SHALL CARRY OUT CONSTRUCTION IN SUCH A MATTER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED.
- EXISTING VEGETATION SHALL BE PROTECTED IN PLACE WHERE FEASIBLE, AND REMOVED ONLY AS SHOWN ON THE PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL GRADING SHALL BE PERFORMED UNDER THE EXPRESS DIRECTION OF A LICENSED CIVIL ENGINEER.
- AFTER COMPLETION OF THE CLEARING AND GRADING, CONTRACTOR SHALL INSTALL EROSION CONTROL BLANKETS IN ALL AREAS WHERE SLOPE EXCEEDS 2:1 AS FOLLOWS:
MODEL: BIONET S150BN SHORT-TERM BIODEGRADABLE EROSION CONTROL BLANKET
MATERIAL: 100% JUTE FIBER
LONGEVITY: 12 MONTHS
AVAIL: NORTH AMERICAN GREEN www.nagreen.com
CONTACT: CODY HUFF 1-800-772-2040
- CONTRACTOR TO CONFIRM PRODUCT SELECTION WITH CIVIL ENGINEER PRIOR TO ORDERING.
- BLANKETS SHALL BE INSTALLED SURROUNDING SHRUBS AS SHOWN ON THE PLANTING PLANS AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL PREPARE SOIL PER PLANTING SPECIFICATIONS AND NOTES.

SIGHT VISIBILITY NOTES

- EXISTING TREES LOCATED WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL BE PRUNED SO THAT THE LOWEST BRANCH IS A MINIMUM OF 7'-6" ABOVE THE FINISH GRADE.
- NO NEW TREES SHALL BE PLANTED WITHIN THE SIGHT VISIBILITY TRIANGLE.
- SHRUBS AND GROUND COVERS LOCATED WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL BE PRUNED AND MAINTAINED SO THAT THE MAXIMUM HEIGHT DOES NOT EXCEED 2'-0" ABOVE THE FINISH GRADE.
- NO FENCE, WALL, GATE, SCREEN OR HEDGE SHALL EXCEED A MAXIMUM HEIGHT OF 3'-6" WITHIN THE VISIBILITY TRIANGLE.

SUBSTITUTIONS & PRICING NOTE

SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. ANY MATERIAL ORDERED WITHOUT AUTHORIZATION BY THE LANDSCAPE ARCHITECT SHALL BE CORRECTED TO CONFORM TO THE PLANS AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL BASE BIDS AND PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF WORK INDICATED.

CONSTRUCTION GENERAL NOTES - RESIDENTIAL

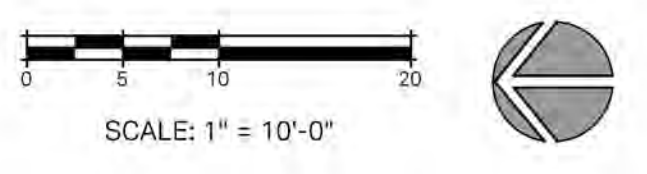
- CONTRACTOR TO OBTAIN REQUIRED PERMITS AND COMPLY WITH APPLICABLE CODES.
- CONSTRUCTION SHALL CONFORM TO ALL LOCAL CITY, COUNTY, STATE AND INTERNATIONAL CODES.
- CONTRACTOR SHALL EXAMINE THE SITE OF PROPOSED WORK NOTING EXISTING CONDITIONS AND PROPOSED WORK AS SHOWN ON THE PLANS. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES, PARTICULARLY IN TOPOGRAPHY AND LOCATION OF EXISTING TREES.
- CONTRACTOR SHALL NOT MAKE FIELD CHANGES UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM TO THE PLANS, AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ALL FIELD CHANGES AND ANY NECESSARY REVISIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UNDERGROUND UTILITIES AND SHALL REPLACE OR REPAIR SAME AS REQUIRED AT HIS EXPENSE.
- CONTRACTOR SHALL COORDINATE ELECTRICAL, INCLUDING LOW VOLTAGE LIGHTING, AND IRRIGATION CONDUIT SLEEVES PRIOR TO INSTALLATION OF NEW PAVEMENT.
- REVIEW ALL HARDWARE, GATE OPERATION OPTIONS, ACCESSORIES, ETC. WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE PLANTING INSTALLATION WITH TIMING OF EXTERIOR WALL PAINTING AND OTHER CONSTRUCTION TRADES (E.G. ELECTRICAL AND CONCRETE) TO AVOID DAMAGING PLANTS.
- CONTRACTOR SHALL REGULARLY INSPECT SITE FOR PROPER DRAINAGE AND REPORT APPARENT PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL MATERIALS, COLORS AND FINISHES WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN SAMPLES OF ALL CONCRETE COLOR & FINISHES, TILE, BRICK, PAVERS, GRAVEL, D.G., ETC. & SUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- LANDSCAPE ARCHITECT SHALL REVIEW ALL FORMING AND SCORE JOINT "SNAP LINES" BEFORE CONCRETE IS POURED OR CUT. NOTIFY LANDSCAPE ARCHITECT 24 HRS. IN ADVANCE OF CONCRETE POUR.
- CONTRACTOR SHALL STAKE LOCATIONS FOR GRAVEL WALKWAY HEADERS FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN TREE BOX SIZE AND HARDSCAPE OR UTILITY LOCATIONS. FIELD CHANGES SHALL BE MADE EXPRESSLY BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL PROTECT TREE ROOTS AND TRUNKS FROM COMPACTION AND DAMAGE DURING CONSTRUCTION. TRENCHING ADJACENT TO EXISTING TREE DRIP LINES SHALL BE DONE BY HAND TO AVOID ROOT DAMAGE.
- ALL SCORE JOINTS, SAW CUTS AND EXPANSION JOINTS SHALL BE INSTALLED AS SHOWN ON THE PLANS.
- PAVING SUB-BASE AND REINFORCEMENT SHALL BE PER THE CIVIL DRAWINGS, STRUCTURAL DETAILS, OR GEOTECHNICAL SOILS REPORT.
- REFER TO THE CIVIL ENGINEER'S PLANS FOR DRAIN LOCATIONS AND DETAILS.
- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO FACE FINISH OF STRUCTURE.

GRADING AND DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER GRADING AND DRAINAGE THROUGHOUT ALL AREAS OF THE SITE.
- PROTECT EXISTING TREES, SHRUBS AND ROOTS FROM DAMAGE DURING THE SITE GRADING OPERATION, UNLESS MARKED FOR REMOVAL.
- CLEAR EXISTING VEGETATION, TRIM AND PRUNE EXISTING TREES AND SHRUBS AS DIRECTED BY LANDSCAPE ARCHITECT AND/OR OWNER.
- COMPACT PLANTING AREAS TO NO MORE THAN 85% PRIOR TO PLANTING. PLANTING AREAS PREVIOUSLY COMPACTED UNDER EXISTING PAVING SHALL BE TILLED TO A DEPTH OF 18".
- COMPACT SUB-GRADE UNDER PAVED AREAS, FOOTINGS, BOULDERS, AND SLABS TO A MINIMUM OF 90%.
- VERIFY EXISTING UNDERGROUND UTILITIES, DRAIN LINES, CONDUITS, ETC. PRIOR TO GRADING AND CONSTRUCTION ACTIVITY.
- BLEND PROPOSED CONTOURS WITH EXISTING TO ENSURE A SMOOTH TRANSITION.
- VERIFY PROPERTY LINES, SETBACK LINES AND EASEMENTS PRIOR TO CONSTRUCTION. REPORT DISCREPANCY TO LANDSCAPE ARCHITECT.
- WORKMANSHIP AND MATERIALS SHALL CONFORM TO LOCAL BUILDING CODES, ORDINANCES, AND CONDITIONS. CONSULT APPROPRIATE AGENCIES FOR CONDITION AFFECTING THE PROPOSED IMPROVEMENTS TO THE SITE.
- COORDINATE WORK WITH OTHER TRADES TO ASSURE THE INTEGRITY OF WORK.
- SECURE CONSTRUCTION/GRADING PERMITS REQUIRED.
- CATCH BASINS IN PLANTER AREAS TO BE 4" NDS "TRIUM" DRAINS, BLACK IN COLOR.
- PROVIDE IRRIGATION SLEEVES AND ELECTRICAL CONDUIT AS REQUIRED.
- GRADING AND SUBSURFACE DRAINAGE SHALL BE IN STRICT ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
- STOCKPILE THE TOP 12" OF TOPSOIL FOR USE IN PLANTING AREAS. REPLACE TOPSOIL AFTER COMPLETION OF HEAVY TRUCK ACCESS AND CONSTRUCTION ACTIVITY.
- ALL TOP SURFACES OF STEP TREADS TO SLOPE AT 1% FOR DRAINAGE.
- ALL PLANTING AREAS TO FLOW AT A MINIMUM OF 2% IN DIRECTION OF DRAINS, AS NOTED ON PLANS.
- HOLD FINISH GRADE A MINIMUM OF 3" BELOW TOP OF WALLS AND 6" BELOW FINISH FLOORS.
- ALL FINISH SURFACES TO DRAIN AT 0.5% MIN. UNLESS OTHERWISE NOTED ON PLAN.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
[A-01]	OUTDOOR KITCHEN BRICK STEEL TBS BY OWNER APPLIANCES: 316 STAINLESS STEEL TBS BY OWNER COUNTER: P.L.P. CONCRETE, POLISHED FINISH; COLOR TO BE COBBLESTONE BY DAVIS COLORS FINISH: SMOOTH TROWELED PLASTER, MATCH ARCHITECTURE; S.A.D. COLOR: MATCH ARCHITECTURE; S.A.D.	6/L-6.2
[F-01]	FENCE TUBULAR STEEL FENCE HEIGHT: 5'-0" COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	2/L-6.2
[F-02]	BLUFF FENCE HEIGHT: 42" POSTS: 1-3/4"x3-1/2" GREEN STEEL FENCE T-POST W/ BLACK SLEEVE WIRE MESH: 2"x4", 12 GA. WELDED WIRE MESH, BLACK PVC-COATED	3/L-6.2
[F-03]	EXISTING FENCE TO REMAIN	
[G-01]	GATE TUBULAR STEEL GATE HEIGHT: 42" COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	4/L-6.2
[G-02]	GARDEN GATE HEIGHT: 42" COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	5/L-6.2
[K-01]	ROCK ORNAMENTAL BOULDER SIZE: 4"x4" - 2" THICK BOULDER: SANTA BARBARA SANDSTONE AVAILABLE FROM: STONEYARD BUILDING MATERIALS	10/L-6.1
[P-01]	PAVING CONCRETE PAVING @ DOGYARD COLOR: SANDSTONE BY DAVIS COLORS FINISH: TOPCAST 03 JOINT: SAWCUT	1/L-6.1
[P-02]	COBBLESTONE DRIVEWAY PAVING MODEL: ENDCOTT SIZE: 4"x4" - 2" THICK PATTERN: RUNNING BOND FINISH: SPLIT GROUT JOINT: SAND/TAN AVAILABLE FROM: ECO OUTDOOR	3/L-6.1
[P-03]	COBBLESTONE ENTRY STOOP MODEL: ENDCOTT SIZE: 4"x4" - 2" THICK PATTERN: RUNNING BOND FINISH: SPLIT GROUT JOINT: SAND/TAN AVAILABLE FROM: ECO OUTDOOR	4/L-6.1
[P-04]	FLAGSTONE TERRACE PAVING ON CONCRETE SLAB COLOR: CHEROKEE CREEK SIZE: 18"-36" X 1-1/2" THICK, IRREGULAR EDGES JOINTS: 1/2" - 1" MORTAR, NATURAL GRAY AVAILABLE FROM: SANTA BARBARA STONE	5/L-6.1
[P-05]	PERMEABLE FLAGSTONE PATH STONE: CHEROKEE CREEK SIZE: 12"-24" X 2" THICK, IRREGULAR EDGES JOINTS: 1" - 2" WIDE GRAVEL GRAVEL: MATCH GRAVEL PATH AVAILABLE FROM: SANTA BARBARA STONE	6/L-6.1
[P-06]	PERMEABLE GRAVEL PATH W/ STEEL HEADER GRAVEL: 3/8" CRUSHED PEA - ANGULAR HEADER: 3/16"x4" BORDER GUARD - BLACK AVAILABLE FROM: PRIME BUILDING MATERIALS, BORDER CONCEPTS, INC.	7/L-6.1
[P-07]	PERMEABLE GRAVEL GARDEN PATH GRAVEL: 3/8" CRUSHED PEA - ANGULAR AVAILABLE FROM: PRIME BUILDING MATERIALS	8/L-6.1
[P-08]	PERMEABLE GRAVEL DOGYARD PATH GRAVEL: 3/4" CRUSHED PEA - ANGULAR AVAILABLE FROM: PRIME BUILDING MATERIALS	8/L-6.1
[P-09]	FLAGSTONE STEPS STONE: CHEROKEE CREEK SIZE: LENGTH VARIES 18"-24", 2" THICK FINISH: ROUNDED, CHISELED EDGE JOINTS: 1/2" MORTAR, STANDARD GREY COLOR AVAILABLE FROM: SANTA BARBARA STONE	9/L-6.1
[R-01]	RAIL HANDRAIL MATERIAL: SOLID STEEL COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	1/L-6.2
[W-01]	WALL FREESTANDING CMU WALL HEIGHT: 6'-0" FINISH: SMOOTH TROWEL PLASTER, MATCH ARCHITECTURE; S.A.D. COLOR: MATCH ARCHITECTURE; S.A.D.	11/L-6.1
[W-02]	DRY STACK BOULDER WALL BOULDER: SANTA BARBARA SANDSTONE HEIGHT: 30" MAX. SIZE: 18"-36" AVAILABLE FROM: STONEYARD BUILDING MATERIALS	12/L-6.1
[W-03]	DRY STACK BOULDER CURB BOULDER: SANTA BARBARA SANDSTONE HEIGHT: 8"-24" SIZE: 8"-12" AVAILABLE FROM: STONEYARD BUILDING MATERIALS	



CLIENT SHALL REVIEW COPIES OF THE WORK PREPARED BY LANDSCAPE ARCHITECT. BY CALLING FOR THE WORK, CLIENT AGREES TO THE TERMS AND CONDITIONS OF THE CONTRACT. ANY UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, HOLD HARMLESS, FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS.

THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR THE USE OF THE PROJECTS DURING THE TERM OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRES THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

NOT FOR CONSTRUCTION
1553 SHORELINE DRIVE RESIDENCE
 1553 Shoreline Drive
 Santa Barbara, CA 93109



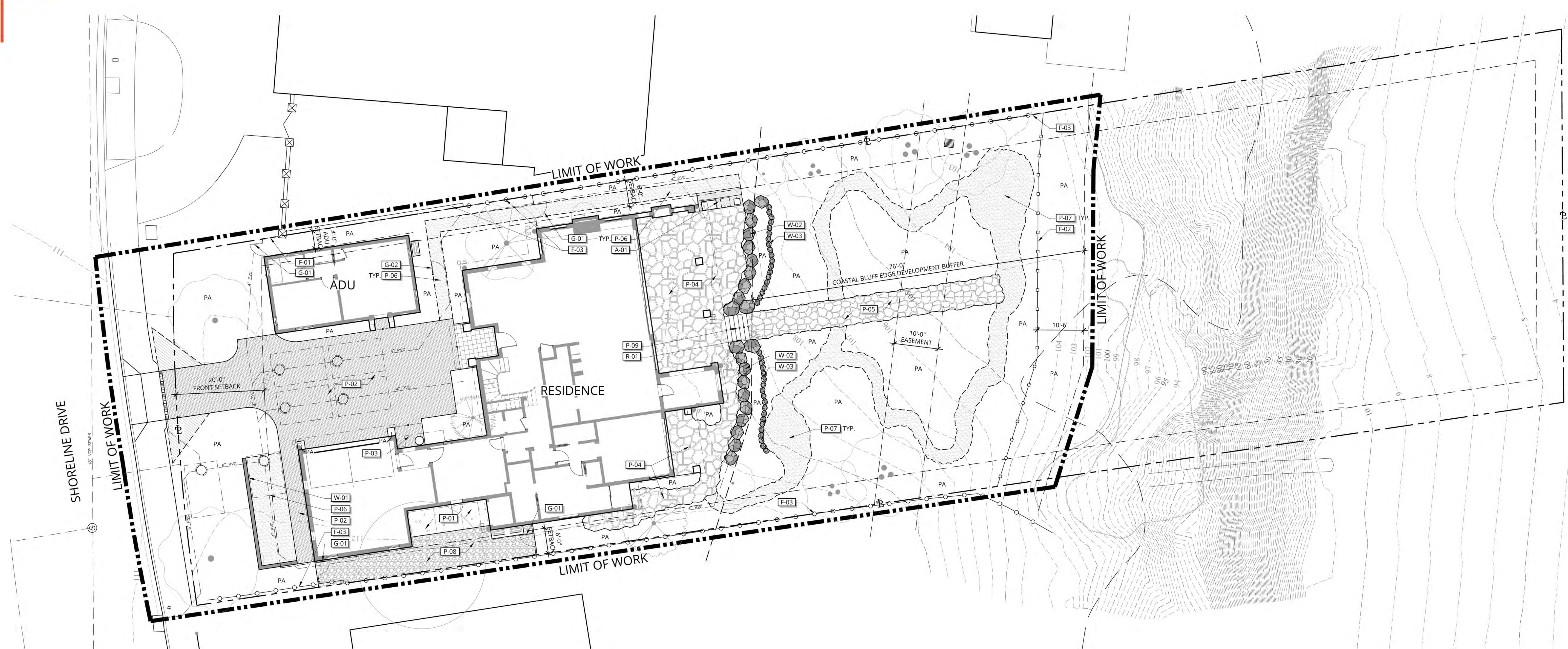
REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

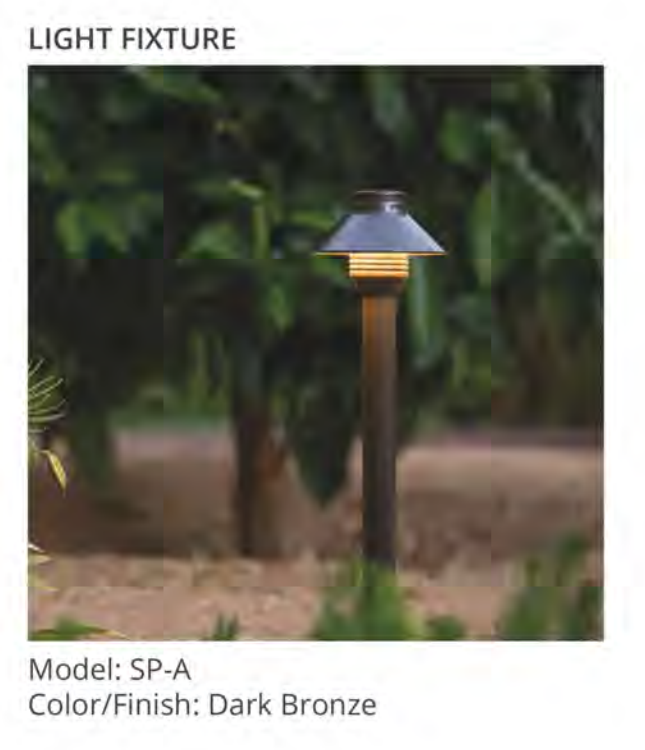
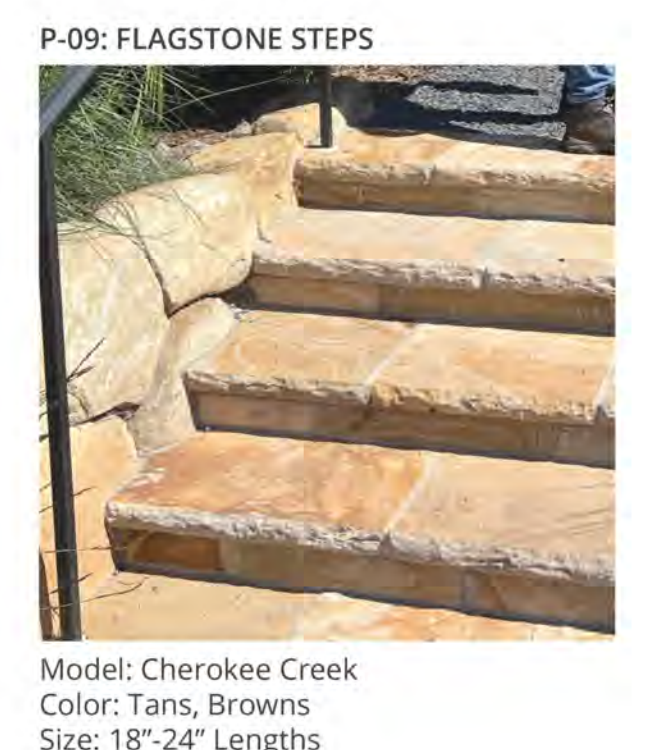
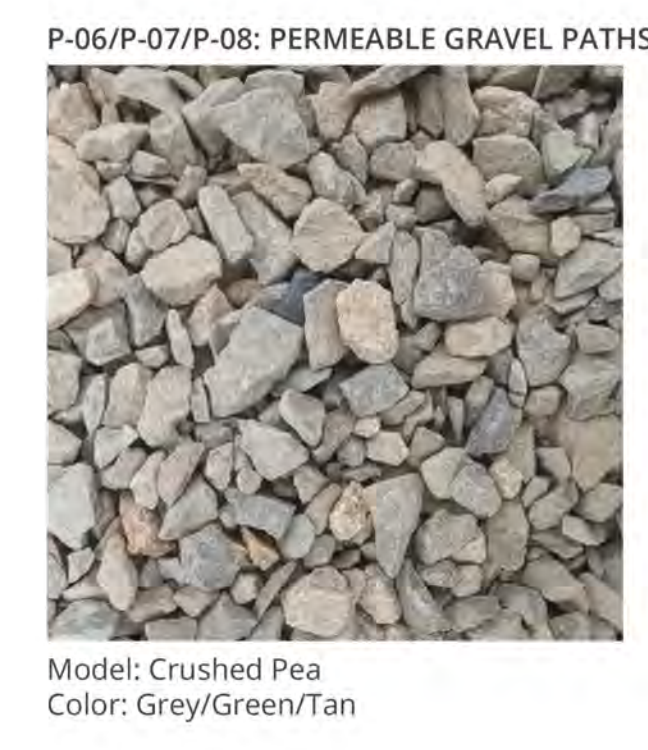
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 DRAWN BY: AZ
 DATE DRAWN: 04/04/24
 SCALE: 1"=10'-0"
 PRINT DATE: 4/22/24

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SHAD MATERIALS SHALL NOT BE USED BY CLIENT OR TRANSFERRED TO ANY OTHER PARTY FOR USE IN OTHER PROJECTS. ADDITIONS TO THE CURRENT PROJECT OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, RECOVER AND HOLD LANDSCAPE ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR REUSE OF THESE MATERIALS.

THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.



PAVING



REFERENCE NOTES SCHEDULE (CONT'D)

SYMBOL	DESCRIPTION	DETAIL
R-01	RAIL HANDRAIL MATERIAL: SOLID STEEL COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	1/L-6.2
W-01	WALL FREESTANDING CMU WALL HEIGHT: 6'-0" FINISH: SMOOTH TROWEL PLASTER, MATCH ARCHITECTURE; S.A.D. COLOR: MATCH ARCHITECTURE; S.A.D.	11/L-6.1
W-02	DRY STACK BOULDER WALL BOULDER: SANTA BARBARA SANDSTONE HEIGHT: 30" MAX. SIZE: 18"-36" AVAILABLE FROM: STONEYARD BUILDING MATERIALS	12/L-6.1
W-03	DRY STACK BOULDER CURB BOULDER: SANTA BARBARA SANDSTONE HEIGHT: 8"-24" SIZE: 8"-12" AVAILABLE FROM: STONEYARD BUILDING MATERIALS	

REFERENCE NOTES SCHEDULE (CONT'D)

SYMBOL	DESCRIPTION	DETAIL
P-01	CONCRETE PAVING @ DOGYARD COLOR: SANDSTONE BY DAVIS COLORS FINISH: TOPCAST 03 JOINT: SAWCUT	1/L-6.1
P-02	COBBLESTONE DRIVEWAY PAVING MODEL: ENDICOTT SIZE: 4"x4" - 2" THICK PATTERN: RUNNING BOND FINISH: SPLIT GROUT JOINT: SAND/TAN AVAILABLE FROM: ECO OUTDOOR	3/L-6.1
P-03	COBBLESTONE ENTRY STOOP MODEL: ENDICOTT SIZE: 4"x4" - 2" THICK PATTERN: RUNNING BOND FINISH: SPLIT GROUT JOINT: SAND/TAN AVAILABLE FROM: ECO OUTDOOR	4/L-6.1
P-04	FLAGSTONE TERRACE PAVING ON CONCRETE SLAB STONE: CHEROKEE CREEK SIZE: 18"-36" X 1-1/2" THICK, IRREGULAR EDGES JOINTS: 1/2" - 1" MORTAR, NATURAL GRAY AVAILABLE FROM: SANTA BARBARA STONE	5/L-6.1
P-05	PERMEABLE FLAGSTONE PATH STONE: CHEROKEE CREEK SIZE: 12"-24" X 2" THICK, IRREGULAR EDGES JOINTS: 1" - 2" WIDE GRAVEL GRAVEL: MATCH GRAVEL PATH AVAILABLE FROM: SANTA BARBARA STONE	6/L-6.1
P-06	PERMEABLE GRAVEL PATH W/ STEEL HEADER GRAVEL: 3/8" CRUSHED PEA - ANGULAR HEADER: 3/16"x4" BORDER GUARD - BLACK AVAILABLE FROM: PRIME BUILDING MATERIALS, BORDER CONCEPTS, INC.	7/L-6.1
P-07	PERMEABLE GRAVEL GARDEN PATH GRAVEL: 3/8" CRUSHED PEA - ANGULAR AVAILABLE FROM: PRIME BUILDING MATERIALS	8/L-6.1
P-08	PERMEABLE GRAVEL DOGYARD PATH GRAVEL: 3/4" CRUSHED PEA - ANGULAR AVAILABLE FROM: PRIME BUILDING MATERIALS	8/L-6.1
P-09	FLAGSTONE STEPS STONE: CHEROKEE CREEK SIZE: LENGTH VARIES 18"-24", 2" THICK FINISH: ROUNDED, CHISELED EDGE JOINTS: 1/2" MORTAR, STANDARD GREY COLOR AVAILABLE FROM: SANTA BARBARA STONE	9/L-6.1

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
A-01	AMENITIES OUTDOOR KITCHEN BBQ: STYLE TBS BY OWNER APPLIANCES: 316 STAINLESS STEEL TBS BY OWNER COUNTER: P.I.P. CONCRETE, POLISHED FINISH; COLOR TO BE COBBLESTONE BY DAVIS COLORS FINISH: SMOOTH TROWELED PLASTER, MATCH ARCHITECTURE; S.A.D. COLOR: MATCH ARCHITECTURE; S.A.D.	6/L-6.2
F-01	FENCE TUBULAR STEEL FENCE HEIGHT: 5'-0" COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	2/L-6.2
F-02	BLUFF FENCE HEIGHT: 42" POSTS: 1-3/4"x3-1/2" GREEN STEEL FENCE T-POST W/ BLACK SLEEVE WIRE MESH: 2"x4", 12 GA. WELDED WIRE MESH, BLACK PVC-COATED	3/L-6.2
F-03	EXISTING FENCE TO REMAIN	
G-01	GATE TUBULAR STEEL GATE HEIGHT: 5'-0" COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	4/L-6.2
G-02	GARDEN GATE HEIGHT: 42" COLOR: BLACK, TO MATCH ARCHITECTURAL GUARDRAIL	5/L-6.2
K-01	ROCK ORNAMENTAL BOULDER SIZE: VARIES 24"-36" DIA. BOULDER: SANTA BARBARA SANDSTONE AVAILABLE FROM: STONEYARD BUILDING MATERIALS	10/L-6.1

NOT FOR CONSTRUCTION

1553 SHORELINE DRIVE RESIDENCE

1553 Shoreline Drive
Santa Barbara, CA 93109



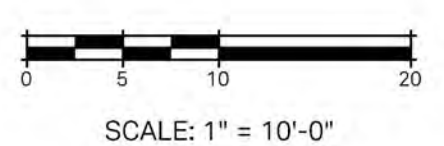
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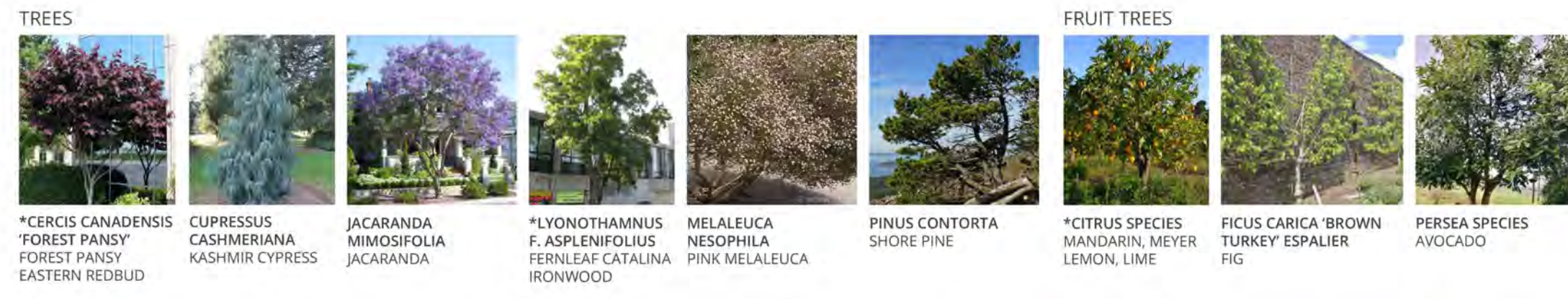
04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER
2305
DRAWN BY
AZ
DATE DRAWN
04/04/24
SCALE
1"=10'-0"
PRINT DATE
4/22/24

SHEET NUMBER
L-2.1

NOTE:
SEE SHEET L-2.0 FOR CONSTRUCTION NOTES & COMPLETE SCHEDULE





PLANT PALETTE
CJM::LA 1553 SHORELINE DRIVE RESIDENCE
6/4/22/24



PLANT PALETTE
CJM::LA 1553 SHORELINE DRIVE RESIDENCE
6/4/22/24

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING
ORNAMENTAL GRASSES							
	CAR DIV	11	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	LOW	24" o.c.
	CAR FLA	16	CAREX FLACCA	BLUE SEDGE	4" POT	LOW	12" o.c.
	CHO ELE	6	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	LOW	48" o.c.
	CHO TE2	15	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	LOW	30" o.c.
	LOM SYG	10	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	PLATINUM BEAUTY VARIEGATED MAT RUSH	5 GAL	LOW	36" o.c.
	LOM NYA	23	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA MAT RUSH	5 GAL	LOW	36" o.c.
PERENNIALS							
	ACH CMO	6	ACHILLEA MILLEFOLIUM 'CAMEO'	CAMEO COMMON YARROW	6" POT	LOW	24" o.c.
	ART CIR	6	ARTHROPODIUM CIRRATUM	RENGA LILY	5 GAL	MEDIUM	24" o.c.
	ERY BOW	10	ERYSIMUM X 'BOWLES' MAUVE'	BOWLES' MAUVE WALLFLOWER	1 GAL	MEDIUM	24" o.c.
	GAU LIN	8	GAURA LINDHEIMERI	WHITE GAURA	1 GAL	LOW	18" o.c.
	GER HAR	4	GERANIUM HARVEYI	CRANESBILL	5 GAL	MEDIUM	24" o.c.
	GER CAN	12	GERANIUM X CANTABRIGIENSE 'BIOKOVO'	BIOKOVO CRANESBILL	1 GAL	MEDIUM	18" o.c.
	HEU MAX	14	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL	LOW	18" o.c.
	STA BYZ	11	STACHYS BYZANTINA	LAMB'S EAR	1 GAL	MEDIUM	18" o.c.
SUCCULENTS							
	AGA NOV	7	AGAVE ATTENUATA 'NOVA'	BLUE FOXTAIL AGAVE	5 GAL	LOW	42" o.c.
	AGA VIL	3	AGAVE VILMORINIANA	OCTOPUS AGAVE	15 GAL	LOW	48" o.c.
	COT BNI	3	COTYLEDON ORBICULATA 'BLUE WAVES'	BLUE WAVES COTYLEDON	1 GAL	LOW	12" o.c.
	DUD BRI	7	DUDLEYA BRITTONII	GIANT CHALK DUDLEYA	1 GAL	VERY LOW	18" o.c.
VINE/ESPALIER							
	RHO EVE	2	RHOICISSUS CAPENSIS	EVERGREEN GRAPE	15 GAL	MEDIUM	48" o.c.
GROUND COVERS							
	ARC MIS	81	ARCTOSTAPHYLOS X 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	LOW	36" o.c.

SOIL AMENDMENT NOTES

- THE FOLLOWING NOTES ARE FOR BIDDING PURPOSES ONLY:
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN AGRONOMIC SOILS REPORT PER THE PLANTING SPECIFICATIONS, AND SHALL FOLLOW THE SOIL AMENDMENT AND BACKFILL RECOMMENDATIONS PER THE REPORT.
 - QUANTITIES AND MATERIALS RECOMMENDED IN THE SOILS REPORT SHALL SUPERCEDE THE FOLLOWING REQUIREMENTS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
 - PRE-PLANTING SOIL PREPARATION: CULTIVATE TO A DEPTH OF 12" WITH THE FOLLOWING AMENDMENTS PER 1,000 SQUARE FEET:
4 CY N-FORTIFIED REDWOOD SHAVINGS
60 LBS GROW POWER PLUS
1-1/2 LBS TRI-C ENDO 120
 - CONTRACTOR SHALL PROVIDE BACKFILL MIX PER THE PLANTING SPECIFICATIONS FOR TREES AND SHRUBS, NATIVE PLANTS, AND PLANTER POTS.

ADDITIONAL PLANT MATERIAL NOTES

- IN ADDITION TO THE PLANTS INCLUDED ON THE PLANTING PLANS, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING IN HIS/HER BID: (25) 1-GAL SHRUBS (15) 5-GAL SHRUBS (10) 15-GAL SHRUBS
- ADDITIONAL PLANTS SHALL BE SPOTTED BY THE LANDSCAPE ARCHITECT IN THE FIELD AS NEEDED.
- CONTRACTOR SHALL CREDIT THE OWNER FOR ANY ADDITIONAL PLANT MATERIAL THAT HAS NOT BEEN USED IN THE INSTALLATION.

ROOT BARRIER NOTES

- FOR ALL TREES PLANTED WITHIN 5'-0" OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VALVE, UTILITY LINE/CONDUIT OR LIGHT FIXTURE, THE CONTRACTOR SHALL INSTALL AN 8'-0" LENGTH OF 24" DEEP ROOT BARRIER, REFER TO PLANTING DETAILS.
- NO ROOT BARRIER SHALL ENCIRCLE THE ROOTBALL.

PLANT SUBSTITUTIONS & PRICING NOTES

- SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
- ANY MATERIAL ORDERED WITHOUT AUTHORIZATION BY THE LANDSCAPE ARCHITECT SHALL BE CORRECTED TO CONFORM WITH THE FINAL (PERMITTED) PLANTING PLANS AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL BASE BIDS AND PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND OR QUANTITY OF WORK INDICATED.

VINE TIE NOTES

- REFER TO PLANTING DETAILS FOR INSTRUCTIONS ON HOW TO ATTACH VINES TO STRUCTURES, WALLS, FENCES, ETC.
- SELF-CLINGING VINES DO NOT REQUIRE SUPPORT.

SIGHT VISIBILITY NOTES

- EXISTING TREES LOCATED WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL BE PRUNED SO THAT THE LOWEST BRANCH IS A MINIMUM OF 7'-6" ABOVE THE FINISH GRADE.
- NO NEW TREES SHALL BE PLANTED WITHIN THE SIGHT VISIBILITY TRIANGLE.
- SHRUBS AND GROUND COVERS LOCATED WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL BE PRUNED AND MAINTAINED SO THAT THE MAXIMUM HEIGHT DOES NOT EXCEED 2'-0" ABOVE THE FINISH GRADE.
- NO FENCE, WALL, GATE, SCREEN OR HEDGE SHALL EXCEED A MAXIMUM HEIGHT OF 3'-6" WITHIN THE VISIBILITY TRIANGLE.

PLANTING GENERAL NOTES

- PLANT MATERIAL SHALL MEET THE HIGHEST QUALITY INDUSTRY STANDARD.
- PLANT MATERIAL SHALL BE SOURCED WITHIN TWO WEEKS OF AWARD OF CONTRACT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY SOURCING DIFFICULTY.
- CONTRACTOR SHALL VERIFY PLANTING INSTALLATION DATE WITH LANDSCAPE ARCHITECT A MINIMUM OF FOUR (4) WEEKS PRIOR TO INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE PLANT MATERIAL DELIVERED TO THE SITE THAT IS SUBSTANDARD. CONTRACTOR SHALL SUPPLY REPLACEMENT PLANT MATERIAL AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL CHALK OUT LOCATIONS OF VINE TIE CONNECTORS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PLACE ALL PLANT MATERIAL IN LOCATIONS AS INDICATED ON THE PLANS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- CONTRACTOR SHALL VERIFY QUANTITY OF PLANTS INDICATED ON THE PLAN. IF DISCREPANCIES BETWEEN QUANTITIES INDICATED ON PLAN AND PLANT SCHEDULE OCCUR, CONSULT LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO ORDERING.
- PLANT MATERIAL SHALL BE PLANTED PER DETAILS AND SPECIFICATIONS. SOIL PREPARATION, WEED REMOVAL AND AMENDMENTS SHALL BE PER THE PLANTING SPECIFICATIONS OR RECOMMENDATIONS OF THE AGRONOMIC SOILS REPORT (AS AVAILABLE). IF THE EXISTING TOPSOIL CONTAINS 6% OR LESS ORGANIC MATTER, INCORPORATE COMPOST AT A RATE OF FOUR (4) C.Y. PER 1,000 S.F. OF PERMEABLE AREA TO A MINIMUM DEPTH OF 6".
- CONTRACTOR SHALL PROVIDE AND INSTALL 3" MIN. DEPTH WOOD MULCH OR GRAVEL IN PLANTED AREAS PER SPECIFICATIONS AND AS SHOWN ON THE PLANTING PLANS & DETAILS. CONTRACTOR SHALL PROVIDE WOOD MULCH AND/OR GRAVEL SAMPLES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADES AND FINE GRADING REQUIRED FOR SURFACE DRAINAGE AND UNIFORMITY TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL ADVISE LANDSCAPE ARCHITECT OF DRAINAGE PROBLEMS IMMEDIATELY AND MAKE RECOMMENDATIONS FOR SOLUTION.
- PLANT WARRANTY - SHRUBS: CONTRACTOR SHALL GUARANTEE PLANT MATERIAL 5-GALLON OR SMALLER FOR A PERIOD OF NINETY (90) DAYS FROM DATE OF SUBSTANTIAL COMPLETION DETERMINATION.
- PLANT WARRANTY - TREES & SPECIMENS: CONTRACTOR SHALL GUARANTEE TREES AND SPECIMEN PLANT MATERIAL 15-GALLON AND LARGER FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION DETERMINATION.
- CONTRACTOR SHALL REPLACE DEAD PLANTS AND PLANTS NOT IN VIGOROUS CONDITION, WITHOUT COST TO OWNER, AS DETERMINED BY LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD.

PLANT SCHEDULE NOTES

- ALL TREES & SPECIMEN PLANTS 15-GAL AND LARGER ARE TO BE SELECTED AND TAGGED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM FOUR (4) WEEKS IN ADVANCE OF PLANTING TIME.
- ABOVE-GRADE UTILITIES SHALL BE SCREENED TO THE MAXIMUM EXTENT FEASIBLE.
- PLANTS LISTED AS 'ALERT' STATUS BY THE CALIFORNIA INVASIVE PLANT COUNCIL (CAL-IPC) SHALL NOT BE USED FOR LANDSCAPING, REFER TO INVENTORY AT: WWW.CAL-IPC.ORG/PLANTS/INVENTORY

DEFINITIONS

B.T.H.	BROWN TRUNK HEIGHT
L.B.	LOW BRANCHED
NTRL.	NATURAL HABIT, FIELD-GROWN
MULTI	MULTI-BRANCHED
STD.	STANDARD FORM
OR EQ.	CONTRACTOR TO LOCATE VARIETY LISTED OR EQUIVALENT VARIETY WITHIN SAME SPECIES WITH SIMILAR MATURE SIZE, GROWTH HABIT, COLOR OF FOLIAGE AND FLOWERS.

WATER USE

CATEGORIES OF WATER USE ARE DEFINED BY WUCOLS IV, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, COSTELLO & JONES, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, 4TH EDITION, 2014, AND AS AMENDED IN THE CITY OF SANTA BARBARA APPENDUM TO THE WUCOLS PLANT LIST, 2019.

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING
TREES							
	CER FOR	1	CERCIS CANADENSIS 'FOREST PANSY' STD.	FOREST PANSY EASTERN REDBUD	36" BOX	MEDIUM	
	CUP KAS	1	CUPRESSUS CASHMERIANA	KASHMIR CYPRESS	36" BOX	MEDIUM	
	JAC MIM	1	JACARANDA MIMOSIFOLIA STD.	JACARANDA	48" BOX	LOW	
	LYO FLO	1	LYONOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS L.B.	FERNLEAF CATALINA IRONWOOD	36" BOX	LOW	
	MEL NES	2	MELALEUCA NESOPHILA NTRL. NTRL. / SPECIMEN	PINK MELALEUCA	36" BOX	LOW	
	PIN COS	3	PINUS CONTORTA CONTORTA MULTI MULTI	SHORE PINE	48" BOX	LOW	
FRUIT TREES							
	CIT SPP	2	CITRUS SPECIES TBS BY CLIENT	ORANGE, LEMON OR LIME	36" BOX	MEDIUM	
	FIC BRO	1	FICUS CARICA 'BROWN TURKEY' ESPALIER TBS BY CLIENT	BROWN TURKEY (OR SIM.) FIG	24" BOX	MEDIUM	
	PER AME	1	PERSEA SPECIES TBS BY CLIENT	AVOCADO	36" BOX	MEDIUM	
SYMBOL CODE QTY BOTANICAL NAME COMMON NAME SIZE WATER USE SPACING							
SHRUBS							
	CAR TUT	11	CARISSA MACROCARPA 'TUTTLE'	TUTTLE NATAL PLUM	5 GAL	LOW	36" o.c.
	CAS CO2	4	CASUARINA GLAUCA 'COUSIN IT'	COUSIN IT SWAMP OAK	2 GAL	LOW	24" o.c.
	CIS PRO	4	CISTUS SALVIFOLIUS 'PROSTRATUS'	SAGELEAF ROCKROSE	5 GAL	LOW	48" o.c.
	CIS SKA	2	CISTUS X SKANBERGII	CORAL ROCKROSE	5 GAL	LOW	48" o.c.
	COL ALB	9	COLEONEMA ALBUM	BREATH OF HEAVEN	5 GAL	MEDIUM	36" o.c.
	COR IV2	16	CORREA X 'IVORY BELLS'	IVORY BELLS AUSTRALIAN FUCHSIA	5 GAL	LOW	48" o.c.
	DIA BOO	25	DIANELLA X 'BLUTOPIA'	BLUTOPIA FLAX LILY	2 GAL	LOW	24" o.c.
	DIE HYB	11	DIETES X 'ORANGE DROP'	ORANGE DROP FORTNIGHT LILY	5 GAL	LOW	36" o.c.
	ECH CAN	2	ECHIUM CANDICANS	PRIDE OF MADEIRA	15 GAL	LOW	60" o.c.
	ECH FWM	5	ECHIUM CANDICANS 'SAN BRUNO PINK'	SAN BRUNO PINK PRIDE OF MADEIRA	15 GAL	LOW	72" o.c.
	ERE UOO	16	EREMOPHILA GLABRA 'EREM1'	GREY HORIZON EMU BUSH	1 GAL	LOW	24" o.c.
	EUC OAK	6	EUCOMIS COMOSA 'OAKHURST'	PURPLE PINEAPPLE LILY	5 GAL	MEDIUM	24" o.c.
	KAL OA2	4	KALANCHOE X 'OAK LEAF' SUN OR SHADE	DWARF VELVET PLANT	15 GAL	LOW	48" o.c.
	LAV NIK	12	LAVANDULA X INTERMEDIA 'NIKO' TM	PHENOMENAL LAVENDIN	5 GAL	LOW	30" o.c.
	LEU CVP	1	LEUCOSPERMUM FORMOSUM 'CARNIVAL PEACH'	CARNIVAL PEACH PINCUSHION	15 GAL	LOW	48" o.c.
	LEU SPI	1	LEUCOSPERMUM X 'SPIDER'	SPIDER PINCUSHION	15 GAL	LOW	48" o.c.
	OLE LIT	4	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE® OLIVE	15 GAL	LOW	60" o.c.
	PHO TEN	1	PHORMIUM TENAX	NEW ZEALAND FLAX	15 GAL	MEDIUM	48" o.c.
	PIT COM	2	PITTIOSPORUM CRASSIFOLIUM 'COMPACTUM'	DWARF KARO PITTIOSPORUM	5 GAL	MEDIUM	36" o.c.
	ROS HGH	3	ROSA X 'AUSKEPPY'	GRACE DAVID AUSTIN ROSE	5 GAL	MEDIUM	36" o.c.
	TIB URV	2	TIBOUCHINA URVILLEANA	PRINCESS FLOWER	15 GAL	LOW	60" o.c.
	VER LIL	3	VERBENA LILACINA 'DE LA MINA'	LILAC VERBENA	5 GAL	LOW	36" o.c.
	WES MDI	12	WESTRINGIA FRUTICOSA 'MUNDI'	MUNDI COAST ROSEMARY	2 GAL	LOW	30" o.c.
HEDGES							
	GRE MOO	13	GREVILLEA X 'MOONLIGHT'	MOONLIGHT GREVILLEA	24" BOX	LOW	60" o.c.
	RHA ALA	138	RHAMNUS ALATERNUS	ITALIAN BUCKTHORN	15 GAL	LOW	30" o.c.
NATIVE SHRUBS							
	ART CAN	29	ARTEMISIA CALIFORNICA 'CANYON GREY'	CANYON GREY CALIFORNIA SAGEBRUSH	1 GAL	LOW	36" o.c.
	ATR BRE	13	ATRIPLEX LENTIFORMIS BREWERI	BREWER BIG SALT BUSH	15 GAL	VERY LOW	60" o.c.
	CEA ANC	25	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY POINT REYES CEANOTHUS	5 GAL	LOW	48" o.c.
	ERI GIG	5	ERIOGONUM GIGANTEUM	ST. CATHERINE'S LACE	5 GAL	VERY LOW	60" o.c.
	ERI PAR	6	ERIOGONUM PARVIFOLIUM	CLIFF BUCKWHEAT	1 GAL	VERY LOW	24" o.c.
	GAR ELL	1	GARRYA ELLIPTICA 'EVIE'	EVIE COAST SILKTASSEL	24" BOX	LOW	96" o.c.
	LEY CAN	82	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE GIANT WILD RYE	5 GAL	LOW	36" o.c.
	RHA MOU	45	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	MOUND SAN BRUNO COFFEEBERRY	5 GAL	VERY LOW	48" o.c.
	SAL API	6	SALVIA APIANA	WHITE SAGE	5 GAL	VERY LOW	48" o.c.
	SAL WIN	3	SALVIA CLEVELANDII 'WINNIFRED GILMAN'	WINNIFRED GILMAN CLEVELAND SAGE	5 GAL	VERY LOW	48" o.c.
	SAL RIR	43	SALVIA LEUCOPHYLLA 'POINT SAL SPREADER'	POINT SAL SPREADER PURPLE SAGE	5 GAL	VERY LOW	72" o.c.
	SAL BEE	5	SALVIA X 'BEE'S BLISS'	BEE'S BLISS SAGE	1 GAL	LOW	48" o.c.



CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SAID MATERIALS SHALL NOT BE USED BY CLIENT OR TRANSFERRED TO ANY OTHER PARTY FOR USE IN OTHER PROJECTS. ADDITIONS TO THE CURRENT PROJECT OR ANY OTHER PURPOSE BEYOND WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY AND HOLD LANDSCAPE ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS.

THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT. DURING THE EXISTENCE OF THE CONTRACT, REUSE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

NOT FOR CONSTRUCTION
 1553 SHORELINE DRIVE RESIDENCE
 SCHEDULE
 1553 Shoreline Drive
 Santa Barbara, CA 93109

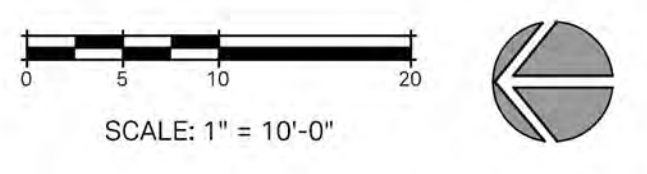


REVISIONS

04/28/23 SFDB
08/24/23 PLN 1
10/02/23 SFDB#2
12/14/23 PLN 2
04/22/24 65% CD / SFDB #3

PROJECT NUMBER: 2305
 DRAWN BY: AZ
 DATE DRAWN: 04/04/24
 SCALE: 1"=10'-0"
 PRINT DATE: 4/22/24

SHEET NUMBER: L-3.0



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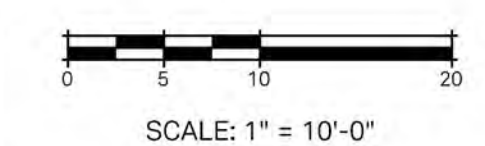


PLANT SCHEDULE (CONT'D)				
	SAL WIN	SALVIA CLEVELANDII 'WINNIFRED GILMAN'	WINNIFRED GILMAN CLEVELAND SAGE	5 GAL
	SAL RIR	SALVIA LEUCOPHYLLA 'POINT SAL SPREADER'	POINT SAL SPREADER PURPLE SAGE	5 GAL
	SAL BEE	SALVIA X 'BEE'S BLISS'	BEE'S BLISS SAGE	1 GAL
ORNAMENTAL GRASSES				
	CAR DIV	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL
	CAR FLA	CAREX FLACCA	BLUE SEDGE	4" POT
	CHO ELE	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL
	CHO TE2	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL
	LOM SYG	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	PLATINUM BEAUTY VARIEGATED MAT RUSH	5 GAL
	LOM NYA	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA MAT RUSH	5 GAL
PERENNIALS				
	ACH CMO	ACHILLEA MILLEFOLIUM 'CAMEO'	CAMEO COMMON YARROW	6" POT
	ART CIR	ARTHROPODIUM CIRRATUM	RENGA LILY	5 GAL
	ERY BOW	ERYSIMUM X 'BOWLES' MAUVE'	BOWLES' MAUVE WALLFLOWER	1 GAL
	GAU LIN	GAURA LINDHEIMERI	WHITE GAURA	1 GAL
	GER HAR	GERANIUM HARVEYI	CRANESBILL	5 GAL
	GER CAN	GERANIUM X CANTABRIGIENSE 'BIOKOVO'	BIOKOVO CRANESBILL	1 GAL
	HEU MAX	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL
	STA BYZ	STACHYS BYZANTINA	LAMB'S EAR	1 GAL
SUCCULENTS				
	AGA NOV	AGAVE ATTENUATA 'NOVA'	BLUE FOXTAIL AGAVE	5 GAL
	AGA VIL	AGAVE VILMORINIANA	OCTOPUS AGAVE	15 GAL
	COT BNI	COTYLEDON ORBICULATA 'BLUE WAVES'	BLUE WAVES COTYLEDON	1 GAL
	DUD BRI	DUDLEYA BRITTONII	GIANT CHALK DUDLEYA	1 GAL
VINE/ESPALIER				
	RHO EVE	RHOICISSUS CAPENSIS	EVERGREEN GRAPE	15 GAL
SYMBOL CODE BOTANICAL NAME COMMON NAME CONT				
GROUND COVERS				
	ARC MIS	ARCTOSTAPHYLOS X 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL

PLANT SCHEDULE (CONT'D)				
	ECH CAN	ECHIUM CANDICANS	PRIDE OF MADEIRA	15 GAL
	ECH FWM	ECHIUM CANDICANS 'SAN BRUNO PINK'	SAN BRUNO PINK PRIDE OF MADEIRA	15 GAL
	ERE UOO	EREMOPHILA GLABRA 'EREM1'	GREY HORIZON EMU BUSH	1 GAL
	EUC OAK	EUCOMIS COMOSA 'OAKHURST'	PURPLE PINEAPPLE LILY	5 GAL
	KAL OA2	KALANCHOE X 'OAK LEAF'	DWARF VELVET PLANT	15 GAL
	LAV NIK	LAVANDULA X INTERMEDIA 'NIKO' TM	PHENOMENAL LAVENDIN	5 GAL
	LEU CVP	LEUCOSPERMUM FORMOSUM 'CARNIVAL PEACH'	CARNIVAL PEACH PINCUSHION	15 GAL
	LEU SPI	LEUCOSPERMUM X 'SPIDER'	SPIDER PINCUSHION	15 GAL
	OLE LIT	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE® OLIVE	15 GAL
	PHO TEN	PHORMIUM TENAX	NEW ZEALAND FLAX	15 GAL
	PIT COM	PITOSPORUM CRASSIFOLIUM 'COMPACTUM'	DWARF KARO PITOSPORUM	5 GAL
	ROS HGH	ROSA X 'AUSKEPPY'	GRACE DAVID AUSTIN ROSE	5 GAL
	TIB URV	TIBOUCHINA URVILLEANA	PRINCESS FLOWER	15 GAL
	VER LIL	VERBENA LILACINA 'DE LA MINA'	LILAC VERBENA	5 GAL
	WES MDI	WESTRINGIA FRUTICOSA 'MUNDI'	MUNDI COAST ROSEMARY	2 GAL
HEDGES				
	GRE MOO	GREVILLEA X 'MOONLIGHT'	MOONLIGHT GREVILLEA	24" BOX
	RHA ALA	RHAMNUS ALATERNUS	ITALIAN BUCKTHORN	15 GAL
NATIVE SHRUBS				
	ART CAN	ARTEMISIA CALIFORNICA 'CANYON GREY'	CANYON GREY CALIFORNIA SAGEBRUSH	1 GAL
	ATR BRE	ATRIPLEX LENTIFORMIS BREWERI	BREWER BIG SALT BUSH	15 GAL
	CEA ANC	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY POINT REYES CEANOTHUS	5 GAL
	ERI GIG	ERIOGONUM GIGANTEUM	ST. CATHERINE'S LACE	5 GAL
	ERI PAR	ERIOGONUM PARVIFOLIUM	CLIFF BUCKWHEAT	1 GAL
	GAR ELL	GARRYA ELLIPTICA 'EVIE'	EVIE COAST SILKTASSEL	24" BOX
	LEY CAN	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE GIANT WILD RYE	5 GAL
	RHA MOU	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	MOUND SAN BRUNO COFFEEBERRY	5 GAL
	SAL API	SALVIA APIANA	WHITE SAGE	5 GAL

PLANT SCHEDULE				
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONT
TREES				
	CER FOR	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY EASTERN REDBUD	36" BOX
	CUP KAS	CUPRESSUS CASHMERIANA	KASHMIR CYPRESS	36" BOX
	JAC MIM	JACARANDA MIMOSIFOLIA STD.	JACARANDA	48" BOX
	LYO FLO	LYONOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS L.B.	FERNLEAF CATALINA IRONWOOD	36" BOX
	MEL NES	MELALEUCA NESOPHILA NTRL.	PINK MELALEUCA	36" BOX
	PIN COS	PINUS CONTORTA CONTORTA MULTI	SHORE PINE	48" BOX
FRUIT TREES				
	CIT SPP	CITRUS SPECIES	ORANGE, LEMON OR LIME	36" BOX
	FIC BRO	FICUS CARICA 'BROWN TURKEY' ESPALIER	BROWN TURKEY (OR SIM.) FIG	24" BOX
	PER AME	PERSEA SPECIES	AVOCADO	36" BOX
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS				
	CAR TUT	CARISSA MACROCARPA 'TUTTLE'	TUTTLE NATAL PLUM	5 GAL
	CAS CO2	CASUARINA GLAUCA 'COUSIN IT'	COUSIN IT SWAMP OAK	2 GAL
	CIS PRO	CISTUS SALVIIFOLIUS 'PROSTRATUS'	SAGELEAF ROCKROSE	5 GAL
	CIS SKA	CISTUS X SKANBERGII	CORAL ROCKROSE	5 GAL
	COL ALB	COLEONEMA ALBUM	BREATH OF HEAVEN	5 GAL
	COR IV2	CORREA X 'IVORY BELLS'	IVORY BELLS AUSTRALIAN FUCHSIA	5 GAL
	DIA BOO	DIANELLA X 'BLUTOPIA'	BLUTOPIA FLAX LILY	2 GAL
	DIE HYB	DIETES X 'ORANGE DROP'	ORANGE DROP FORTNIGHT LILY	5 GAL

NOTE: SEE SHEET L-3.0 FOR PLANTING NOTES & COMPLETE SCHEDULE



NOT FOR CONSTRUCTION

1553 SHORELINE DRIVE RESIDENCE

1553 Shoreline Drive
Santa Barbara, CA 93109



REVISIONS	
04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER
2305

DRAWN BY
AZ

DATE DRAWN
04/04/24

SCALE
1" = 10'-0"

PRINT DATE
4/22/24

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	HUNTER ICZ-101-25	1"	AREA FOR DRIP EMITTERS	10.27	43.1	63.6	0.52 in/h
2	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.33	33.3	53.8	0.32 in/h
3	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.56	33.3	53.9	0.71 in/h
4	HUNTER ICZ-101-25-LF	1"	BUBBLER	2.03	33.5	54.1	4.45 in/h
5	HUNTER ICZ-101-25 (TEMPORARY ON-GRADE)	1"	DRIP EMITTER	2.1	33.4	55.2	0.57 in/h
6	HUNTER ICZ-101-25 (TEMPORARY ON-GRADE)	1"	AREA FOR DRIP EMITTERS	10.6	41.9	63.7	0.28 in/h

CRITICAL ANALYSIS

Generated: 2024-04-18 16:32

P.O.C. NUMBER: 01

Water Source Information: NEW 5/8" DEDICATED WATER METER PER CIVIL ENGINEER, S.C.D. - 100 PSI STATIC PRESSURE AT NEAREST FIRE HYDRANT ACCORDING TO CITY OF SANTA BARBARA WATER DISTRIBUTION (REDUCED TO 80 PSI AT BACKFLOW PER IRRIGATION DETAILS)

FLOW AVAILABLE:
Water Meter Size: 5/8"
Flow Available: 15 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 80 PSI
Elevation Change: 5.00 ft
Service Line Size: 1"
Length of Service Line: 20 ft
Pressure Available: 77 PSI

DESIGN ANALYSIS
Maximum Multi-valve Flow: 12 GPM
Flow Available at POC: 15 GPM
Residual Flow Available: 3 GPM

Critical Station: 6
Design Pressure: 30 PSI
Friction Loss: 3.19 PSI
Fittings Loss: 0.32 PSI
Elevation Loss: 0 PSI
Loss through Valve: 8.36 PSI
Pressure Req. at Critical Station: 41.9 PSI
Loss for Fittings: 0.16 PSI
Loss for Main Line: 1.61 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 12 PSI
Loss for Master Valve: 3 PSI
Loss for Water Meter: 5.1 PSI
Critical Station Pressure at POC: 63.7 PSI
Pressure Available: 77 PSI
Residual Pressure Available: 13.3 PSI

IRRIGATION NOTES

- SYSTEM DESIGN BASED ON THE FOLLOWING:
 - 100 PSI STATIC PRESSURE AT NEAREST FIRE HYDRANT ACCORDING TO CITY OF SANTA BARBARA WATER DISTRIBUTION (REDUCED TO 80 PSI AT BACKFLOW PER IRRIGATION DETAILS).
 - 1" COPPER COPPER SERVICE LINE
 - NEW 5/8" WATER METER PER CIVIL ENGINEER, S.C.D.
 - AVAILABLE FLOW = 15 GPM (MAXIMUM MULTI-STATION FLOW = 12 GPM)
- IRRIGATION LINES ARE DIAGRAMMATIC. FIELD CONDITIONS PREVAIL. CONTRACTOR SHALL SURVEY PROPOSED LINE TRENCH LOCATIONS AND SUGGEST ALTERNATE LAYOUT TO ACHIEVE DESIGN INTENT AS FIELD CONDITIONS DICTATE.
- LOCATION OF LINES AND VALVES IS DIAGRAMMATIC ONLY. LOCATE IN PLANTING AREAS WHEREVER POSSIBLE.
- VERIFY DIMENSIONS AND MAKE ADJUSTMENTS IN SYSTEM AS REQUIRED TO PROVIDE COMPLETE HEAD TO HEAD OR DRIP IRRIGATION COVERAGE TO ALL PLANTINGS.
- CONTRACTOR SHALL VERIFY POINT OF CONNECTION WITH OWNER. 2" WATER METER EXISTING ON SITE. TIE INTO EX. 2" POTABLE LINE. AFTER METER WITH LINE SIZE BALL VALVE. INSTALL NEW BACKFLOW PREVENTER AFTER IRRIGATION P.O.C. AS SHOWN. REFERENCE CIVIL ENGINEER'S PLANS THIS SET.
- REFER TO WRITTEN SPECIFICATIONS ACCOMPANYING THESE PLANS.
- HAND TRENCH UNDER DRIP LINE OF EXISTING TREES. ADJUST LINE LOCATIONS TO AVOID DAMAGING EXISTING TREE ROOTS. DO NOT CUT ROOTS OVER 2" IN DIAMETER.
- ALL PIPE (PRESSURE AND NON-PRESSURE LINES) UNDER PAVING (ASPHALT, CONCRETE, ETC.) SHALL BE INSTALLED IN MINIMUM OF 24" BELOW TOP OF PAVING IN CLASS 160 PVC SLEEVES.
- CONTROLLER - EXTERIOR WALL MOUNT PER DETAILS. WIRE TO GROUND IN CONDUIT. CONNECT TO ELECTRICAL SOURCE. PROVIDE BATTERIES.
- LOCATE WEATHER STATION PER PLAN. VERIFY LOCATION WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN A CLEAN JOB SITE. SWEEP HARDSCAPE AT THE END OF EACH DAY. DISPOSE OF TRASH IN TRASH CANS - NO LITTERING SHALL OCCUR ON JOB SITE.
- ALL POTS SHALL BE HAND WATERED.
- ALL RISERS SHALL BE SCHEDULE 80 PVC. ALL PIPE FITTINGS SHALL BE SCHEDULE 40 PVC.
- ALL WIRE SHALL BE AVG-UF, DIRECT BURIAL TYPE, MIN 14 GAUGE AWG, AND ALL SPLICES AND CONNECTIONS SHALL BE MADE WITH SCOTCHLOK CONNECTORS OR EQUAL. EACH VALVE ON A CONTROLLER SHALL HAVE A SEPARATE WIRE COLOR. ALL WIRES SHALL BE INSTALLED WITH 24" OF EXCESS WIRE, LOOPED, BUNDLED, AND LABELED.
- CHECK VALVES SHALL BE USED WHERE INDICATED AND WHERE NECESSARY TO PREVENT WATER FLOW FROM DRAINING OUT OF LOWER ELEVATION HEADS WHEN SYSTEM IS TURNED OFF.
- ALL PRESSURE MAINLINES SHALL BE 18 INCHES DEEP, AND ALL LATERALS SHALL BE 12" DEEP. TRENCH BACKFILL SHALL BE FREE OF ANY MATERIAL THAT MAY DAMAGE IRRIGATION EQUIPMENT. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT HIS OWN COST IN PLANTER AREAS. REFERENCE SPECIFICATIONS.
- ALL MAINLINE AND LATERAL LINES UNDER PAVED AREAS SHALL BE BURIED MINIMUM 24" DEEP AND SHALL BE SLEEVED WITH CLASS 160 PVC TWICE THE DIAMETER OF SLEEVED LINES.
- ALL AUTOMATIC VALVES SHALL BE INSTALLED IN PLASTIC VALVE BOXES, ONE VALVE PER BOX, WITH 4" OF PEA GRAVEL BENEATH THE VALVE PER DETAILS. BALL VALVES SHALL BE LOCATED IN ROUND PLASTIC VALVE BOXES PER SPECIFICATIONS & DETAILS.
- EXISTING CONTROLLER IS LOCATED IN UTILITY AREA AS SHOWN. SEE INTERIOR PLANS.
- PRIOR TO BACKFILLING IRRIGATION TRENCHES:
 - ALL MAINLINES IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 125 PSI FOR A PERIOD OF FOUR HOURS. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE.
 - ALL LATERALS SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE HOUR.
 - THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY THE BUILDER/OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL FURNISH TO THE OWNER A COMPLETE 'AS BUILT DRAWING' PER SPECIFICATIONS SHOWING EXACT LOCATIONS OF ALL ITEMS INSTALLED. THESE ARE TO BE DELIVERED ON OR BEFORE FINAL INSPECTION.
- CONTRACTOR SHALL FURNISH A REDUCED AND LAMINATED IRRIGATION PLAN SERVING AS CONTROLLER CHART ALL ITEMS INSTALLED, WITH STATIONS COLOR-CODED, PER SPECIFICATIONS. MOUNT TO INSIDE OF CONTROLLER.
- IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF 90 DAYS PER SPECIFICATIONS.
- CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF 1 YEAR FROM FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR PLUMBING PERMITS AND INSPECTIONS REQUIRED FROM THE BUILDING INSPECTOR FOR INSTALLATION OF THE IRRIGATION SYSTEMS SHOWN ON THIS DRAWING.
- REFER TO WRITTEN SPECIFICATIONS ACCOMPANYING THESE PLANS.

IRRIGATION SLEEVING NOTES:

INSTALL IRRIGATION SLEEVES FOR ALL IRRIGATION MAINLINE, LATERALS, AND WIRES THAT CROSS ANY VEHICULAR OR PEDESTRIAN PAVED SURFACES ACCORDING TO THE FOLLOWING SCHEDULE, TYP.:

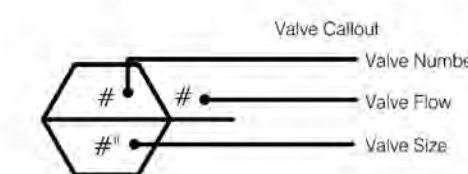
PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVES
DRIP TUBING	1-2" SDR 35 PVC
3/4" LATERAL	1-2" SDR 35 PVC
1" LATERAL	1-2" SDR 35 PVC
1 1/2" LATERAL	1-2" SDR 35 PVC
1 1/2" LATERAL	1-4" SDR 35 PVC
2" LATERAL	1-4" SDR 35 PVC
1" PRESSURE SUPPLY LINE	1-2" SDR 35 PVC
1 1/2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2 1/2" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
3" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
1-20 CONTROL WIRES	1-2" SDR 35 PVC
21-40 CONTROL WIRES	2-2" SDR 35 PVC

EQUIPMENT QUANTITY NOTE:

IRRIGATION EQUIPMENT QUANTITY COUNTS ARE FOR CONVENIENCE PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL EQUIPMENT QUANTITIES AND REQUIRED ACCESSORY MATERIALS PRIOR TO FINAL BID AND INSTALLATION.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
☐	HUNTER ICZ-101-25 TEMPORARY ON-GRADE DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	1
☒	HUNTER ICZ-101-25 (TEMPORARY ON-GRADE) TEMPORARY ON-GRADE DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN. TO BE REMOVED AFTER ESTABLISHMENT PERIOD FOR BLUFF SPECIES HAS ENDED.	2
☒	HUNTER ICZ-101-25-LF DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 15 GPM. 150 MESH STAINLESS STEEL SCREEN.	3
☒	DRIP TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	27
☒	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX.	4
☒	RAIN BIRD PCT 05 GPH PRESSURE COMPENSATING THREADED LOW-FLOW BUBBLERS. OFFERED IN 5 GPH, 7 GPH, AND 10 GPH MODELS, WITH 1/2" FPT THREADED INLET. LIGHT BROWN = 5 GPH, VIOLET = 7 GPH, AND GREEN = 10 GPH.	14
☒	TREE RING IRRIGATION 0.9 GPH @ 12" O.C. APPROX. 20 LF OF TUBING PER TREE REFERENCE "TREE DRIPLENE RING - 0.9 GPH @ 12" O.C." IRRIGATION DETAIL	7
☒	AREA TO RECEIVE DRIP EMITTERS 7009 S.F.	
☒	SINGLE-OUTLET, SELF-FLUSHING, PRESSURE COMPENSATING EMITTER. MALE ADAPTER WITH BUG SHIELD, AND COLOR-CODED 0.5 GPH-BLUE; 1.0 GPH-BLACK; 2.0 GPH-RED. DPJ02 emitters (1 assigned to each 4" pot plant)	16
☒	DPJ02 emitters (1 assigned to each 6" POT plant)	6
☒	DPJ02 emitters (1 assigned to each flat plant)	
☒	DPJ04 emitters (1 assigned to each 1 gal plant)	
☒	DPJ04 emitters (2 assigned to each 5 gal plant)	
☒	DPJ04 emitters (3 assigned to each 15 gal plant)	
☒	DPJ04 emitters (5 assigned to each 24"box plant)	
☒	DPJ04 emitters (1 assigned to each 2 gal plant)	37
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
☒	BUCKNER-SUPERIOR B401 BENT NOSE GARDEN VALVE. 3/4" X 3/4" FEMALE NPT HOSE BIBB, RED BRASS.	4
☒	BUCKNER-SUPERIOR B401 (TEMPORARY) BENT NOSE GARDEN VALVE. 3/4" X 3/4" FEMALE NPT HOSE BIBB, RED BRASS.	2
☒	MATCO-NORCA 7725T SCH 80 PVC BALL VALVE. TRUE UNION, 1/2", 3/4", 1", 1-1/4", 1-1/2" AND 2". BOTH SOLVENT AND THREADED ENDS IN BOX. SAME SIZE AS MAINLINE.	1
☒	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	1
☒	HUNTER IBV 1" 1", 1-1/2", 2", AND 3" BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1
☒	FEBCO 825V 1" REDUCED PRESSURE BACKFLOW PREVENTER	1
☒	HUNTER PHC-600 WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, 6-STATION FIXED CONTROLLER, 120 VAC, OUTDOOR MODEL.	1
☒	HUNTER W55-SEN WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE. CONNECTS TO HUNTER X-CORE AND ACC CONTROLLERS. INSTALL AS NOTED. INCLUDES GUTTER MOUNT BRACKET. MODULE NOT INCLUDED.	1
☒	HUNTER HFS-100 FLOW SENSOR FOR USE WITH ACC CONTROLLER, 1" SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP.	1
☒	WATER METER 5/8" NEW 5/8" DEDICATED WATER METER PER CIVIL ENGINEER, S.C.D. - 100 PSI STATIC PRESSURE AT NEAREST FIRE HYDRANT ACCORDING TO CITY OF SANTA BARBARA WATER DISTRIBUTION (REDUCED TO 80 PSI AT BACKFLOW PER IRRIGATION DETAILS)	1
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	1,067 L.F.
----	IRRIGATION LATERAL LINE: UVR PVC SCHEDULE 40 TEMPORARY ON-GRADE UVR BROWN PVC IRRIGATION LATERAL PIPE. TO BE REMOVED AFTER PLANT ESTABLISHMENT WITHIN THE COASTAL BLUFF EDGE DEVELOPMENT BUFFER. SECURE PIPE TO NATURAL GRADE WITH REBAR STAKES PER IRRIGATION DETAILS.	413.2 L.F.
-----	IRRIGATION MAINLINE: PVC SCHEDULE 40	333.2 L.F.
-----	IRRIGATION MAINLINE: UVR PVC SCHEDULE 40 TEMPORARY ON-GRADE UVR BROWN PVC IRRIGATION MAINLINE PIPE. TO BE REMOVED AFTER PLANT ESTABLISHMENT WITHIN THE COASTAL BLUFF DEVELOPMENT BUFFER.	80.2 L.F.
=====	PIPE SLEEVE: PVC CLASS 160 SDR 26	141.7 L.F.



CLIENT SHALL REVIEW COPIES OF THE WORK PROVIDED BY LANDSCAPE ARCHITECT BY CAL FORM 0041 FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSES FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. THIS WORK IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED TO ANY OTHER PARTY FOR USE IN OTHER PROJECTS. ADDITIONS TO THE CURRENT PROJECT OR ANY OTHER PURPOSES FOR WHICH THE MATERIAL HAS NOT EXPRESSLY ADVISED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS FROM ALL CLAIMS (INCLUDING DAMAGES, LOSSES, EXPENSES AND ATTORNEY'S FEES, ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THE MATERIALS.

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NOT FOR CONSTRUCTION
IRRIGATION NOTES & SCHEDULE
1553 SHORELINE DRIVE RESIDENCE
 1553 Shoreline Drive
 Santa Barbara, CA 93109

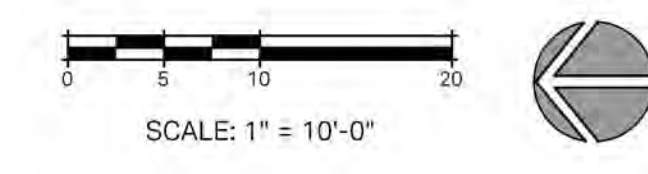


REVISIONS

04/28/23 SFDB
08/24/23 PLN 1
10/02/23 SFDB#2
12/14/23 PLN 2
04/22/24 65% CD / SFDB #3

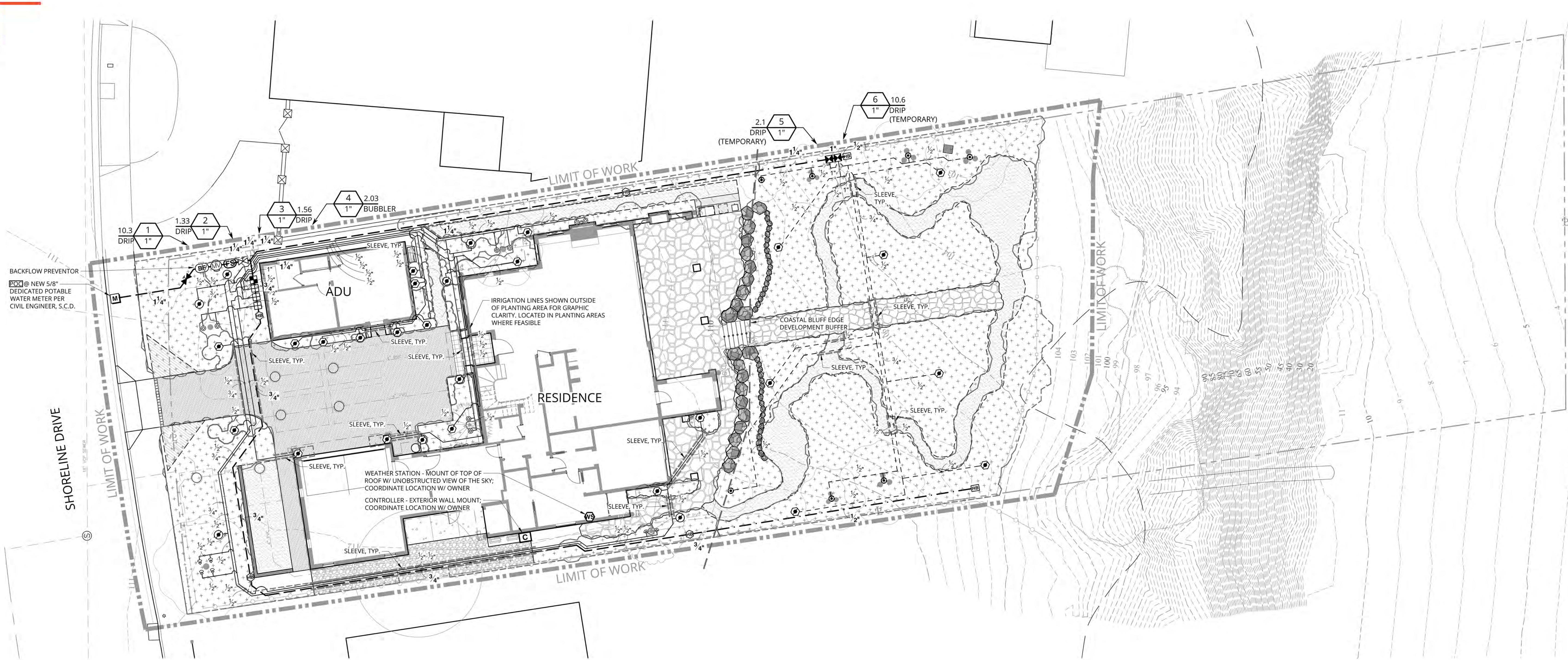
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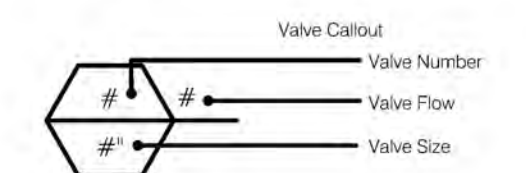
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IRRIGATION SCHEDULE (CONT'D)

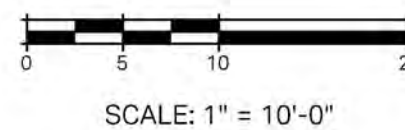
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊗	BUCKNER-SUPERIOR B401 BENT NOSE GARDEN VALVE. 3/4" X 3/4" FEMALE NPT HOSE BIBB, RED BRASS.	4
⊗	BUCKNER-SUPERIOR B401 (TEMPORARY) BENT NOSE GARDEN VALVE. 3/4" X 3/4" FEMALE NPT HOSE BIBB, RED BRASS.	2
⊗	MATCO-NORCA 7725T SCH 80 PVC BALL VALVE, TRUE UNION, 1/2", 3/4", 1", 1-1/4", 1-1/2" AND 2". BOTH SOLVENT AND THREADED ENDS IN BOX. SAME SIZE AS MAINLINE.	1
⊗	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	1
⊗	HUNTER IBV 1" 1", 1-1/2", 2", AND 3" BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1
⊗	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	1
C	HUNTER PHC-600 WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, 6-STATION FIXED CONTROLLER, 120 VAC, OUTDOOR MODEL.	1
⊗	HUNTER WSS-SEN WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER X-CORE AND ACC CONTROLLERS, INSTALL AS NOTED. INCLUDES GUTTER MOUNT BRACKET. MODULE NOT INCLUDED.	1
⊗	HUNTER HFS-100 FLOW SENSOR FOR USE WITH ACC CONTROLLER, 1" SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP.	1
M	WATER METER 5/8" NEW 5/8" DEDICATED WATER METER PER CIVIL ENGINEER, S.C.D. - 100 PSI STATIC PRESSURE AT NEAREST FIRE HYDRANT ACCORDING TO CITY OF SANTA BARBARA WATER DISTRIBUTION (REDUCED TO 80 PSI AT BACKFLOW PER IRRIGATION DETAILS)	1
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	1,067 L.F.
---	IRRIGATION LATERAL LINE: UVR PVC SCHEDULE 40 TEMPORARY ON-GRADE UVR BROWN PVC IRRIGATION LATERAL PIPE. TO BE REMOVED AFTER PLANT ESTABLISHMENT WITHIN THE COASTAL BLUFF EDGE DEVELOPMENT BUFFER. SECURE PIPE TO NATURAL GRADE WITH REBAR STAKES PER IRRIGATION DETAILS.	413.2 L.F.
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	333.2 L.F.
---	IRRIGATION MAINLINE: UVR PVC SCHEDULE 40 TEMPORARY ON-GRADE UVR BROWN PVC IRRIGATION MAINLINE PIPE. TO BE REMOVED AFTER PLANT ESTABLISHMENT WITHIN THE COASTAL BLUFF DEVELOPMENT BUFFER.	80.2 L.F.
---	PIPE SLEEVE: PVC CLASS 160 SDR 26	141.7 L.F.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊗	HUNTER ICZ-101-25 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	1
⊗	HUNTER ICZ-101-25 (TEMPORARY ON-GRADE) TEMPORARY ON-GRADE DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN. TO BE REMOVED AFTER ESTABLISHMENT PERIOD FOR BLUFF SPECIES HAS ENDED.	2
⊗	HUNTER ICZ-101-25-LF DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 5 GPM TO 15 GPM. 150 MESH STAINLESS STEEL SCREEN.	3
⊗	DRIP TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	27
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⊗	TREE RING IRRIGATION 0.9 GPH @ 12" O.C. APPROX. 20 LF OF TUBING PER TREE. REFERENCE TREE DRIFLINE RING - 0.9 GPH @ 12" O.C." IRRIGATION DETAIL	7
⊗	AREA TO RECEIVE DRIP EMITTERS TORO T-DPI-A SINGLE-OUTLET, SELF-FLUSHING, PRESSURE COMPENSATING EMITTER. MALE ADAPTER WITH BUG SHIELD, AND COLOR-CODED 0.5 GPH=BLUE; 1.0 GPH=BLACK; 2.0 GPH=RED. Emitter Notes: DPJ02 emitters (1 assigned to each 4" pot plant) DPJ02 emitters (1 assigned to each 6" POT plant) DPJ02 emitters (1 assigned to each flat plant) DPJ04 emitters (1 assigned to each 1 gal plant) DPJ04 emitters (2 assigned to each 5 gal plant) DPJ04 emitters (3 assigned to each 15 gal plant) DPJ04 emitters (5 assigned to each 24" box plant) DPJ04 emitters (1 assigned to each 2 gal plant)	7,009 S.F.

NOTE: SEE SHEET L-4.0 FOR IRRIGATION NOTES & COMPLETE SCHEDULE



NOT FOR CONSTRUCTION
 IRRIGATION PLAN

1553 SHORELINE DRIVE RESIDENCE
 1553 Shoreline Drive
 Santa Barbara, CA 93109



REVISIONS

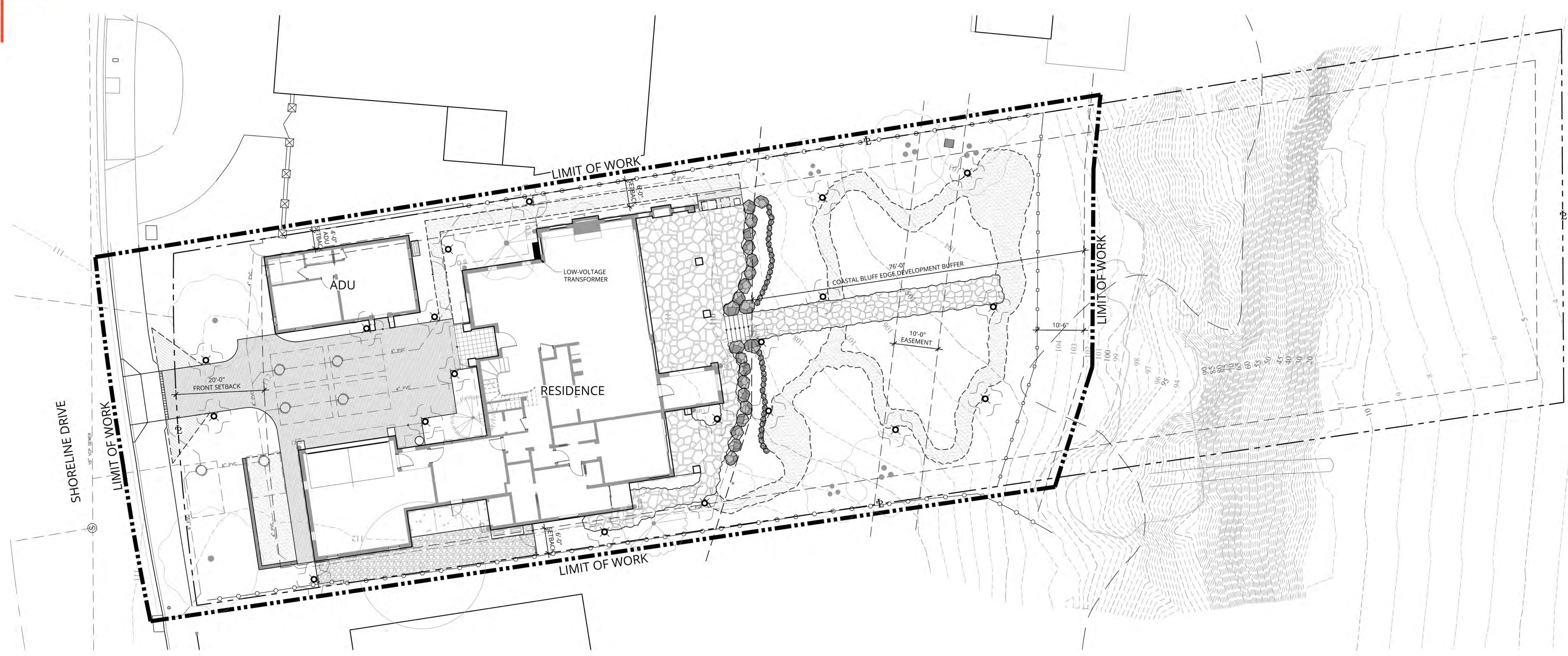
04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER: 2305
 DRAWN BY: AZ
 DATE DRAWN: 04/04/24
 SCALE: 1"=10'-0"
 PRINT DATE: 4/22/24

SHEET NUMBER
 L-4.1

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LIGHTING NOTES - SINGLE FAMILY RESIDENCE

- EXTERIOR NAVIGATION LIGHTING FIXTURES SUCH AS NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS SHALL BE LED OR LESS THAN 5-WATTS.
 - OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL MEET THE REQUIREMENT IN ITEM 2.1 AND THE REQUIREMENTS IN EITHER ITEM 2.2 OR ITEM 2.3:
 - CONTROLLED BY A MANUAL ON AND OFF CONTROL SWITCH THAT PERMITS THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND
 - CONTROLLED BY A PHOTOCELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
 - CONTROLLED BY AN ASTRONOMICAL TIME CLOCK CONTROL.
- CONTROLS THAT OVERRIDE TO "ON" SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS. AN ENERGY MANAGEMENT CONTROL SYSTEM THAT PROVIDES THE SPECIFIED LIGHTING CONTROL FUNCTIONALITY AND COMPLIES WITH ALL REQUIREMENTS APPLICABLE TO THE SPECIFIED CONTROLS MAY BE USED TO MEET THESE REQUIREMENTS.



LIGHTING GENERAL NOTES

- CONTRACTOR SHALL COORDINATE THE LANDSCAPE LIGHTING WITH EXTERIOR BUILDING AND OTHER SITE LIGHTING BY ARCHITECT TO PROVIDE ADEQUATE NIGHTTIME SECURITY AND EGRESS LIGHTING AS REQUESTED BY THE OWNER AND PER APPLICABLE CODES.
- THE LANDSCAPE ARCHITECT OR OWNER MAY POSTPONE, AT HIS/HER DISCRETION, THE INSTALLATION OF ANY LIGHTING FIXTURES THAT COULD BE DEPENDENT ON THE SIZE OR MATURITY OF THE PLANTS TO BE ILLUMINATED.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL LIGHTING EQUIPMENT INCLUDING CONDUIT, ELECTRICAL WIRING, ROUTING, TRANSFORMER(S), SWITCHING AND/OR ZONE CONTROL SUCH THAT THERE IS ADEQUATE POWER AND CONDUIT TO ALL FIXTURES IDENTIFIED ON THE PLANS, INCLUDING FIXTURES THAT MIGHT BE PHASED IN OVER TIME.
- LANDSCAPE LIGHTING IS INTENDED TO ILLUMINATE SPECIMEN PLANTS AND PLANT GROUPINGS OR ARCHITECTURAL ELEMENTS SUCH AS DECORATIVE WALLS, FENCES AND WATER FEATURES. CONTRACTOR SHALL ORIENT AND DISTRIBUTE LIGHT FIXTURES TO ACCENTUATE LANDSCAPE FEATURES IN A VISUALLY-PLEASING MANNER.
- LANDSCAPE ARCHITECT SHALL PERFORM A PRELIMINARY NIGHTTIME EVALUATION OF THE INSTALLED LIGHTING AND RECOMMEND REVISIONS. CONTRACTOR SHALL BUDGET FOR IN-FIELD CHANGES.
- QUANTITIES INDICATED WITHIN LIGHTING SCHEDULE ARE FOR CONTRACTOR'S CONVENIENCE ONLY. WHEN DISCREPANCY EXISTS BETWEEN QUANTITIES INDICATED ON LIGHTING SCHEDULE AND QUANTITY OF SYMBOLS SHOWN ON PLAN, QUANTITIES INDICATED BY GRAPHIC SYMBOLS SHOWN ON PLAN SHALL SUPERSEDE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT WITHIN 48HRS OF LANDSCAPE LIGHTING INSTALLATION TO SCHEDULE A NIGHTTIME WALK-THROUGH AND EVALUATION.

COASTAL LAND USE POLICY 5.1-33C AND 5.1-38

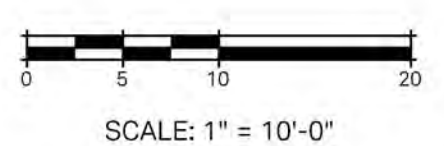
- LOW-VOLTAGE, DARK SKY COMPLIANT EXTERIOR LANDSCAPE LIGHTING WILL BE STRATEGICALLY PLACED THROUGHOUT THE SITE TO PROVIDE MINIMAL ILLUMINATION ADDRESSING SAFETY, CIRCULATION, AND AESTHETICS.

LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	FX LUMINAIRE SP-A PATH/AREA LIGHT IDEAL FOR SOFT LIGHT APPLICATIONS. DEFAULT RISER HEIGHT IS 12IN., 3.62IN. DIA X 15IN. H. ORDER CODE: SP-A, ALUMINUM, (DB) DARK BRONZE (CUSTOM), LONG SLOT SPIKE LAMP: 20W G4 LED, 1.6W 1.7VA, 2700K, BEAMSPREAD: FLOOD ACCESSORIES: (12R) 12IN. RISER	20
	STAINLESS STEEL VISTA "MT" LOW-VOLTAGE LIGHTING TRANSFORMER; TIMER OR PHOTOCELL TO BE INCLUDED PER OWNER PREFERENCE. CONFIRM OWNER PREFERENCE FOR SWITCHING. GRAPHIC LOCATION IS APPROXIMATE - REFER TO ELECTRICAL DRAWINGS. FIELD VERIFY POINT OF CONNECTION WITH OWNER. SUBMIT PRODUCT SPECIFICATIONS TO LA FOR APPROVAL PRIOR TO PURCHASE.	1



NOTE: SEE SHEET L-4.0 FOR IRRIGATION NOTES & COMPLETE SCHEDULE



NOT FOR CONSTRUCTION LIGHTING PLAN

1553 SHORELINE DRIVE RESIDENCE
1553 Shoreline Drive
Santa Barbara, CA 93109

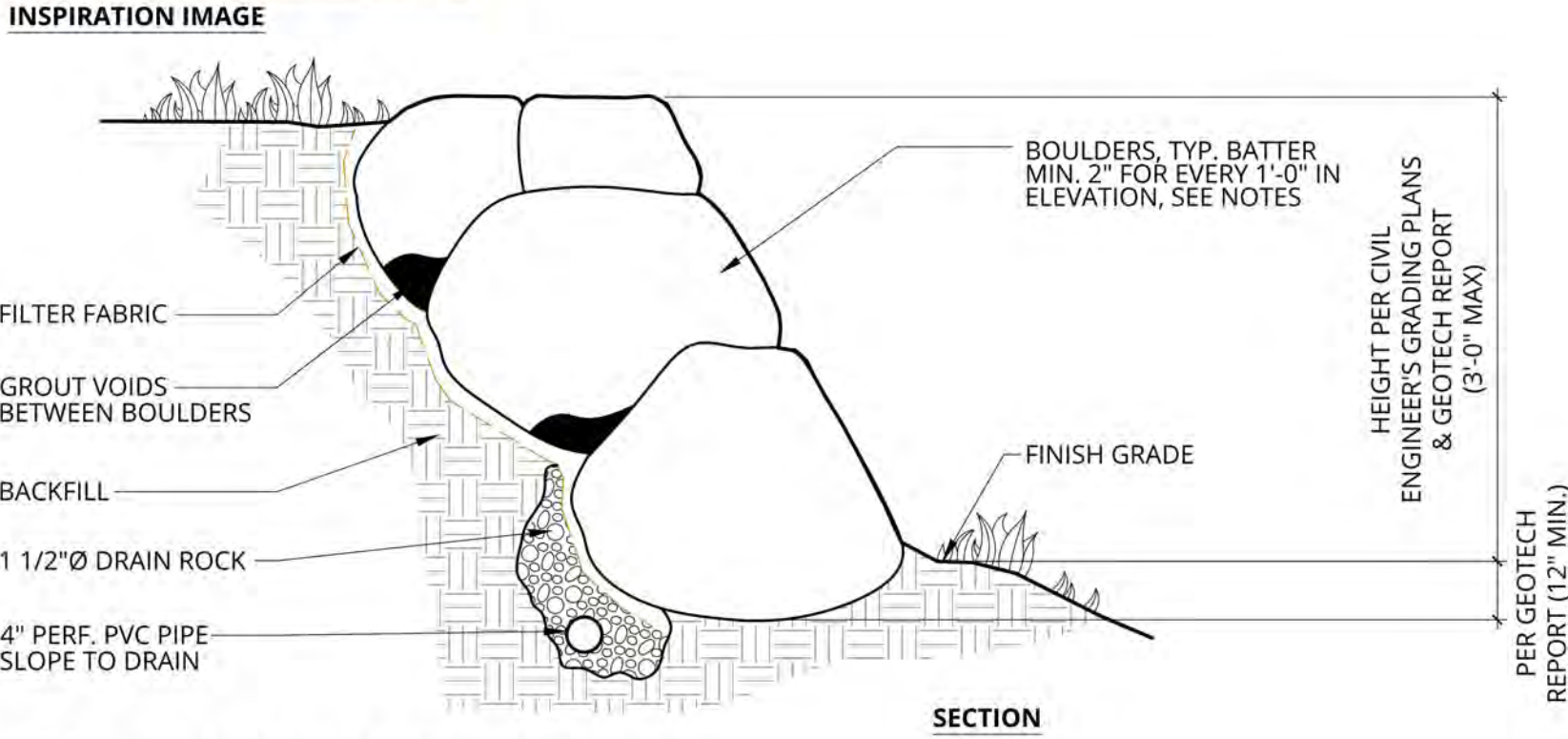


REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

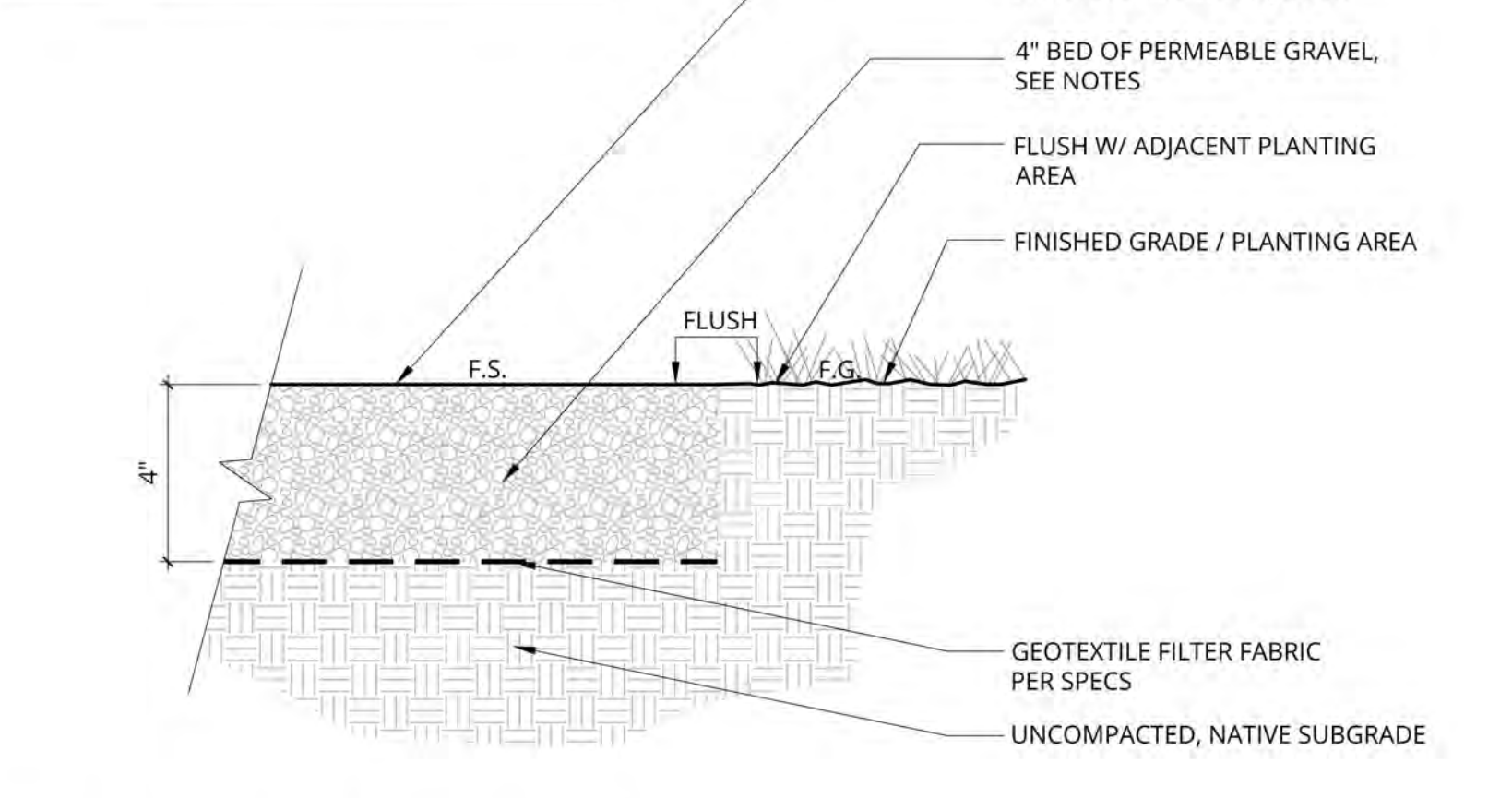
PROJECT NUMBER
2309
DRAWN BY
AZ
DATE DRAWN
04/04/24
SCALE
1"=10'-0"
PRINT DATE
4/22/24

SHEET NUMBER
L-5.1



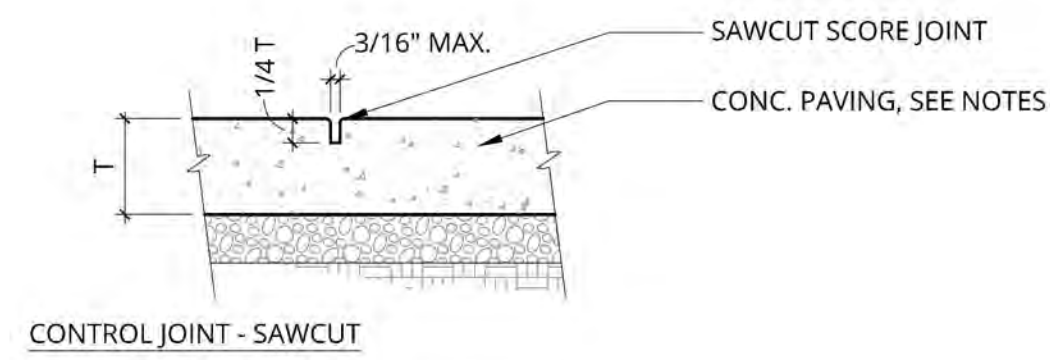
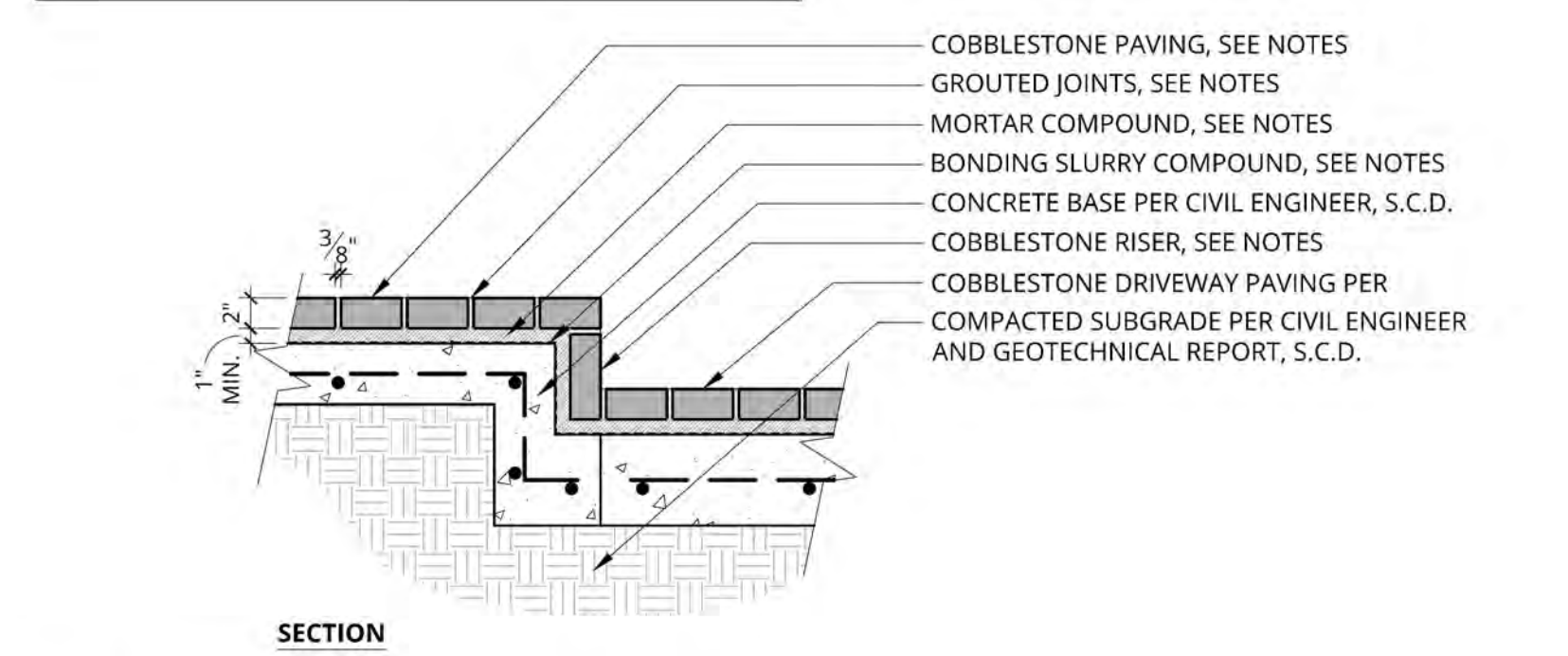
- NOTES:**
1. CONTRACTOR TO ADHERE TO ALL APPLICABLE REQUIREMENTS OUTLINED IN GEOTECHNICAL REPORT.
 2. SEE WALL SCHEDULE ON CONSTRUCTION PLANS FOR BOULDER TYPE, SIZE, AND SOURCE.

- NOTES:**
1. SEE PAVING SCHEDULE ON CONSTRUCTION PLANS FOR PERMEABLE GRAVEL TYPE, COLOR, SIZE, AND SOURCE.
 2. GRAVEL TO BE CLEAN, WASHED, AND OPEN-GRADED.

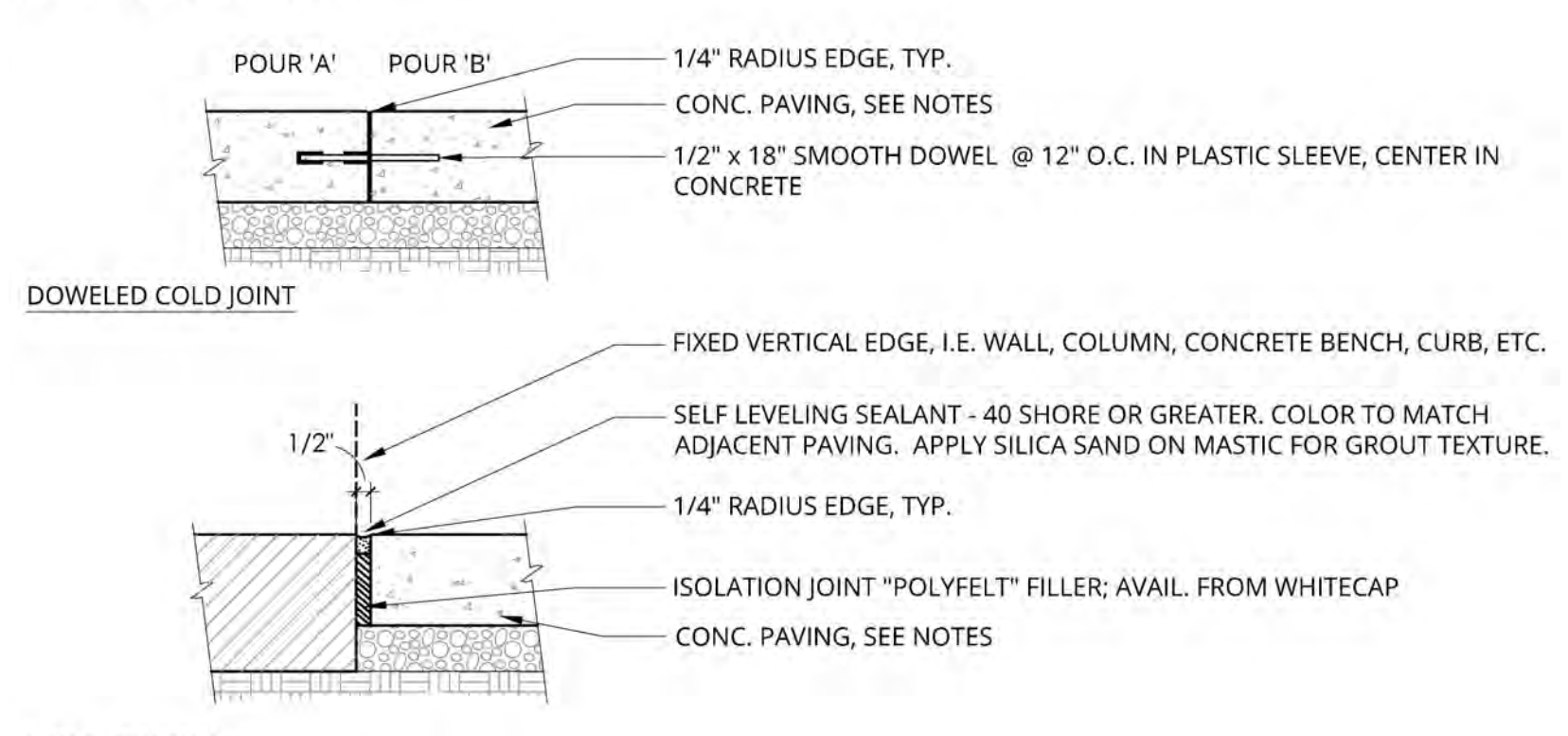


- NOTES:**
1. REFER TO PAVING SCHEDULE ON CONSTRUCTION PLANS FOR COBBLESTONE TYPE AND GROUT COLOR.
 2. CONTRACTOR SHALL SUBMIT PHYSICAL STONE AND GROUT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
 3. REFER TO CONSTRUCTION PLANS FOR PAVING PATTERN AND ORIENTATION.
 4. MORTAR COMPOUND AND BONDING SLURRY SHALL BE PER MANUFACTURER'S INSTALLATION SPECIFICATIONS.
 5. COBBLESTONE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 6. REFER TO CIVIL GRADING PLANS FOR RISER HEIGHT.

INSTALLATION NOTE:
INSTALL PAVERS SUCH THAT FINISHED SURFACE OF PAVER AREA IS FLUSH WITH ALL ADJACENT PAVED SURFACES. CHANGES IN LEVEL SHALL NOT EXCEED 1/4".



- NOTES:**
1. SEE DETAIL 2, THIS SHEET FOR REINFORCING, PAVING THICKNESS (T), AND SUBGRADE PREPARATION.
 2. SEE PAVING SCHEDULE & SPECS. FOR COLOR & FINISH.

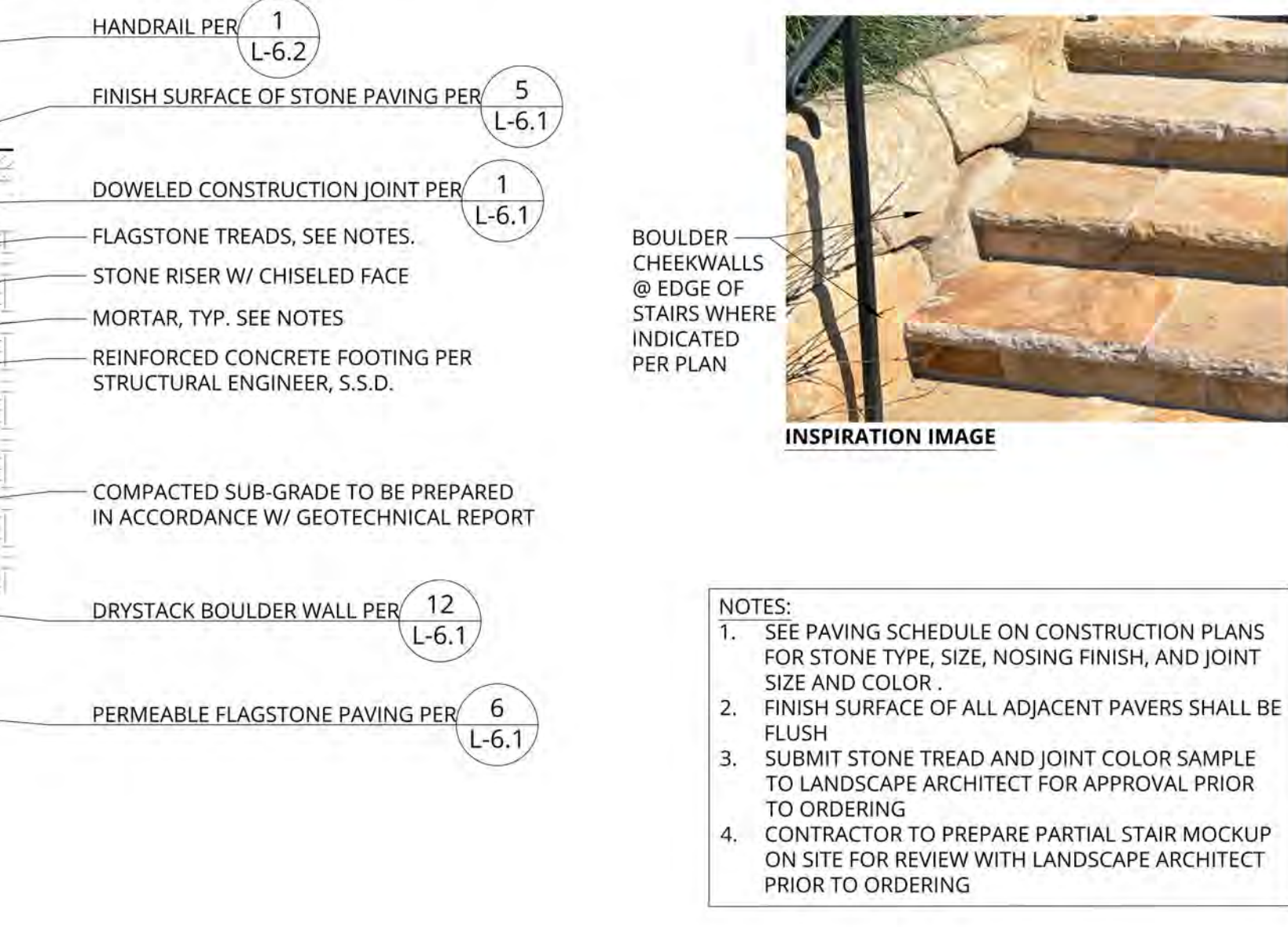
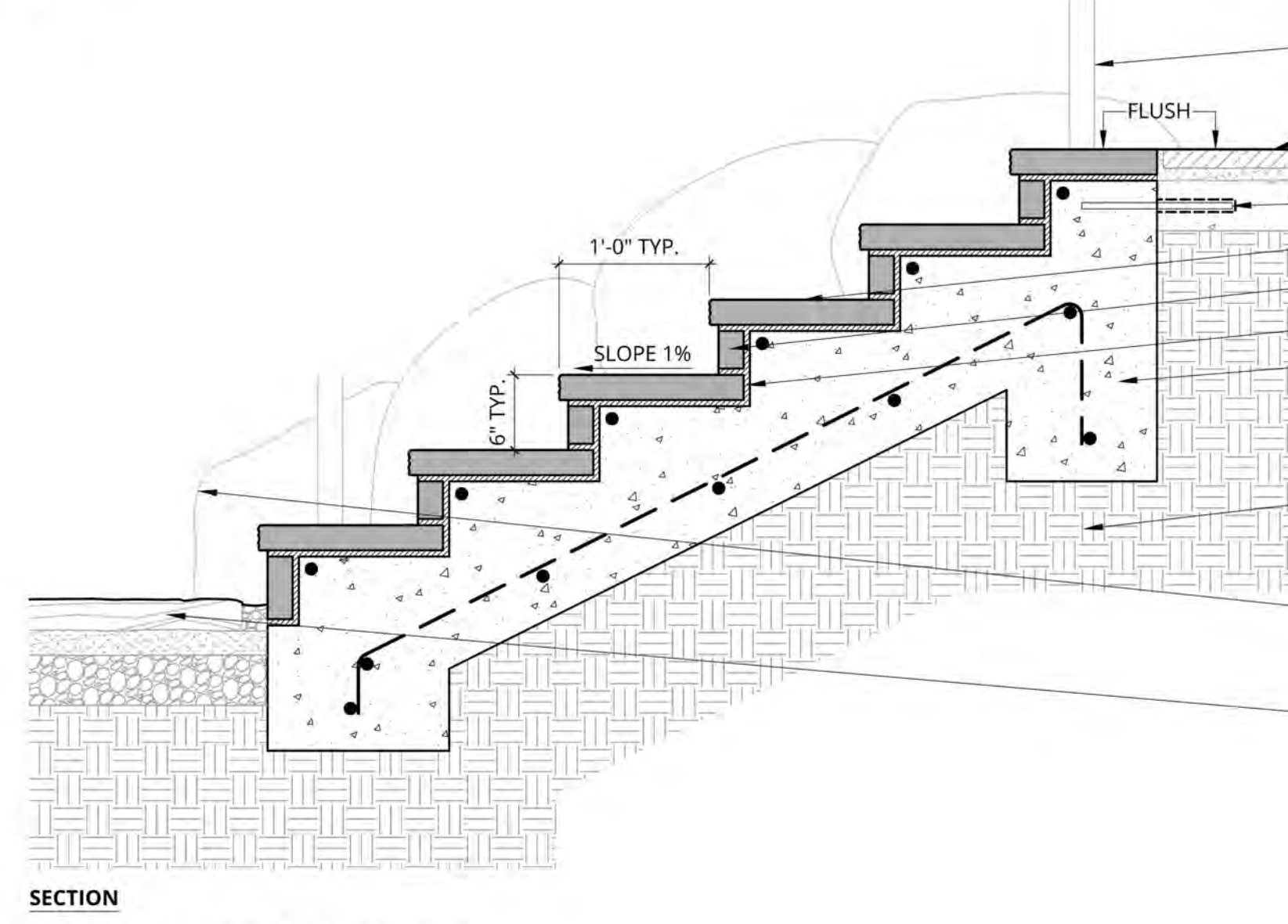


12 DRYSTACK BOULDER WALL
3/4" = 1'-0"
P-2309-HAR-13

8 PERMEABLE GRAVEL PATH
3" = 1'-0"
P-2309-HAR-11

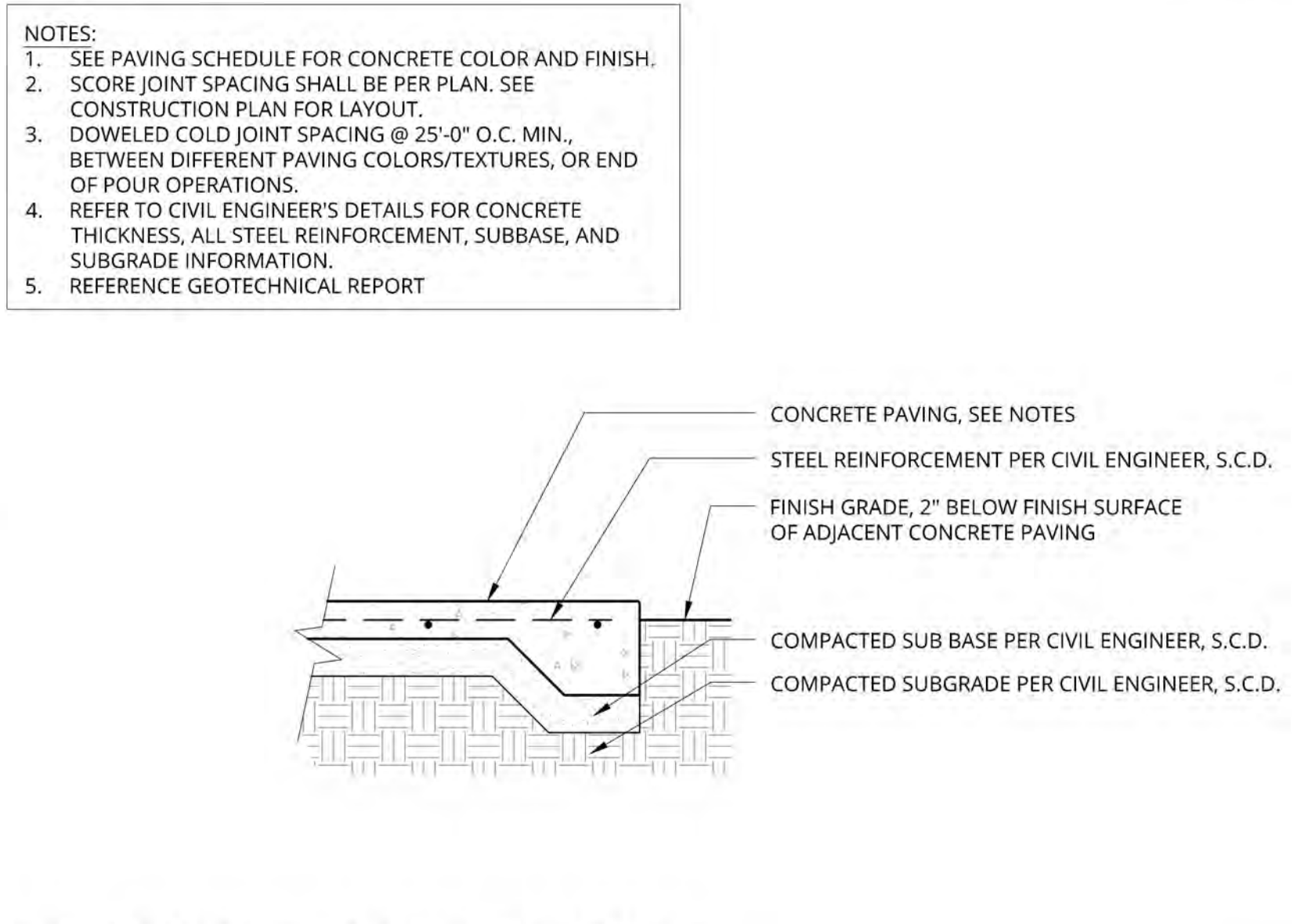
4 COBBLESTONE ENTRY STOOP
1" = 1'-0"
P-2309-HAR-22

1 CONCRETE JOINTS
1 1/2" = 1'-0"
P-2309-HAR-07



9 FLAGSTONE STEPS
1" = 1'-0"
P-2309-HAR-12

5 FLAGSTONE TERRACE PAVING ON CONCRETE SLAB
1" = 1'-0"
P-2309-HAR-21



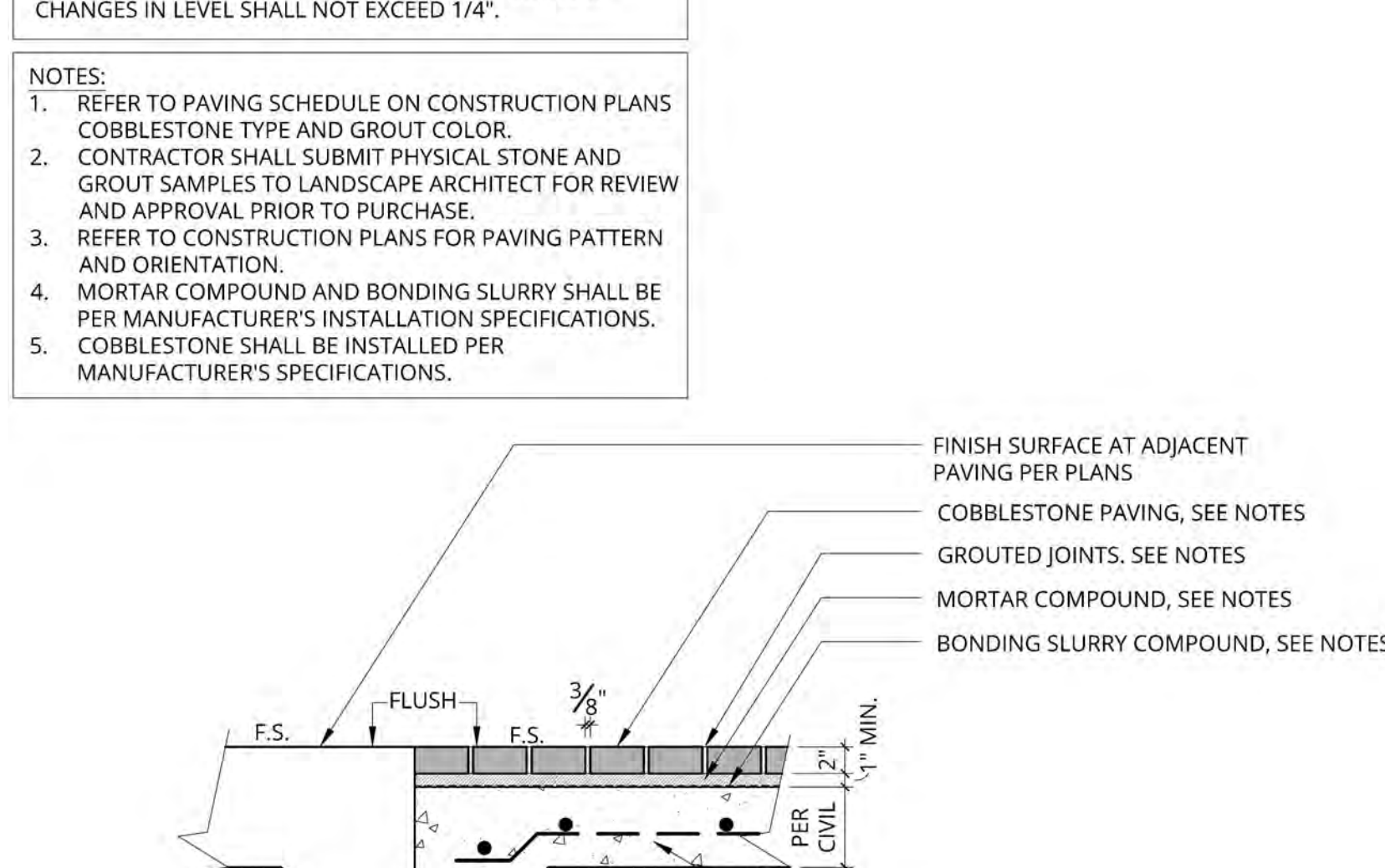
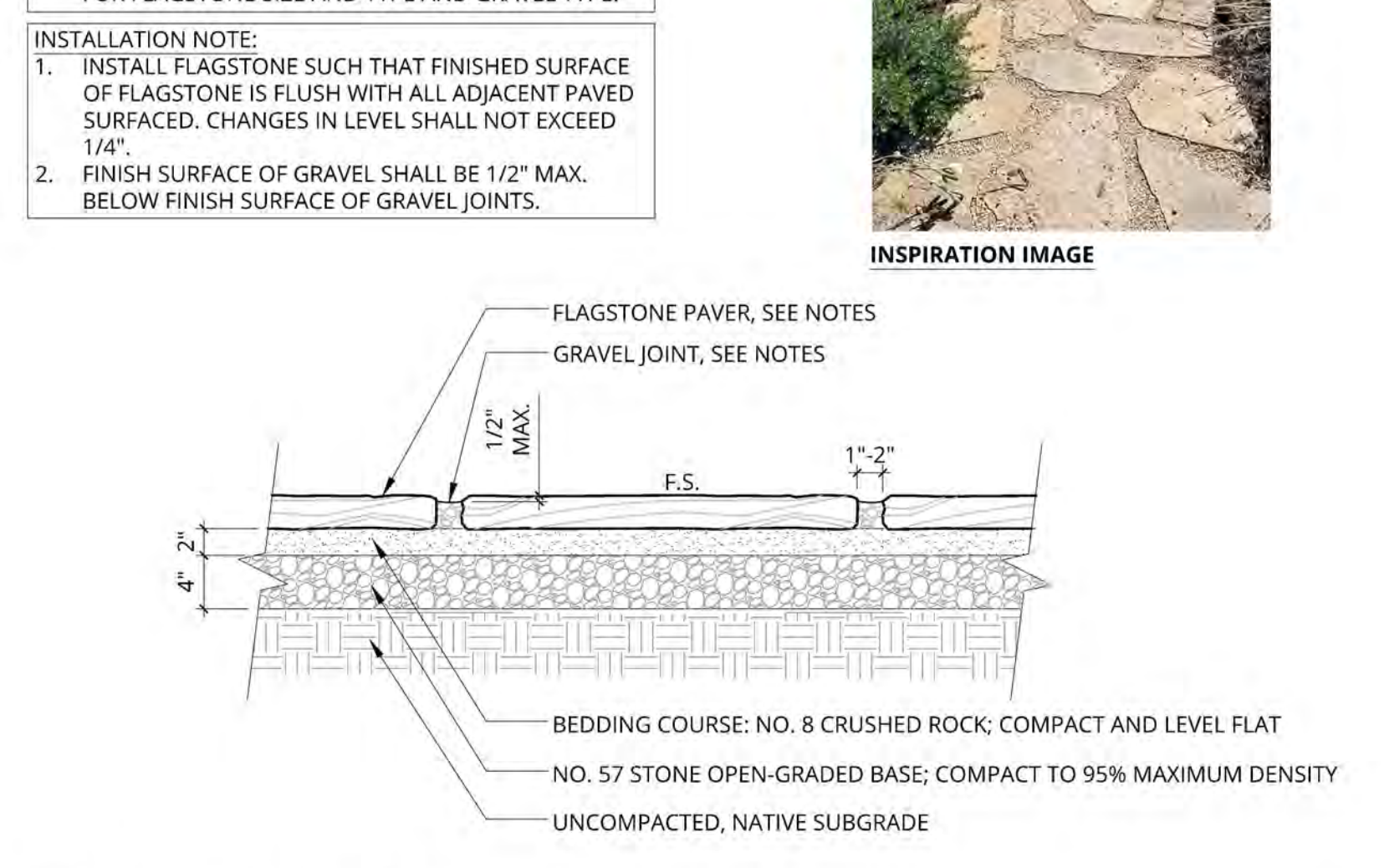
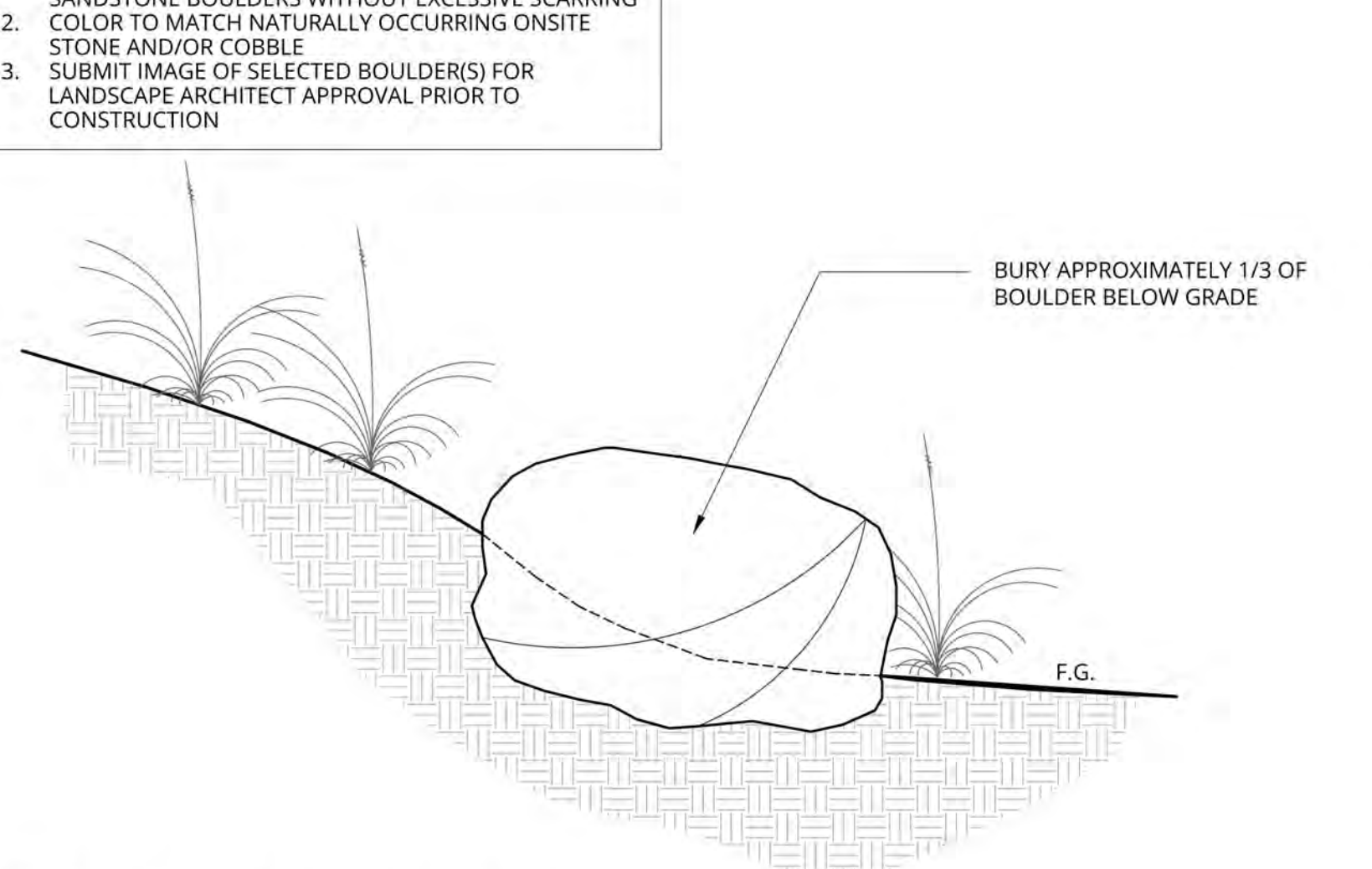
2 CONCRETE PAVING @ DOGYARD
3/4" = 1'-0"
P-2309-HAR-23

11 FREESTANDING CMU WALL
1/2" = 1'-0"
P-2309-HAR-15

7 PERMEABLE GRAVEL PATH W/ STEEL HEADER
1 1/2" = 1'-0"
P-2309-HAR-10

6 PERMEABLE FLAGSTONE PATH
1" = 1'-0"
P-2309-HAR-09

3 COBBLESTONE DRIVEWAY PAVING
1" = 1'-0"
P-2309-HAR-08

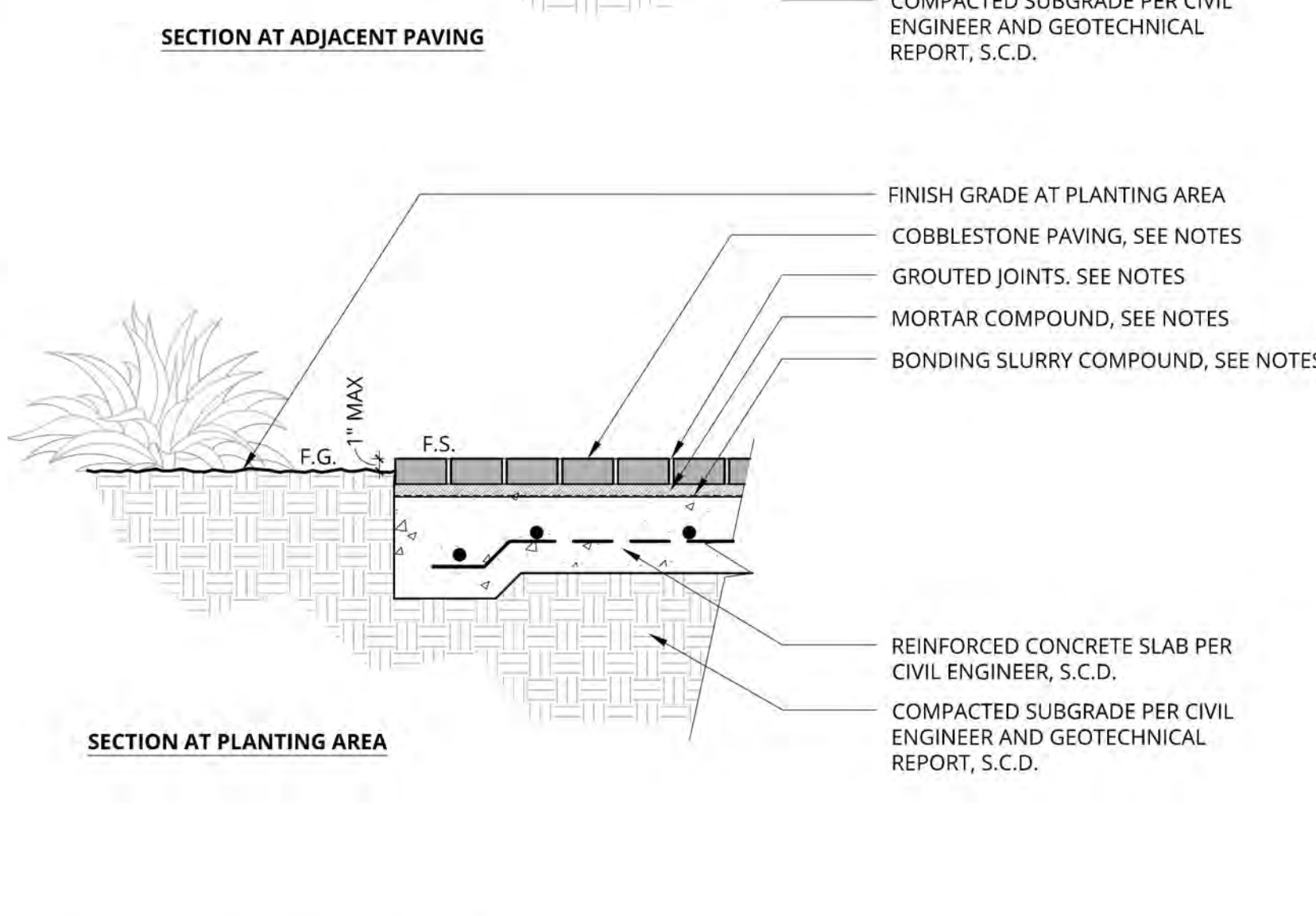
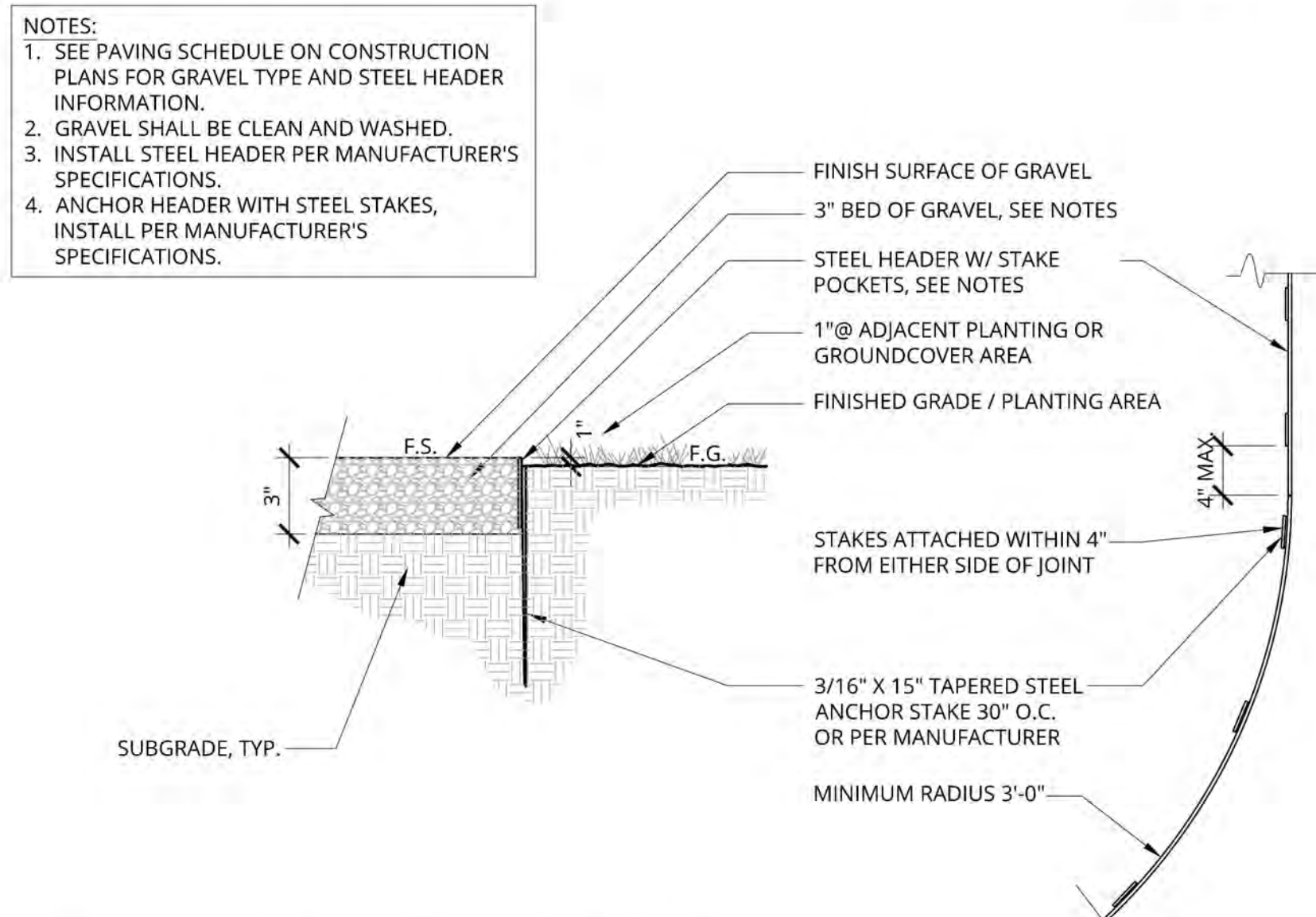
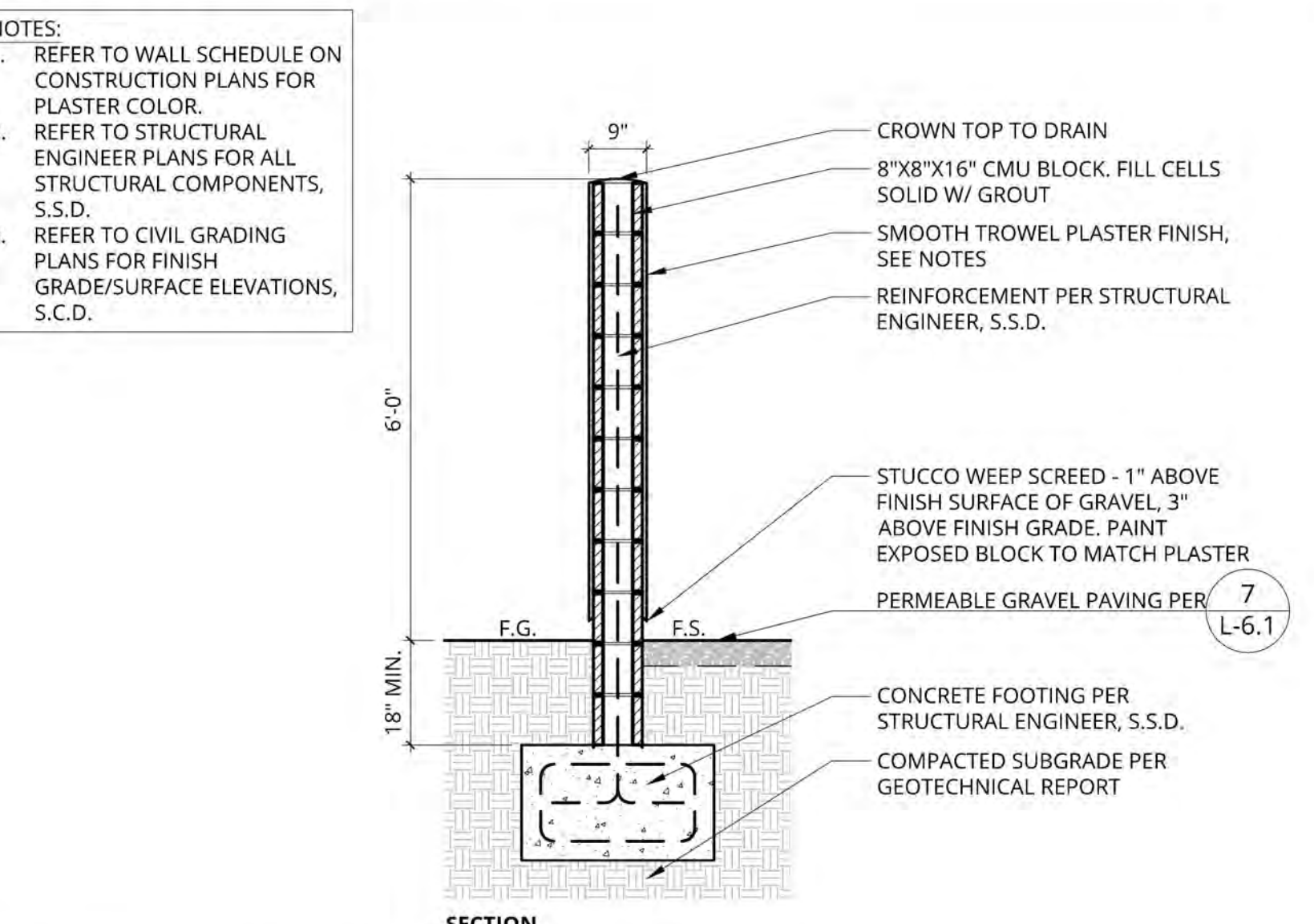


10 ORNAMENTAL BOULDER
1 1/2" = 1'-0"
P-2309-HAR-14

11 FREESTANDING CMU WALL
1/2" = 1'-0"
P-2309-HAR-15

6 PERMEABLE FLAGSTONE PATH
1" = 1'-0"
P-2309-HAR-09

3 COBBLESTONE DRIVEWAY PAVING
1" = 1'-0"
P-2309-HAR-08



11 FREESTANDING CMU WALL
1/2" = 1'-0"
P-2309-HAR-15

7 PERMEABLE GRAVEL PATH W/ STEEL HEADER
1 1/2" = 1'-0"
P-2309-HAR-10

6 PERMEABLE FLAGSTONE PATH
1" = 1'-0"
P-2309-HAR-09

3 COBBLESTONE DRIVEWAY PAVING
1" = 1'-0"
P-2309-HAR-08



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NOT FOR CONSTRUCTION
1553 SHORELINE DRIVE RESIDENCE
 1553 Shoreline Drive
 Santa Barbara, CA 93109



REVISIONS	DATE
04/28/23 SFDB	
08/24/23 PLN 1	
10/02/23 SFDB#2	
12/14/23 PLN 2	
04/22/24 65% CD / SFDB #3	

PROJECT NUMBER	2309
DRAWN BY	AZ
DATE DRAWN	04/04/24
SCALE	
PRINT DATE	4/22/24
SHEET NUMBER	L-6.1

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NOT FOR CONSTRUCTION

1553 SHORELINE DRIVE RESIDENCE

1553 Shoreline Drive
Santa Barbara, CA 93109

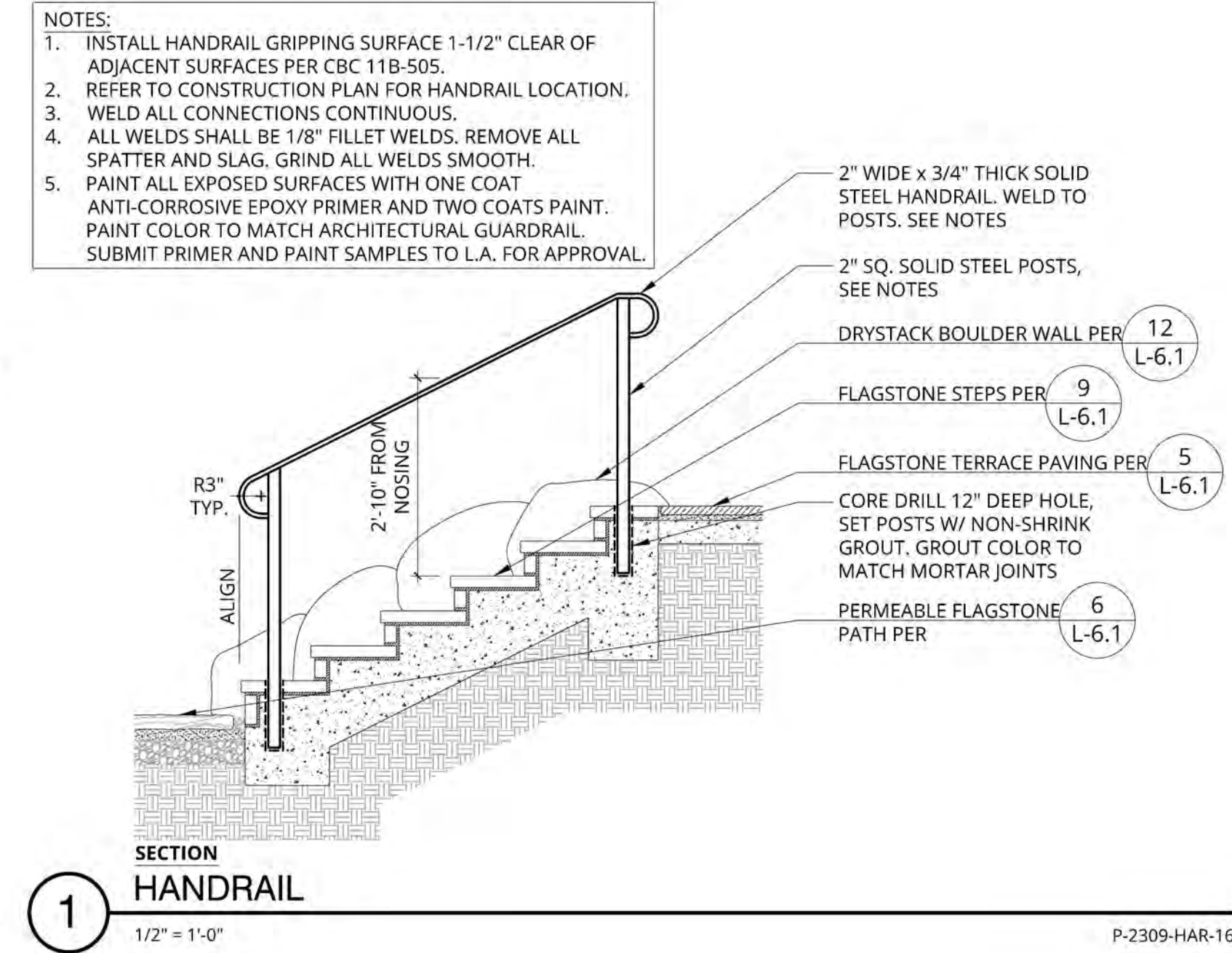


REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER: 2305
DRAWN BY: AZ
DATE DRAWN: 04/04/24
SCALE:
PRINT DATE: 4/22/24

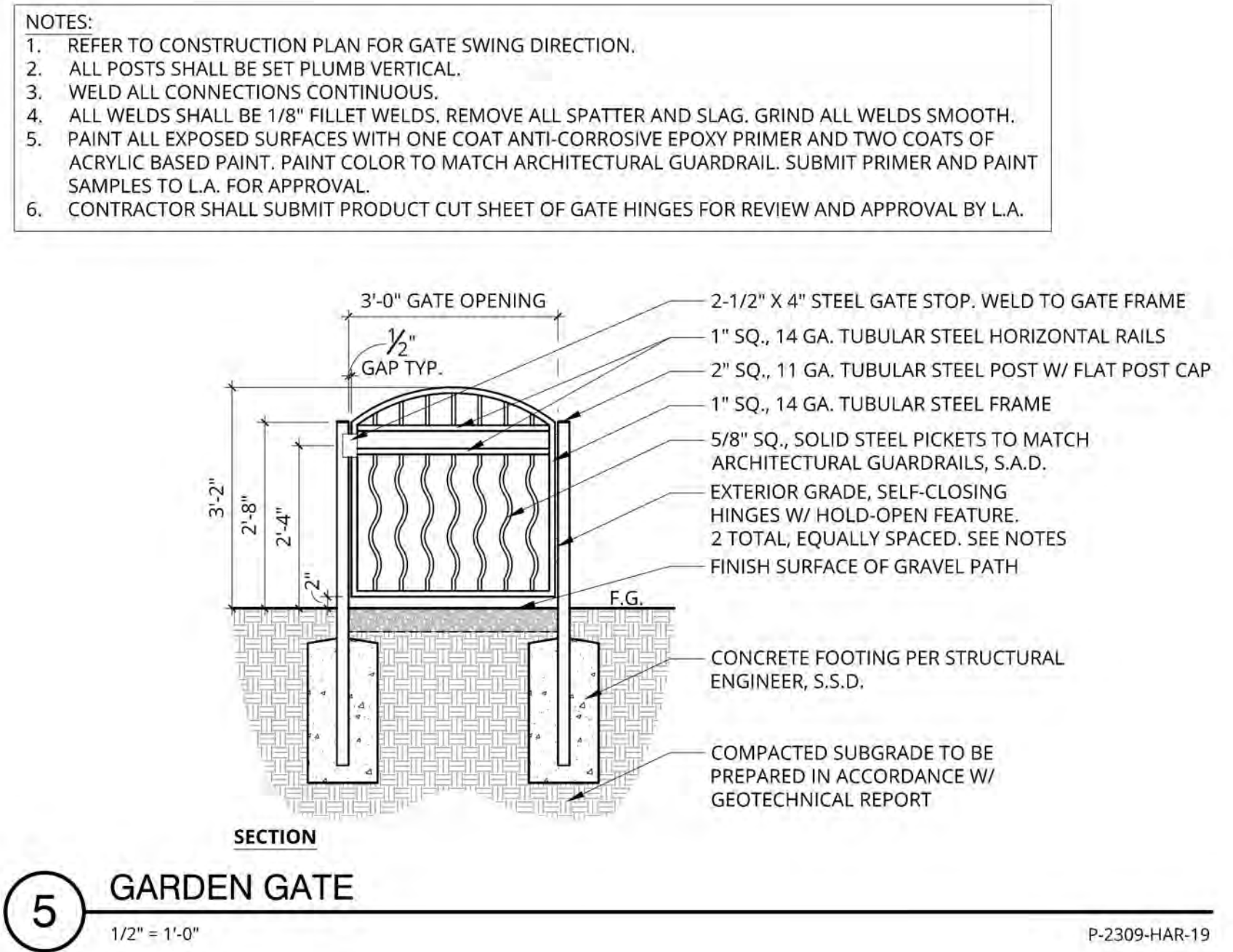
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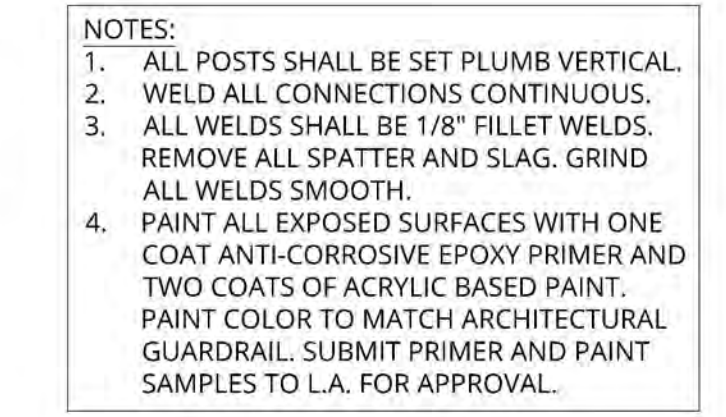
1 SECTION
HANDRAIL
1/2" = 1'-0"

P-2309-HAR-19

P-2309-HAR-16

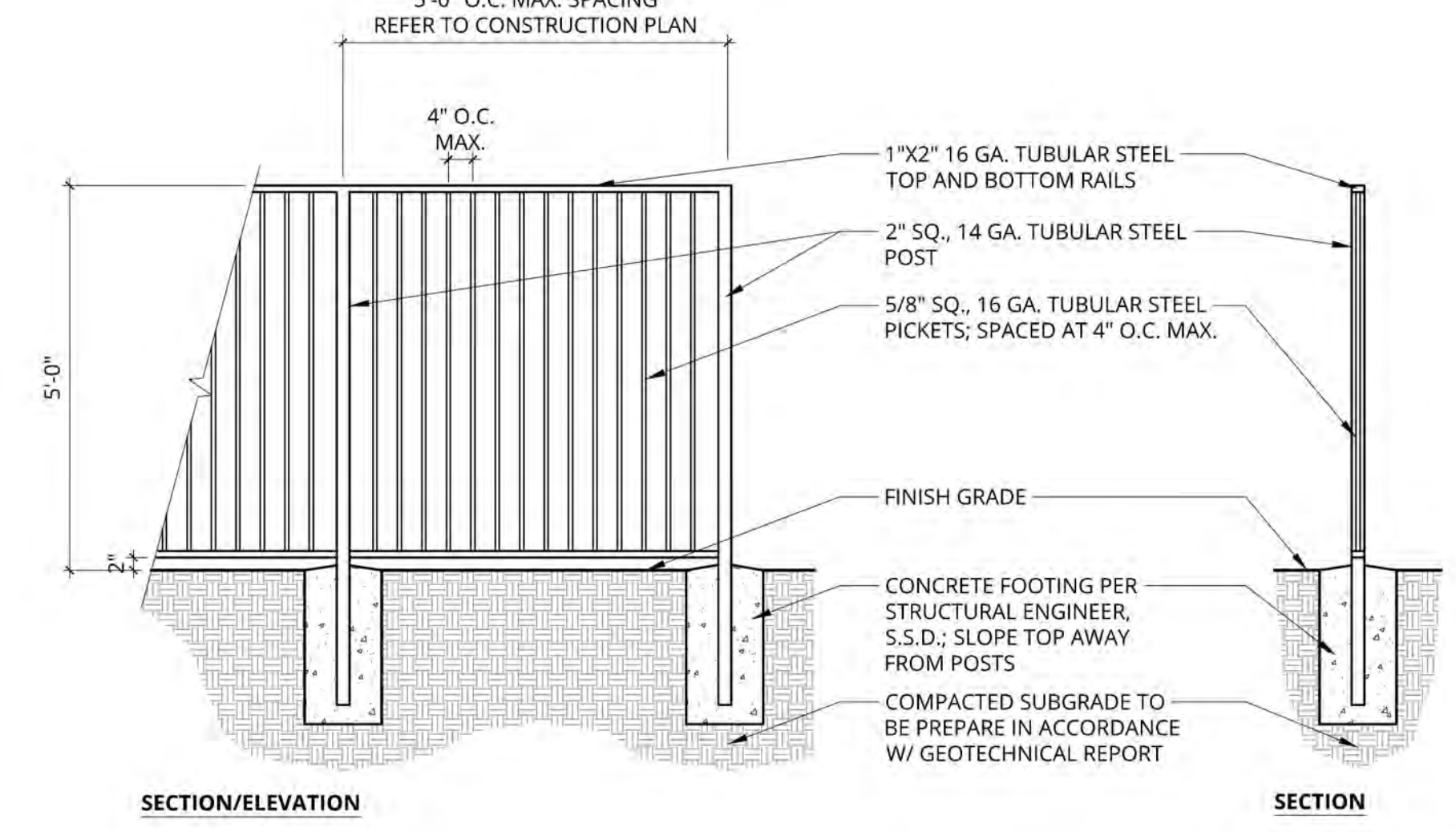


5 SECTION
GARDEN GATE
1/2" = 1'-0"



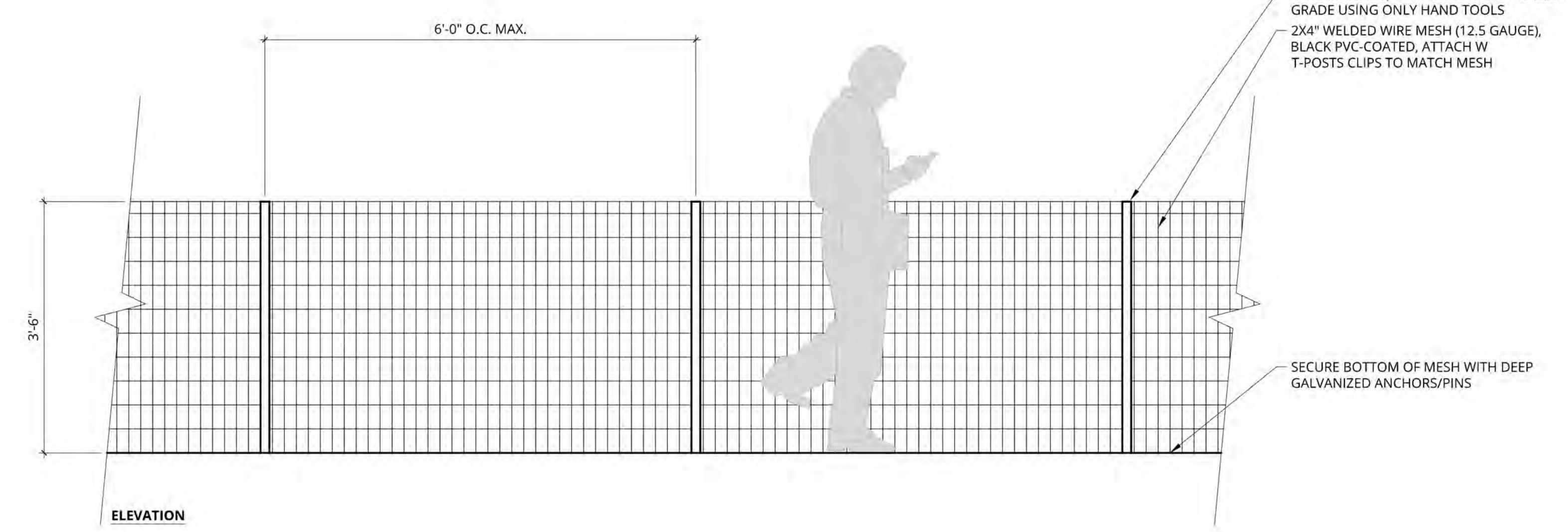
2 SECTION/ELEVATION
TUBULAR STEEL FENCE
1/2" = 1'-0"

P-2309-HAR-17



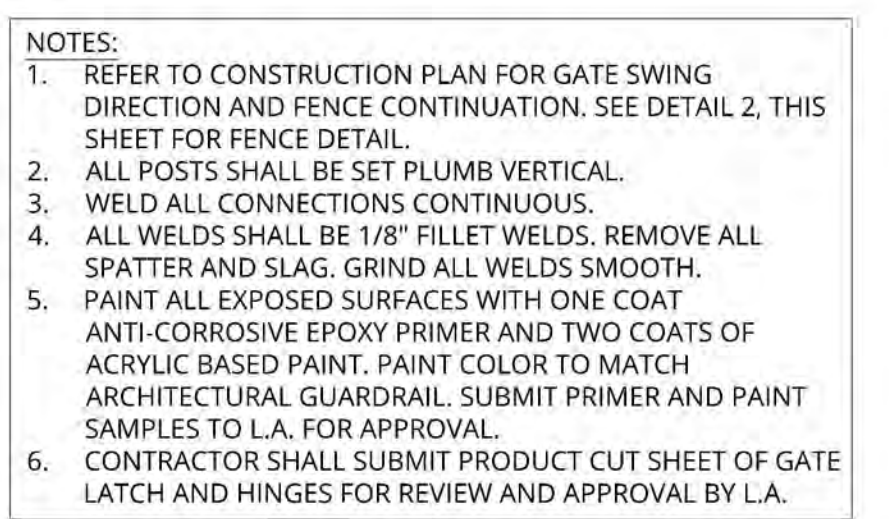
SECTION/ELEVATION

SECTION



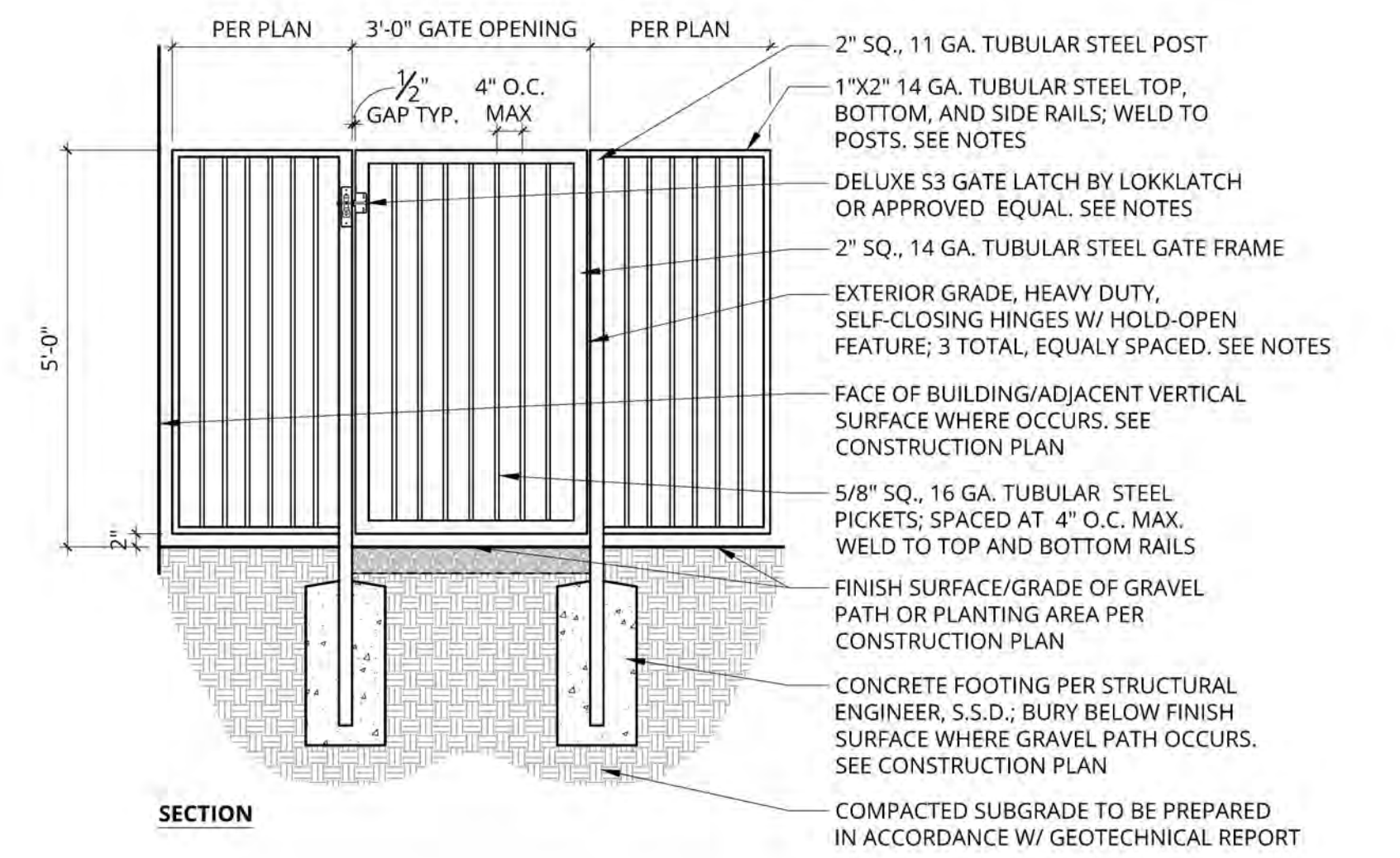
3 ELEVATION
42" TALL BLUFF FENCE
3/4" = 1'-0"

P-2309-HAR-04

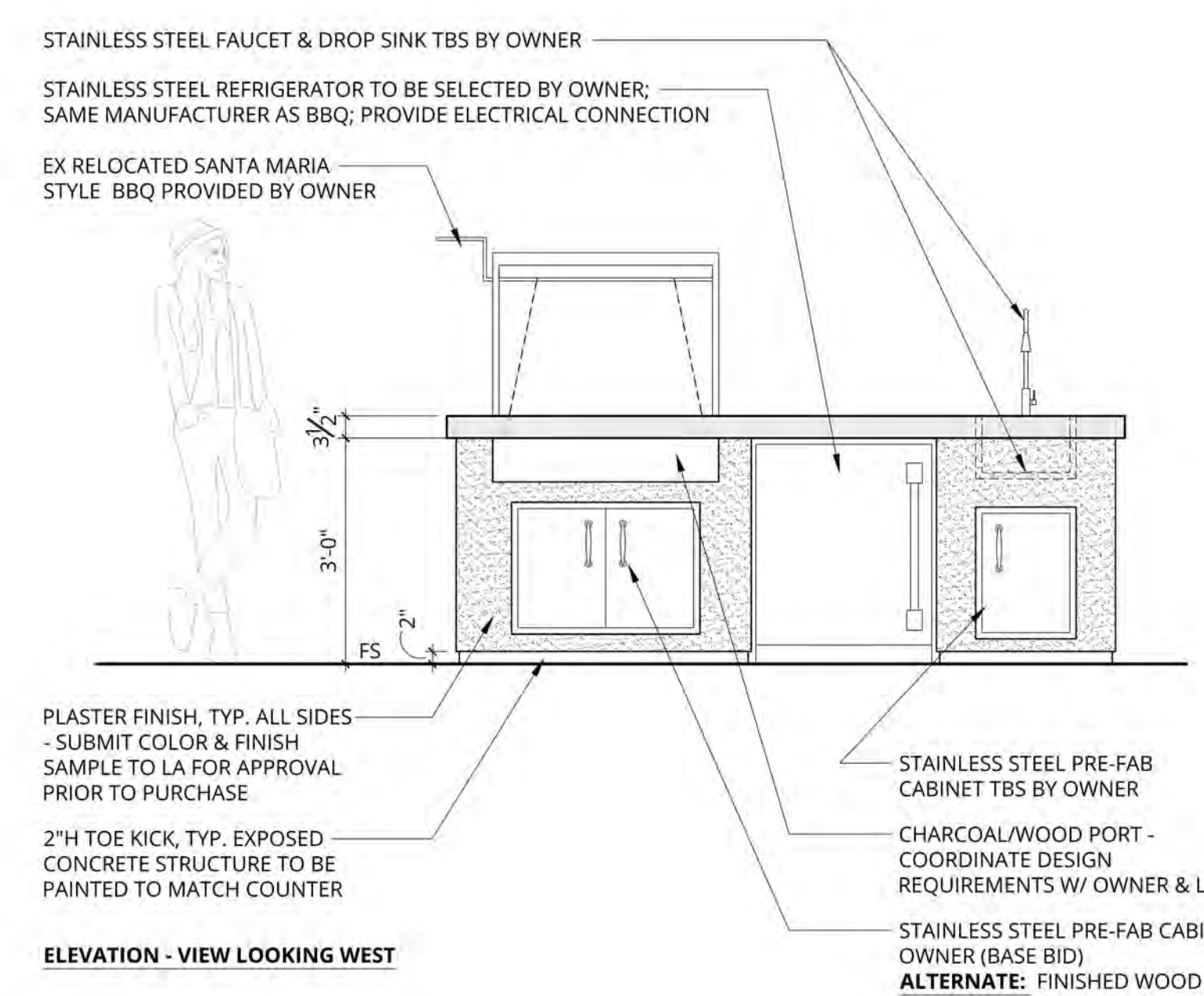
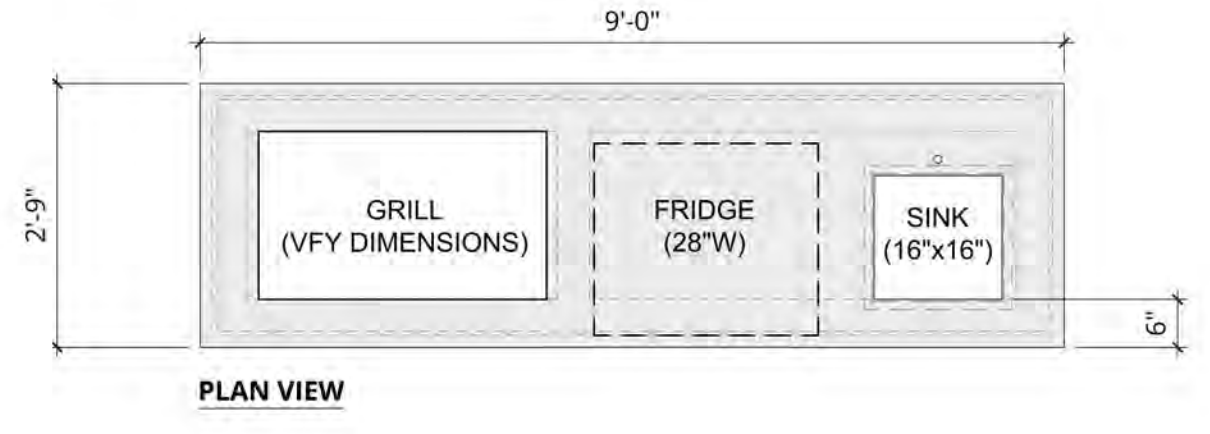
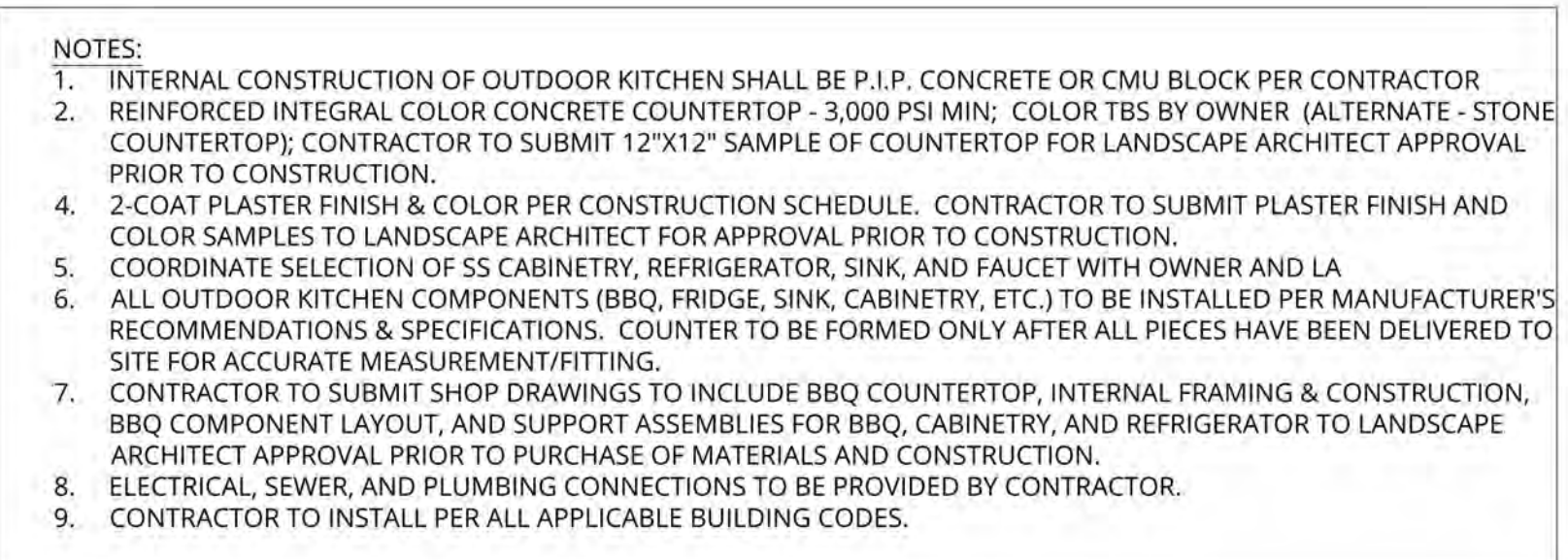


4 SECTION
TUBULAR STEEL GATE
1/2" = 1'-0"

P-2309-HAR-18

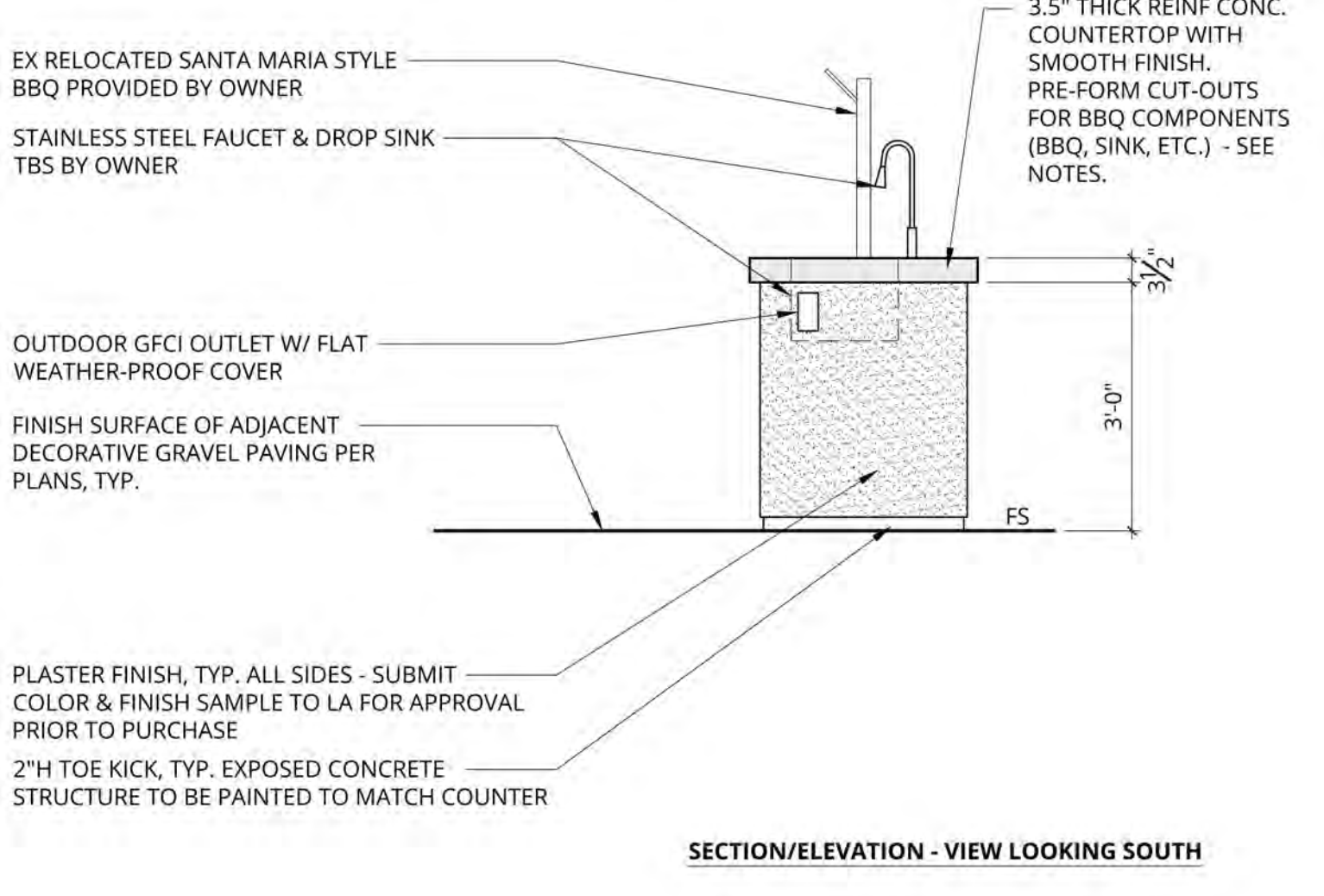


SECTION

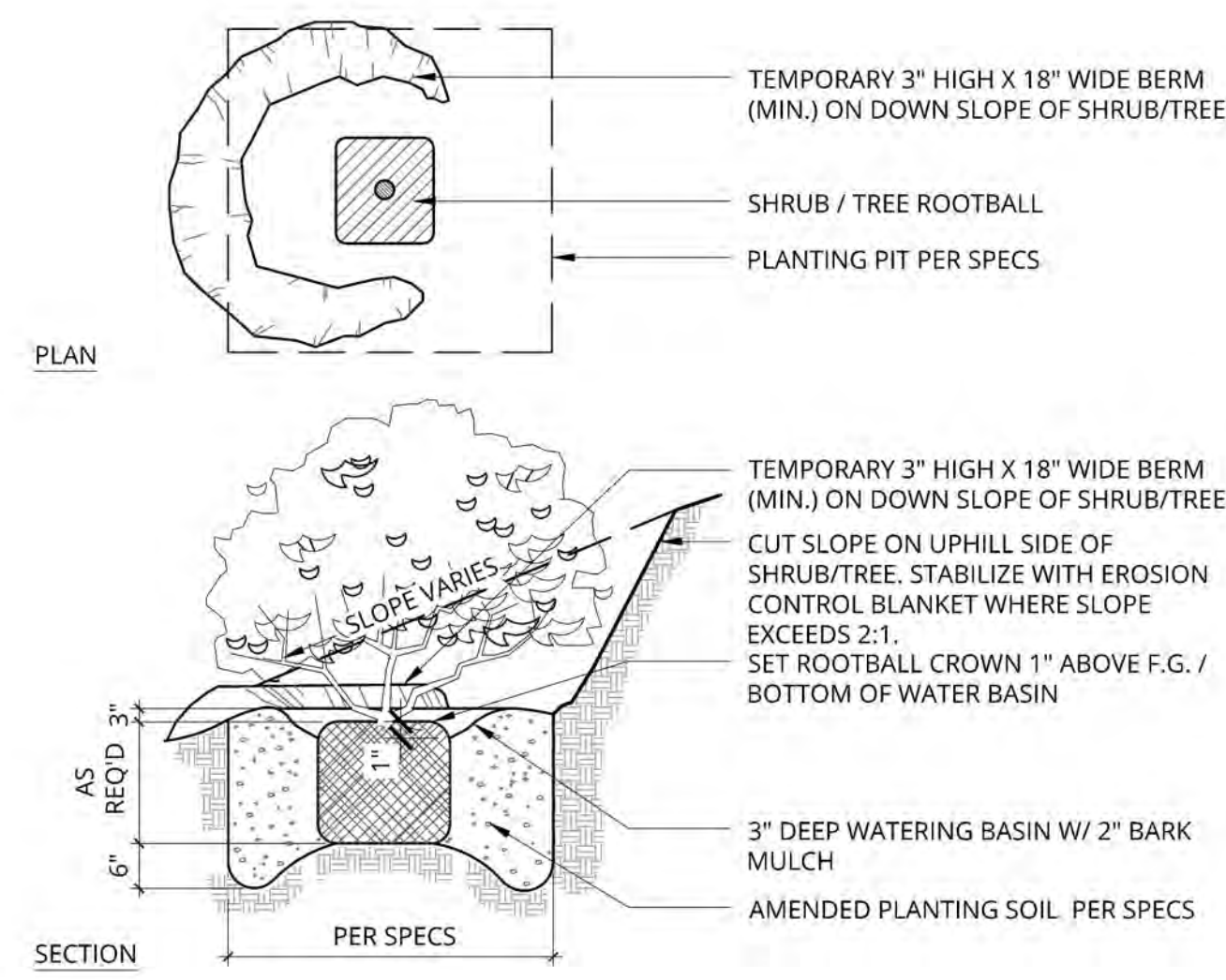


6 ELEVATION - VIEW LOOKING WEST
OUTDOOR KITCHEN
1/2" = 1'-0"

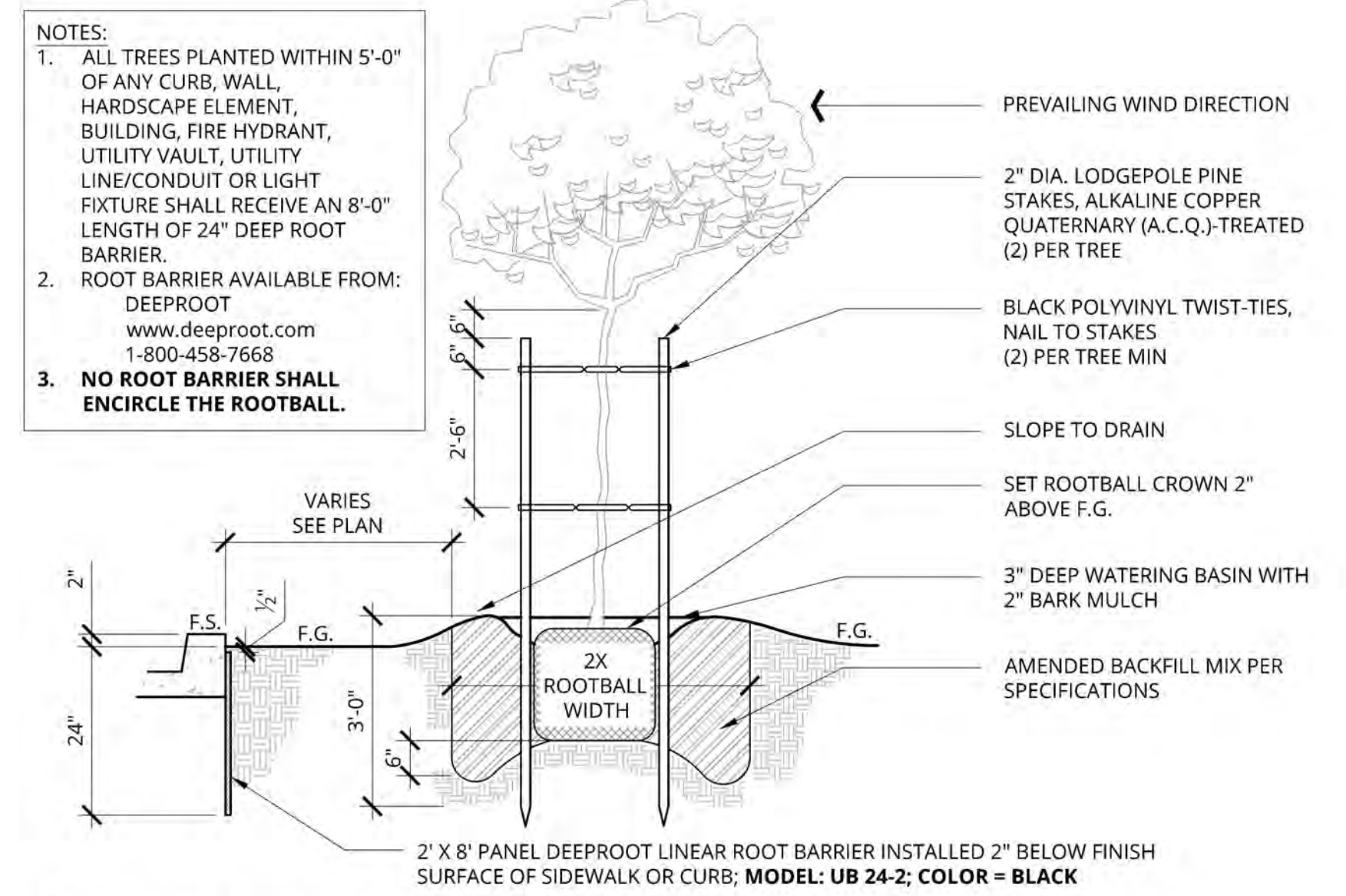
P-2309-HAR-20



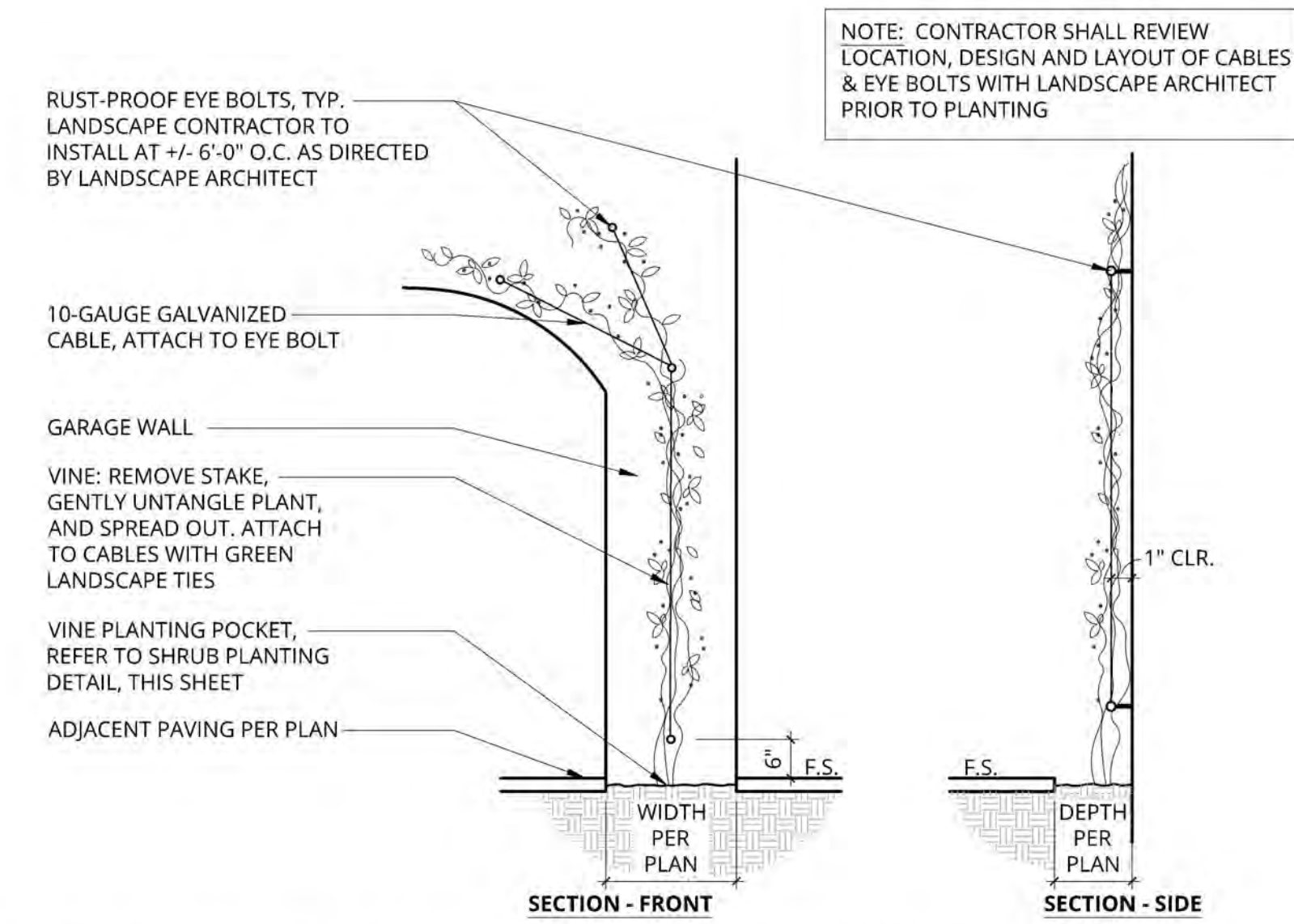
SECTION/ELEVATION - VIEW LOOKING SOUTH



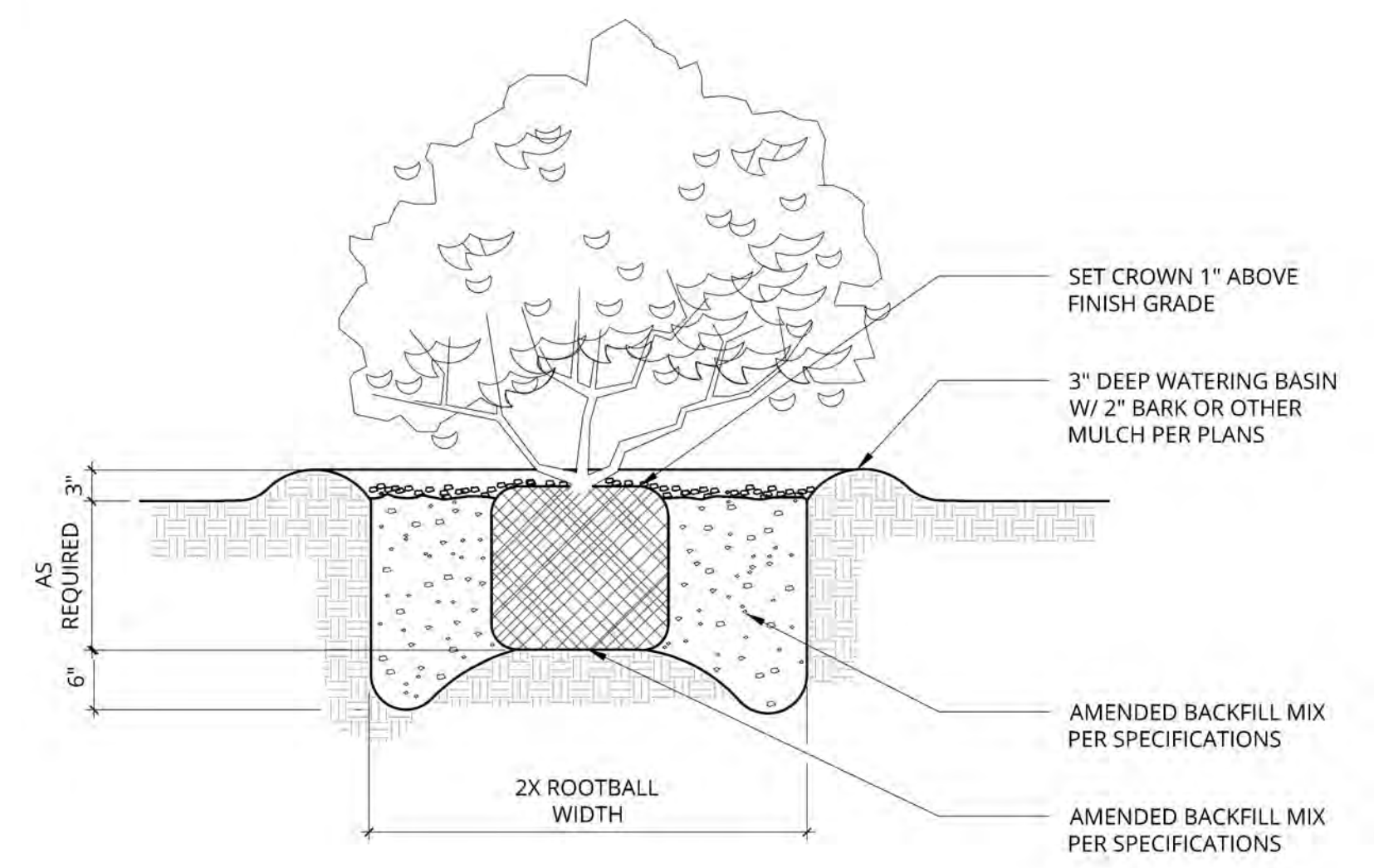
5 SHRUB/TREE PLANTING ON SLOPE
1/2" = 1'-0"
P-2309-PLA-04



1 TREE PLANTING W/ LINEAR ROOT BARRIER
3/8" = 1'-0"
P-2204-PLA-01

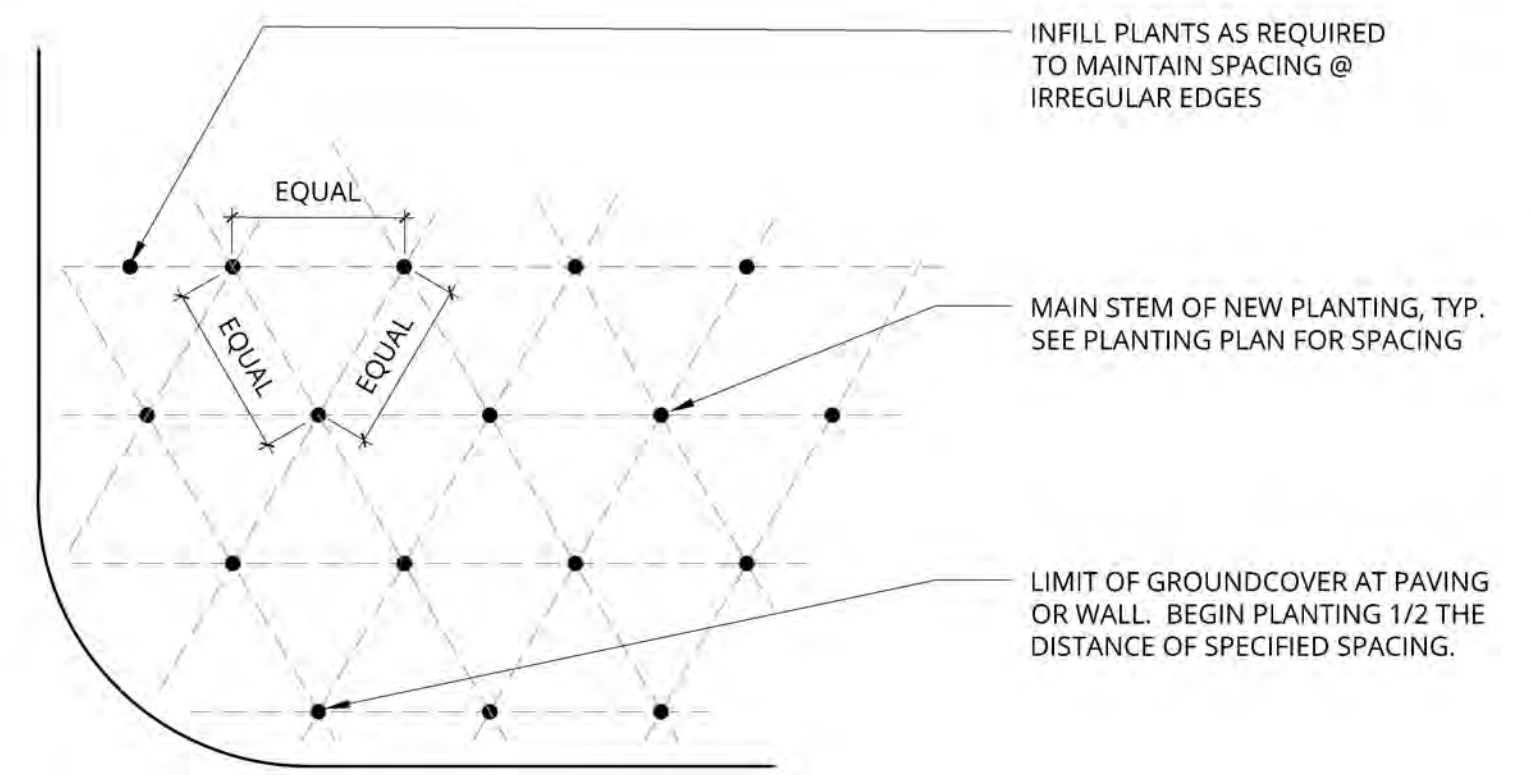


6 VINE TIE ATTACHMENT @ GARAGE ENTRANCE
1/2" = 1'-0"
P-2204-PLA-07

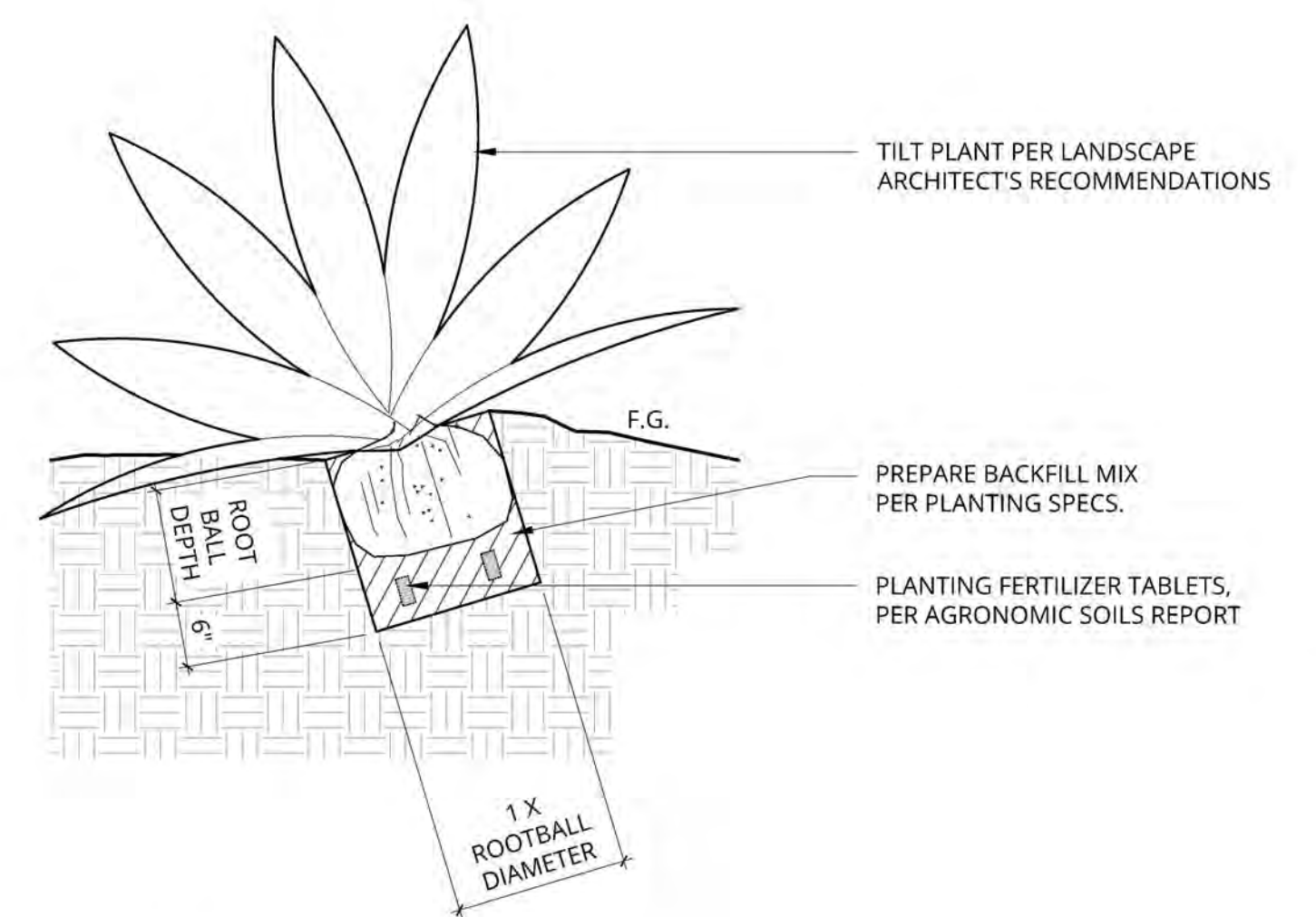


2 SHRUB PLANTING
3/4" = 1'-0"
P-2204-PLA-02

NOTE: TRIANGULATE PLANTING UNLESS OTHERWISE SPECIFIED ON DRAWINGS



3 SHRUB SPACING
1" = 1"
P-2204-PLA-03



4 AGAVE PLANTING
3/4" = 1'-0"
P-2309-PLA-02

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NOT FOR CONSTRUCTION
PLANTING DETAILS

1553 SHORELINE DRIVE RESIDENCE
1553 Shoreline Drive
Santa Barbara, CA 93109



REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER
2309
DRAWN BY
AZ
DATE DRAWN
04/04/24
SCALE
PRINT DATE
4/22/24

SHEET NUMBER
L-6.3

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IRRIGATION DETAILS

1553 SHORELINE DRIVE RESIDENCE

1553 Shoreline Drive
Santa Barbara, CA 93109



REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER: 2309

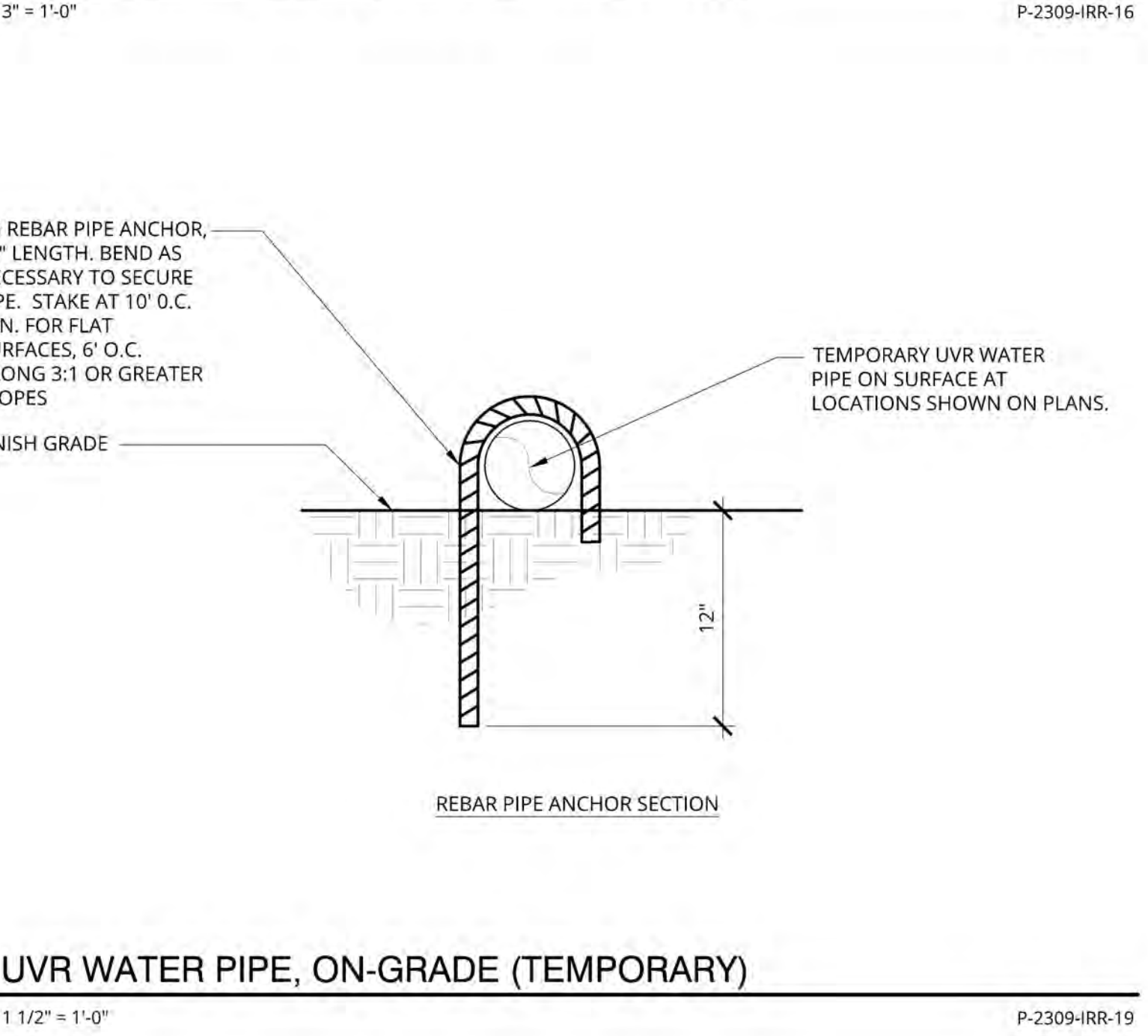
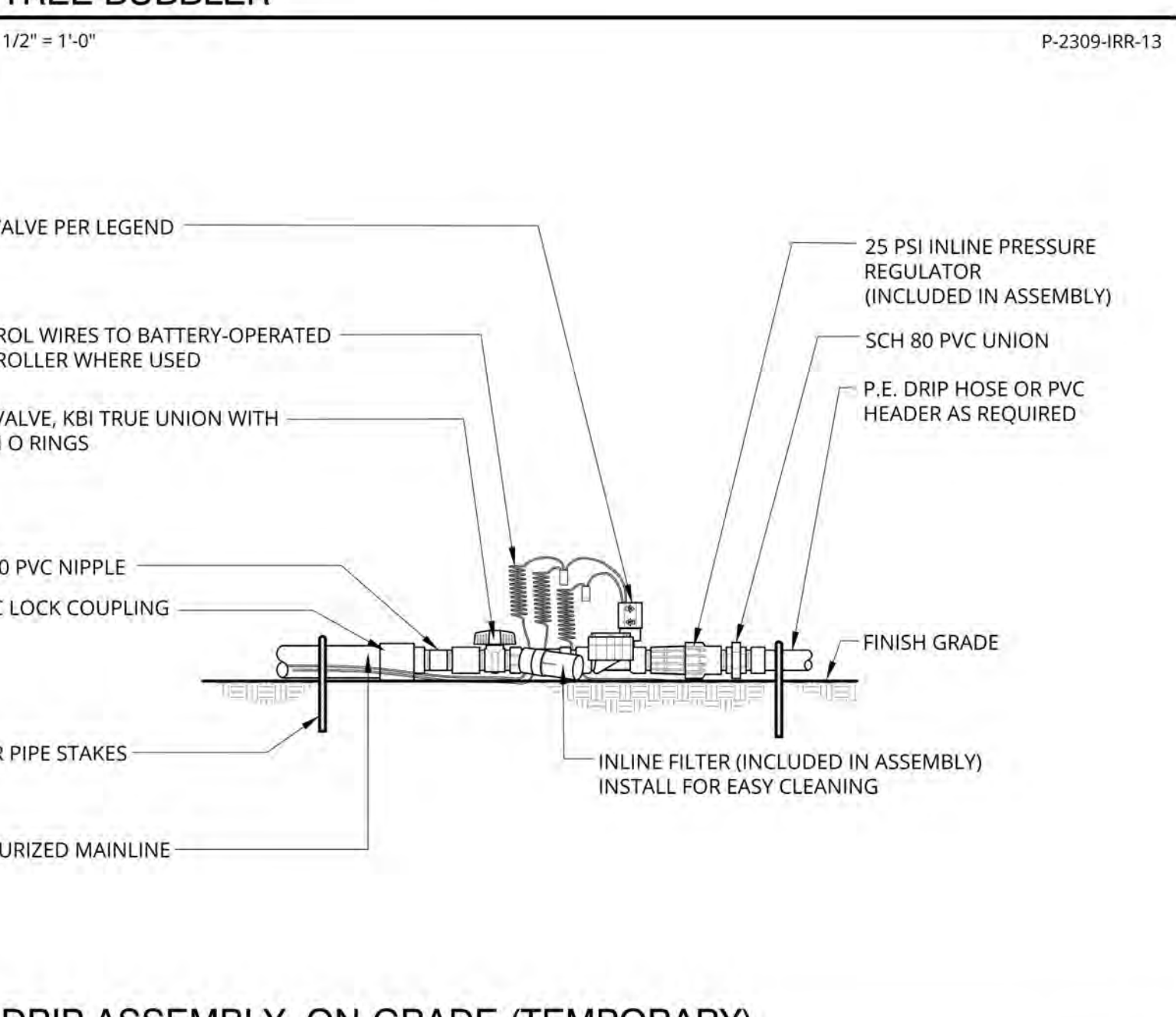
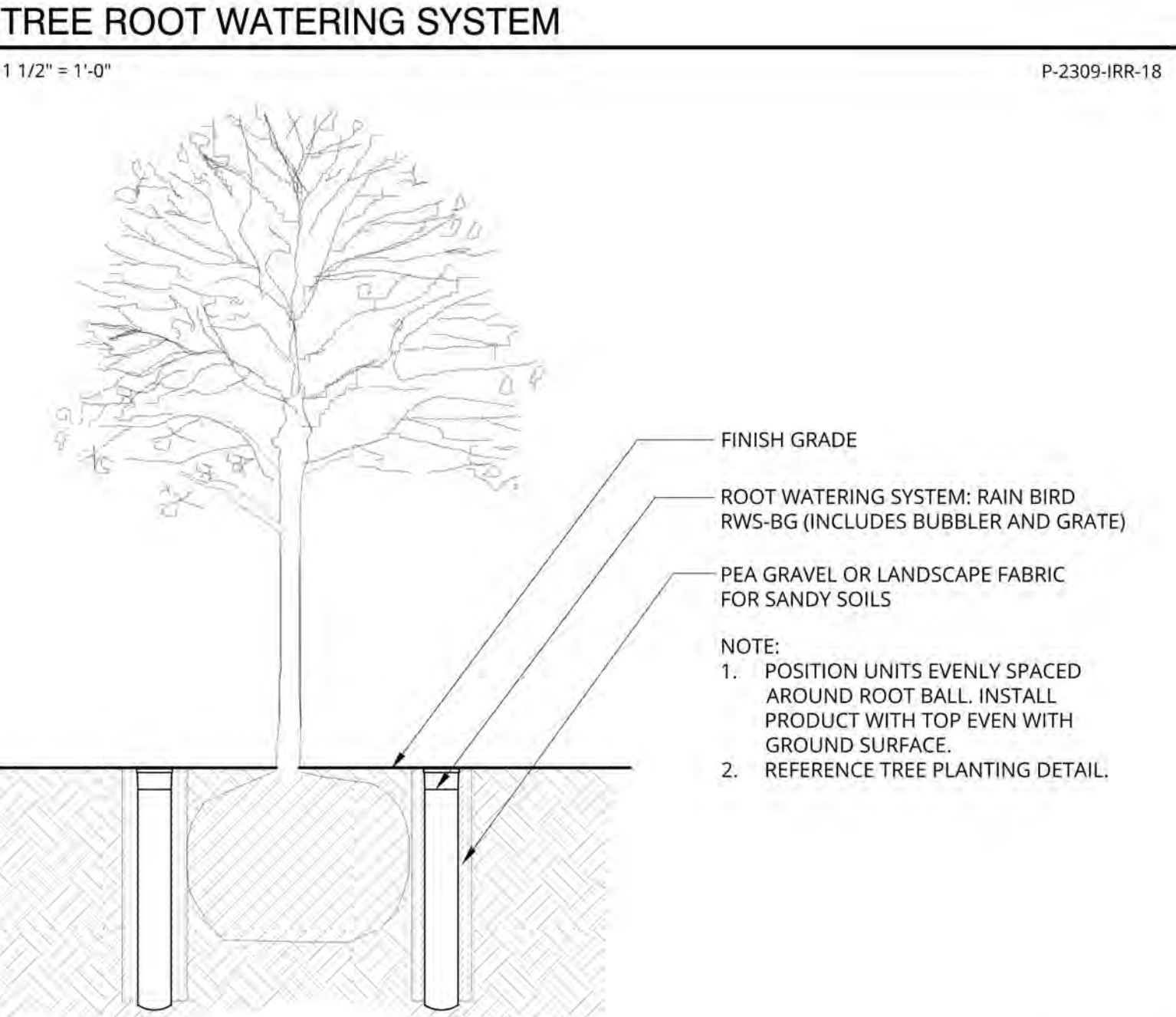
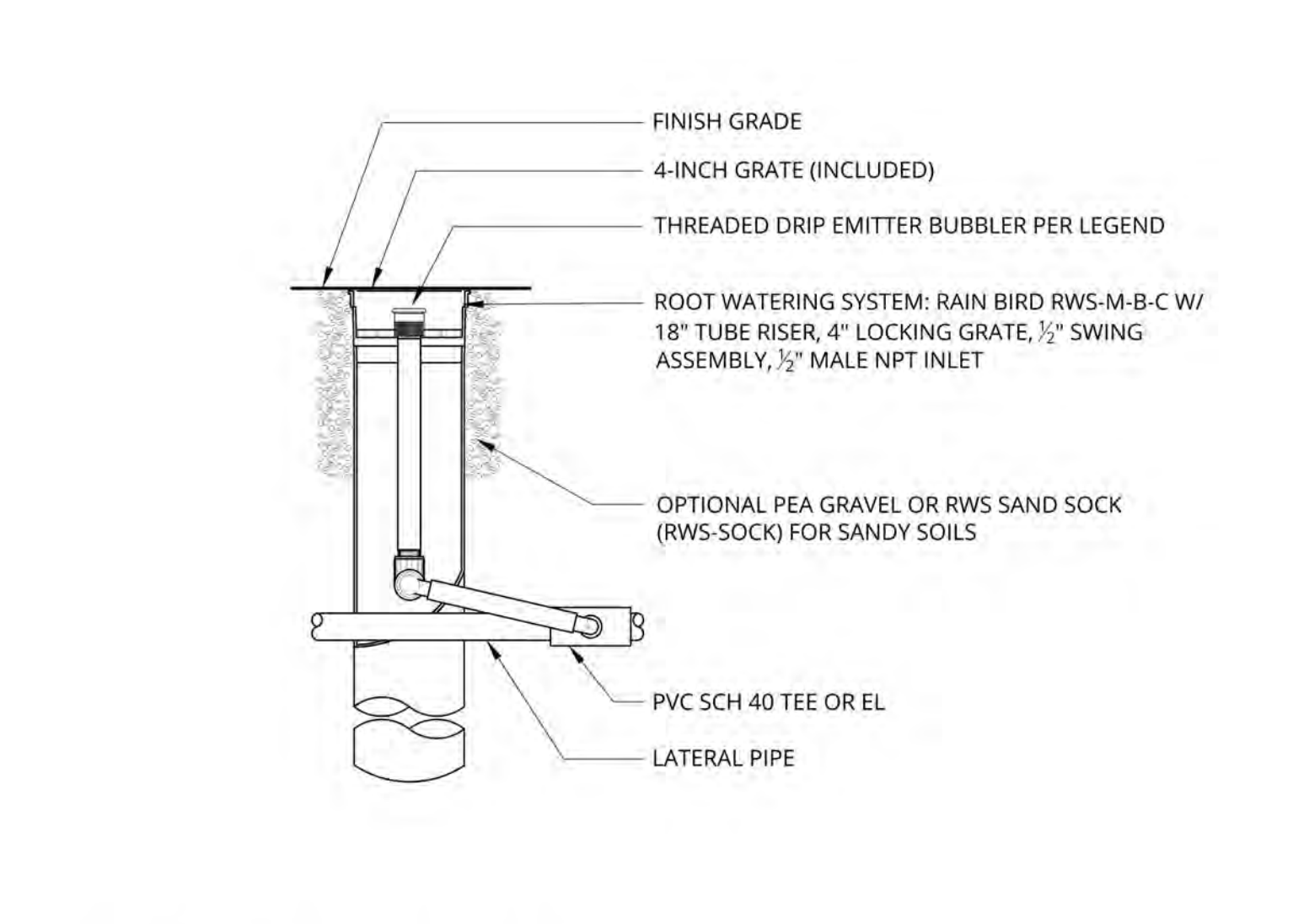
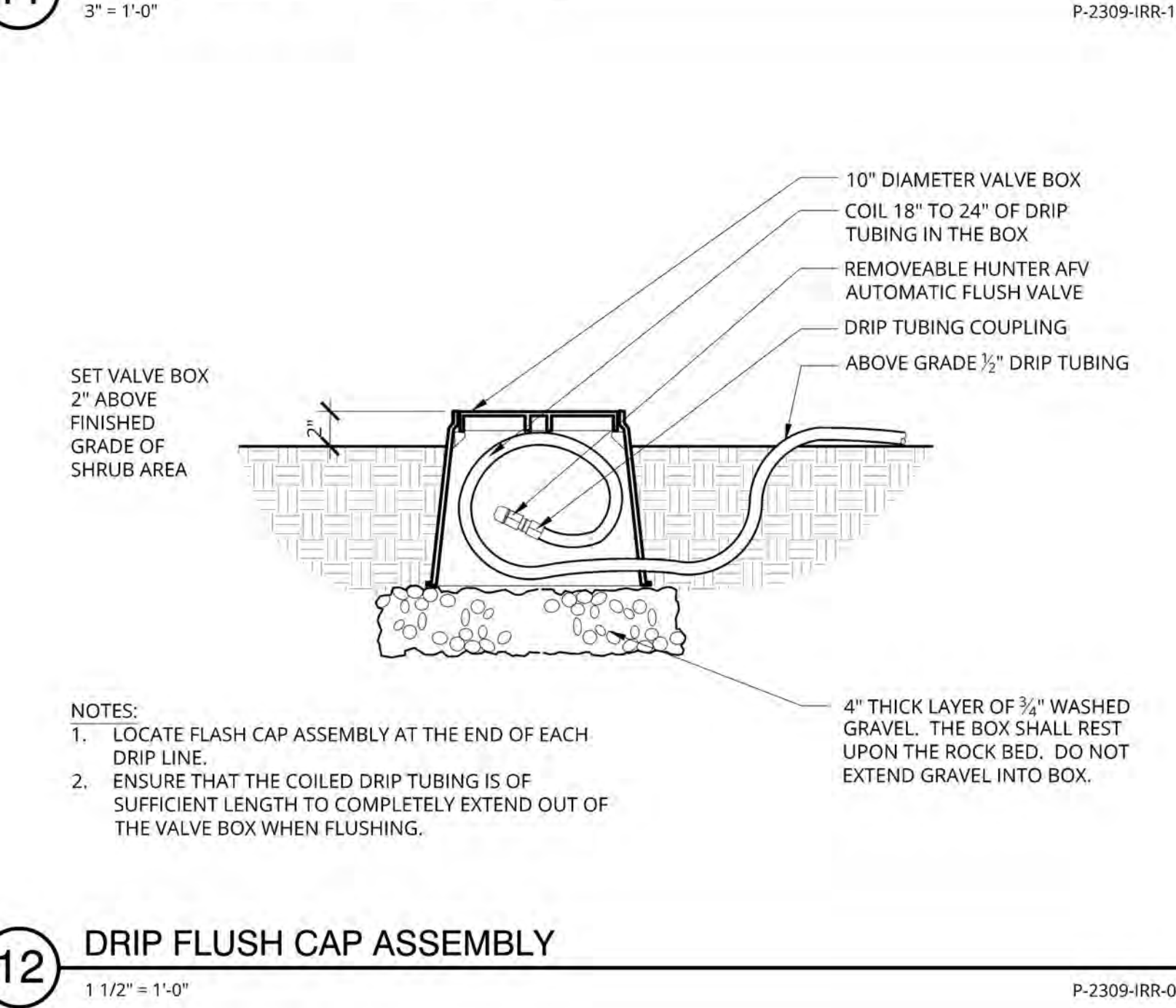
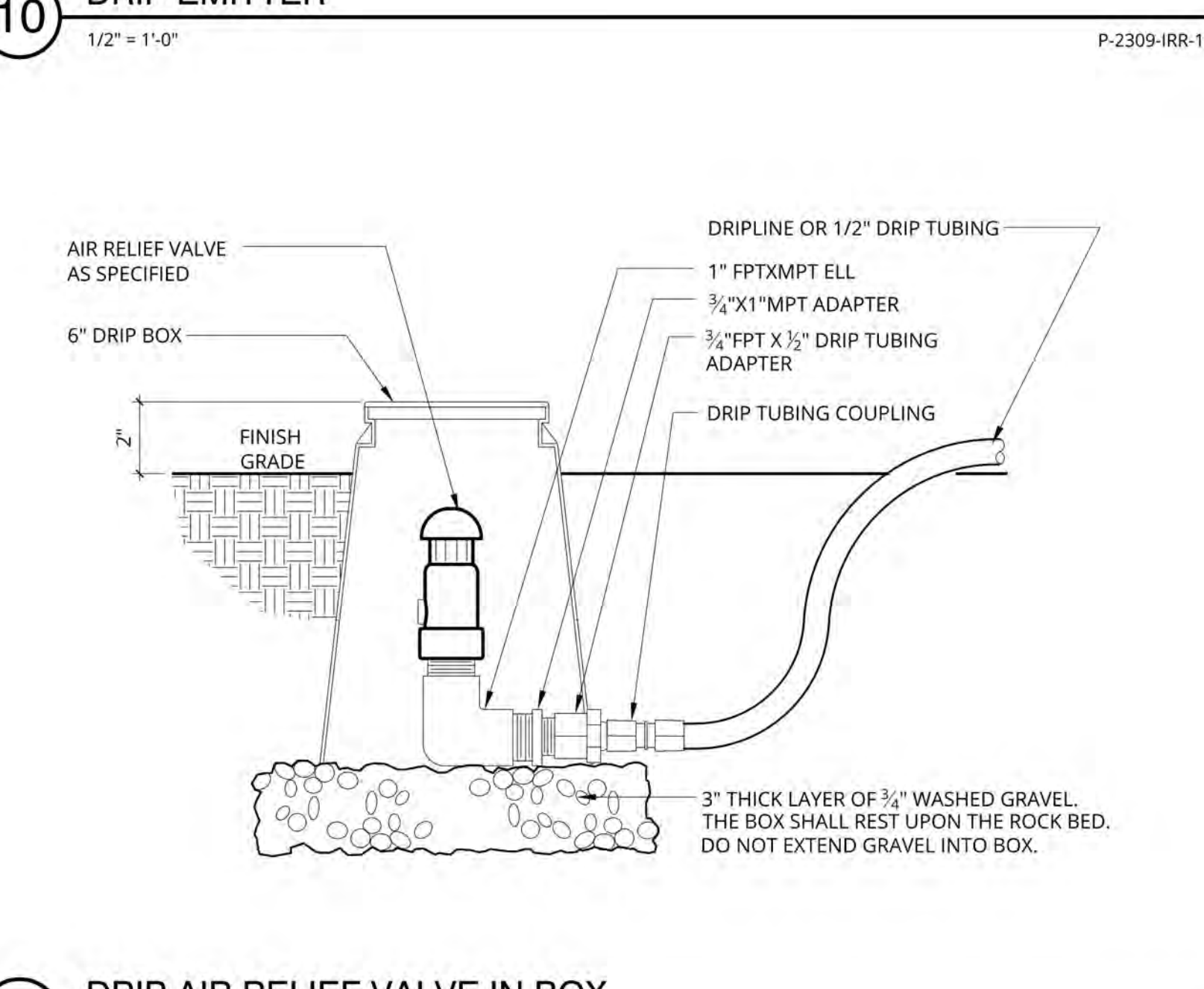
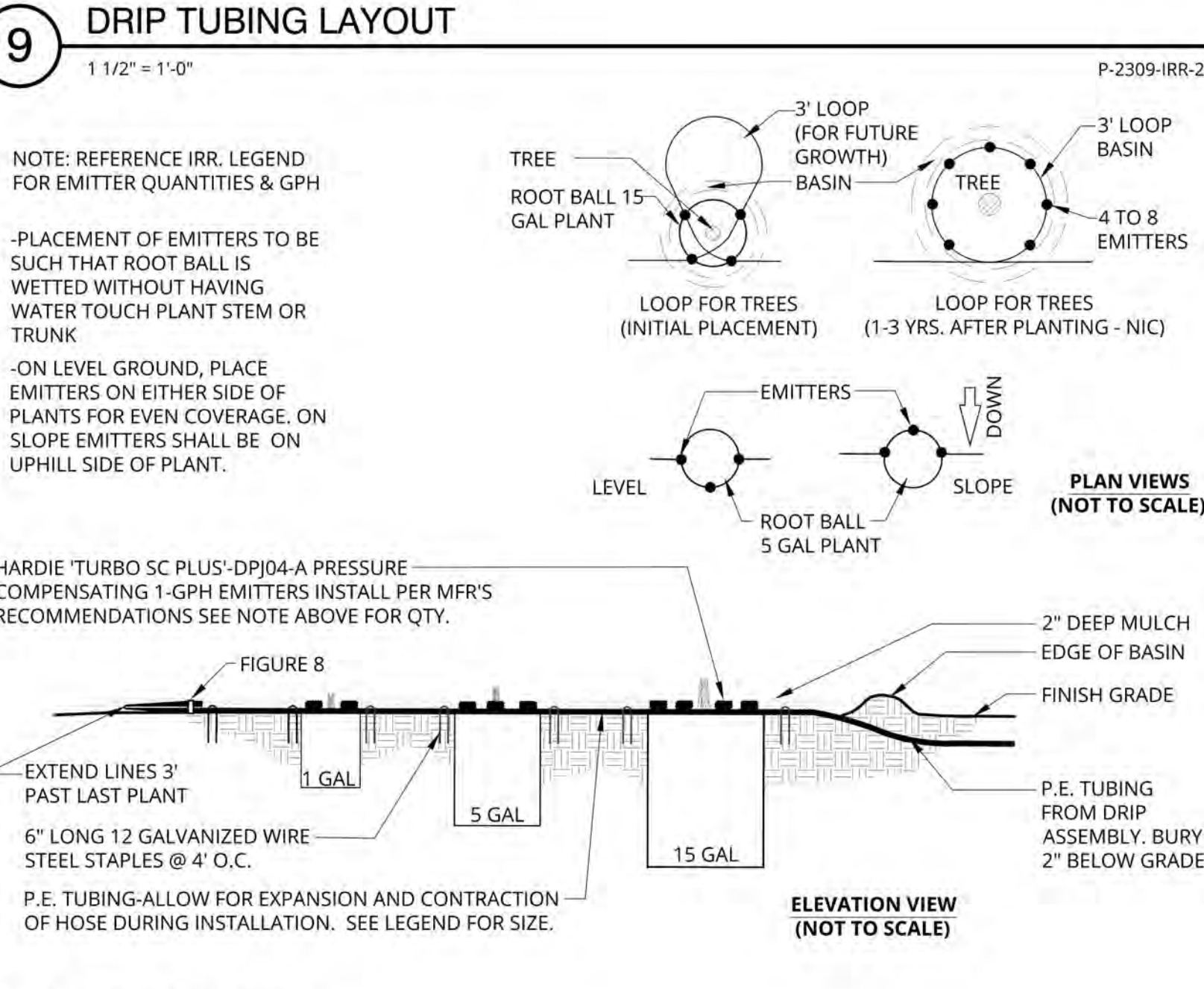
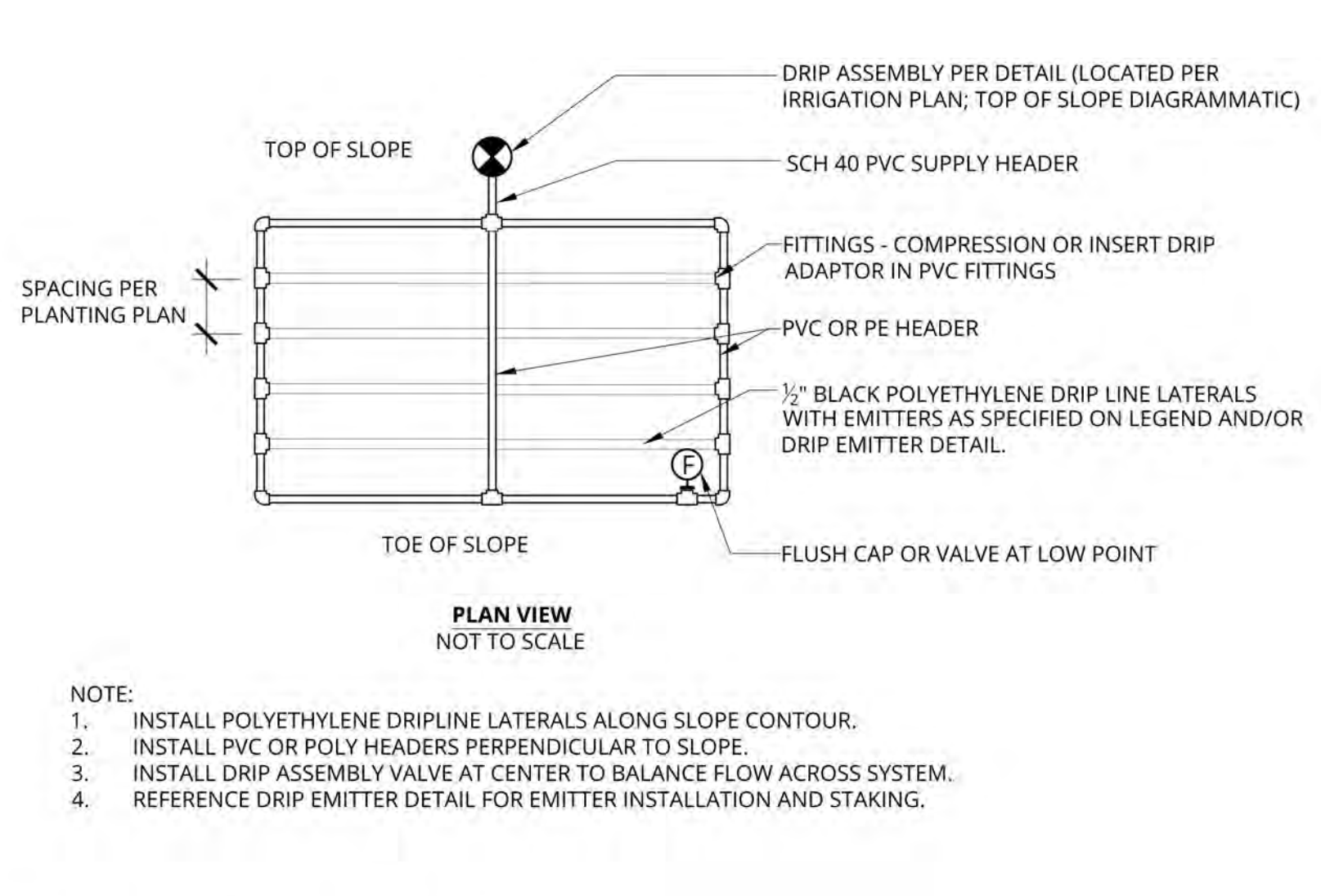
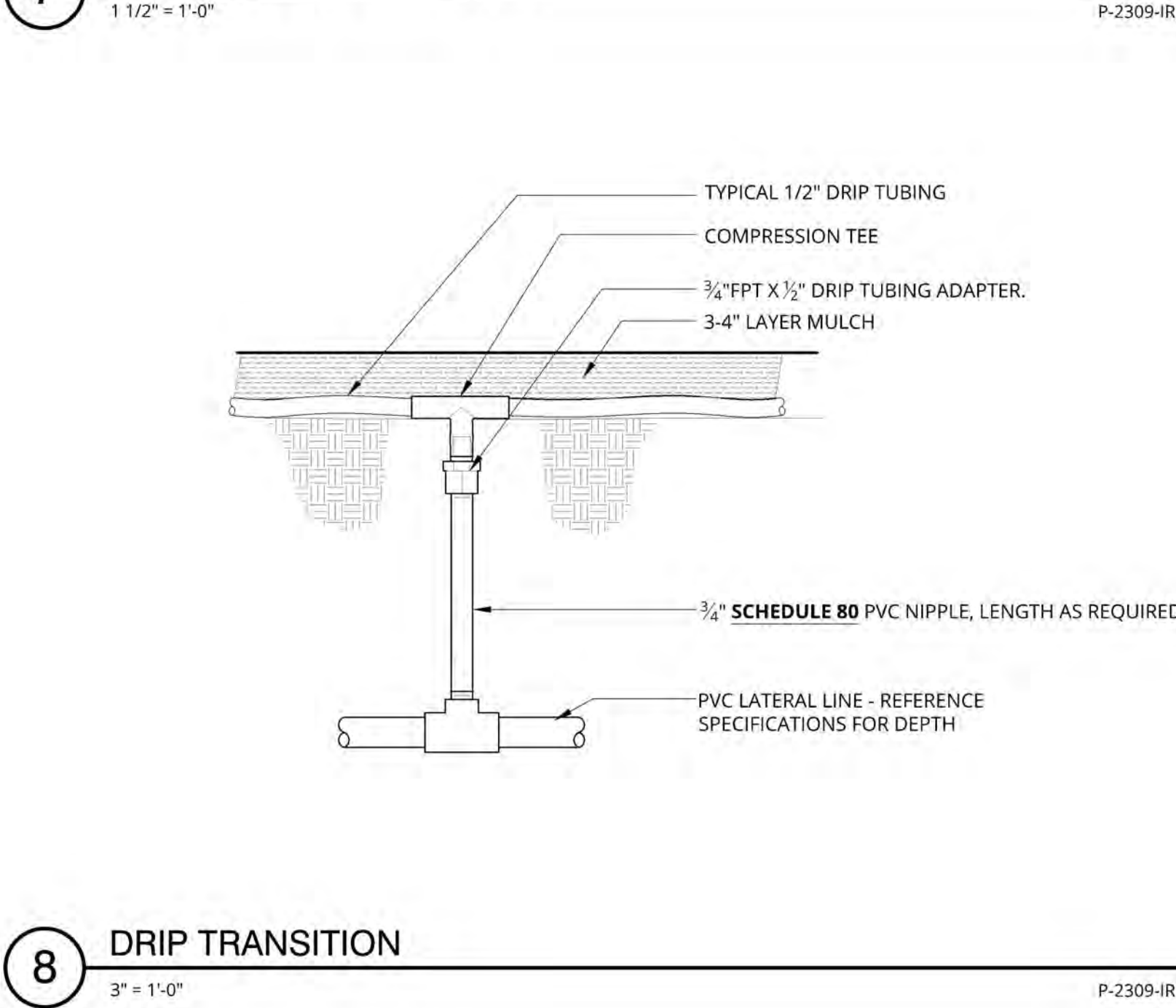
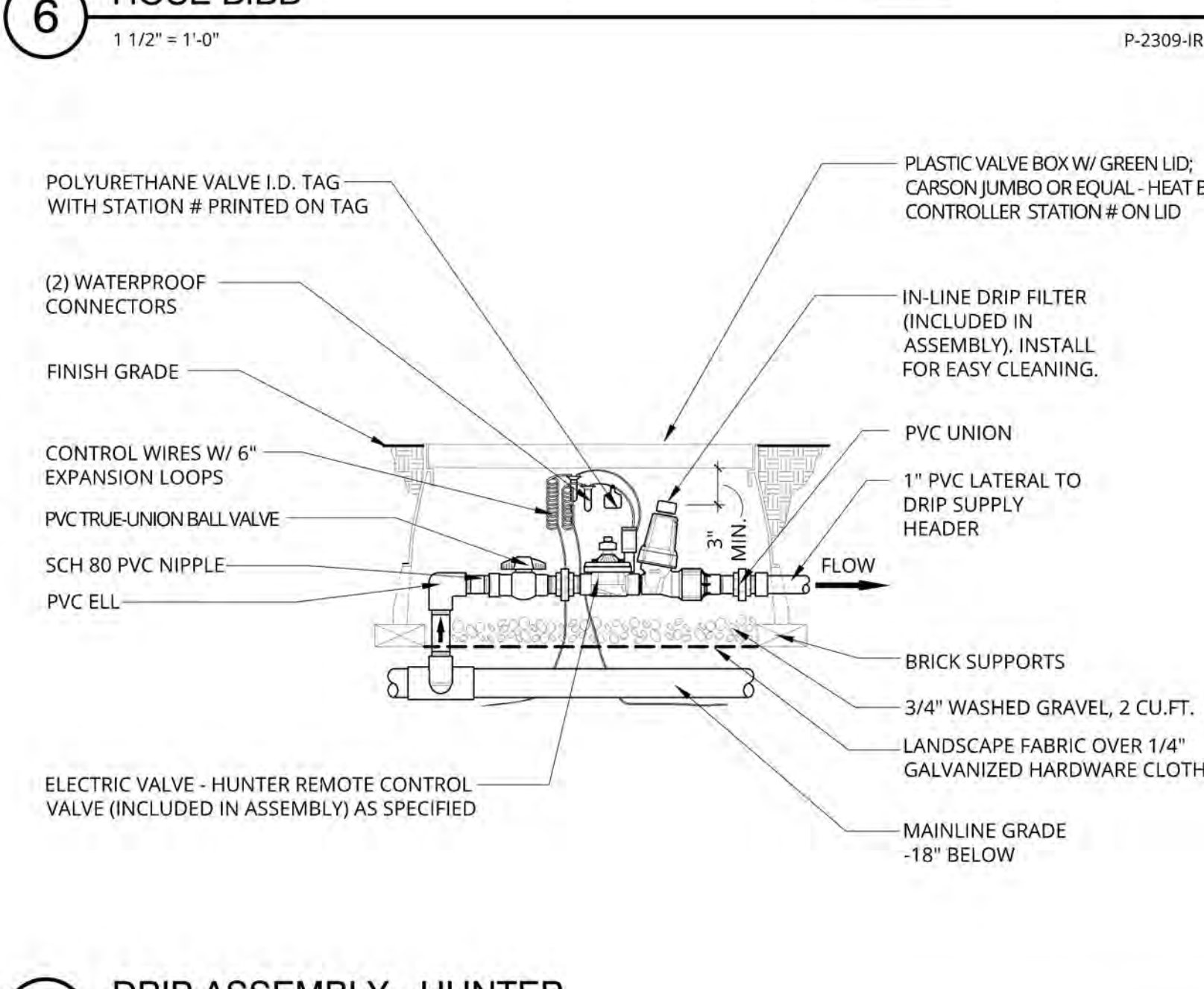
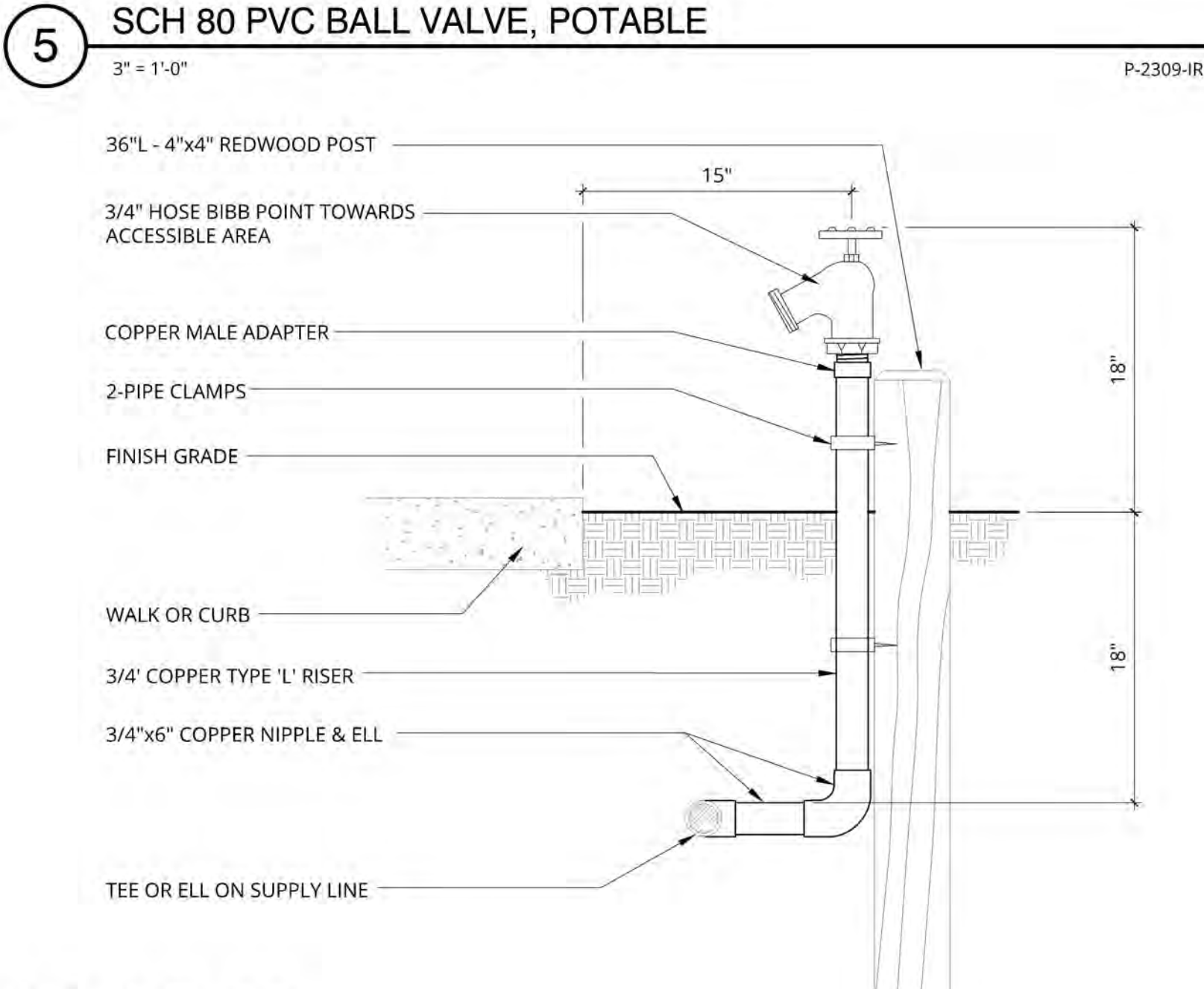
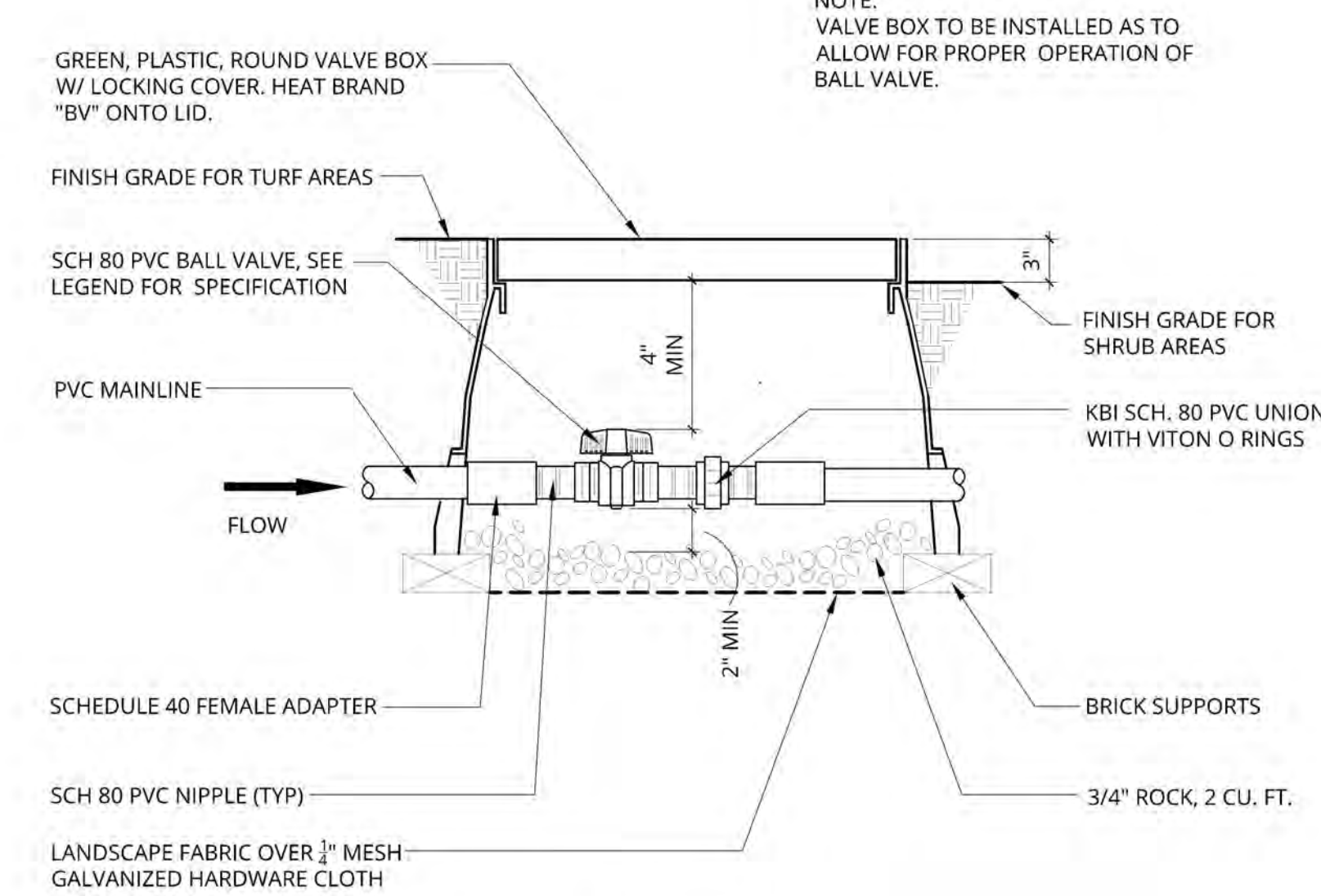
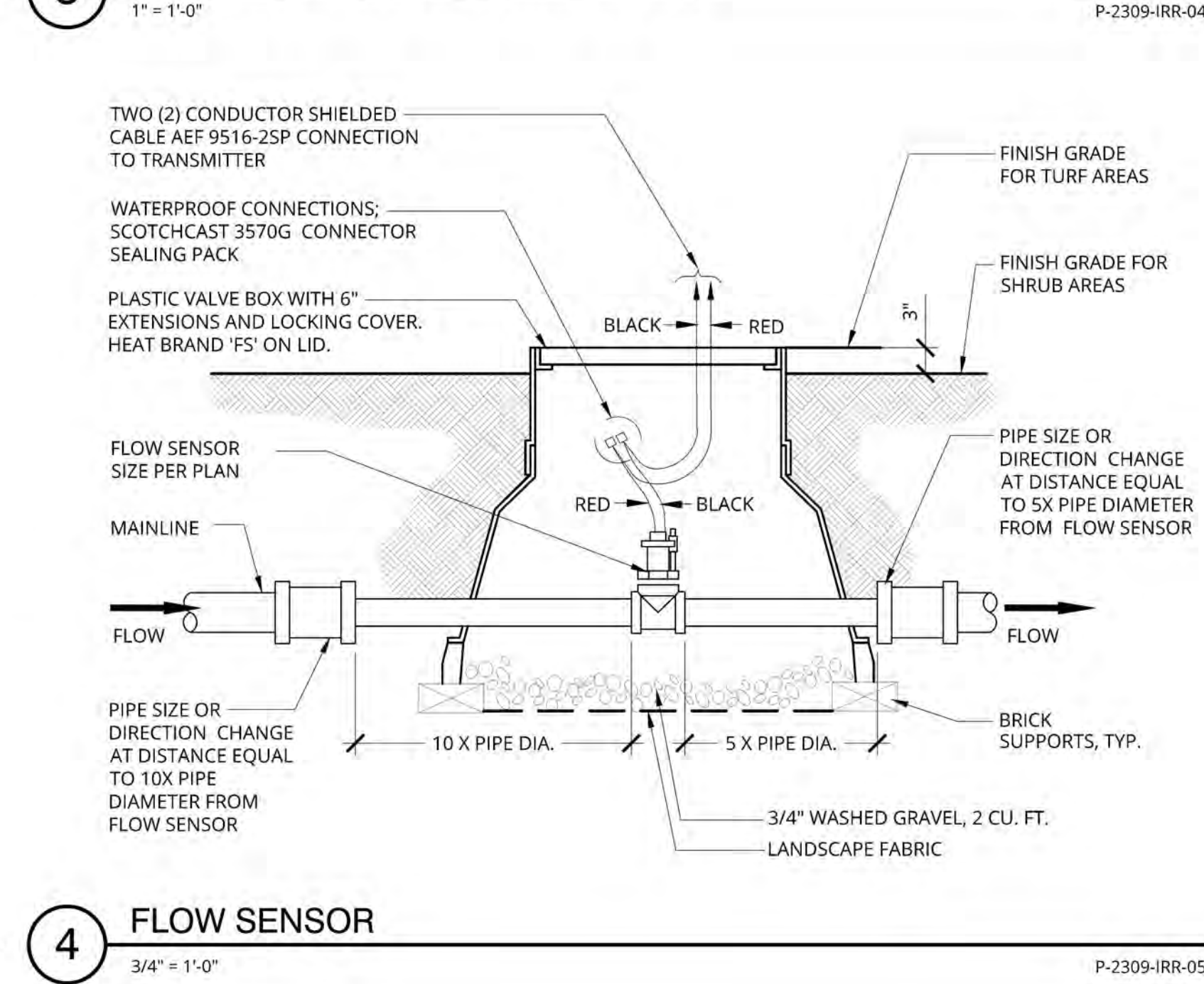
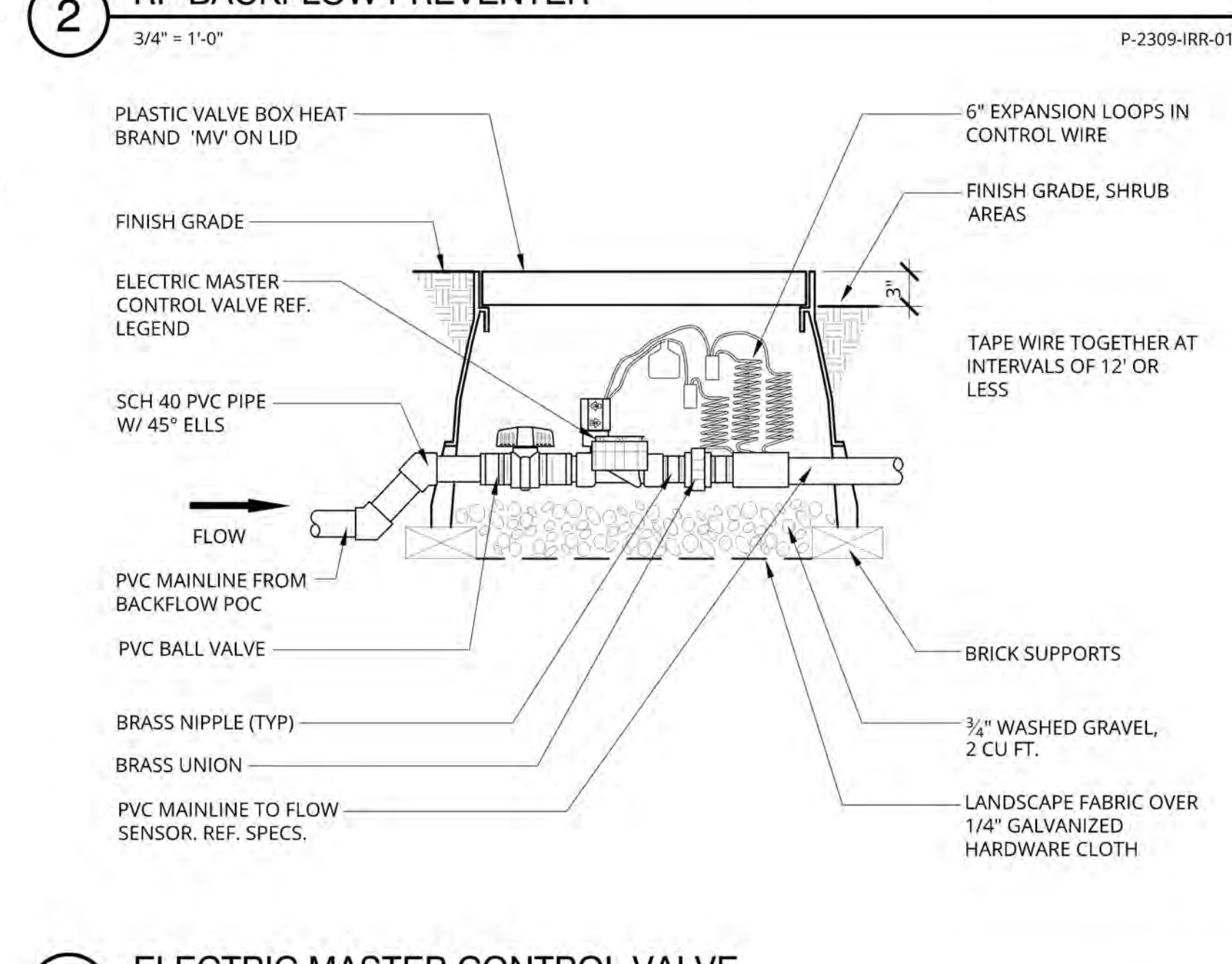
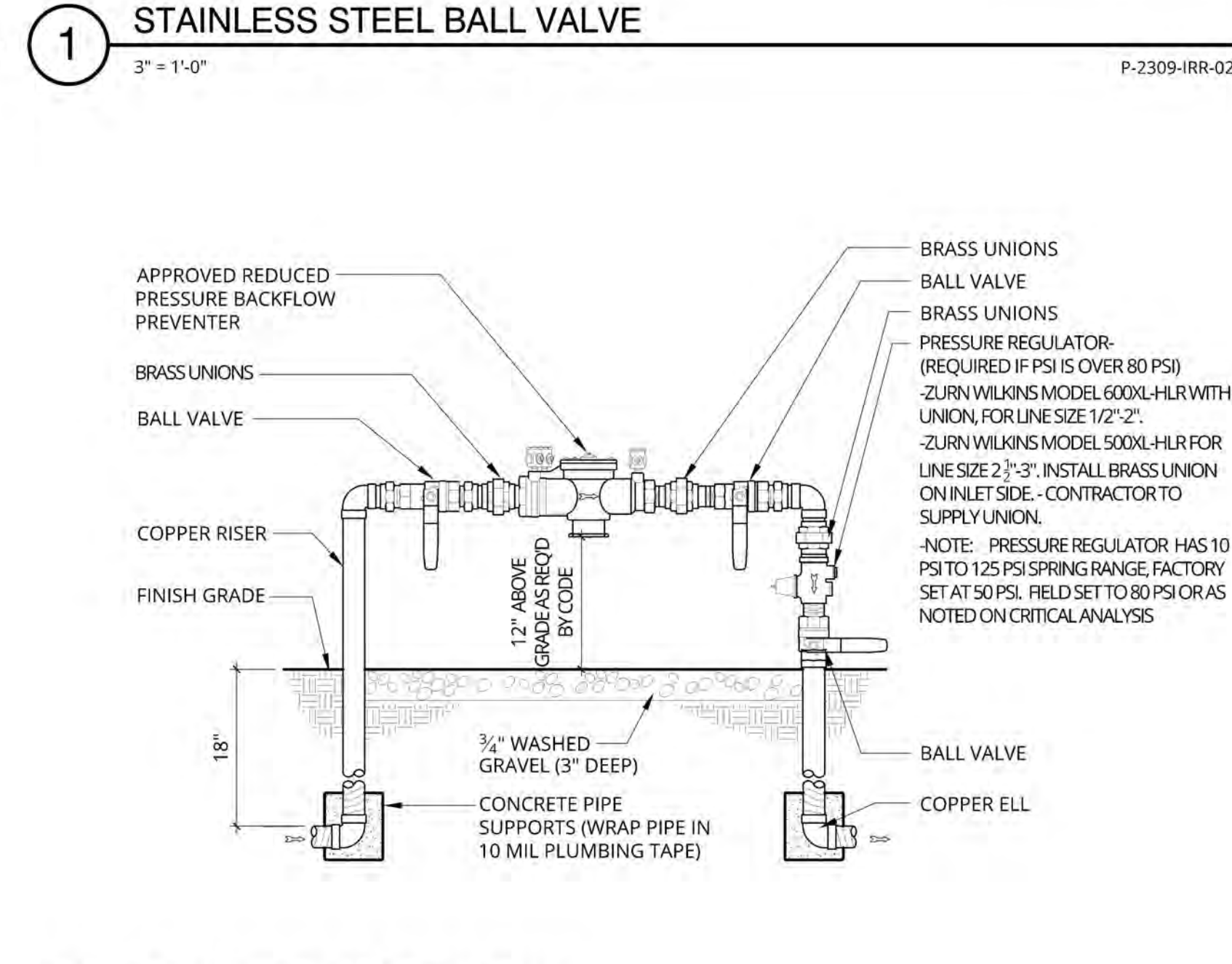
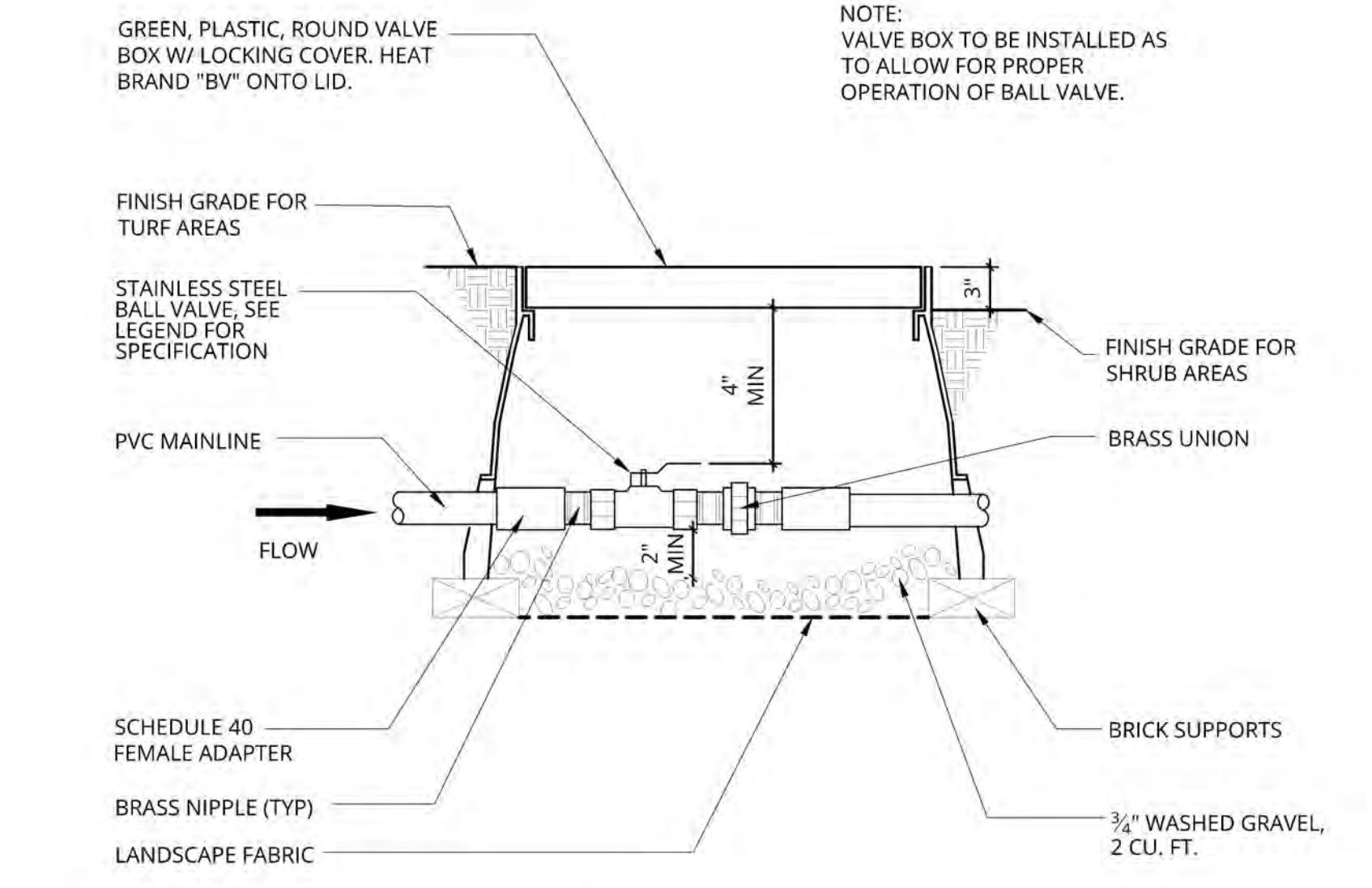
DRAWN BY: AZ

DATE DRAWN: 04/04/24

SCALE:

PRINT DATE: 4/22/24

SHEET NUMBER: L-6.4



13 TREE ROOT WATERING SYSTEM
1 1/2" = 1'-0"
P-2309-IRR-18

9 DRIP TUBING LAYOUT
1 1/2" = 1'-0"
P-2309-IRR-20

5 SCH 80 PVC BALL VALVE, POTABLE
3" = 1'-0"
P-2309-IRR-06

1 STAINLESS STEEL BALL VALVE
3" = 1'-0"
P-2309-IRR-02

6 HOSE BIBB
1 1/2" = 1'-0"
P-2309-IRR-09

2 RP BACKFLOW PREVENTER
3/4" = 1'-0"
P-2309-IRR-01

3 ELECTRIC MASTER CONTROL VALVE
1" = 1'-0"
P-2309-IRR-04

7 DRIP ASSEMBLY - HUNTER
1 1/2" = 1'-0"
P-2309-IRR-07

8 DRIP TRANSITION
3" = 1'-0"
P-2309-IRR-11

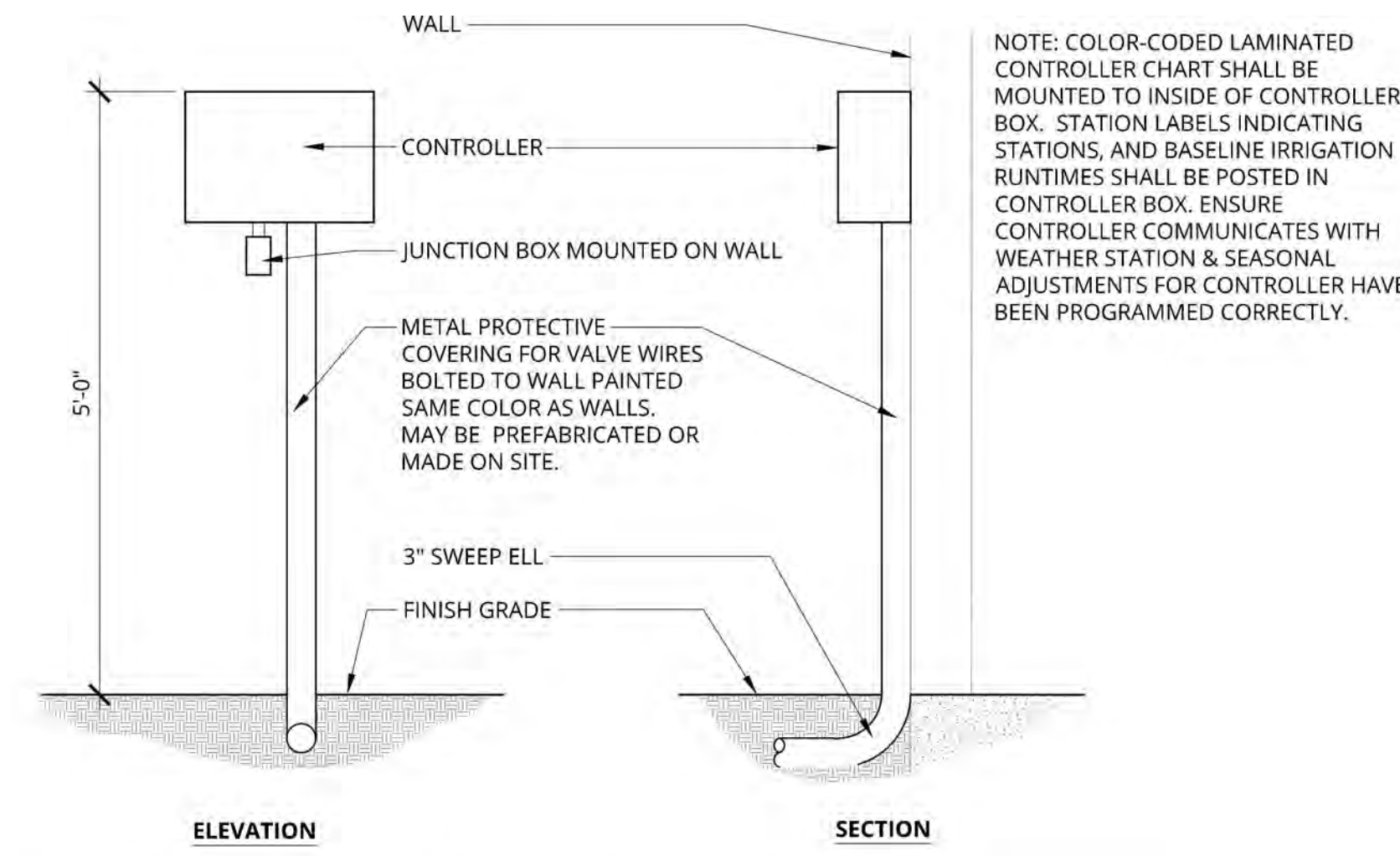
10 DRIP EMITTER
1/2" = 1'-0"
P-2309-IRR-10

11 DRIP AIR RELIEF VALVE IN BOX
3" = 1'-0"
P-2309-IRR-14

14 TREE BUBBLER
1/2" = 1'-0"
P-2309-IRR-13

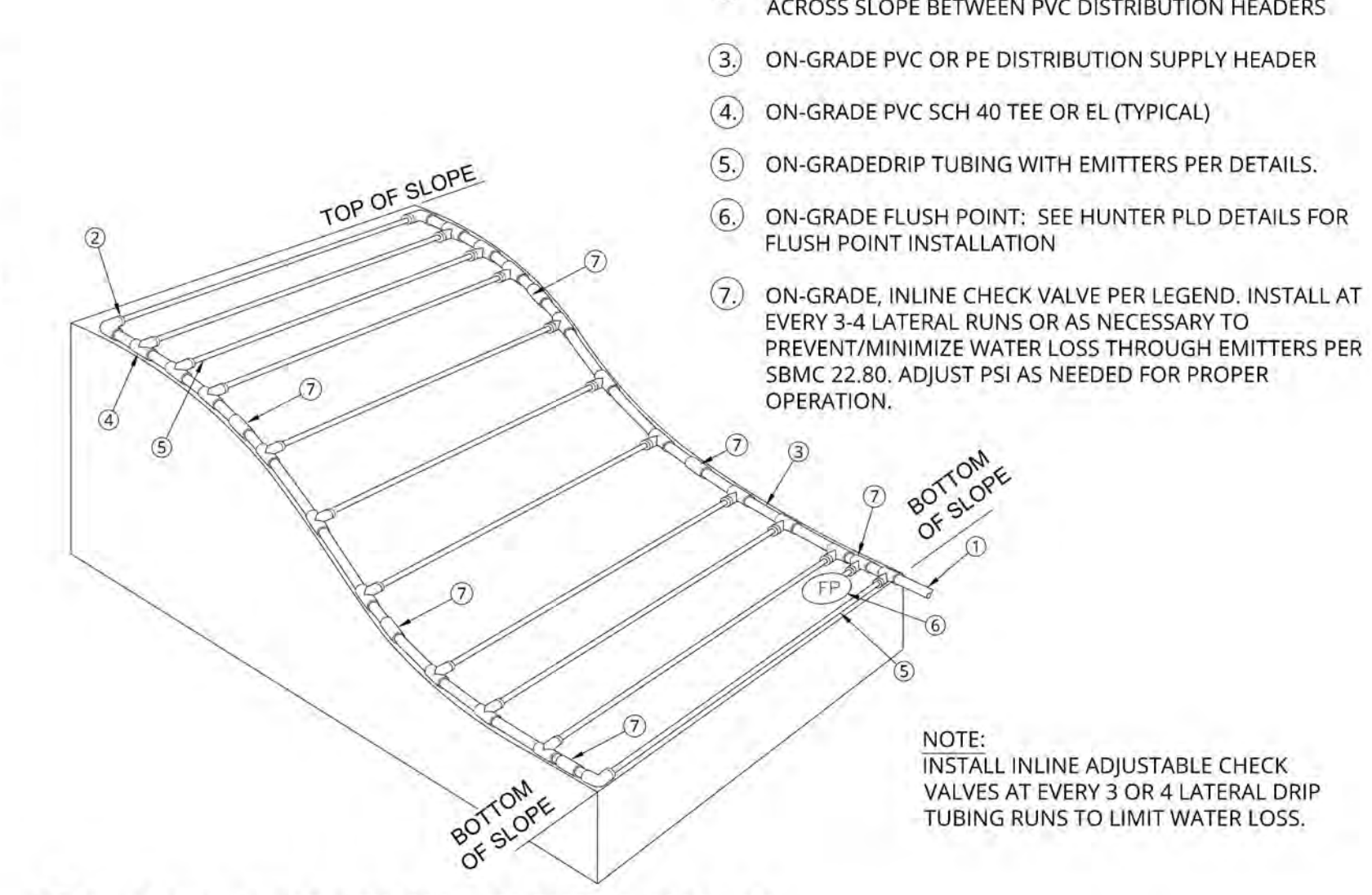
15 DRIP ASSEMBLY, ON-GRADE (TEMPORARY)
3" = 1'-0"
P-2309-IRR-16

16 UVR WATER PIPE, ON-GRADE (TEMPORARY)
1 1/2" = 1'-0"
P-2309-IRR-19



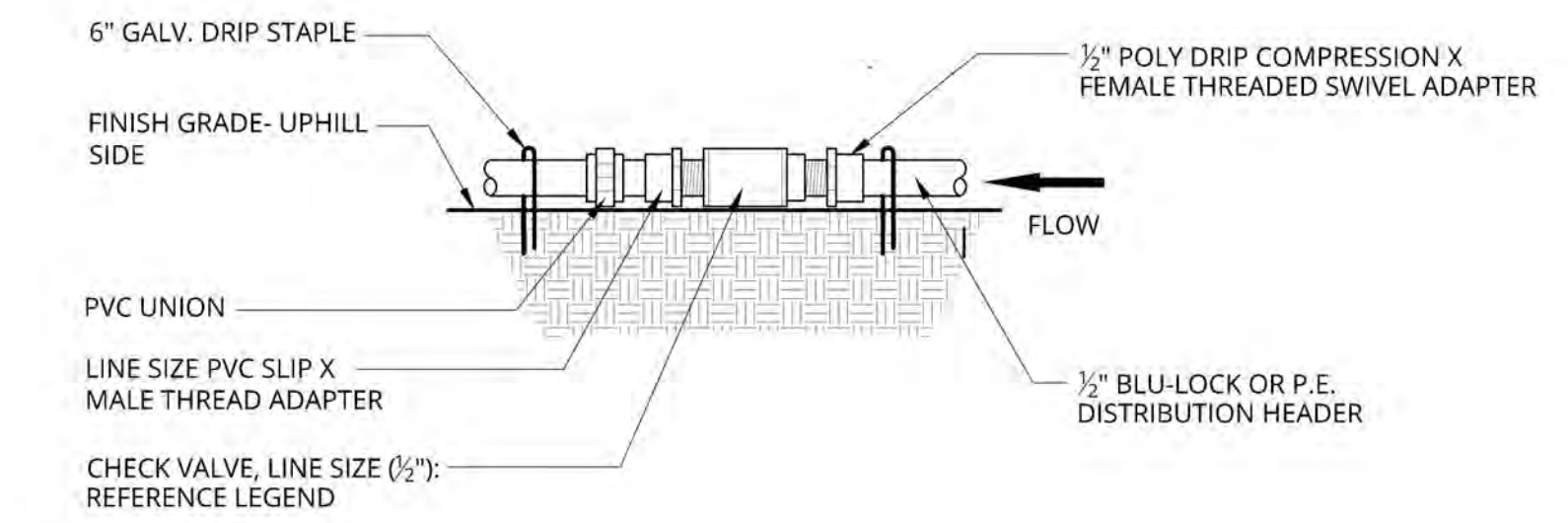
5 CONTROLLER - EXTERIOR WALL-MOUNT
3/4" = 1'-0"

P-2309-IRR-21



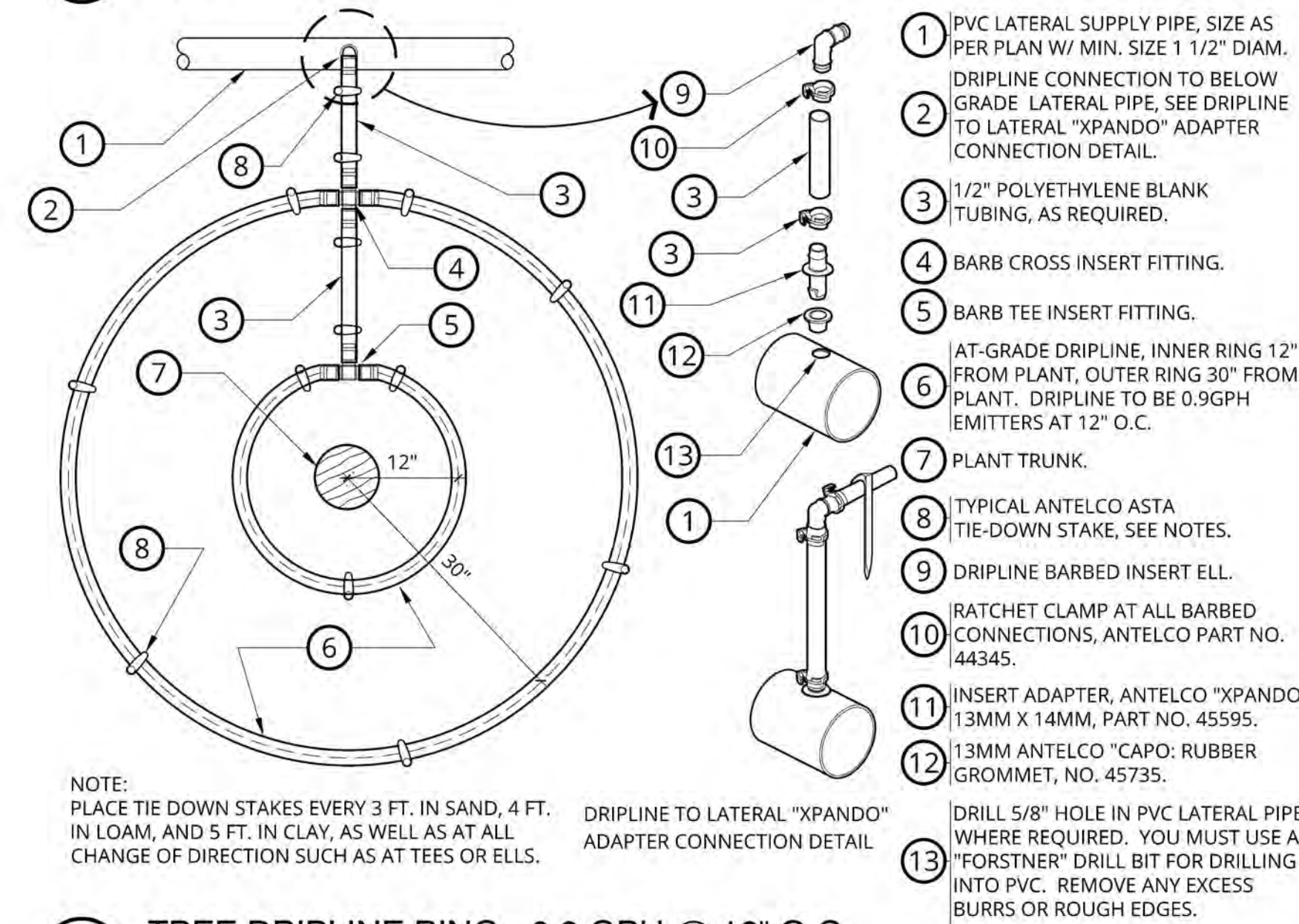
1 DRIP IRRIGATION - SLOPE LAYOUT
NOT TO SCALE

P-2309-IRR-22



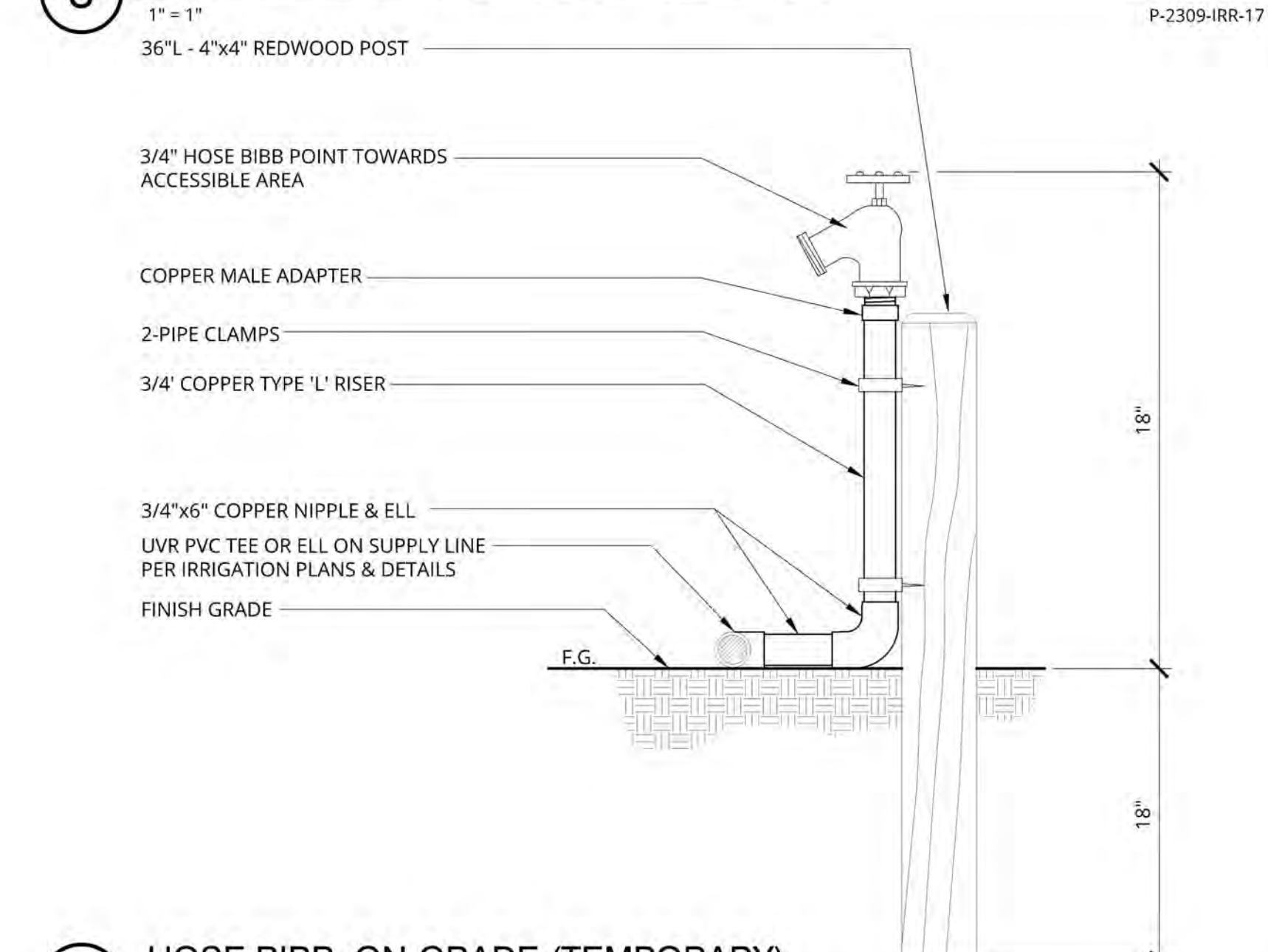
2 IN-LINE CHECK VALVE, ON-GRADE
3" = 1'-0"

P-2309-IRR-23



3 TREE DRIPLINE RING - 0.9 GPH @ 12" O.C.
1" = 1"

P-2309-IRR-17



4 HOSE BIBB, ON-GRADE (TEMPORARY)
1 1/2" = 1'-0"

P-2309-IRR-26

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SHED MARKERS SHALL NOT BE USED BY CLIENT OR TRANSFERRED TO ANY OTHER PARTY FOR USE IN OTHER PROJECTS. ADDITIONS TO THE CURRENT PROJECT OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT EXPRESSLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY AND HOLD LANDSCAPE ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS.

THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY FOR THE PROJECT DURING THE EXISTENCE OF THE CONTRACT. RE-USE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

NOT FOR CONSTRUCTION

IRRIGATION DETAILS

1553 SHORELINE DRIVE RESIDENCE

1553 Shoreline Drive
Santa Barbara, CA 93109



REVISIONS

04/28/23	SFDB
08/24/23	PLN 1
10/02/23	SFDB#2
12/14/23	PLN 2
04/22/24	65% CD / SFDB #3

PROJECT NUMBER
2309
DRAWN BY
AZ
DATE DRAWN
04/04/24
SCALE

PRINT DATE
4/22/24

SHEET NUMBER
L-6.5

CONDENSERS

ADU CONDENSER

SEE SHEET M-1 FOR EQUIPMENT SPEC
55.4B-21.4B = 33.1 dB AT PROPERTY LINE

This calculation will give you the amount of attenuation, in decibels, you can expect with a change in receiver distance, in a free field (outdoors). For example if you were standing 10 feet from a noise source, and were to move 100 feet away from that noise source, you would expect to see a drop in level of 20dB. Sound that is radiated from a point source drops in level at 6dB per doubling of distance. If you start at 50 feet from the source and move to 100 feet from the source you will have a 6dB drop in level. If you move from 500 feet to 1000 feet, you will have a 6dB drop in level. For the record, the formula to calculate this level drop is: $Decibels\ of\ Change = 20 \log(\text{distance } 1 / \text{distance } 2)$, and you can calculate it on any scientific calculator.

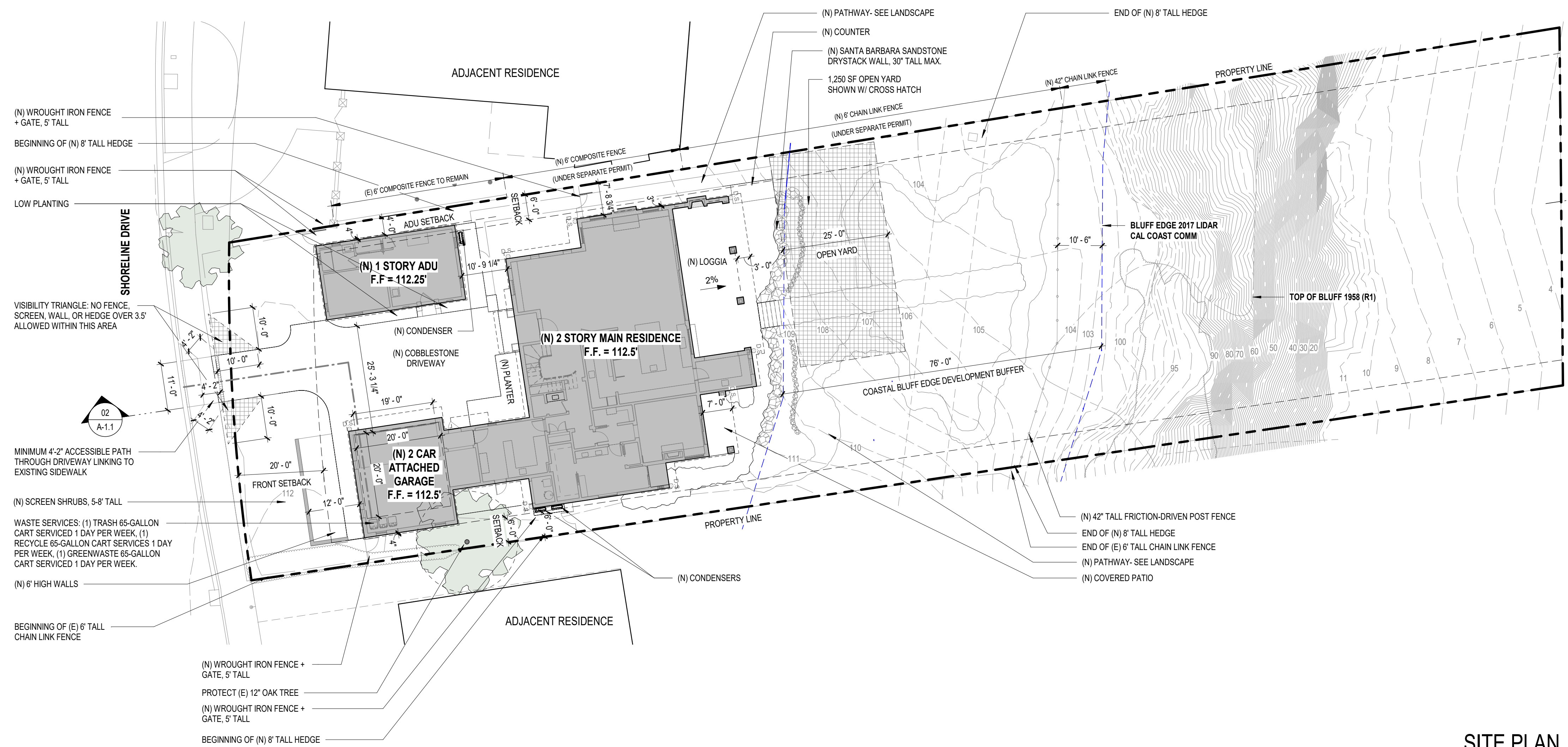
Reference listening distance in feet or meters, from the noise source	New receiver distance in feet or meters, from the source	This is the number of decibels of level drop/rise you would find
0.5	6.25	Calculate
		-21.9379738587

MAIN HOUSE CONDENSERS

SEE SHEET M-1 FOR EQUIPMENT SPEC
55.4B-21.5B = 33.3 dB AT PROPERTY LINE

This calculation will give you the amount of attenuation, in decibels, you can expect with a change in receiver distance, in a free field (outdoors). For example if you were standing 10 feet from a noise source, and were to move 100 feet away from that noise source, you would expect to see a drop in level of 20dB. Sound that is radiated from a point source drops in level at 6dB per doubling of distance. If you start at 50 feet from the source and move to 100 feet from the source you will have a 6dB drop in level. If you move from 500 feet to 1000 feet, you will have a 6dB drop in level. For the record, the formula to calculate this level drop is: $Decibels\ of\ Change = 20 \log(\text{distance } 1 / \text{distance } 2)$, and you can calculate it on any scientific calculator.

Reference listening distance in feet or meters, from the noise source	New receiver distance in feet or meters, from the source	This is the number of decibels of level drop/rise you would find
5	6	Calculate
		-21.5834021787



SITE PLAN 01
SCALE: 1/16" = 1'-0"

SITE PLAN LEGEND

- PROPERTY LINE
- X-X- FENCE
- G-G- GAS LINE
- E-E- ELECTRIC
- S-S- SEWER
- W-W- WATER
- CLEANOUT
- HOSE BIBB
- DRAINAGE FLOW DIRECTION

STORMWATER CONTROL NOTES

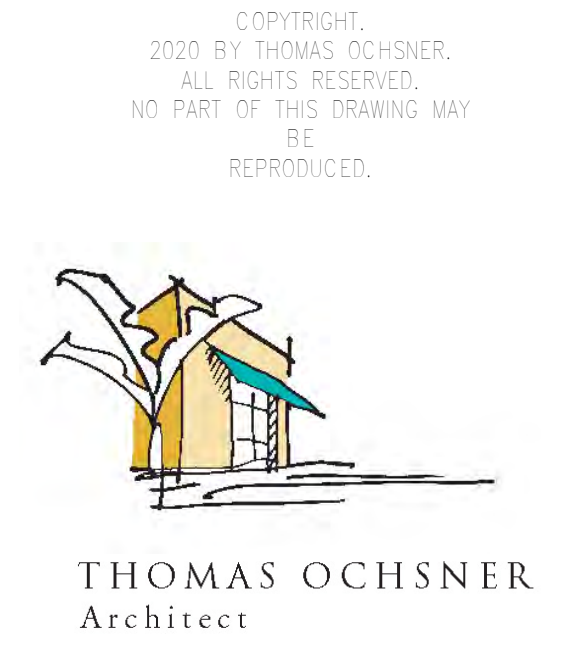
- CONTRACTOR SHALL SCHEDULE STORM DRAIN WORK AHEAD OF OTHER UNDERGROUND CONDUIT CONSTRUCTION.
- GRAVITY STORM DRAIN WORK SHALL BEGIN AT THE LOWEST POINT OF DISCHARGE AND PROCEED UPSTREAM.
- POLYVINYL CHLORIDE (PVC) PIPE FOR 4" THROUGH 15" SIZE SHALL COMPLY WITH THE MOST RECENT ISSUE OF ASTM STANDARD D-3034 (SDR 35). PVC PIPE SHALL HAVE AN INTEGRALLY MOLDED BELL OR SOCKET END FOR GASKETED JOINT ASSEMBLY. JOINTS AND GASKETS SHALL COMPLY WITH THE MOST RECENT ISSUE OF ASTM STANDARD D-3212 AND D-4477, RESPECTIVELY. PVC PIPE INSTALLATION SHALL COMPLY WITH UN-BELL PLASTIC PIPE ASSOCIATION STANDARD UNI-B-5, LATEST REVISION. PVC PIPE CONNECTIONS TO MANHOLES, CATCH BASINS AND OTHER CONCRETE STRUCTURES SHALL BE CONSTRUCTED WITH WATERSTOP AT MIDPOINT OF STRUCTURE WALL PENETRATION. WATERSTOP SHALL BE PVC CONCRETE MANHOLE ADAPTER (4" THROUGH 12" PIPE) OR LARGE DIAMETER WATERSTOP AS MANUFACTURED BY FERROC, OR EQUIVALENT APPROVED BY THE ENGINEER.
- HIGH DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS FOR 4" THROUGH 48" SIZE SHALL BE H-12 PROLINK (W/ WATER TIGHT) SERIES AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. (ADS), UNLESS NOTED OTHERWISE. LATERAL CONNECTIONS TO MAINLINES SHALL BE MADE USING MANUFACTURER'S WATER TIGHT REDUCING FITTINGS. PIPE AND FITTING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES. CONNECTIONS TO CONCRETE STRUCTURES SHALL BE CONSTRUCTED WATER TIGHT USING MANUFACTURER'S RECOMMENDED MATERIALS AND METHODS.
- GRADED CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN DETAIL.
- QUALITY REVIEW AND REPORTING MEASUREMENTS.
 - CONTRACTOR SHALL REQUEST INSPECTION BY ENGINEER OF WORK AFTER INSTALLATION AND ASSEMBLY OF STORM DRAINAGE PIPING, BUT BEFORE COVERING.
 - CONTRACTOR SHALL REQUEST INSPECTION BY ENGINEER OF WORK AFTER FORMING AND PLACING REINFORCING STEEL FOR CAST-IN-PLACE DRAINAGE STRUCTURES, BUT BEFORE SCHEDULING THE CONCRETE POUR.
 - WITHIN TEN (10) WORKING DAYS OF COMPLETION OF THE STORM DRAIN SYSTEM AND BEFORE CONSTRUCTION OF PAVEMENT, WALKWAYS AND OTHER PERMANENT SURFACE IMPROVEMENTS, CONTRACTOR SHALL PROVIDE A CONSTRUCTION RECORD DRAWING OF THE SYSTEM TO INCLUDE TOP OF GRATE OR COVER AND INLET AND OUTLET INVERT ELEVATIONS OF ALL STORM DRAIN STRUCTURES. ELEVATION MEASUREMENTS SHALL BE ACCURATE TO 0.01 FEET.
 - UPON COMPLETION OF CONSTRUCTION OF THE STORM DRAIN SYSTEM AND WITH 48 HOURS NOTICE TO ENGINEER OF WORK, CONTRACTOR SHALL THOROUGHLY CLEAN AND WASH DOWN ALL INLETS AND STORM DRAIN PIPING USING FIRE HYDRANT FLOWS.

GENERAL NOTES - GRADING

- ALL GRADING SHALL CONFORM WITH SANTA BARBARA COUNTY CODE CHAPTER 14 GRADING ORDINANCE #4477 AND STANDARDS AND REQUIREMENTS PERTAINING THERETO. THESE CONSTRUCTION DRAWINGS AND THE RECOMMENDATIONS OF THE SOILS ENGINEER AND ENGINEERING GEOLOGIST.
- CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST 48 HOURS BEFORE START OF GRADING WORK OR PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM HIS GRADING OPERATION.
- BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING ROAD INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR.
- THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTH WORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING ORDINANCE.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION.
- A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSION PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE GEOTECHNICAL ENGINEER.
- AREAS WITH EXISTING SLOPES WHICH ARE TO RECEIVE FILL MATERIAL SHALL BE KEPT AND BENCHED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO. G-13.
- FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY 1957 ASTM D - 1557 - 91 MODIFIED PROCTOR (AASHO) TEST OR SIMILAR APPROVED METHODS. SOME FILL AREAS MAY REQUIRE COMPACTION TO A GREATER DENSITY IF CALLED FOR IN THE CONSTRUCTION DOCUMENTS. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 10' OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL PLACED.
- CUT SLOPES SHALL NOT EXCEED A GRADE OF 1:1 HORIZONTAL TO 1 VERTICAL. FILL AND COMBINATION FILL AND CUT SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL. SLOPES OVER 3 FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL VEGETATION OR TREATED WITH EQUALLY APPROVED EROSION CONTROL MEASURES PRIOR TO FINAL INSPECTION.
- SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 2% FOR 5 FEET AWAY FROM THE FOUNDATION LINE OR ANY STRUCTURE.
- ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED AROUND THE DRIP LINE DURING GRADING OPERATION.
- AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS.

KEYNOTES

KEY VALUE	KEYNOTE TEXT
XXX	KEYNOTE DESIGNATION



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CLIENT

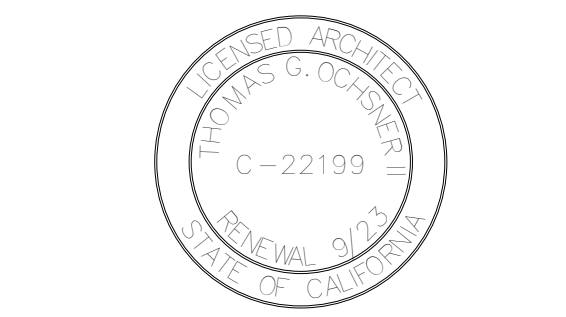
PETER AND SUZANNE HOOPER

PROJECT
NEW RESIDENCE & DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

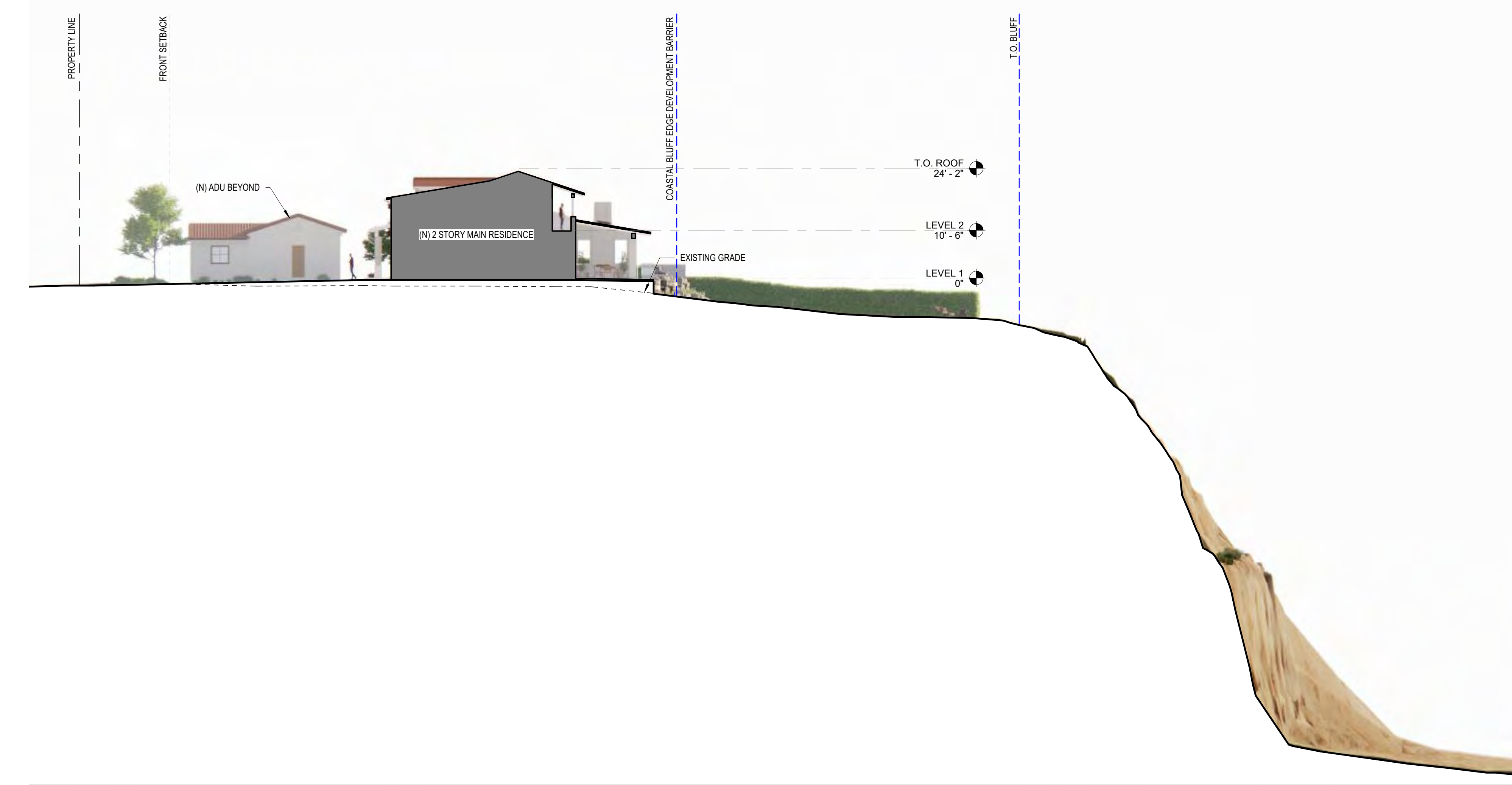
SHEET TITLE
SITE PLAN

REVISIONS



PROJECT NAME NEW RESIDENCE & DETACHED ADU
DATE DRAWN
DATE 4/22/2024
SHEET NO.

A-1.1



SITE SECTION 02
SCALE: 1/16" = 1'-0"



SITE DIAGRAM 03
SCALE: 1/16" = 1'-0"



WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW EXTERIOR WALL: 7/8" PLASTER, WEATHER RESISTIVE AIR BARRIER, PLYWOOD SHEATHING, 2X6 FRAMING, INT. 5/8" GYPSUM WALL BOARD
- NEW INTERIOR WALL: 2X4 WOOD FRAMING W/ 5/8" GYPSUM WALL BOARD BOTH SIDES, PROVIDE MOISTURE RESISTANT DRYWALL AS NOTED ON PLANS

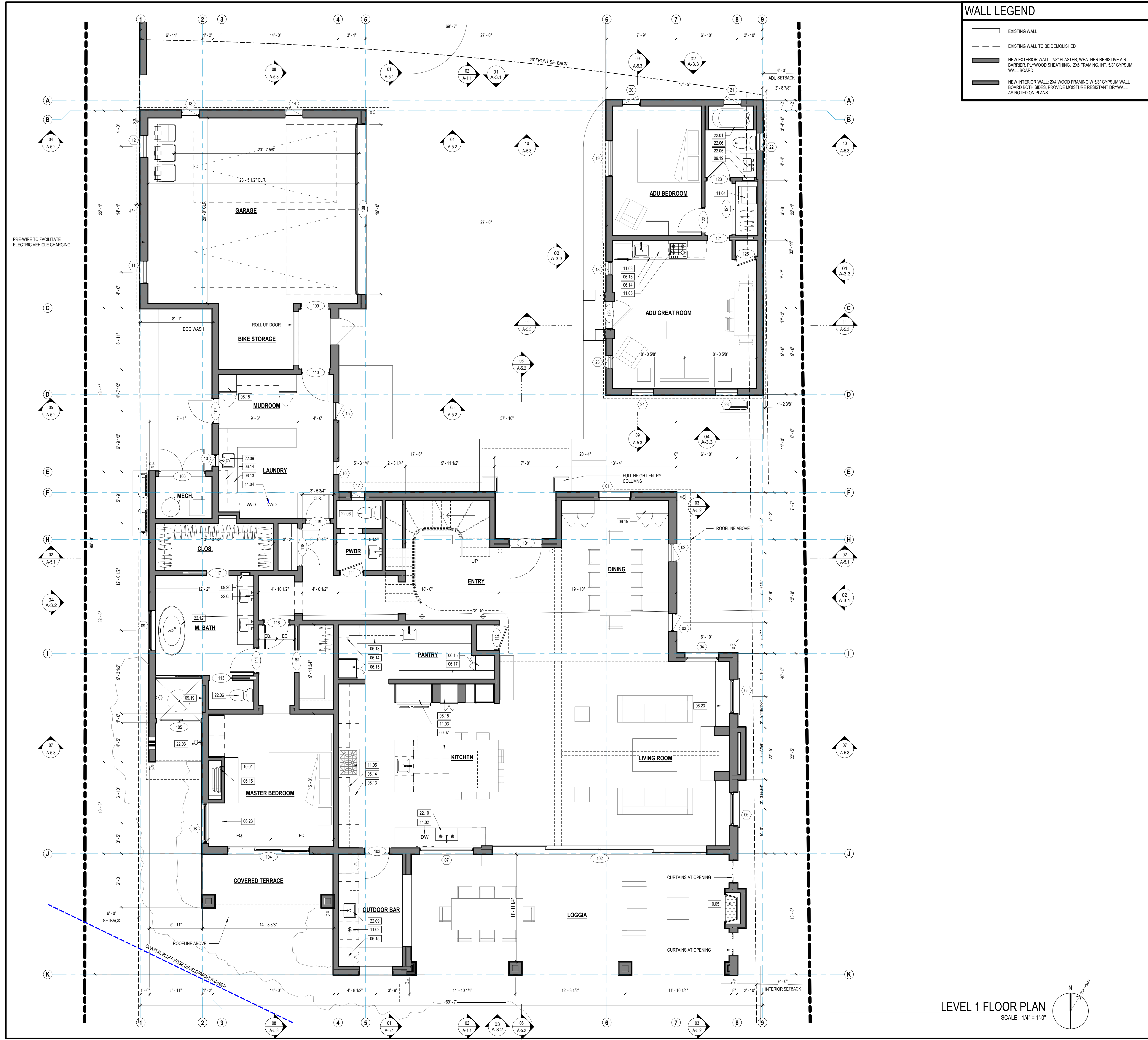
- GENERAL NOTES - FLOOR PLAN**
- HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP ARE REQUIRED IN EA BEDROOM & IN AREAS LEADING TO BEDROOMS & AT TOP OF STAIRS.
 - ALL BEDROOMS REQUIRE AT LEAST ONE EGRESS WINDOW PER CBC SECTION 310.
 - GLAZING MUST CONFORM TO CBC SECTION 2406 WHERE APPLICABLE.
 - FURNITURE NOT IN CONTRACT.
 - DOOR THRESHOLD SHALL NOT BE MORE THAN 1 1/2" BELOW THRESHOLD FOR SLIDING AND SWINGING DOORS. EXCEPTION: FOR EXTERIOR DOORS SWINGING INWARD THE ALLOWABLE THRESHOLD MAY BE 7/8" INCHES. [CRC R311.3.1 & R311.3.2]

- GENERAL NOTES - BATHROOM**
- WATER LINE OF TYPE 'L' COPPER
 - LOW FLOW FIXTURES
 - 1.28 GPF TOILET
 - 1.8 GPM SINGLE SHOWER HEAD @ 80 PSI
 - 1.2 GPM LAVATORY FAUCETS @ 80 PSI
 - SHOWER AND TUB-SHOWER CONTROL VALVES TO BE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE/ THERMOSTATIC MIXING VALVE TYPE.
 - BATHTUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NONABSORBENT SURFACE TO A HEIGHT OF 72" ABOVE THE FLOOR.
 - SHOWER COMPARTMENT INTERIOR DIMENSIONS SHALL HAVE A MINIMUM 1.024 SQ. IN. AND CAPABLE OF ENCOMPASSING A 30 IN. CIRCLE.
 - SHOWER AND/OR TUB ENCLOSURE SHALL BE TEMPERED GLASS, SAFETY GLASS OR OTHER LISTED AND APPROVED MATERIAL.
 - GLAZING (GLASS) WITHIN 60" OF TUB OR SHOWER WALKING SURFACE MUST BE TEMPERED, SAFETY GLASS OR OTHER LISTED MATERIAL.
 - FOR INDOOR AIR QUALITY AND EXHAUST: SEE CAL. GREEN CHAPTER 4 RESIDENTIAL MANDATORY MEASURES HANDOUT, SECTION 4.506.1.
 - BATHTUB TRAP ACCESS OF MIN. 12" x 12" FOR CONCEALED SLIP JOINT CONNECTIONS OR INDICATE NON-SLIP TRAP JOINT TO BE USED.
 - WATER CLOSET SPACE - 30" WIDE BY 24" DEEP CLEAR IN FRONT OF WATER CLOSET.
 - ALL BATHROOM RECEPTACLES TO BE GROUND-Fault CIRCUIT INTERRUPTER PROTECTED. (GFCI)
 - LIGHTING- PERMANENTLY INSTALLED LUMINARIES SHALL BE OF HIGH EFFICACY TYPE (LED OR PIN-BASE FLUORESCENT) AND PROVIDE MANUAL-ON OCCUPANT SENSOR OR VACANCY SENSOR SWITCH THAT MEETS CALIFORNIA ENERGY CODE REQUIREMENTS.

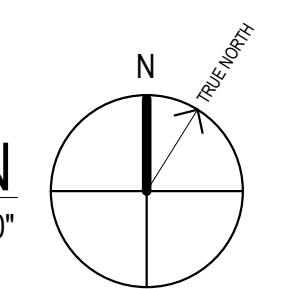
- INSULATION SCHEDULE**
- PROVIDE THERMAL INSULATION AS SHOWN ON THE DRAWINGS, WITH THE FOLLOWING MINIMUMS:
- NEW 2X6 EXTERIOR WALLS AND WALLS BETWEEN HEATED AND UNHEATED SPACES: R-19 BATT INSULATION
 - ROOF INSULATION: R-38 CLOSED CELL ICYNENE INSULATION AT UNDERSIDE OF ROOF SHEATHING
 - INSULATE ALL PIPE & MECHANICAL CHASES FOR SOUND
 - PROVIDE ROCK WOOL INSULATION OR EQUIVALENT BETWEEN ALL WINDOW AND EXTERIOR DOOR FRAME AND ROUGH FRAMING.

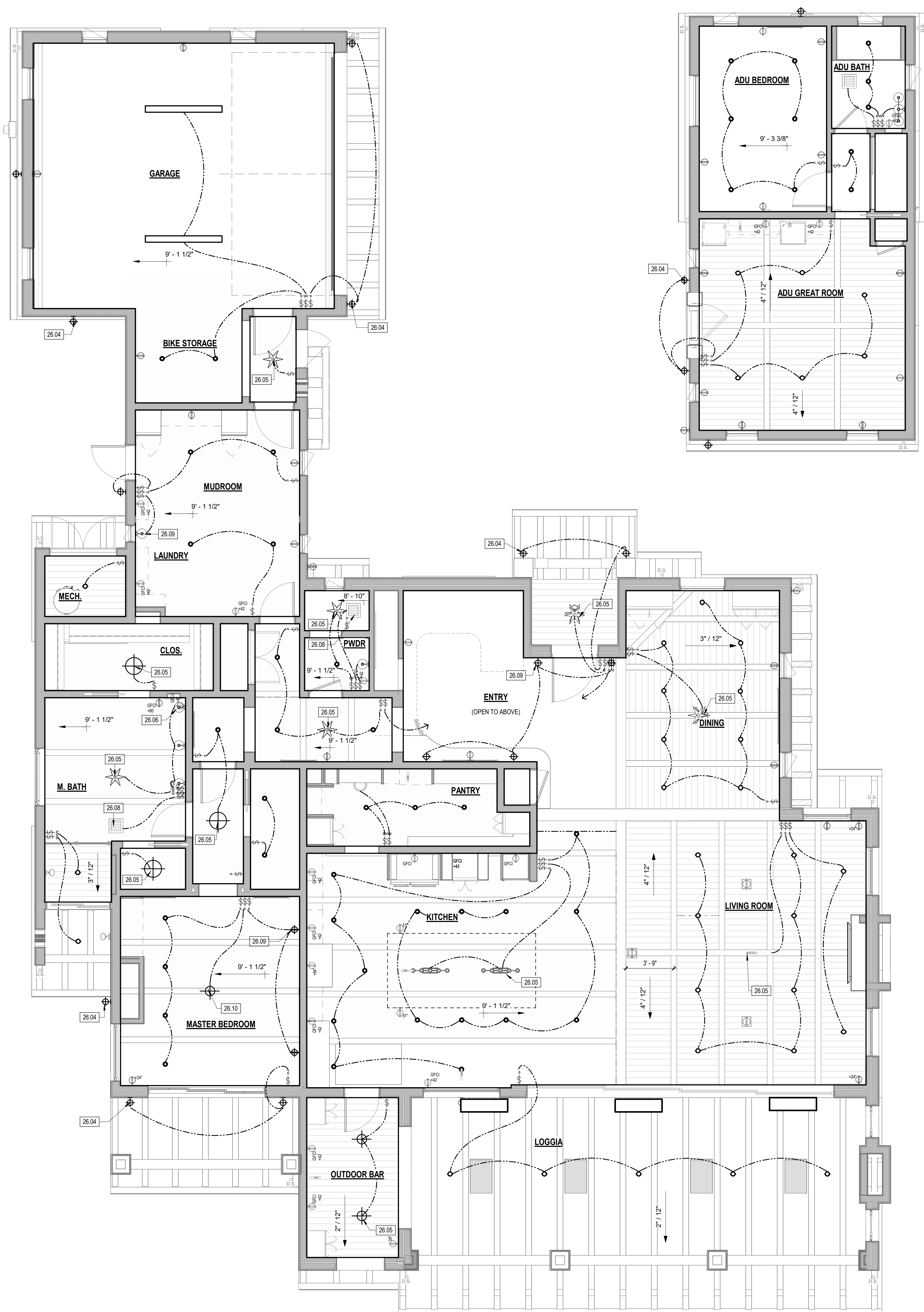
KEYNOTES

KEY VALUE	KEYNOTE TEXT
06.13	24" DEEP CABINETRY BELOW
06.14	18" DEEP UPPER CABINETS
06.15	FULL HEIGHT CABINETS, SEE INTERIOR ELEVATIONS
06.17	WOOD SHELVING
06.23	BENCH SEAT WITH DRAWERS BELOW, SEE INTERIOR DESIGNER DRAWINGS.
09.07	38" HIGH ISLAND COUNTERTOP
09.19	NICHE- SEE INTERIOR DESIGNER DRAWINGS.
09.20	RECESSED MEDICINE CABINET
10.01	MONTIGO H42 GAS ONLY FIREBOX WITH CLOSABLE GLASS DOORS. FIREBOX TESTED TO ANSI Z21.50/CSA 2.22 STANDARDS. FACTORY BUILT FIREPLACES AND CHIMNEYS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTINGS AND THE MANUFACTURER'S INSTRUCTIONS. CONFORM TO THE MANUFACTURER'S CLEARANCE REQUIREMENTS TO COMBUSTIBLE MATERIALS, AND PROVIDE SCREEN AND DIRECT VENTING. CM2 912.2, 917.3, CR2, R104.4.
10.05	EXTERIOR FIREPLACE, OUTDOOR LIFESTYLES VILLAWOOD, UL LISTED UL127, SEE SHEET T-1.8
11.02	24" CLR. UNDER COUNTER DISHWASHER, SEE EQUIPMENT SCHEDULE
11.03	REFRIGERATOR, PANEL READY - PROVIDE ELECTRIC OUTLET AT 42" AND COLD WATER HOOK-UP
11.04	WASHER AND DRYER, VENT TO EXTERIOR WITH MAXIMUM 14" VENT
11.05	RANGE W/ HOOD ABOVE
22.01	32" X 60" ALCOVE TUB W/ TILE WALL FINISH- SEE INTERIOR ELEVATIONS
22.03	EACH SHOWERHEAD SHALL NOT EXCEED A WATER FLOW OF 1.8 GPM
22.05	RESIDENTIAL LAVATORY FAUCET SHALL NOT EXCEED A WATER FLOW OF 1.2 GPM
22.06	TOILETS SHALL BE 1.28 GPF MAX. WATER CLOSET SHALL HAVE 15" TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF ITS CENTERLINE AND 24" CLEAR SPACE IN FRONT (402.5 CPC)
22.09	SINGLE BOWL SINK, PROVIDE LOW FLOW FAUCET @ 1.8 GPM
22.10	DOUBLE BOWL SINK, PROVIDE LOW FLOW FAUCET @ 1.8 GPM AND GARBAGE DISPOSAL
22.12	FREESTANDING TUB W/ FLOOR MOUNTED TUB FILLER

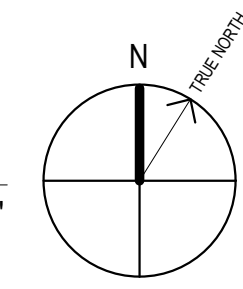


LEVEL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"





LEVEL 1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL LEGEND

- DUPLEX POWER OUTLET
 - DEDICATED DUPLEX POWER OUTLET
 - DUPLEX POWER OUTLET MOUNTED ABOVE COUNTER, AFF AS NOTED
 - GROUNDED DUPLEX OUTLET MOUNTED ABOVE COUNTER, AFF AS NOTED
 - OUTDOOR WET LOCATION OUTLET
 - CABLE TV OUTLET
 - DATA OUTLET
 - TELEPHONE / DATA OUTLET
 - FLUSH BOX DUPLEX POWER
 - FLUSH BOX QUAD POWER
- NOTE: SEE ELECTRICAL PLANS

RCP LEGEND

- MECHANICAL EXHAUST CAPABLE OF 50 CFM AND MAXIMUM 3 SONE. FANS SHALL BE ENERGY STAR COMPLIANT AND SHALL BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
 - SUPPLY GRILLE, SIZE PER MECH. SUBCONTRACTOR
 - RETURN GRILLE, SIZE PER MECH. SUBCONTRACTOR
 - 4" RECESSED CAN (SEE ELECTRICAL DRAWINGS)
 - INTERIOR SCONCE
 - DECORATIVE PENDANT LIGHT
 - NATURAL GAS HOOKUP
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - EXTERIOR GOSSENECK SCONCE - DARK SKY COMPLIANT, SEE OUT SHEET
- NOTE: SEE LIGHTING PLANS FOR FIXTURE LAYOUT AND INFORMATION

ENERGY NOTES

1. ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY PER TABLE 150.0-A 2019 CALIFORNIA ENERGY CODE TABLE 150.0
2. LIGHTING IN BATHROOMS: ALL LIGHTING IN BATHROOMS SHALL BE HIGH EFFICACY AND AT LEAST ONE FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
3. LIGHTING IN GARAGES, LAUNDRY ROOMS, CLOSETS, AND UTILITY ROOMS: ALL LIGHTING SHALL BE HIGH EFFICACY AND AT LEAST ONE LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR.
4. PERMANENTLY INSTALLED LIGHTS IN ROOMS OTHER THAN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES.
5. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL NOT CONTAIN SCREW BASE SOCKETS AND SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UL, OR OTHER TESTING LAB RECOGNIZED BY BUILDING OFFICIAL, AND SHALL BE CERTIFIED AIR TIGHT TO SHOW AIR LEAKAGE LESS THAN 2.0 CFM AT 0.1 PSI IN ACCORDANCE WITH ASTM E290 AND SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING.
6. SCREW BASE SOCKETS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THE LUMINAIRE SHALL NOT BE A RECESSED DOWNLIGHT IN A CEILING AND
 - THE LUMINAIRE SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX J48 AND
 - THE INSTALLED LAMPS SHALL BE MARKED WITH J48-2019 OR J48-2016E AS SPECIFIED REFERENCE JOINT APPENDIX J48 DIMMERS OR VACANCY SENSORS

KEYNOTES

KEY VALUE	KEYNOTE TEXT
26.04	EXTERIOR WALL MOUNTED SCONCE LIGHT. SEE LIGHTING AND ELECTRICAL PLANS. [DARK SKY COMPLIANT MODEL APPROVED BY PLANNING DEPARTMENT]
26.05	DECORATIVE LED PENDANT LIGHT
26.06	LED BATHROOM SCONCE
26.08	121 CFM IAQ FAN. TO BE CONTROLLED WITH A MANUAL ON-OFF SWITCH AND SHALL HAVE A LABEL, CLEARLY DISPLAYING THE FOLLOWING TEXT OR EQUIVALENT: THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE SWITCH IN THE 'ON' POSITION AT ALL TIMES UNLESS THE OUTDOOR AIR QUALITY IS 'VERY POOR' PER CEC SECTION 150.0(D)(1) AND ASHRAE 62.2 SECTION 4.4.
26.09	DECORATIVE INTERIOR SCONCE LIGHT
26.10	FAN WITH LIGHT. SEE INTERIOR DESIGNER DRAWINGS.

GENERAL NOTES - RCP

1. SEE TYPICAL FIXTURE / ACCESSORY MOUNTING HEIGHT DETAIL FOR MOUNTING HEIGHTS.
2. LIGHTING FIXTURES IN A SHOWER & WITHIN A BATH TUB AREA & LESS THAN 8 FT ABOVE RIM OF TUB SHALL BE RECESSED AND RATED FOR WET LOCATIONS.
3. HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP ARE REQUIRED IN EA BEDROOM & IN AREAS LEADING TO BEDROOMS & AT TOP OF STAIRS.
4. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
5. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE EASILY ACCESSIBLE. HUMIDISTAT CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGES OF 50 TO 80%.
6. WHOLE HOUSE EXHAUST FAN SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-2.

GENERAL NOTES - ELECTRICAL

1. UNLESS IN ACCORDANCE WITH CEC 210.12 (A) EXCEPTION 1, 2, OR 3, ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT (KITCHEN, FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FULL BREAKER CIRCUIT INTERRUPTER, COMBINATION TYPE, A BRANCH FEEDER TYPE, A LISTED SUPPLEMENTAL ARC PROTECTION CIRCUIT BREAKER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
2. ALL 120-VOLT, 15 AND 20 AMPERE RECEPTACLES IN A DWELLING UNIT SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. PROVIDE IN NEW AND REMODELED AREAS.
3. PROVIDE 2 OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS IN KITCHEN, PANTRY, BREAKFAST ROOM OR DINING ROOM PER CEC 210.52(B).
4. PROVIDE A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT FOR LAUNDRY RECEPTACLES PER CEC 210.52(F).
5. FOR BATHROOMS, OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. CEC 210.11(C)(3).
6. AT LEAST ONE WALL-SWITCH CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED AT THE EXTERIOR SIDE OF ALL OUTDOOR ENTRANCES OR EXITS AND THE GARAGE PER CEC 210.70(A).
7. LIGHTING FIXTURES IN A SHOWER AND WITHIN THE BATH TUB AREA AND LESS THAN 8 FT ABOVE RIM OF TUB SHALL BE RECESSED AND RATED FOR WET LOCATIONS.
8. OUTDOOR GFI RECEPTACLES TO BE WATERPROOF.
9. LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL BE EITHER A SURFACE-MOUNTED OR RECESSED FIXTURE, 6" MIN. CLEARANCE REQUIRED HORIZONTALLY AND VERTICALLY FROM COMBUSTIBLE MATERIALS.
10. OUTLETS AT KITCHEN, GARAGE, BATHS, PATIOS, BALCONIES AND LAUNDRY SINKS TO BE GFI.
11. FIXTURES AT BATHROOMS TO BE PUT ON VACANCY SENSORS.
12. PROVIDE A 120 VOLT HARDWIRED, INTERCONNECTED SMOKE ALARM WITH BATTERY BACK-UP IN LOCATIONS SHOWN AT ALL NEW CONSTRUCTION.
13. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A SINGLE FAMILY DWELLING OR OTHER BUILDINGS IN THE SAME LOT SHALL BE HIGH EFFICACY AND MUST BE CONTROLLED BY AN ON/OFF SWITCH THAT DOES NOT OVERRIDE TO ON AS LISTED BELOW. ALSO, THE LIGHTING MUST BE CONTROLLED BY A PHOTOCELL AND AUTOMATIC TIME SWITCH CONTROL. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE PHOTOCELL CONTROL AND AUTOMATIC TIME SWITCH CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS.
14. THE NUMBER OF ELECTRICAL BOXES LOCATED MORE THAN 5 FEET ABOVE FINISHED FLOOR THAT DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL NOT EXCEED THE NUMBER OF BEDROOMS. THESE BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. (CALIFORNIA ENERGY CODE SECTION 150.0) (1) (B)
15. ALL VACANCY SENSORS (VS) SHALL BE MANUALLY SWITCHED ON AND AUTOMATICALLY OFF. (CALIFORNIA ENERGY CODE SECTION 150.0) (2) (J)

GENERAL NOTES:
PROVIDE ALL POWER, LIGHTING AND SIGNAL SYSTEM WORK AND MATERIALS AS SHOWN ON THE DRAWINGS, AS CALLED FOR HEREIN, AND AS IS FURNISH A COMPLETE INSTALLATION.

THE INSTALLATION SHALL CONFORM WITH ALL THE REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE, STATE OF CALIFORNIA TITLE 24, ALL APPLICABLE CODES AND ORDINANCES AND THE REQUIREMENTS OF THE FIRE MARSHALL. ALL EQUIPMENT AND WIRING SHALL BEAR THE APPROVAL STAMP OF THE UNDERWRITERS LABORATORY (UL) OR AN APPROVED TESTING LABORATORY. PAYMENT FOR ALL PERMITS AND INSPECTION FEES IS PART OF THIS CONTRACT.

THE RESPONSIBILITY FOR THE SAFETY AND GOOD CONDITION OF ALL MATERIALS AND EQUIPMENT FOR THE ENTIRE INSTALLATION, UNIT COMPLETION OF WORK, SHALL BE INCLUDED WITH THE WORK OF THIS CONTRACT. ERECT AND MAINTAIN APPROVED AND SUITABLE BARRIERS, PROTECTIVE DEVICES AND WARNING SIGNS AND BE FULLY RESPONSIBLE FOR ANY LOSS OR INJURY TO PERSONS OR PROPERTY RESULTING FROM NEGLIGENCE IN MAINTAINING AND/OR ENFORCING ALL SAFETY PRECAUTIONS AND WARNINGS.

COORDINATE THE ELECTRICAL INSTALLATION WITH ALL OTHER TRADES.

ALL TRENCHING, BACKFILLING, CUTTING AND PATCHING SHALL BE PART OF THIS CONTRACT.

FINALIZE ALL ELECTRICAL SERVICE ARRANGEMENTS, INCLUDING VERIFICATION OF LOCATIONS, DETAILS AND COORDINATION OF THE INSTALLATION, AND PAYMENT OF ACCRUED CHARGES WITH LOCAL POWER COMPANY. VERIFY LOCATION OF FACILITIES AND DETAILS WITH POWER, TELEPHONE AND CABLE TELEVISION COMPANIES. IN ADDITION TO REQUIREMENTS SHOWN ON THE DRAWINGS, ETC. WORK SHALL COMPLY WITH CONSTRUCTION STANDARDS AND SERVICE REQUIREMENTS OF RESPECTIVE UTILITIES, INCLUDING ANY SUPPLEMENTAL DRAWINGS ISSUED, AND SHALL BE SUBJECT TO APPROVAL OF THESE UTILITIES.

RECEIVERS FOR ALL CONDUCTORS SHALL BE TYPE 'EMT' IN ALL CONCEALED AREAS. IN EXPOSURE AREAS LESS THAN 6" ABOVE GRADE SHALL BE GALVANIZED STEEL CONDUIT. FLEXIBLE STEEL CONDUIT MAY BE USED IN CONCEALED AREAS IF A SUITABLE BONDING WIRE IS INSTALLED UP TO A MAXIMUM LENGTH OF 12'-0". CONCEALED REWAYERS FOR TELEPHONE AND CATV CABLE WITHIN THE BUILDING SHALL BE CARLON TYPE 'ET' WITH PULL CORDS INSTALLED IN ALL RUNS. A SUITABLE GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL CONDUIT RUNS. NOTE THAT THIS CONDUCTOR IS NOT NECESSARILY SHOWN ON THE DRAWINGS.

EXPOSED CONDUITS SHALL ONLY BE ALLOWED WHERE SPECIFICALLY COORDINATED, AND ALLOWED BY OWNER/ARCHITECT.

PROVIDE ALL CABLE TV CABLING BACK TO (E) CABLE TV BOX. COORDINATE ALL WORK AND LOCATIONS IN THE FIELD. CABLE SHALL BE TYPE RG-6U.

PROVIDE ALL TELEPHONE/DATA WIRING. TELEPHONE/DATA WIRING SHALL BE CATEGORY FIVE. OUTLET AND JUNCTION BOXES SHALL BE 4" SQUARE BY 1 1/2" DEEP, OR LARGER, GALVANIZED STEEL.

ALL WIRING SHALL BE COPPER. INSULATION FOR BRANCH CIRCUIT CONDUCTORS SHALL BE TYPE 'THWN'. IN AREAS WHERE CONDUCTORS MAY BE EXPOSED TO WATER, CONDUCTORS SHALL BE 'THWN'. CONDUCTORS LARGER THAN #6 AWG MAY BE TYPE 'THW'. PROVIDE BRANCH CIRCUIT WIRING, OUTLETS, DEVICES AND CONNECTIONS TO ALL EQUIPMENT.

STEEL LIQUID-TIGHT FLEXIBLE CONDUITS ARE REQUIRED FOR MOTOR CONNECTIONS. CONNECTIONS TO LIQUID-HANDLING EQUIPMENT, AND CONNECTIONS IN WET OR EXTERIOR LOCATIONS.

PROVIDE ALL CONDUIT, WIRING, OUTLETS, FUSED NEMA 3R DISCONNECT SWITCHES AND EQUIPMENT NECESSARY TO CONNECT MECHANICAL SYSTEMS AND EQUIPMENT. INSTALL OUTLETS AND EMPTY CONDUITS FOR LOW VOLTAGE CONTROL EQUIPMENT.

FURNISH AND INSTALL ALL LIGHT FIXTURES COMPLETE WITH REQUIRED LAMPS, BALLASTS, MOUNTING TRIMS AND DEVICES. ALL EXISTING FIXTURES TO REMAIN SHALL BE CLEANED, REPAIRED OR REPLACED AS NECESSARY, AND RELAMPED. FIXTURES TO BE SUPPORTED FROM THE BUILDING STRUCTURE IN AN APPROVED MANNER.

LIGHT SWITCHES AND COVER PLATES TO BE SELECTED BY OWNER.

(5) COPIES OF SUBMITTAL DRAWINGS ARE REQUIRED FOR LIGHT FIXTURES, CONTROL SYSTEMS AND COVER PLATES.

VISIT THE SITE PRIOR TO BID TO VERIFY EXISTING CONDITIONS AND MAKE ALLOWANCES FOR VARIANCES TO THAT WHICH IS SHOWN.

PROVIDE ALL MATERIALS AND WORK REQUIRED TO LOCATE AND CONNECT TO EXISTING DISTRIBUTION EQUIPMENT. UPDATE EXISTING PANELBOARDS WITH NEW TYPEWRITTEN CIRCUIT DIRECTORIES AND FURNISH NEW CIRCUIT BREAKERS AS REQUIRED. RECONNECT ANY BRANCH CIRCUITS INTERRUPTED DURING DEMOLITION THAT ARE TO REMAIN. CIRCUIT DIRECTORIES SHALL INCLUDE WHERE THE PANEL IS FED FROM.

RE-USE OF EXISTING BRANCH CIRCUIT CONDUITS AND WIRING IS ACCEPTABLE IF IN COMPLIANCE WITH NEC AND APPROVED LOCAL AUTHORITIES.

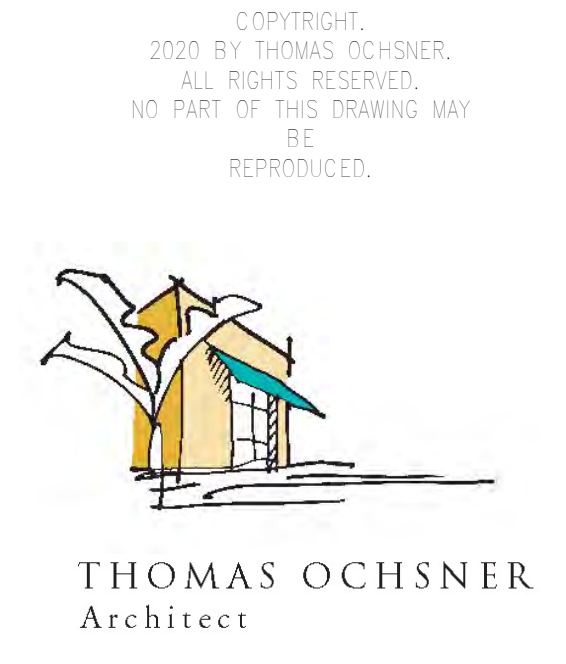
PROVIDE CONDUIT SEALS FOR ALL CONDUITS PENETRATING WEATHERPROOFING OR WEATHERPROOF ENVELOPE. MASTIC SEAL ALL CONDUIT OPENING PENETRATIONS.

PANELBOARDS SHALL BE EQUAL TO SQUARE D TYPE 'QO'.

ALL MAIN LOADCENTER CONNECTIONS, TERMINATION, GROUNDING, AND HARDWARE ASSEMBLIES SHALL BE CHECKED BY THE EXPERIENCED MAIN LOADCENTER INSTALLER PRIOR TO ENERGIZATION OF THE MAIN LOADCENTER. EACH CONNECTION POINT OR FASTENER SHALL BE ALIGNED AND TORQUED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

UNLESS SHOWN OTHERWISE, FUSED DISCONNECT SWITCHES SHALL BE PROVIDED WITH LOW-PEAK, DUAL ELEMENT FUSES, SIZED TO EQUIPMENT NAMEPLATE FUSE CURRENT RATINGS. SWITCHES EXPOSED TO WEATHER SHALL BE NEMA 3R TYPE.

PANELBOARDS, TERMINAL CABINETS, SWITCHGEAR, DISCONNECTS AND MISCELLANEOUS ELECTRICAL EQUIPMENT SHALL HAVE LAMINATED WITH LETTERS ON BLACK BACKGROUND, PHENOLIC NAMEPLATES PROPERLY IDENTIFYING EACH ITEM.



ARCHITECTURE & PLANNING
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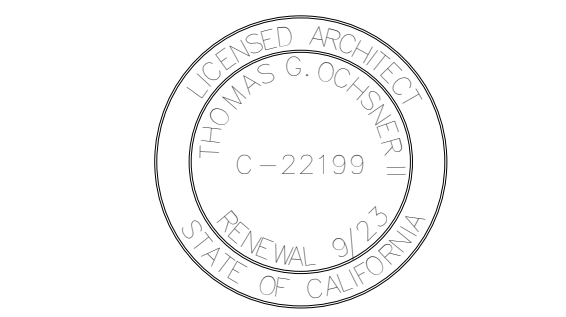
CLIENT
PETER AND SUZANNE HOOPER

PROJECT
NEW RESIDENCE & DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE
LEVEL 1 REFLECTED CEILING PLAN

REVISIONS



PROJECT NAME NEW RESIDENCE & DETACHED ADU
DATE DRAWN
DATE 4/22/2024
SHEET NO.

A-2.11

WALL LEGEND

	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW EXTERIOR WALL: 7/8" PLASTER, WEATHER RESISTIVE AIR BARRIER, PLYWOOD SHEATHING, 2x6 FRAMING, INT. 5/8" GYPSUM WALL BOARD
	NEW INTERIOR WALL: 2x4 WOOD FRAMING W/ 5/8" GYPSUM WALL BOARD BOTH SIDES. PROVIDE MOISTURE RESISTANT DRYWALL AS NOTED ON PLANS

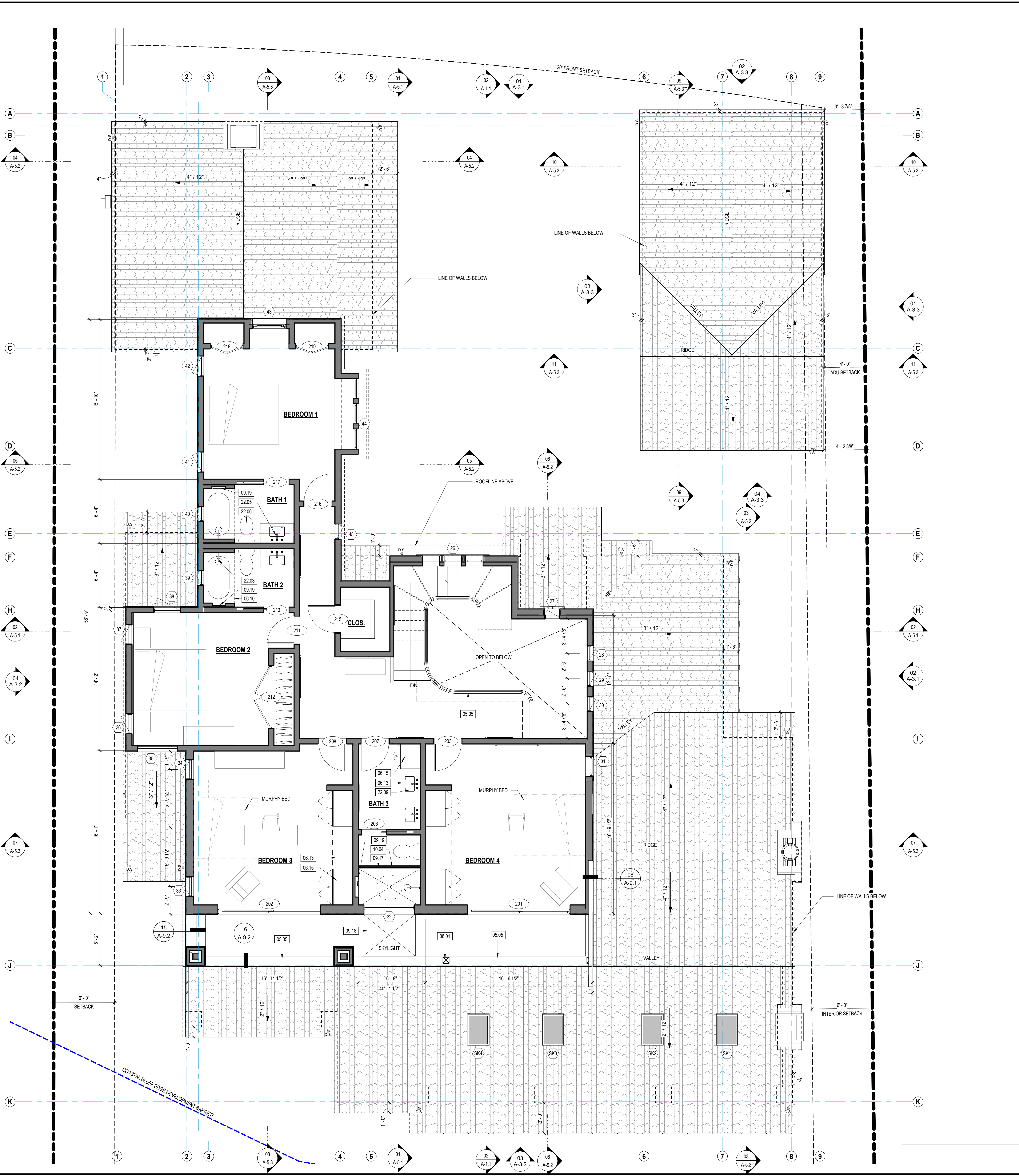
- ### GENERAL NOTES - FLOOR PLAN
- HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP ARE REQUIRED IN EA BEDROOM & IN AREAS LEADING TO BEDROOMS & AT TOP OF STAIRS.
 - ALL BEDROOMS REQUIRE AT LEAST ONE EGRESS WINDOW PER CBC SECTION 310.
 - GLAZING MUST CONFORM TO CBC SECTION 2406 WHERE APPLICABLE.
 - FURNITURE NOT IN CONTRACT.
 - DOOR THRESHOLD SHALL NOT BE MORE THAN 1 1/2" BELOW THRESHOLD FOR SLIDING AND SWINGING DOORS. EXCEPTION: FOR EXTERIOR DOORS SWINGING INWARD THE ALLOWABLE THRESHOLD MAY BE 7.75 INCHES. [CBC R311.3.1 & R311.3.2]

- ### GENERAL NOTES - BATHROOM
- WATER LINE OF TYPE 'L' COPPER
 - LOW FLOW FIXTURES
 ≤ 1.28 GPF TOILET
 ≤ 1.8 GPM SINGLE SHOWER HEAD @ 80 PSI
 ≤ 1.2 GPM LAVATORY FAUCETS @ 80 PSI
 *NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE AVERAGE FLUSH VOLUME OF TWO REDUCE FLUSHES AND ONE FULL FLUSH
 *NOTE: MULTIPLE SHOWER HEADS: COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
 - SHOWER AND TUB-SHOWER CONTROL VALVES TO BE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE/ THERMOSTATIC MIXING VALVE TYPE.
 - BATHTUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NONABSORBENT SURFACE TO A HEIGHT OF 72" ABOVE THE FLOOR.
 - SHOWER COMPARTMENT INTERIOR DIMENSIONS SHALL HAVE A MINIMUM 1.024 SQ. IN. AND CAPABLE OF ENCOMPASSING A 30 IN. CIRCLE.
 - SHOWER AND/OR TUB ENCLOSURE SHALL BE TEMPERED GLASS, SAFETY GLASS OR OTHER LISTED AND APPROVED MATERIAL.
 - GLAZING (GLASS) WITHIN 6" OF TUB OR SHOWER WALKING SURFACE MUST BE TEMPERED, SAFETY GLASS OR OTHER LISTED MATERIAL.
 - FOR INDOOR AIR QUALITY AND EXHAUST: SEE CAL. GREEN CHAPTER 4 RESIDENTIAL MANDATORY MEASURES HANDOUT, SECTION 4.506.1.
 - BATHTUB TRAP ACCESS OF MIN. 12" x 12" FOR CONCEALED SLIP JOINT CONNECTIONS OR INDICATE NON-SLIP TRAP JOINT TO BE USED.
 - WATER CLOSET SPACE - 30" WIDE BY 24" DEEP CLEAR IN FRONT OF WATER CLOSET.
 - ALL BATHROOM RECEPTACLES TO BE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTED. (GFCI)
 - LIGHTING- PERMANENTLY INSTALLED LUMINARIES SHALL BE OF HIGH EFFICACY TYPE (LED OR PIN-BASE FLUORESCENT) AND PROVIDE MANUAL-ON OCCUPANT SENSOR OR VACANCY SENSOR SWITCH THAT MEETS CALIFORNIA ENERGY CODE REQUIREMENTS.

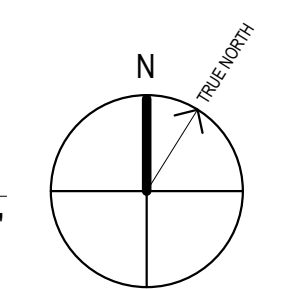
- ### INSULATION SCHEDULE
- PROVIDE THERMAL INSULATION AS SHOWN ON THE DRAWINGS, WITH THE FOLLOWING MINIMUMS:
- NEW 2x6 EXTERIOR WALLS AND WALLS BETWEEN HEATED AND UNHEATED SPACES:
R-19 BATT INSULATION
- ROOF INSULATION:
R-38 CLOSED CELL ICYNENE INSULATION AT UNDERSIDE OF ROOF SHEATHING
- INSULATE ALL PIPE & MECHANICAL CHASES FOR SOUND.
- PROVIDE ROCK WOOL INSULATION OR EQUIVALENT BETWEEN ALL WINDOW AND EXTERIOR DOOR FRAME AND ROUGH FRAMING.

KEYNOTES

KEY VALUE	KEYNOTE TEXT
XXXX	KEYNOTE DESIGNATION
05.05	42" HIGH STEEL GUARDRAIL, SEE DETAILS
06.01	WOOD POST, SEE STRUCTURAL
06.10	ARCH FRAMING
06.13	24" DEEP CABINETS, SEE INTERIOR ELEVATIONS
06.15	FULL HEIGHT CABINETS, SEE INTERIOR ELEVATIONS
09.17	RAISED CURB AT SHOWER
09.18	SKYLIGHT- 5' GLASS
09.19	NICHE: SEE INTERIOR DESIGNER DRAWINGS.
10.04	TEMPERED GLASS SHOWER ENCLOSURE PER CRC 308.4.5
22.03	EACH SHOWERHEAD SHALL NOT EXCEED A WATER FLOW OF 1.8 GPM
22.05	RESIDENTIAL LAVATORY FAUCET SHALL NOT EXCEED A WATER FLOW OF 1.2 GPM
22.06	TOILETS SHALL BE 1.28 GPM MAX. WATER CLOSET SHALL HAVE 15" TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF ITS CENTERLINE AND 24" CLEAR SPACE IN FRONT (402.5 CPC)
22.09	SINGLE BOWL SINK, PROVIDE LOW FLOW FAUCET @ 1.8 GPM



LEVEL 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES - RCP

- SEE TYPICAL FIXTURE / ACCESSORY MOUNTING HEIGHT DETAIL FOR MOUNTING HEIGHTS.
- LIGHTING FIXTURES IN A SHOWER & WITHIN A BATHTUB AREA & LESS THAN 8 FT ABOVE RIM OF TUB SHALL BE RECESSED AND RATED FOR WET LOCATIONS.
- HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP ARE REQUIRED IN EA BEDROOM & IN AREAS LEADING TO BEDROOMS & AT TOP OF STAIRS.
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGES OF 50 TO 80%.
- WHOLE HOUSE EXHAUST FAN SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2

ELECTRICAL LEGEND

- DUPLEX POWER OUTLET
- DEDICATED DUPLEX POWER OUTLET
- DUPLEX POWER OUTLET MOUNTED ABOVE COUNTER, AFF AS NOTED
- GROUNDED DUPLEX OUTLET MOUNTED ABOVE COUNTER, AFF AS NOTED
- OUTDOOR WET LOCATION OUTLET
- CABLE TV OUTLET
- DATA OUTLET
- TELEPHONE / DATA OUTLET
- FLUSH BOX DUPLEX POWER
- FLUSH BOX QUAD POWER

NOTE: SEE ELECTRICAL PLANS

RCP LEGEND

- MECHANICAL EXHAUST CAPABLE OF 50 CFM AND MAXIMUM 3 SONE. FANS SHALL BE ENERGY STAR COMPLIANT AND SHALL BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
- SUPPLY GRILLE, SIZE PER MECH. SUBCONTRACTOR
- RETURN GRILLE, SIZE PER MECH. SUBCONTRACTOR
- 4" RECESSED CAN (SEE ELECTRICAL DRAWINGS)
- INTERIOR SCONCE
- DECORATIVE PENDANT LIGHT
- NATURAL GAS HOOKUP
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXTERIOR GOOSENECK SCONCE - DARK SKY COMPLIANT, SEE CUT SHEET

NOTE: SEE LIGHTING PLANS FOR FIXTURE LAYOUT AND INFORMATION

ENERGY NOTES

- ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY PER TABLE 150.0-A 2019 CALIFORNIA ENERGY CODE TABLE 150.0
- LIGHTING IN BATHROOMS: ALL LIGHTING IN BATHROOMS SHALL BE HIGH EFFICACY AND AT LEAST ONE FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- LIGHTING IN GARAGES, LAUNDRY ROOMS, CLOSETS, AND UTILITY ROOMS: ALL LIGHTING SHALL BE HIGH EFFICACY AND AT LEAST ONE LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR.
- PERMANENTLY INSTALLED LIGHTS IN ROOMS OTHER THAN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES.
- LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL NOT CONTAIN SCREW BASE SOCKETS AND SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UL, OR OTHER TESTING LAB RECOGNIZED BY BUILDING OFFICIAL, AND SHALL BE CERTIFIED AIR TIGHT TO SHOW AIR LEAKAGE LESS THAN 2.0 CFM AT 0.11 PSI IN ACCORDANCE WITH ASTM E290 AND SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING.
- SCREW BASE SOCKETS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THE LUMINAIRE SHALL NOT BE A RECESSED DOWNLIGHT IN A CEILING AND
 - THE LUMINAIRE SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JAB AND,
 - THE INSTALLED LAMPS SHALL BE MARKED WITH JAB-2019 OR JAB-2016E AS SPECIFIED REFERENCE JOINT APPENDIX JAB DIMMERS OR VACANCY SENSORS

KEYNOTES

KEY VALUE	KEYNOTE TEXT
26.04	EXTERIOR WALL MOUNTED SCONCE LIGHT. SEE LIGHTING AND ELECTRICAL PLANS. DARK SKY COMPLIANT MODEL APPROVED BY PLANNING DEPARTMENT
26.05	DECORATIVE LED PENDANT LIGHT
26.06	LED BATHROOM SCONCE
26.08	121 CFM IAQ FAN. TO BE CONTROLLED WITH A MANUAL ON-OFF SWITCH AND SHALL HAVE A LABEL CLEARLY DISPLAYING THE FOLLOWING TEXT OR EQUIVALENT: THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE SWITCH IN THE 'ON' POSITION AT ALL TIMES UNLESS THE OUTDOOR AIR QUALITY IS 'VERY POOR' PER CEC SECTION 150.0(D)(1)C AND ASHRAE 62.2 SECTION 4.4.
26.09	DECORATIVE INTERIOR SCONCE LIGHT
26.10	FAN WITH LIGHT. SEE INTERIOR DESIGNER DRAWINGS.
26.11	2 GANG FLOOR OUTLET

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- ALL 125-VOLT, 15 AND 20 AMPERE RECEPTACLES IN A DWELLING UNIT SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. PROVIDE IN NEW AND RENOVATED AREAS.
- PROVIDE 2 OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS IN KITCHEN, PANTRY, BREAKFAST ROOM OR DINING ROOM PER CEC 210.52(B)
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- ALL VACANCY SENSORS (VS) SHALL BE MANUALLY SWITCHED ON AND AUTOMATICALLY OFF. [CALIFORNIA ENERGY CODE SECTION 150X(2)(J)]

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COORDINATE THE ELECTRICAL INSTALLATION WITH ALL OTHER TRADES.

ALL TRENCHING, BACKFILLING, CUTTING AND PATCHING SHALL BE PART OF THIS CONTRACT.

FINALIZE ALL ELECTRICAL SERVICE ARRANGEMENTS, INCLUDING VERIFICATION OF LOCATIONS, DETAILS AND COORDINATION OF THE INSTALLATION, AND PAYMENT OF ACCRUED CHARGES WITH LOCAL POWER COMPANY. VERIFY LOCATION OF FACILITIES AND DETAILS WITH POWER, TELEPHONE AND CABLE TELEVISION COMPANIES. IN ADDITION TO REQUIREMENTS SHOWN ON THE DRAWINGS, ETC. WORK SHALL COMPLY WITH CONSTRUCTION STANDARDS AND SERVICE REQUIREMENTS OF RESPECTIVE UTILITIES, INCLUDING ANY SUPPLEMENTAL DRAWINGS ISSUED, AND SHALL BE SUBJECT TO APPROVAL OF THESE UTILITIES.

RACEWAYS FOR ALL CONDUCTORS SHALL BE TYPE 'EMT' IN ALL CONCEALED AREAS. IN EXPOSED AREAS LESS THAN 5'-0" ABOVE GRADE SHALL BE GALVANIZED STEEL CONDUIT. FLEXIBLE STEEL CONDUIT MAY BE USED IN CONCEALED AREAS IF A SUITABLE BONDING WIRE IS INSTALLED UP TO A MAXIMUM LENGTH OF 12'-0". CONCEALED RACEWAYS FOR TELEPHONE AND CATV CABLE WITHIN THE BUILDING SHALL BE CARLON TYPE 'EET' WITH PULL CORDS INSTALLED IN ALL RUNS. A SUITABLE GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL CONDUIT RUNS. NOTE THAT THIS CONDUCTOR IS NOT NECESSARILY SHOWN ON THE DRAWINGS.

EXPOSED CONDUITS SHALL ONLY BE ALLOWED WHERE SPECIFICALLY COORDINATED, AND ALLOWED BY OWNER/ARCHITECT.

PROVIDE ALL CABLE TV CABLEING BACK TO (E) CABLE TV BOX. COORDINATE ALL WORK AND LOCATIONS IN THE FIELD. CABLE SHALL BE TYPE RG-6U.

PROVIDE ALL TELEPHONE/DATA WIRING. TELEPHONE/DATA WIRING SHALL BE CATEGORY FIVE. OUTLET AND JUNCTION BOXES SHALL BE 4" SQUARE BY 1 1/2" DEEP, OR LARGER, GALVANIZED STEEL.

OUTLET AND JUNCTION BOXES SHALL BE FLUSH MOUNTED IN ALL FINISHED AREAS AND SHALL INCLUDE A PLASTER RING SUITABLE FOR THE DEVICE MOUNTED IN THE BOX.

ALL WIRING SHALL BE COPPER. INSULATION FOR BRANCH CIRCUIT CONDUCTORS SHALL BE TYPE 'THHN'. IN AREAS WHERE CONDUCTORS MAY BE EXPOSED TO WATER, CONDUCTORS SHALL BE THHN. CONDUCTORS LARGER THAN #12 AWG MAY BE TYPE THW. PROVIDE BRANCH CIRCUIT WIRING, OUTLETS, DEVICES AND CONNECTIONS TO ALL EQUIPMENT.

STEEL LIQUID-TIGHT FLEXIBLE CONDUITS ARE REQUIRED FOR MOTOR CONNECTIONS. CONNECTIONS TO LIQUID-HANDLING EQUIPMENT, AND CONNECTIONS IN WET OR EXTERIOR LOCATIONS.

PROVIDE ALL CONDUIT, WIRING, OUTLETS, FUSED NEMA 3R DISCONNECT SWITCHES AND EQUIPMENT NECESSARY TO CONNECT MECHANICAL SYSTEMS AND EQUIPMENT. INSTALL OUTLETS AND EMPTY CONDUITS FOR LOW VOLTAGE CONTROL EQUIPMENT.

FURNISH AND INSTALL ALL LIGHT FIXTURES COMPLETE WITH REQUIRED LAMPS, BALLASTS, MOUNTING TRIMS AND DEVICES. ALL EXISTING FIXTURES TO REMAIN SHALL BE CLEANED, REPAIRED OR REPLACED AS NECESSARY, AND RELAMPED. FIXTURES TO BE SUPPORTED FROM THE BUILDING STRUCTURE IN AN APPROVED MANNER.

LIGHT SWITCHES AND COVER PLATES TO BE SELECTED BY OWNER.

(5) COPIES OF SUBMITTAL DRAWINGS ARE REQUIRED FOR LIGHT FIXTURES, CONTROL SYSTEMS AND COVER PLATES.

VISIT THE SITE PRIOR TO BID TO VERIFY EXISTING CONDITIONS AND MAKE ALLOWANCES FOR VARIANCES TO THAT WHICH IS SHOWN.

PROVIDE ALL MATERIALS AND WORK REQUIRED TO LOCATE AND CONNECT TO EXISTING DISTRIBUTION EQUIPMENT. UPDATE EXISTING PANELBOARDS WITH NEW TYPEWRITTEN CIRCUIT DIRECTORIES AND FURNISH NEW CIRCUIT BREAKERS AS REQUIRED. RECONNECT ANY BRANCH CIRCUITS INTERRUPTED DURING DEMOLITION THAT ARE TO REMAIN. CIRCUIT DIRECTORIES SHALL INCLUDE WHERE THE PANEL IS FED FROM.

RE-USE OF EXISTING BRANCH CIRCUIT CONDUITS AND WIRING IS ACCEPTABLE IF IN COMPLIANCE WITH NEC AND APPROVED LOCAL AUTHORITIES.

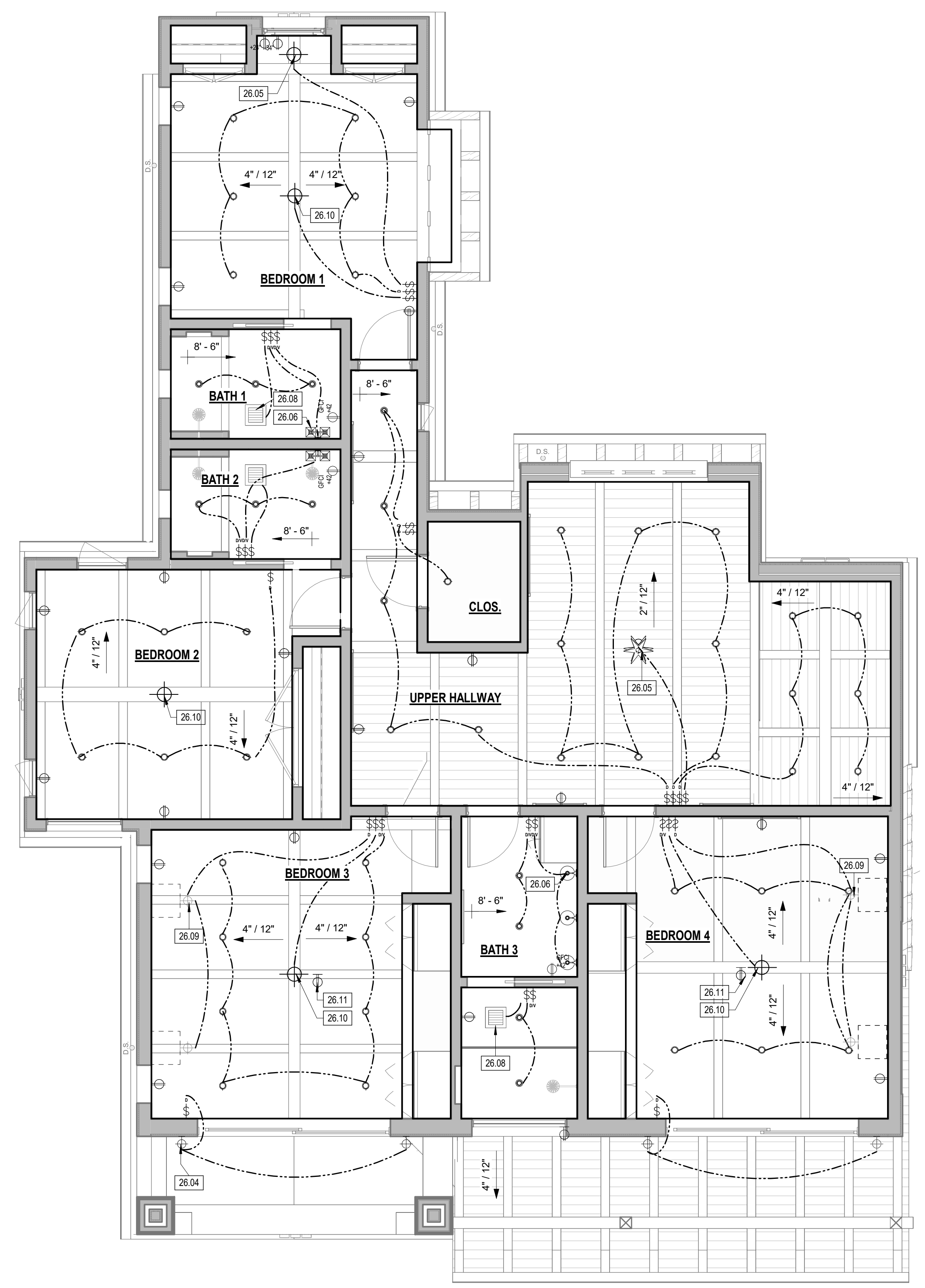
PROVIDE CONDUIT SEALS FOR ALL CONDUITS PENETRATING WEATHERPROOFING OR WEATHERPROOF ENVELOPE. MASTIC SEAL ALL CONDUIT OPENING PENETRATIONS.

PANELBOARDS SHALL BE EQUAL TO SQUARE D TYPE 'QO'.

ALL MAIN LOADCENTER CONNECTIONS, TERMINATION, GROUNDING, AND HARDWARE ASSEMBLIES SHALL BE CHECKED BY THE EXPERIENCED MAIN LOADCENTER INSTALLER PRIOR TO ENERGIZATION OF THE MAIN LOADCENTER. EACH CONNECTION POINT OR FASTENER SHALL BE ALIGNED AND TORQUED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

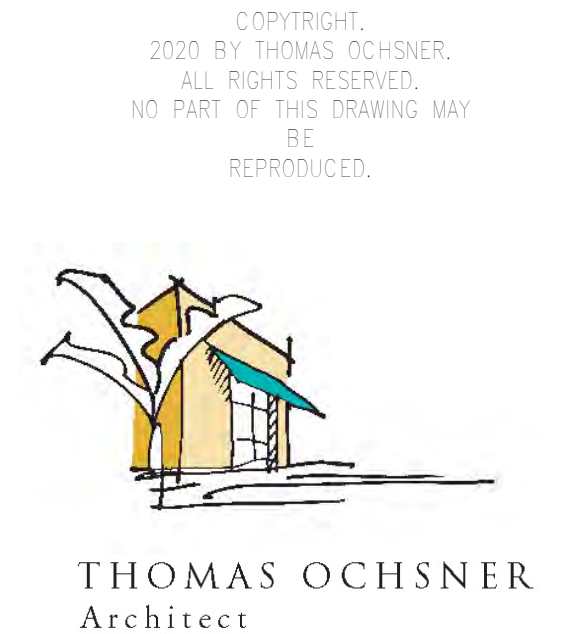
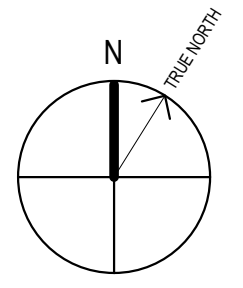
UNLESS SHOWN OTHERWISE, FUSED DISCONNECT SWITCHES SHALL BE PROVIDED WITH LOW-PEAK, DUAL ELEMENT FUSES, SIZED TO EQUIPMENT NAMEPLATE FUSE CURRENT RATING. SWITCHES EXPOSED TO WEATHER SHALL BE NEMA 3R TYPE.

PANELBOARDS, TERMINAL CABINETS, SWITCHGEAR, DISCONNECTS AND MISCELLANEOUS ELECTRICAL EQUIPMENT SHALL HAVE LAMINATED WITH LETTERS ON BLACK BACKGROUND, PHENOLIC NAMEPLATES PROPERLY IDENTIFYING EACH ITEM.



LEVEL 2 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



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PETER AND SUZANNE HOOPER

PROJECT

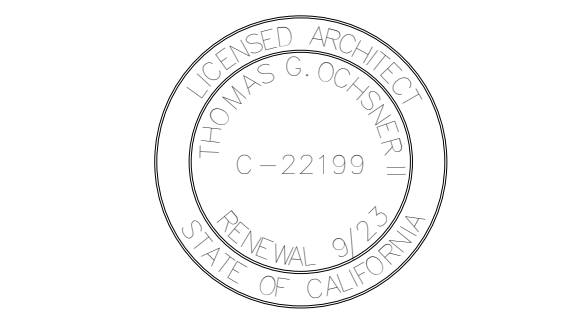
NEW RESIDENCE & DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

LEVEL 2 REFLECTED CEILING PLAN

REVISIONS



PROJECT NAME: NEW RESIDENCE & DETACHED ADU

DATE DRAWN:

DATE: 4/22/2024

SHEET NO.:

A-2.21



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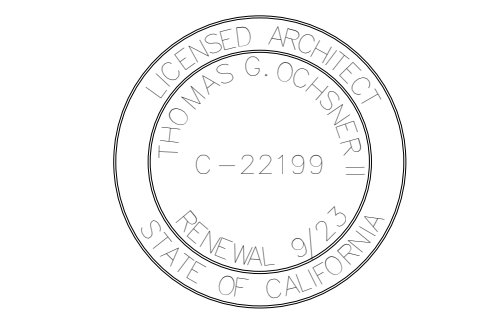
NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

ROOF PLAN

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

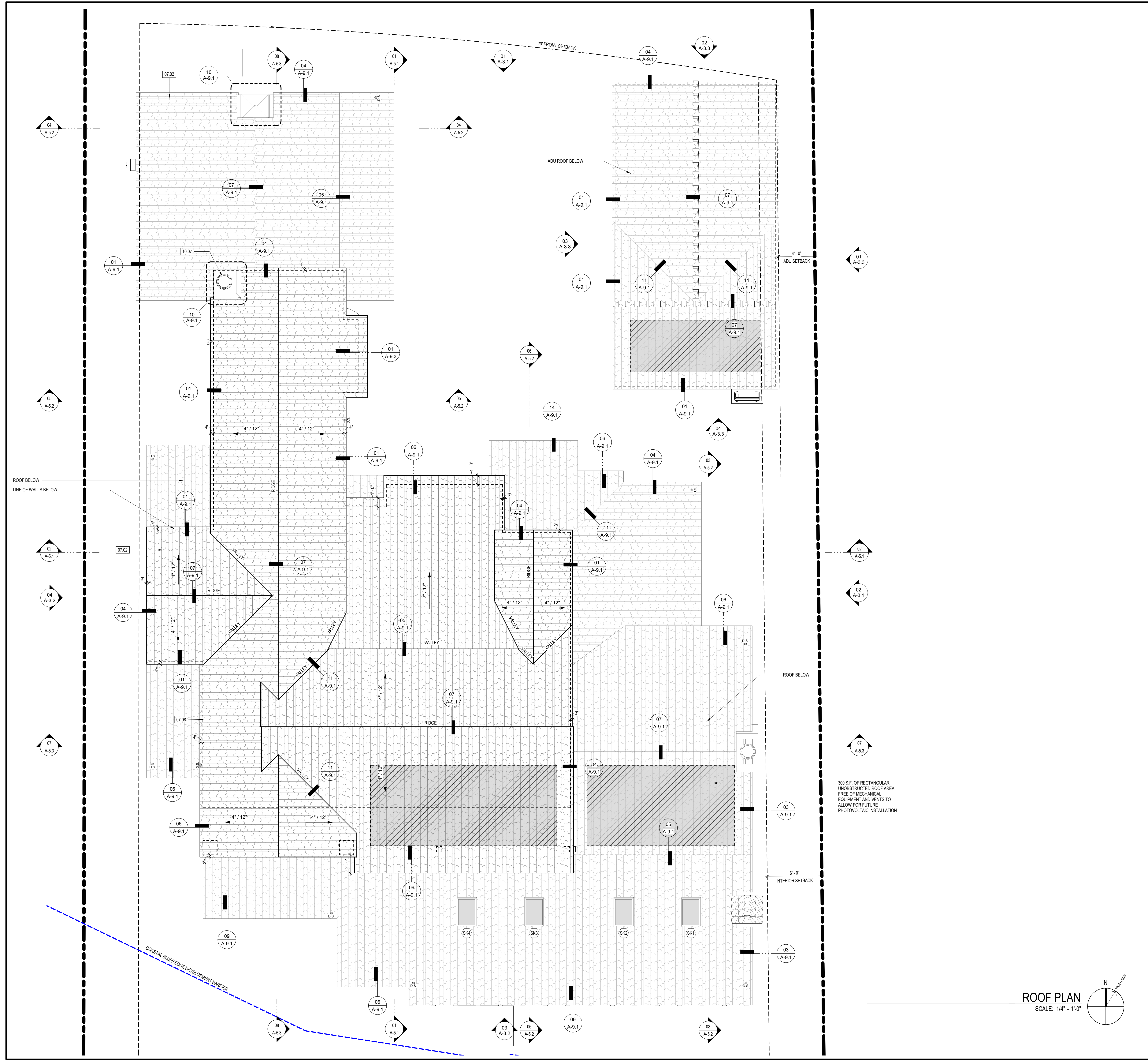
A-2.30

GENERAL NOTES - ROOF PLAN

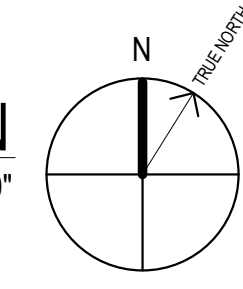
1. CLASS 'H' RATED ROOF OVER ROOFING UNDERLAYMENT. PROVIDE TORCH DOWN MEMBRANE ROOF FOR SLOPES LESS THAN 2:12
2. ALL ROOF EDGES TO HAVE COPPER DRIP EDGE
3. ALL EXPOSED CRICKETS & SADDLES TO BE 26 GA. G.I. PAINT TO MATCH ADJOINING SURFACES
4. VALLEY FLASHING TO BE 36" WIDE 26 GA. G.I. FLASHING RUN 18" ONTO EACH ROOF PLANE. OVER 36" MIN. WIDE UNDERLAYMENT CONSISTING OF 1-LAYER OF 72# MINERAL SURFACE NON-PERFORATED CAP SHEET COMPLYING W/ ASTM D3959 RUNNING THE ENTIRE LENGTH OF THE VALLEY. INSTALLED OVER THE COMBUSTIBLE DECKING PER CRC SECTION R327.5.3, AND PAINTED TO MATCH ADJOINING SURFACES
5. OVERHANG SIZE AS NOTED ON PLAN
6. ROOF PITCH AS INDICATED ON PLAN
7. GUTTER GUARDS ARE TO BE PROVIDED AT ALL ROOF GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS PER CRC SECTION R327
8. COORDINATE LOCATION OF ALL VENT RISERS WITH ARCHITECT
9. COORDINATE ALL REQUIRED ROOF PENETRATIONS AND LOCATIONS WITH ARCHITECT
10. ALL ROOFING INSTALLATIONS SHALL BE CONSTRUCTED PER MANUFACTURER'S RECOMMENDATIONS TO RECEIVE MANUFACTURER'S INSTALLATION WARRANTY
11. ROOF DRAINS AND OVERFLOW DRAINS, WHERE CONCEALED WITHIN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE (2022 CBC SECTION 508.4)
12. ALL ATTICS ARE UNVENTILATED. SPRAY FOAM INSULATION IS APPLIED AT THE UNDERSIDE OF ROOF SHEATHING

KEYNOTES

KEY VALUE	KEYNOTE TEXT
07.02	CLASS A TWO PIECE MISSION TILE ROOF PER MATERIAL SCHEDULE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
07.08	LINE'S OF WALLS BELOW
10.07	CLAY CHIMNEY POT



ROOF PLAN
SCALE: 1/4" = 1'-0"





NORTH ELEVATION 01
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH & MATERIAL INDEX

TAG	DESCRIPTION
EX-01	2 PIECE MISSION TILE ROOF MANUFACTURER: REDLAND CLAY TILE, COLOR: CUSTOM MIX, OLD HACIENDA SANDCAST & ATIGUA SANDCAST BLENDS
EX-02	EXTERIOR PLASTER, SMOOTH TROWELED COLOR: LA HABRA - WHITE
EX-03	EXPOSED HEAVY TIMBER WOOD FRAMING STAIN COLOR: CABOT STAIN, BARK
EX-04	STEEL GUARDRAIL/HANDRAIL COLOR: BLACK
EX-05	METAL DOORS & WINDOWS, METAL WORKS COLOR: DARK BRONZE
EX-06	GUTTER AND DOWNSPOUT MATERIAL: COPPER W/ LEADER HEAD & CONCEALED DOWNSPOUT
EX-07	WOOD SIDING MATERIAL: STAINED SIDING, CABOT STAIN, BARK

NOTE: CONTRACTOR TO PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING

KEY VALUE	KEYNOTE TEXT
XXX	KEYNOTE DESIGNATION

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SUZANNE
HOOPER**

PROJECT

**NEW
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1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

**EXTERIOR
ELEVATIONS**

REVISIONS



EAST ELEVATION 02
SCALE: 1/4" = 1'-0"



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

A-3.1



SOUTH ELEVATION 03
SCALE: 1/4" = 1'-0"



WEST ELEVATION 04
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH & MATERIAL INDEX	
TAG	DESCRIPTION
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KEYNOTES	
KEY VALUE	KEYNOTE TEXT
XXX	KEYNOTE DESIGNATION

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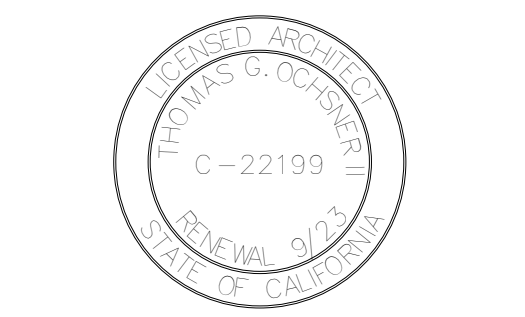
NEW RESIDENCE & DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

EXTERIOR ELEVATIONS

REVISIONS



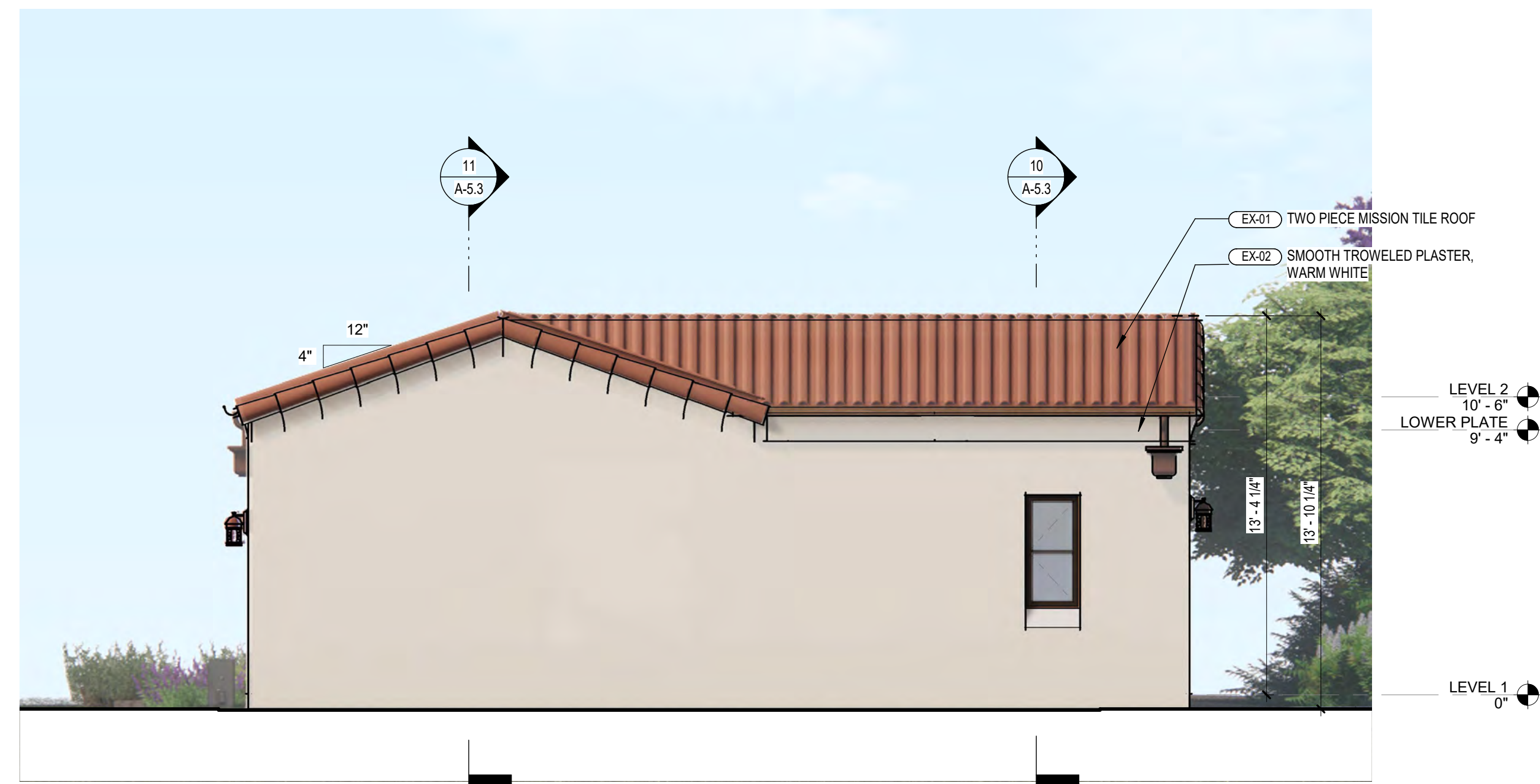
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DATE DRAWN

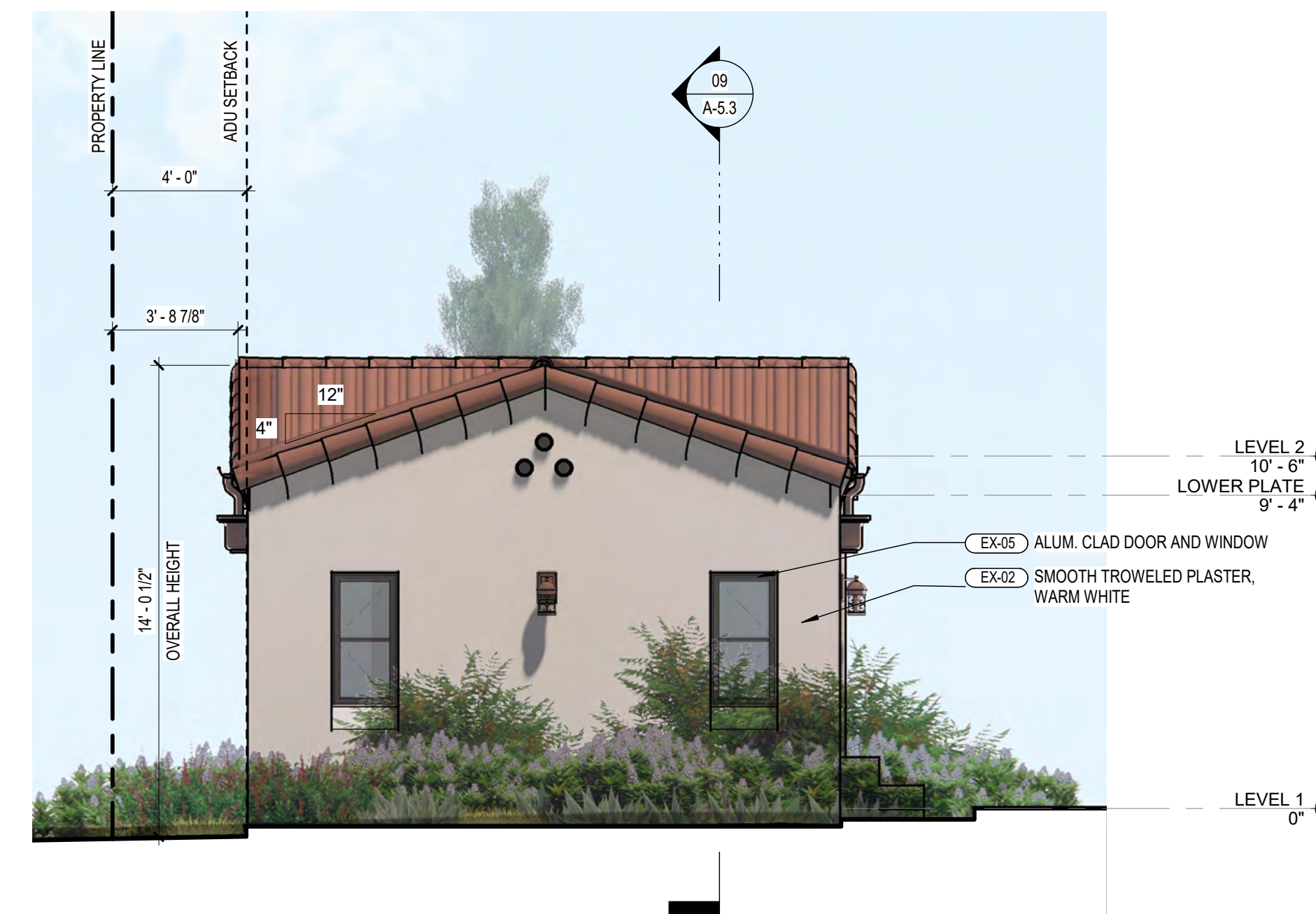
DATE 4/22/2024

SHEET NO.

A-3.2



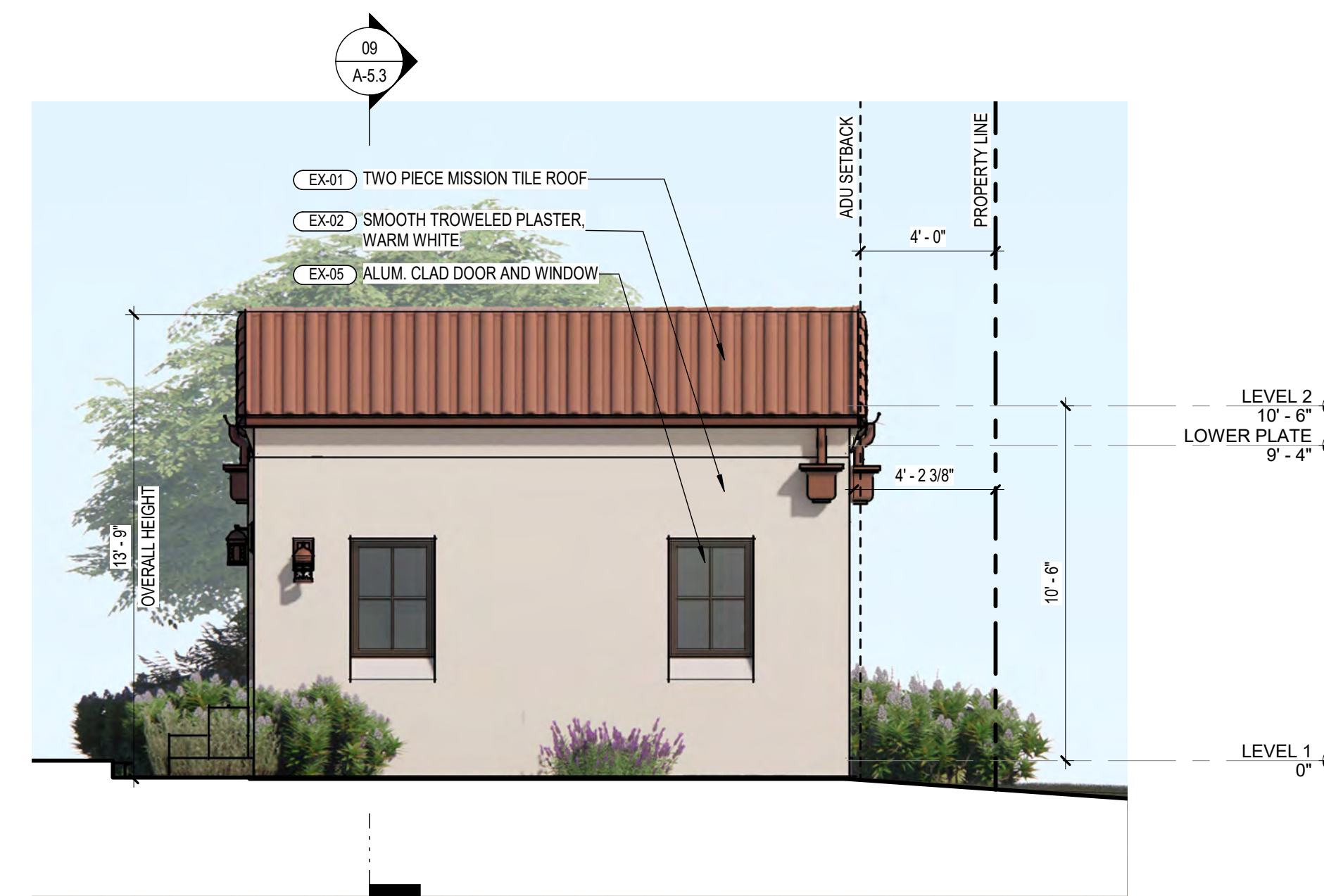
ADU EAST ELEVATION 01
SCALE: 1/4" = 1'-0"



ADU NORTH ELEVATION 02
SCALE: 1/4" = 1'-0"



ADU WEST ELEVATION 03
SCALE: 1/4" = 1'-0"



ADU SOUTH ELEVATION 04
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH & MATERIAL INDEX	
TAG	DESCRIPTION
EX-01	2 PIECE MISSION TILE MANUFACTURER: REDLAND CLAY TILE, COLOR: CUSTOM MIX OLD HACIENDA SANDCAST & ATIGUA SANDCAST BLENDS
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EX-03	EXPOSED HEAVY TIMBER WOOD FRAMING STAIN COLOR: CABOT STAIN, BARK
EX-04	STEEL GUARDRAIL/HANDRAIL COLOR: BLACK
EX-05	METAL DOORS & WINDOWS, METAL WORKS COLOR: DARK BRONZE
EX-06	GUTTER AND DOWNSPOUT MATERIAL: COPPER W/ LEADER HEAD & CONCEALED DOWNSPOUT
EX-07	WOOD SIDING MATERIAL: STAINED SIDING, CABOT STAIN BARK

NOTE: CONTRACTOR TO PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING

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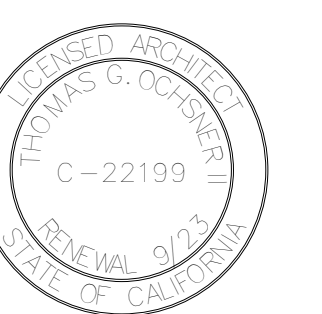
NEW
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DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

ADU
EXTERIOR
ELEVATIONS

REVISIONS



PROJECT NAME NEW RESIDENCE &
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DATE DRAWN

DATE 4/22/2024

SHEET NO.



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NEW
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1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

COMBINED
ELEVATIONS

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 04/22/24

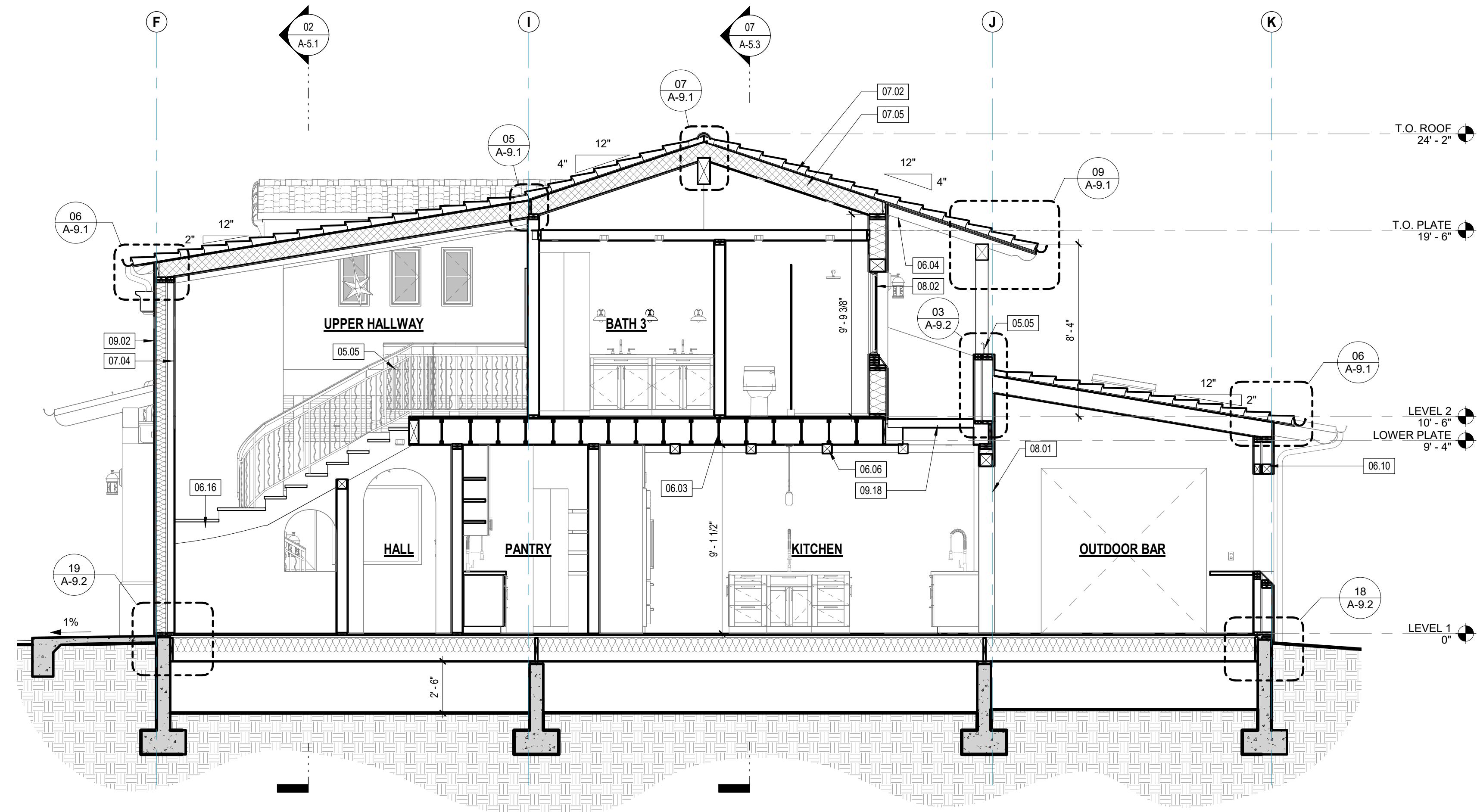
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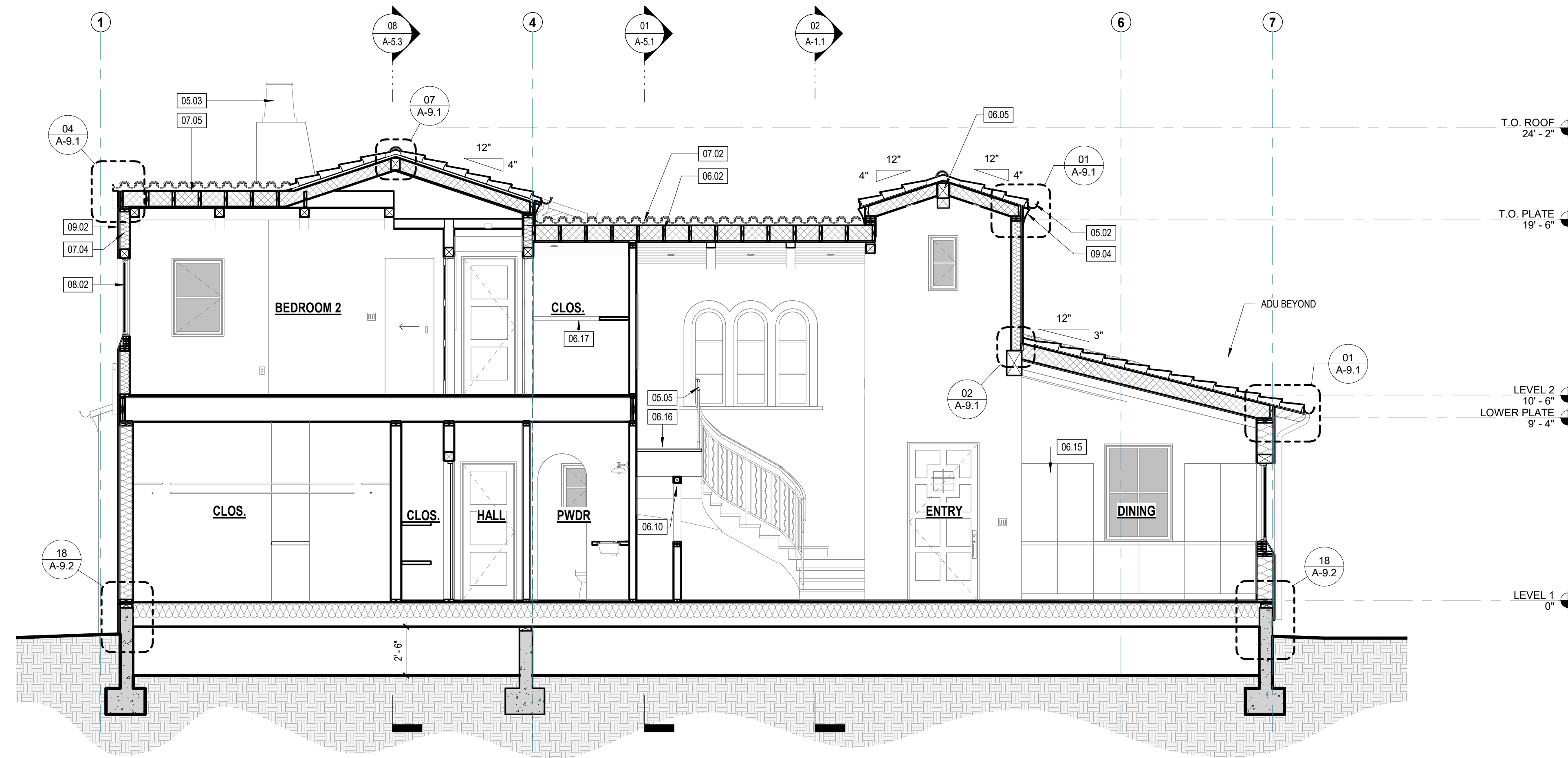
NORTH ELEVATION WITH ADU
NOT TO SCALE



EAST ELEVATION WITH ADU
NOT TO SCALE



SECTION THROUGH KITCHEN 01
SCALE: 1/4" = 1'-0"



SECTION THROUGH DINING ROOM 02
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH & MATERIAL INDEX	
TAG	DESCRIPTION
EX-01	2 PIECE MISSION TILE MANUFACTURER: REDLAND CLAY TILE. COLOR: CUSTOM MIX OLD HACIENDA SANDCAST & ATIGUA SANDCAST BLENDS
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EX-06	GUTTER AND DOWNSPOUT MATERIAL: COPPER W/ LEADER HEAD & CONCEALED DOWNSPOUT
EX-07	WOOD SIDING MATERIAL: STAINED SIDING, CABOT STAIN, BARK

NOTE: CONTRACTOR TO PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING

KEYNOTES	
KEY VALUE	KEYNOTE TEXT
05.02	6" HALF ROUND COPPER GUTTER W/ 3" DOWNSPOUT. PAINT PER MATERIAL SCHEDULE. PROVIDE GUTTER GUARD PER CRC R327, TYP. CONNECT TO SURFACE WATER RUN-OFF DRAINAGE SYSTEM PER CIVIL.
05.03	CUSTOM METAL CHIMNEY CAP
05.05	42" HIGH STEEL GUARDRAIL. SEE DETAILS
06.02	ROOF FRAMING. SEE STRUCTURAL
06.03	FLOOR FRAMING. SEE STRUCTURAL
06.04	4#6 WOOD RAFTER TAILS
06.05	BEAM. SEE STRUCTURAL
06.06	6X6 DECORATIVE BOX BEAM. PROVIDE BLOCKING AS REQ. FOR INSTALLATION
06.10	ARCH FRAMING
06.15	FULL HEIGHT CABINETS. SEE INTERIOR ELEVATIONS
06.16	WOOD FRAMED STAIRS. SEE STRUCTURAL. TREAD AND RISER PER PLAN
06.17	WOOD SHELVING
07.02	CLASS A TWO PIECE MISSION TILE ROOF PER MATERIAL SCHEDULE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
07.04	R-19 BATT INSULATION. SEE TITLE 24 CALCULATIONS AND INSULATION SCHEDULE
07.05	R-30 CLOSED CELL SPRAY FOAM INSULATION. SEE TITLE 24 CALCULATIONS AND INSULATION SCHEDULE
08.01	STEEL DOOR PER SCHEDULE. SEE DETAILS AND TYPICAL FLASHING DETAILS ON SHEET A-5.3
08.02	STEEL WINDOW PER SCHEDULE. ALL WINDOWS TO BE NFRC LABELED. SEE DETAILS AND TYPICAL FLASHING DETAILS ON SHEET A-5.3
09.02	7/8" EXTERIOR PLASTER OVER WEATHER BARRIER. COLOR TO BE LESS THAN 30 LRV PER HOPE RANCH GUIDELINES. SEE MATERIAL SCHEDULE. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL
09.04	PLASTER EAVE
09.18	SKYLIGHT: 5" GLASS

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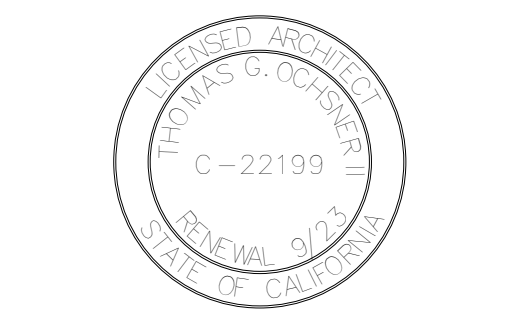
**NEW
RESIDENCE &
DETACHED ADU**

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

**BUILDING
SECTIONS**

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

A-5.1



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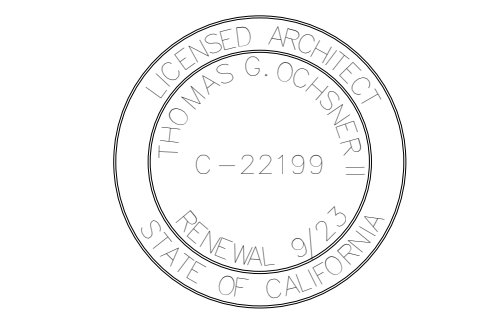
NEW
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BUILDING
SECTIONS

REVISIONS



PROJECT NAME NEW RESIDENCE &
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DATE DRAWN
DATE 4/22/2024
SHEET NO.

A-5.2

EXTERIOR FINISH & MATERIAL INDEX

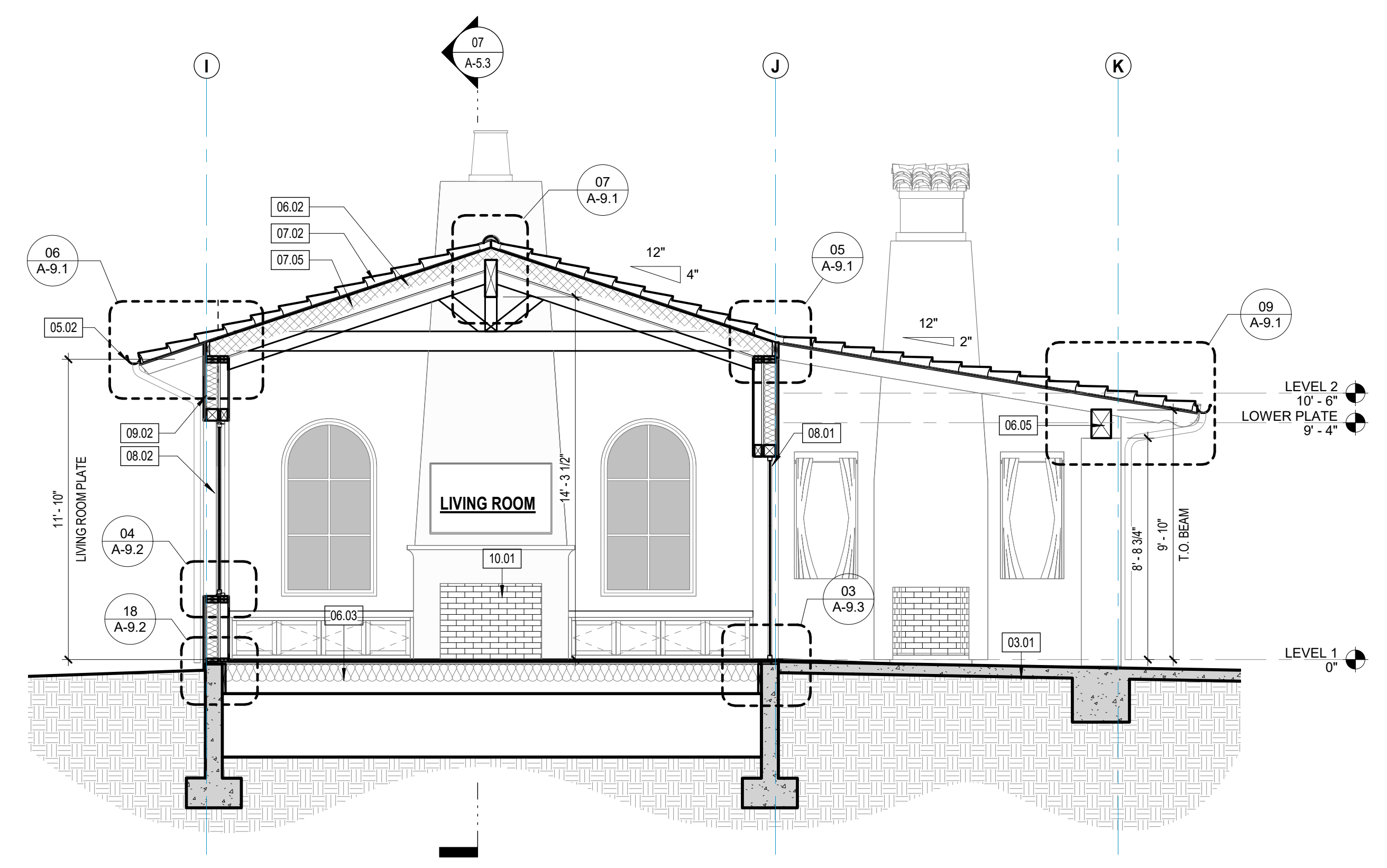
TAG	DESCRIPTION
EX-01	2 PIECE MISSION TILE MANUFACTURER: REDLAND CLAY TILE. COLOR: CUSTOM MIX OLD HACIENDA SANDCAST & ATIGUA SANDCAST BLENDS
EX-02	EXTERIOR PLASTER, SMOOTH TROWELED COLOR: LA HABRA - WHITE
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EX-07	WOOD SIDING MATERIAL: STAINED SIDING, CABOT STAIN BARK

NOTE: CONTRACTOR TO PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING

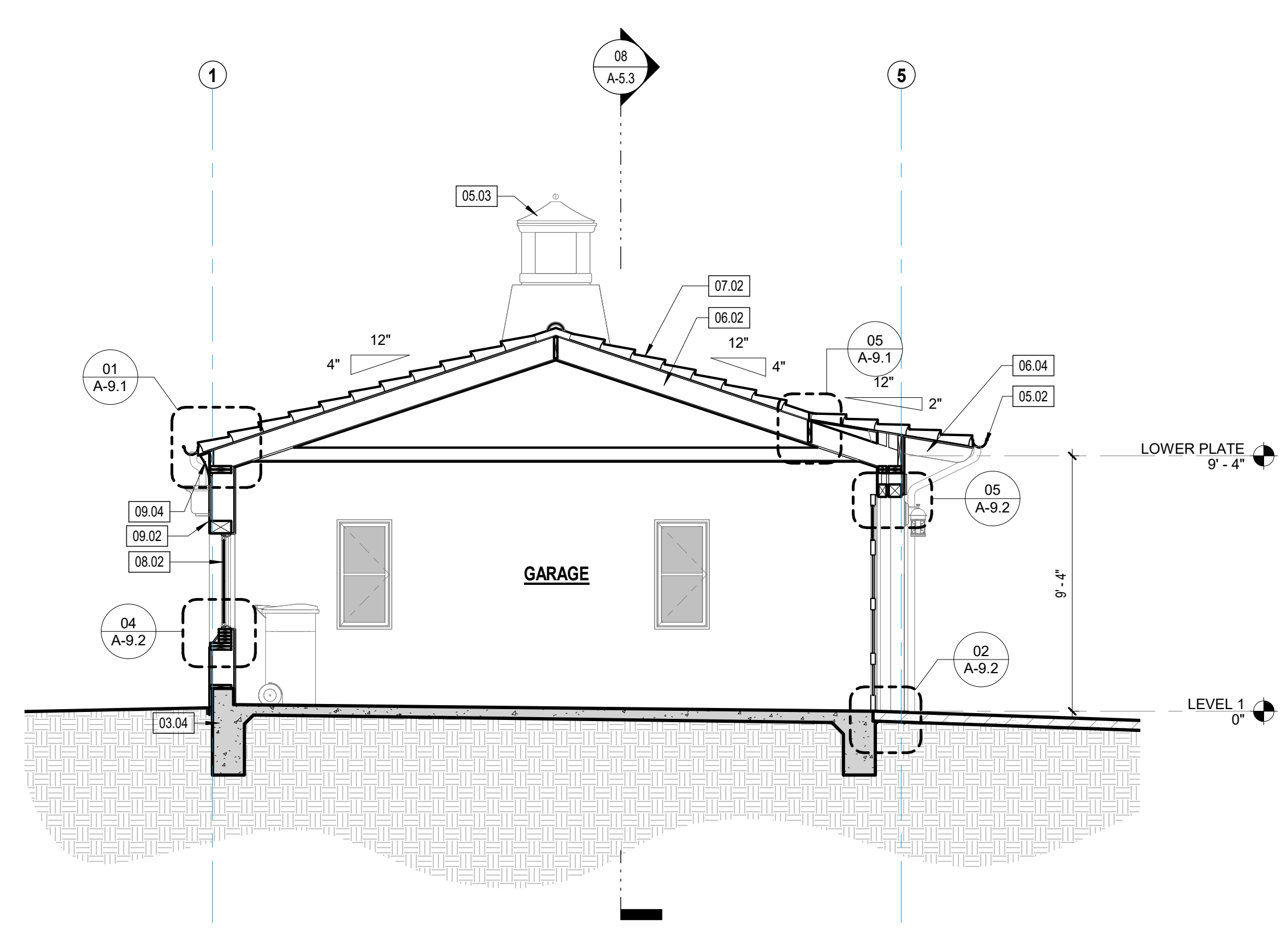
KEYNOTES

XXX KEYNOTE DESIGNATION

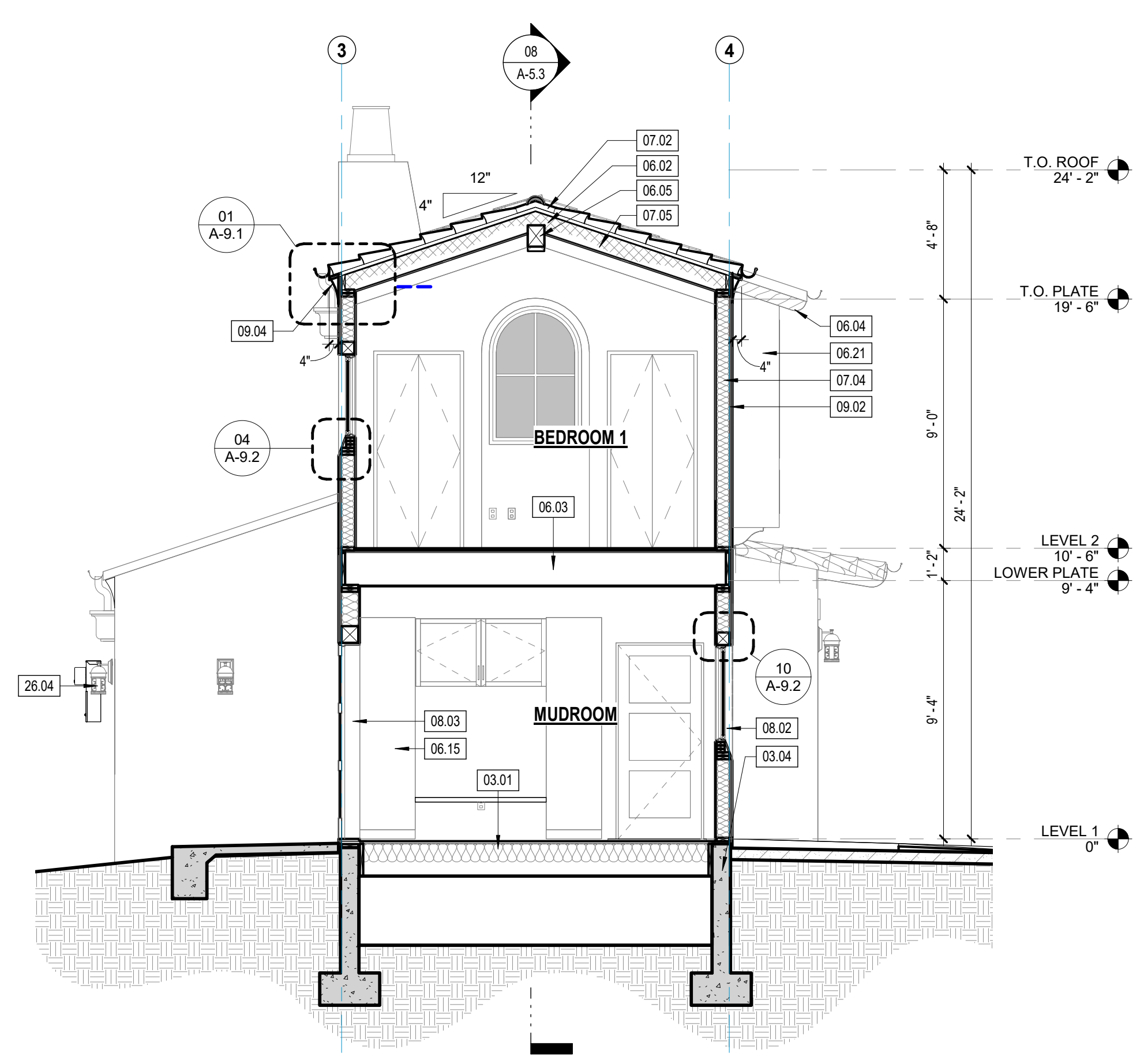
KEY VALUE	KEYNOTE TEXT
03.01	CONCRETE SLAB ON GRADE OVER 10 MIL. STEGO WRAP OVER 4" GRAVEL BASE. SEE STRUCTURAL.
03.04	CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
05.02	6" HALF ROUND COPPER GUTTER W/ 3" DOWNSPOUT. PAINT PER MATERIAL SCHEDULE. PROVIDE GUTTER GUARD PER CRC R327, TYP. CONNECT TO SURFACE WATER RUN-OFF DRAINAGE SYSTEM PER CIVIL.
05.03	CUSTOM METAL CHIMNEY CAP
05.05	42" HIGH STEEL GUARDRAIL. SEE DETAILS
06.02	ROOF FRAMING. SEE STRUCTURAL
06.03	FLOOR FRAMING. SEE STRUCTURAL
06.04	4x6 WOOD RAFTER TAILS
06.05	BEAM. SEE STRUCTURAL
06.15	FULL HEIGHT CABINETS. SEE INTERIOR ELEVATIONS
06.21	EXTERIOR WOOD PANELING. INSTALL OVER 1/2" EXTERIOR GYPSUM SHEATHING
07.02	CLASS A TWO PIECE MISSION TILE ROOF PER MATERIAL SCHEDULE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
07.04	R-19 BATT INSULATION. SEE TITLE 24 CALCULATIONS AND INSULATION SCHEDULE
07.05	R-30 CLOSED CELL SPRAY FOAM INSULATION. SEE TITLE 24 CALCULATIONS AND INSULATION SCHEDULE
08.01	STEEL DOOR PER SCHEDULE. SEE DETAILS AND TYPICAL FLASHING DETAILS ON SHEET A9.3
08.02	STEEL WINDOW PER SCHEDULE. ALL WINDOWS TO BE NFRC LABELED. SEE DETAILS AND TYPICAL FLASHING DETAILS ON SHEET A9.3
08.03	SOLID CORE WOOD DOOR PER SCHEDULE
09.02	7/8" EXTERIOR PLASTER OVER WEATHER BARRIER. COLOR TO BE LESS THAN 80 LRV PER HOPE RANCHO GUIDELINES. SEE MATERIAL SCHEDULE. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.
09.04	PLASTER EAVE
10.01	MONTIGO H42 GAS ONLY FIREBOX WITH CLOSABLE GLASS DOORS. FIREBOX, TESTED TO ANSI Z21 50/CSA 2.22 STANDARDS. FACTORY BUILT FIREPLACES AND CHIMNEYS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTINGS AND THE MANUFACTURER'S INSTRUCTIONS. CONFORM TO THE MANUFACTURER'S CLEARANCE REQUIREMENTS TO COMBUSTIBLE MATERIALS, AND PROVIDE SCREEN AND DIRECT VENTING. CMG R10.2, R07.3, CRO R100.4
10.05	EXTERIOR FIREPLACE, OUTDOOR LIFESTYLES VILLAWOOD, UL LISTED UL127, SEE SHEET T-1.8
26.04	EXTERIOR WALL MOUNTED SCIENCE LIGHT. SEE LIGHTING AND ELECTRICAL PLANS. DARK SKY COMPLIANT MODEL APPROVED BY PLANNING DEPARTMENT.



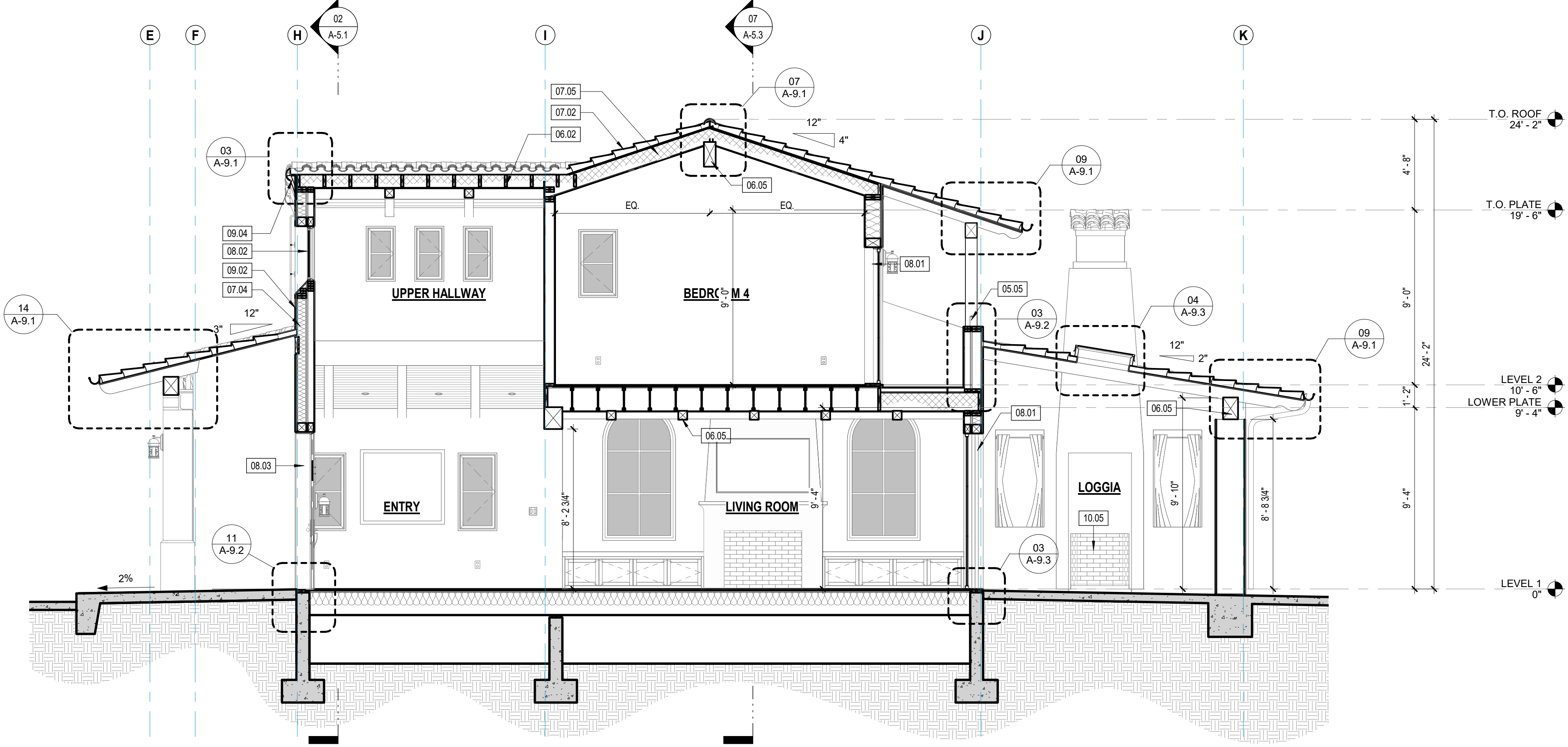
SECTION THROUGH LIVING ROOM 03
SCALE: 1/4" = 1'-0"



SECTION THROUGH GARAGE 04
SCALE: 1/4" = 1'-0"



SECTION THROUGH MUDROOM AND BEDROOM 05
SCALE: 1/4" = 1'-0"



SECTION THROUGH ENTRY 06
SCALE: 1/4" = 1'-0"



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PROJECT

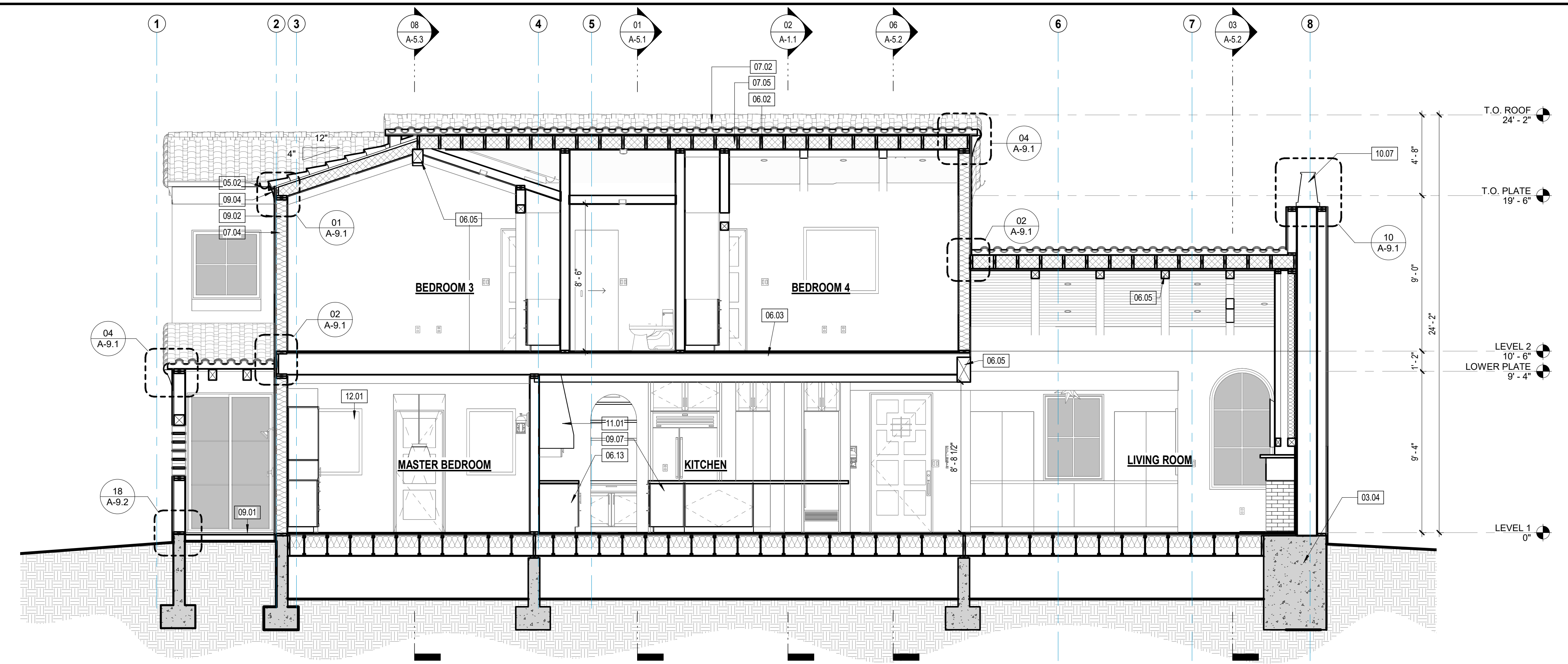
**NEW
RESIDENCE &
DETACHED ADU**

1553 SHORELINE DRIVE
SANTA BARBARA, CA

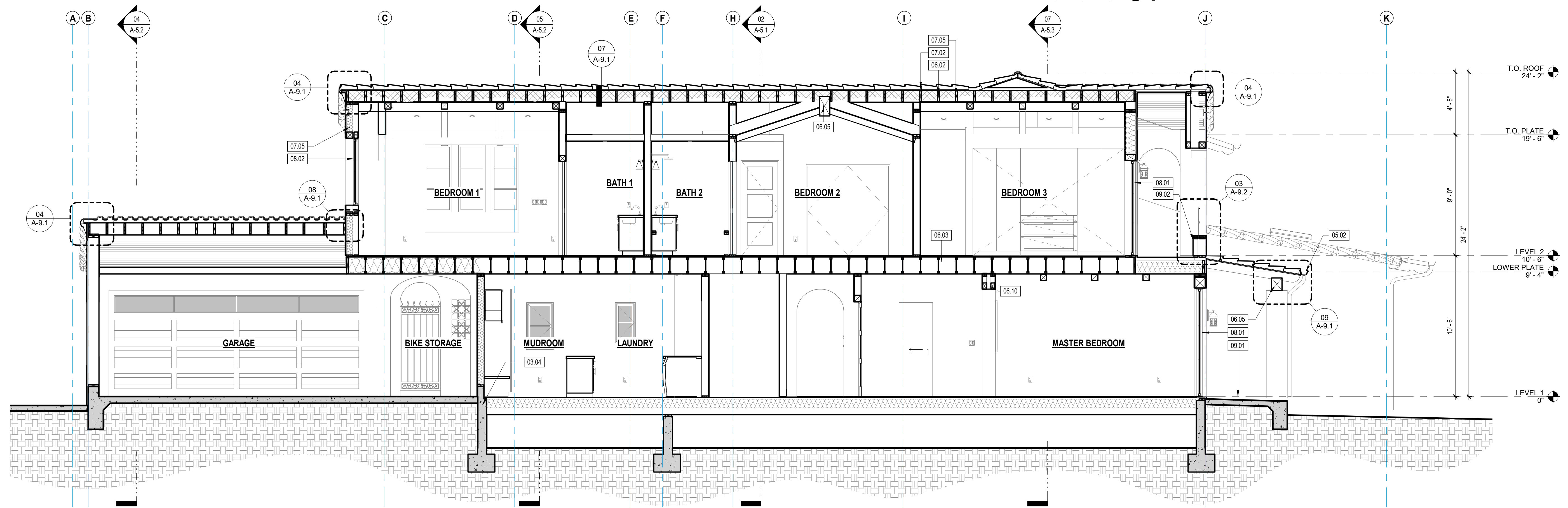
SHEET TITLE

**BUILDING
SECTIONS**

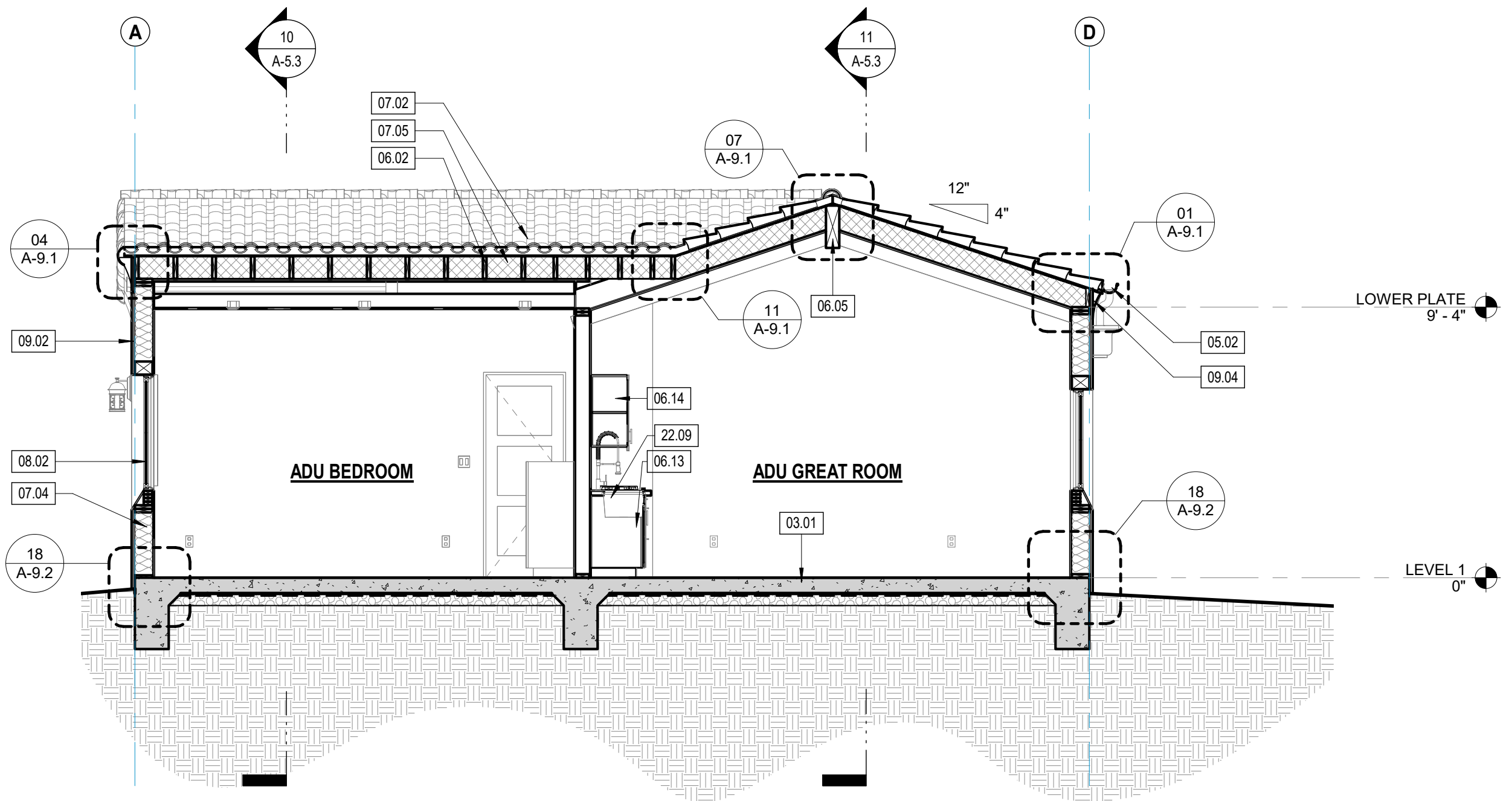
REVISIONS



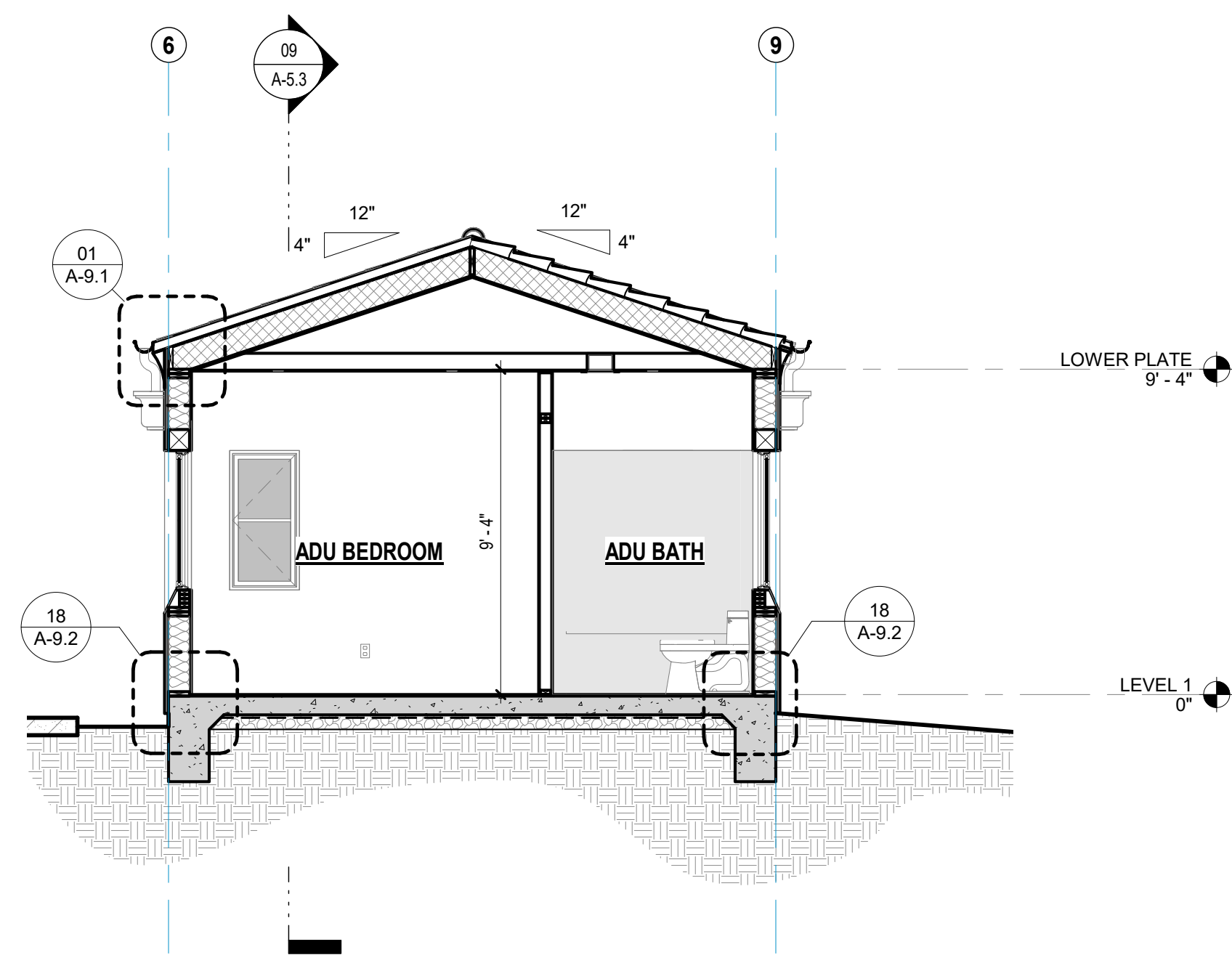
SECTION THROUGH MASTER BEDROOM AND LIVING AREA **07**
SCALE: 1/4" = 1'-0"



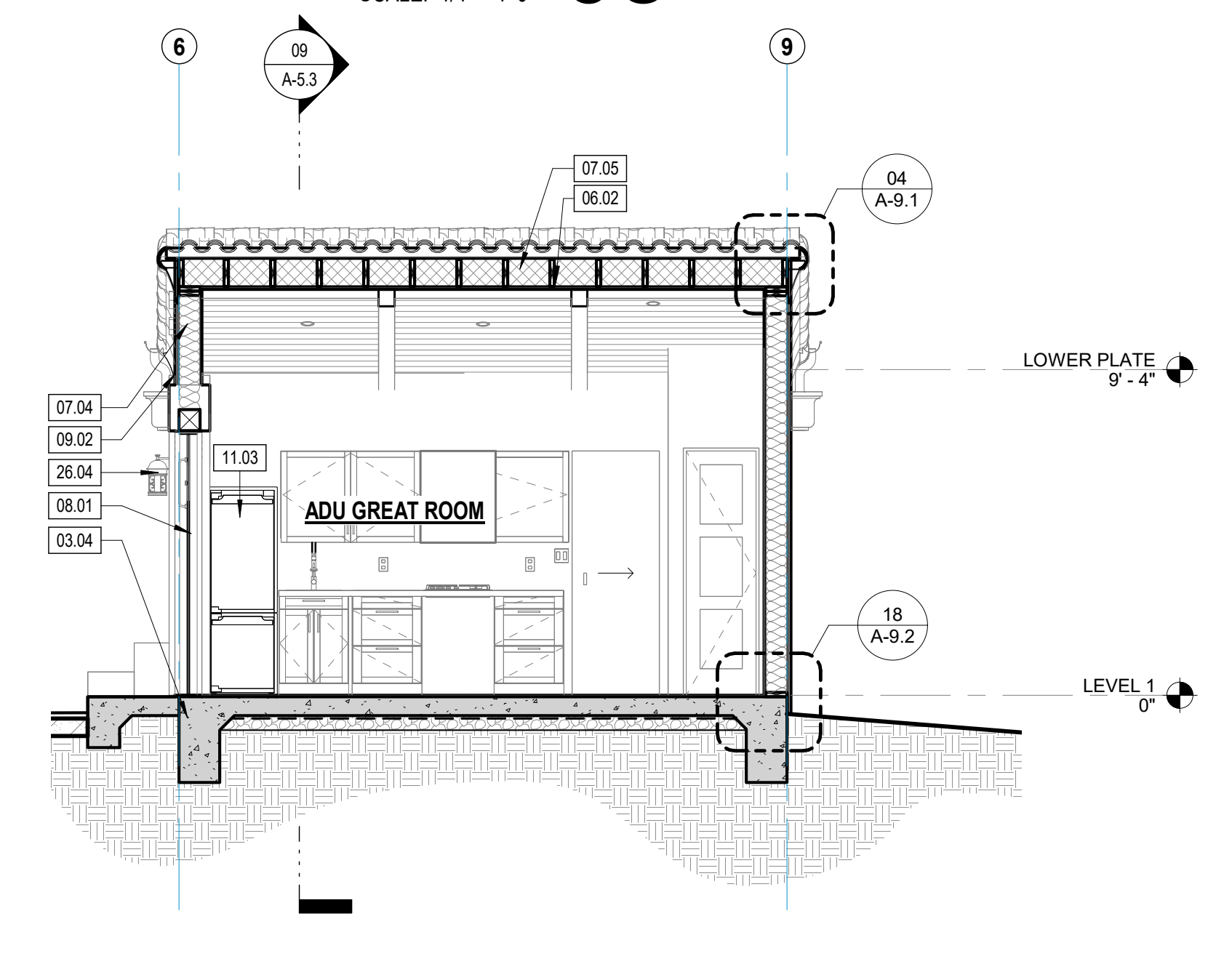
SECTION THROUGH WESTERY WING **08**
SCALE: 1/4" = 1'-0"



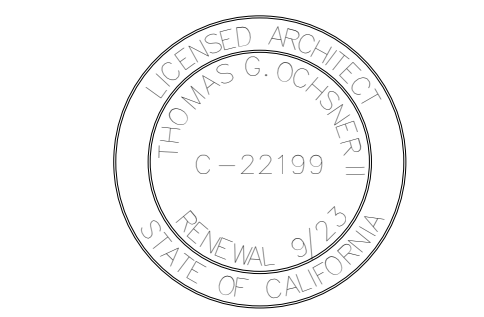
ADU SECTION **09**
SCALE: 1/4" = 1'-0"



ADU SECTION THROUGH LIVING ROOM **10**
SCALE: 1/4" = 1'-0"



ADU SECTION THROUGH LIVING ROOM **11**
SCALE: 1/4" = 1'-0"



PROJECT NAME NEW RESIDENCE &
DETACHED ADU
DATE DRAWN
DATE 4/22/2024
SHEET NO.

A-5.3



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**NEW
RESIDENCE &
DETACHED ADU**

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

**DOOR
SCHEDULE**

REVISIONS

Rev 1 CONCEPTUAL DESIGN REVIEW



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

A-8.1

GENERAL NOTES - DOORS

- REFER TO PLAN DRAWINGS FOR DOOR SWING.
- ALL GLAZING IN DOORS TO BE TEMPERED.
- FIELD VERIFY ALL CONDITIONS FOR PLACEMENT, SIZE, AND DETAILS.
- PER CRC 308.4.1, ALL GLAZING IN STALLED IN HAZARDOUS LOCATIONS TO BE SAFETY GLASS.
- UNDERCUT DOOR FOR MINIMUM CLEARANCE ABOVE FLOOR FINISH.
- PROVIDE DOOR SCHEDULE SHOP DRAWINGS AND HARDWARE SPECIFICATIONS FOR ARCHITECT'S APPROVAL.
- PER CRC 302.5.1 OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH SELF-CLOSING OR AUTOMATIC-CLOSING AND SELF-LATCHING DEVICE.

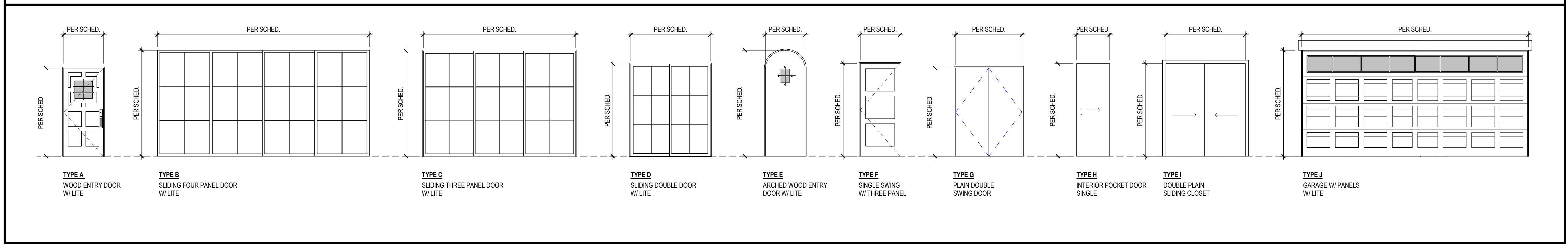
EXCEPTION: WHERE THE RESIDENCE AND THE PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTIONS R309.6 AND R313, OTHER DOOR OPENINGS BETWEEN THE PRIVATE GARAGE AND THE RESIDENCE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. THIS EXCEPTION SHALL NOT APPLY TO ROOMS USED FOR SLEEPING PURPOSES.

DOOR/WINDOW ABBREVIATIONS

ALUM = ALUMINUM	BF = BIFOLD	CL = CLOSET	GL = GLASS	HOW = HOLLOW CORE WOOD	HM = HOLLOW METAL	CF = CLEAR FINISH	CP = COPPER	CSMT = CASEMENT	FA = FACTORY	FX = FIXED	HOG = HDG	LG = LAMINATED GLASS	MANUF = MANUFACTURED	CLRANNOZ = CLEAR ANODIZED	P = PAINT	PH = PANIC HARDWARE	PR = PAIR	GL = GLASS	FF = PRE-FINISHED	RM = REMOVABLE MULLION	RO = ROUGH OPENING	SOW = SOLID CORE WOOD	STL = STEEL	T = TEMPERED	TR = TERRACE	VGSF = VERTICAL GRAN DOUGLAS	WD = FIR	SS = WOOD	ST = SMOKE SEAL	§ = SECURITY PROVISIONS APPLY
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NUMBER	DOOR TYPE	DOOR PANEL				FRAME		ENERGY		MANUFACTURER	HARDWARE GROUP	COMMENTS	NUMBER AGAIN
		WIDTH	HEIGHT	THICKNESS	FINISH	MATERIAL	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH				
101	A	3'-0"	8'-0"	1 3/8"	STAINED WD	SOLID CORE WD.	SINGLE PANE	WOOD	STAINED	TBO		101	
102	B	2'-0"	8'-0"	2"	DARK BRONZE ALUM.	STEEL	DUAL, INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.	102
103	F	2'-8"	8'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		103	
104	R	9'-0"	8'-0"	1 3/4"	DARK BRONZE ALUM.	STEEL	DUAL, INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.	104
105	D	4'-10"	8'-0"	1 3/4"	DARK BRONZE ALUM.	STEEL	DUAL, INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.	105
106	G	5'-0"	8'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		106	
107	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		107	
108	J	19'-0"	8'-0"		STAINED WD.	SOLID CORE WD.	SINGLE PANE	WOOD	STAINED	TBO		108	
109	F	3'-0"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		109	
110	F	3'-0"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		110	
111	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		111	
112	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		112	
113	Q	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		113	
114	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		114	
115	H	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		115	
116	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		116	
117	H	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		117	
118	G	4'-0"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		118	
119	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		119	
120	E	3'-6"	8'-0"	2"	STAINED WD.	SOLID CORE WD.	SINGLE PANE	WOOD	STAINED	TBO		120	
121	H	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		121	
122	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		122	
123	F	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		123	
124	I	5'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		124	
125	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		125	
201	D	10'-0"	7'-0"	1 3/4"	DARK BRONZE ALUM.	STEEL	DUAL, INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.	201
202	D	10'-0"	7'-0"	1 3/4"	DARK BRONZE ALUM.	STEEL	DUAL, INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.	202
203	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		203	
206	H	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		206	
207	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		207	
208	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		208	
211	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		211	
212	S	6'-0"	6'-8"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		212	
213	H	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		213	
215	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		215	
216	F	2'-8"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		216	
217	H	2'-6"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		217	
218	G	3'-0"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		218	
219	G	3'-0"	7'-0"	1 3/8"	STAINED WD.	SOLID CORE WD.	N/A	WOOD	STAINED	TBO		219	

DOOR PANEL TYPES





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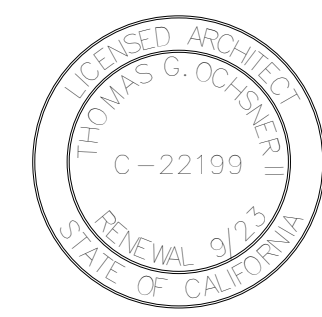
NEW
RESIDENCE &
DETACHED ADU

1553 SHORELINE DRIVE
SANTA BARBARA, CA

SHEET TITLE

WINDOW
SCHEDULE

REVISIONS



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

DATE DRAWN

DATE 4/22/2024

SHEET NO.

A-8.2

GENERAL NOTES - WINDOWS

- SIZES ARE NOMINAL. ALL OPENINGS SHALL BE FIELD MEASURE AND VERIFIED WITH SHOP DRAWINGS PRIOR TO FABRICATION.
- PER 2016 CRC SEC. R308, ALL GLAZING, OPERABLE OR NONOPERABLE, ADJACENT TO A DOOR IN ALL BUILDINGS AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN 12" OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 67" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE TEMPERED PER UBC SEC. 54. GLAZING IN FIXED PANELS OTHER THAN THOSE COVERED BY ITEM 6 WHICH HAVE A GLAZED AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWEST EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING SHALL BE TEMPERED PER CRC SEC. R308.
- SEE DETAILS FOR INSTALLATION DETAILS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION AS REQUIRED.
- CONTRACTOR TO VERIFY WALL THICKNESS & COORDINATE JAMB WIDTH ACCORDINGLY.
- PER CRC SEC. R308, ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLASS. THE SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING SHALL BE PER CRC SEC. R308.
- FIELD VERIFY ALL WINDOW DIMENSION ROUGH OPENINGS. VERIFY DIMENSIONS WITH HEAD, JAMB, SILL & DETAILS.
- PER CRC SEC. R308, PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOM(S). NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 sq. ft. MIN NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR. MIN NET WINDOW OPENING WIDTH, 20" CLEAR. FINISHED SILL HEIGHT MAX 44" ABOVE FLOOR PER CBC 1029.
- ALL WINDOW SYSTEMS SHALL MEET TITLE 24 REQUIREMENTS SHGC AND U-VALUE.

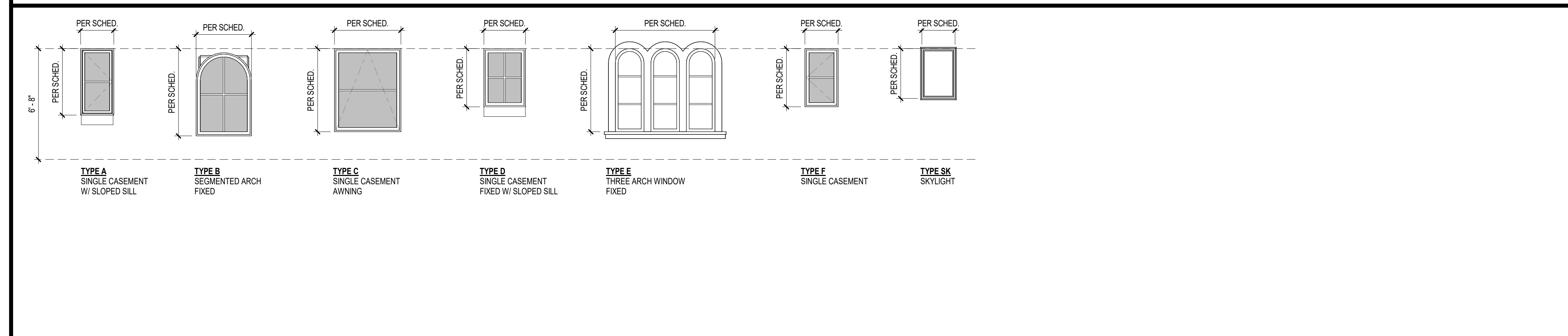
DOOR/WINDOW ABBREVIATIONS

ALUM = ALUMINUM	P = PAINT
BF = BIFOLD	PH = PANIC HARDWARE
CL = CLOSET	PR = PAIR
GL = GLASS	PF = PRE-FINISHED
HCW = HOLLOW CORE WOOD	RM = REMOVABLE MULLION
HM = HOLLOW METAL	RO = ROUGH OPENING
CF = CLEAR FINISH	SCW = SOLID CORE WOOD
CP = COPPER	STL = STEEL
CSMT = CASEMENT	T = TEMPERED
FA = FACTORY	TR = TERRACE
FD = FIXED	VGD = VERTICAL GRAN DOUGLAS
HG = HDG	WD = FIR
LG = LAMINATED GLASS	WS = WOOD
MANUF = MANUFACTURED	ST = SMOKE SEAL
CLRANOD = CLEAR ANODIZED	§ = STAIN SECURITY PROVISIONS APPLY

WINDOW SCHEDULE

MARK	TYPE	WINDOW OPENING		HEAD HEIGHT	GLAZING TYPE	WINDOW FRAME		ENERGY		MANUFACTURER	COMMENTS	MARK AGAIN
		HEIGHT	WIDTH			FRAME MATERIAL	FRAME FINISH	SGHC	U-VALUE			
LEVEL 1												
01	D	5'-0"	3'-6"	8'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		01
02	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		02
03	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		03
04	B	7'-0"	3'-9"	9'-6"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		04
05	B	7'-0"	3'-9"	9'-6"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		05
06	B	7'-0"	3'-9"	9'-6"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		06
07	C	5'-0"	8'-0"	8'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		07
08	B	8'-0"	4'-6"	7'-8"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		08
09	B	5'-8"	4'-6"	7'-8"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		09
10	A	2'-6"	1'-4"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		10
11	D	3'-6"	2'-6"	8'-6"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		11
12	D	3'-6"	2'-6"	8'-6"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		12
13	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		13
14	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		14
15	A	3'-6"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		15
16	A	3'-0"	1'-6"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		16
17	A	2'-6"	1'-6"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		17
18	A	3'-0"	1'-6"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		18
19	D	4'-0"	4'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		19
20	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		20
21	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		21
22	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		22
23	D	3'-6"	2'-6"	8'-6"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		23
24	D	3'-6"	2'-6"	8'-6"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		24
25	A	3'-0"	1'-6"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		25
LEVEL 2												
26	E	5'-0"	6'-0"	4'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		26
27	A	2'-10"	1'-6"	8'-2"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		27
28	A	2'-10"	1'-6"	8'-2"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		28
29	A	2'-10"	1'-6"	8'-2"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		29
30	A	2'-10"	1'-6"	8'-2"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		30
31	F	3'-6"	2'-0"	8'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		31
32	G	4'-0"	5'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		32
33	A	3'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		33
34	A	3'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		34
35	D	4'-0"	4'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		35
36	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		36
37	A	4'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		37
38	A	4'-0"	2'-8"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		38
39	A	3'-0"	1'-6"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		39
40	A	3'-0"	1'-6"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		40
41	A	3'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		41
42	A	3'-0"	2'-0"	7'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		42
43	B	5'-0"	3'-4"	8'-9"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		43
44	F	5'-0"	7'-0"	4'-11 3/4"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		44
45	A	3'-0"	1'-6"	8'-0"	DUAL INSULATED	STEEL	DARK BRONZE	0.34	0.34	MASTER IRONWORKS OR APPROVED EQ.		45
SK1	SK	3'-0"	2'-0"		DUAL INSULATED	STEEL	DARK BRONZE	0.37	0.48	VELUX OR APPROVED EQ.		SK1
SK2	SK	3'-0"	2'-0"		DUAL INSULATED	STEEL	DARK BRONZE	0.37	0.48	VELUX OR APPROVED EQ.		SK2
SK3	SK	3'-0"	2'-0"		DUAL INSULATED	STEEL	DARK BRONZE	0.37	0.48	VELUX OR APPROVED EQ.		SK3
SK4	SK	3'-0"	2'-0"		DUAL INSULATED	STEEL	DARK BRONZE	0.37	0.48	VELUX OR APPROVED EQ.		SK4

WINDOW TYPES



PROJECT NAME NEW RESIDENCE &
DETACHED ADU

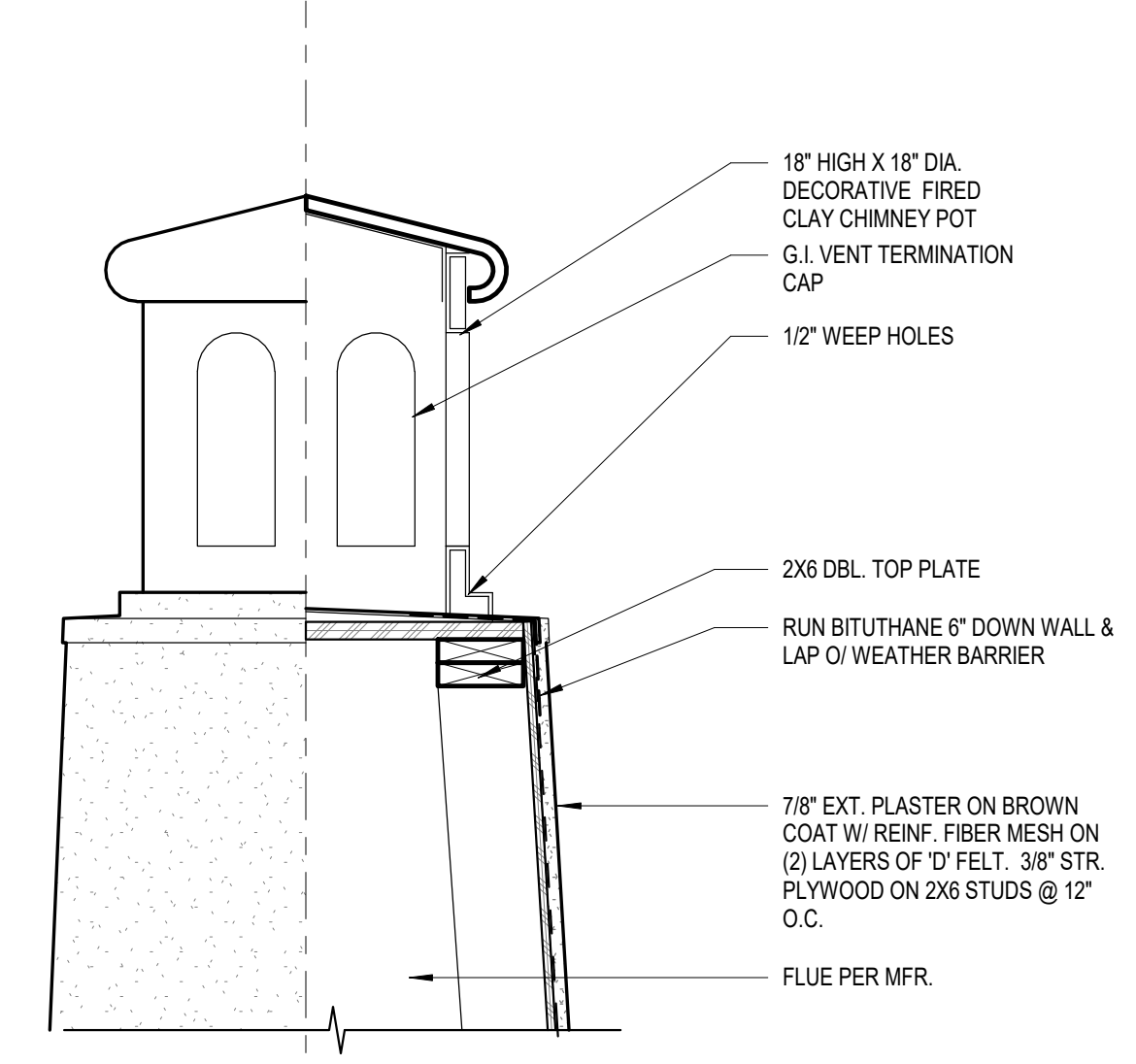
DATE DRAWN

DATE 4/22/2024

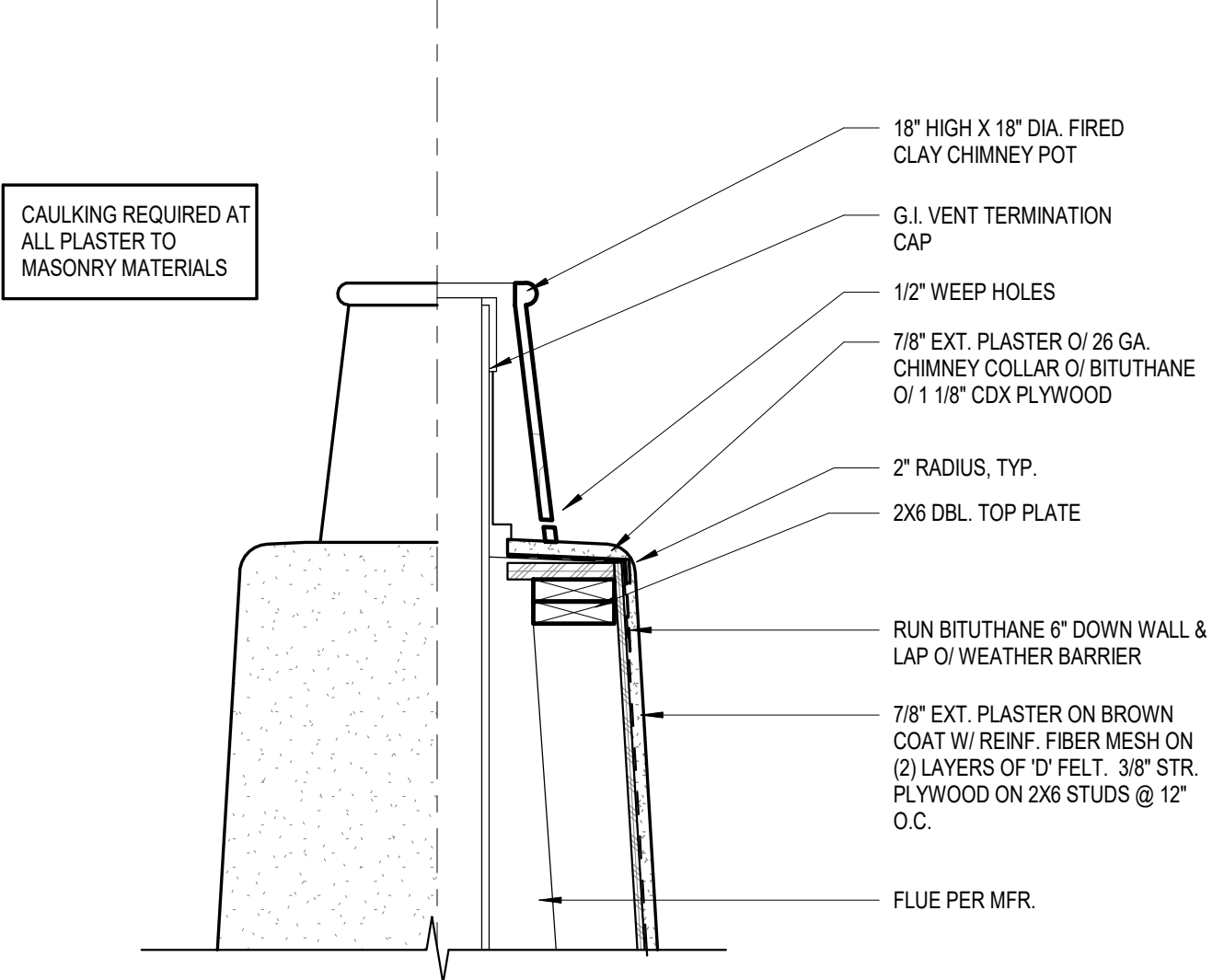
SHEET NO.

A-8.2

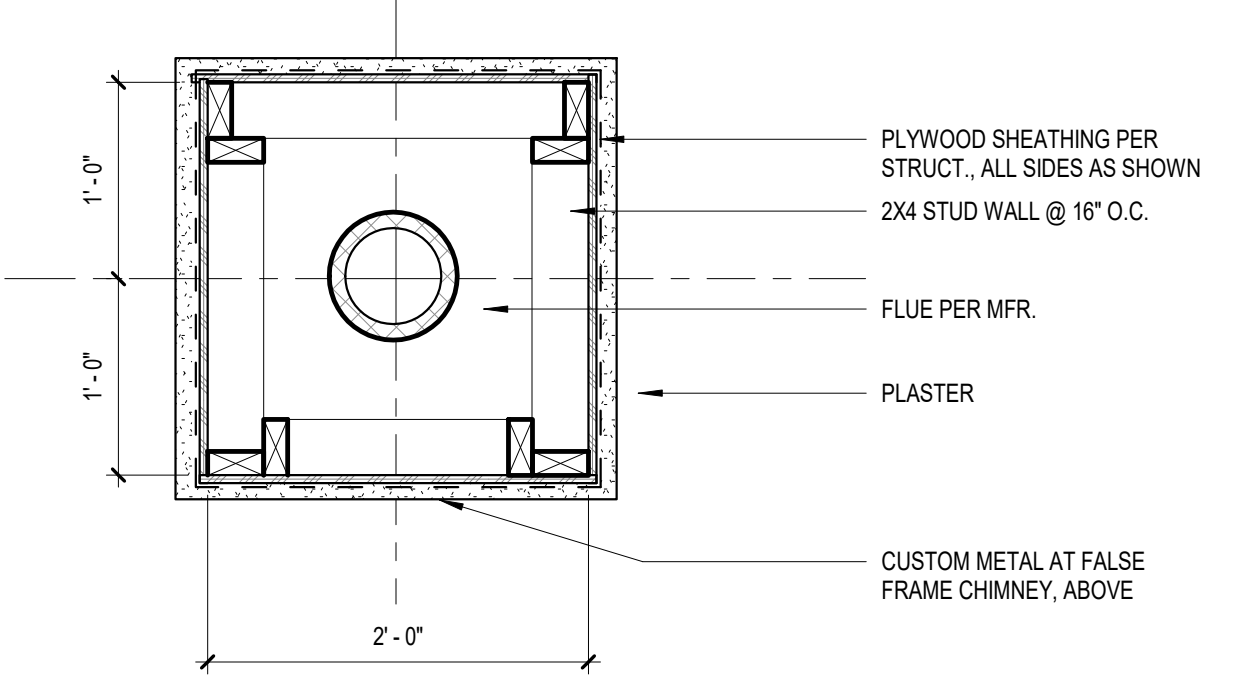
ELEVATION / SECTION



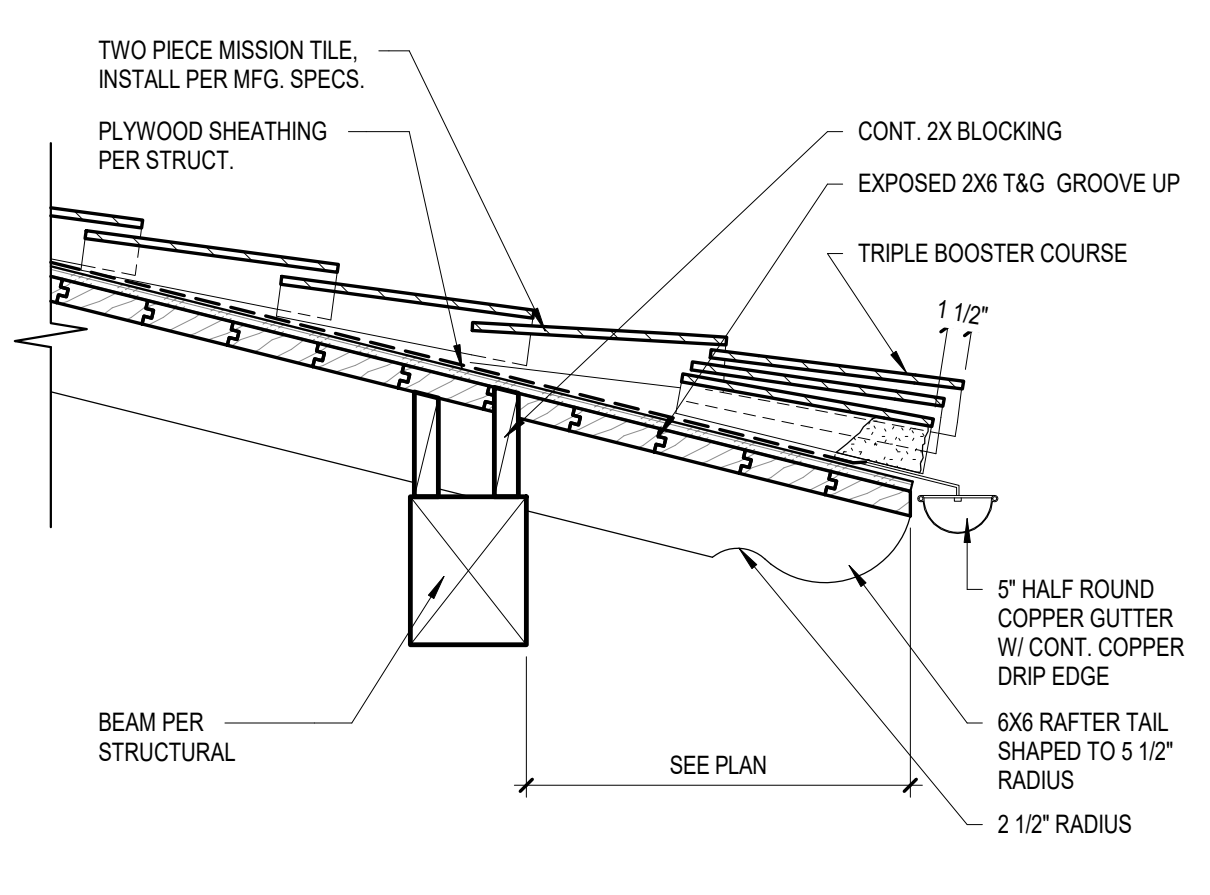
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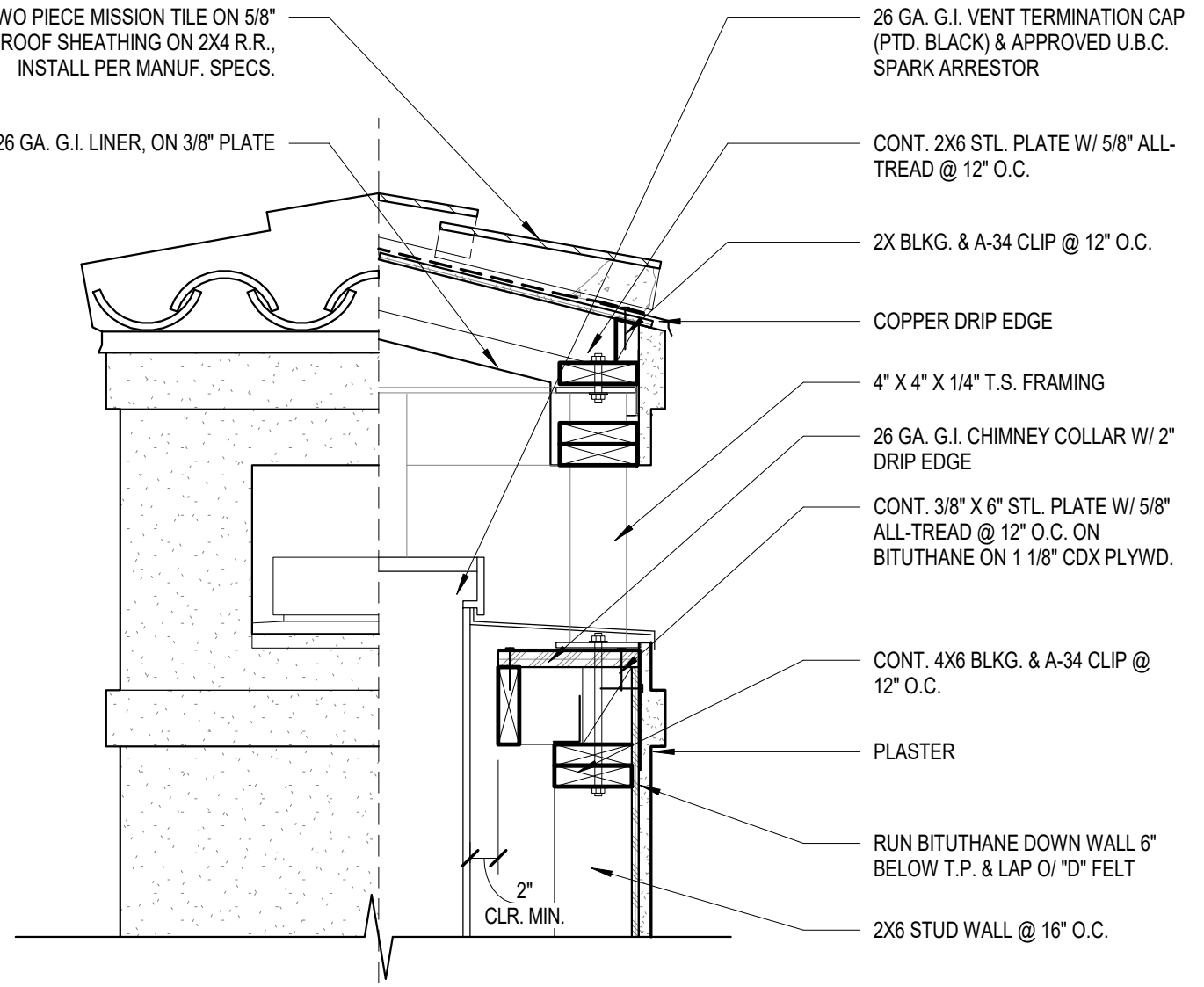
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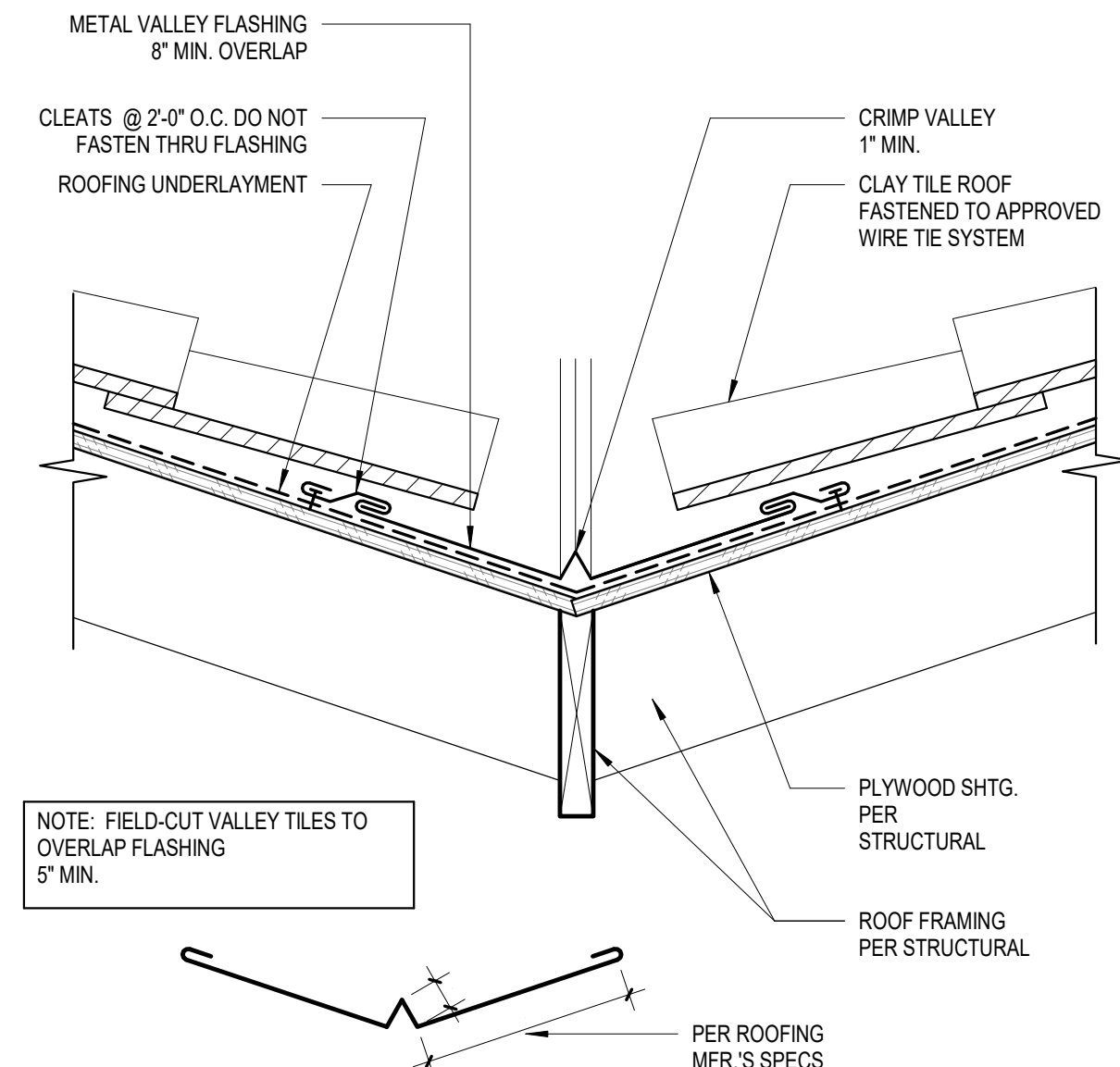
10 TYPICAL CHIMNEY CAP
1" = 1'-0"



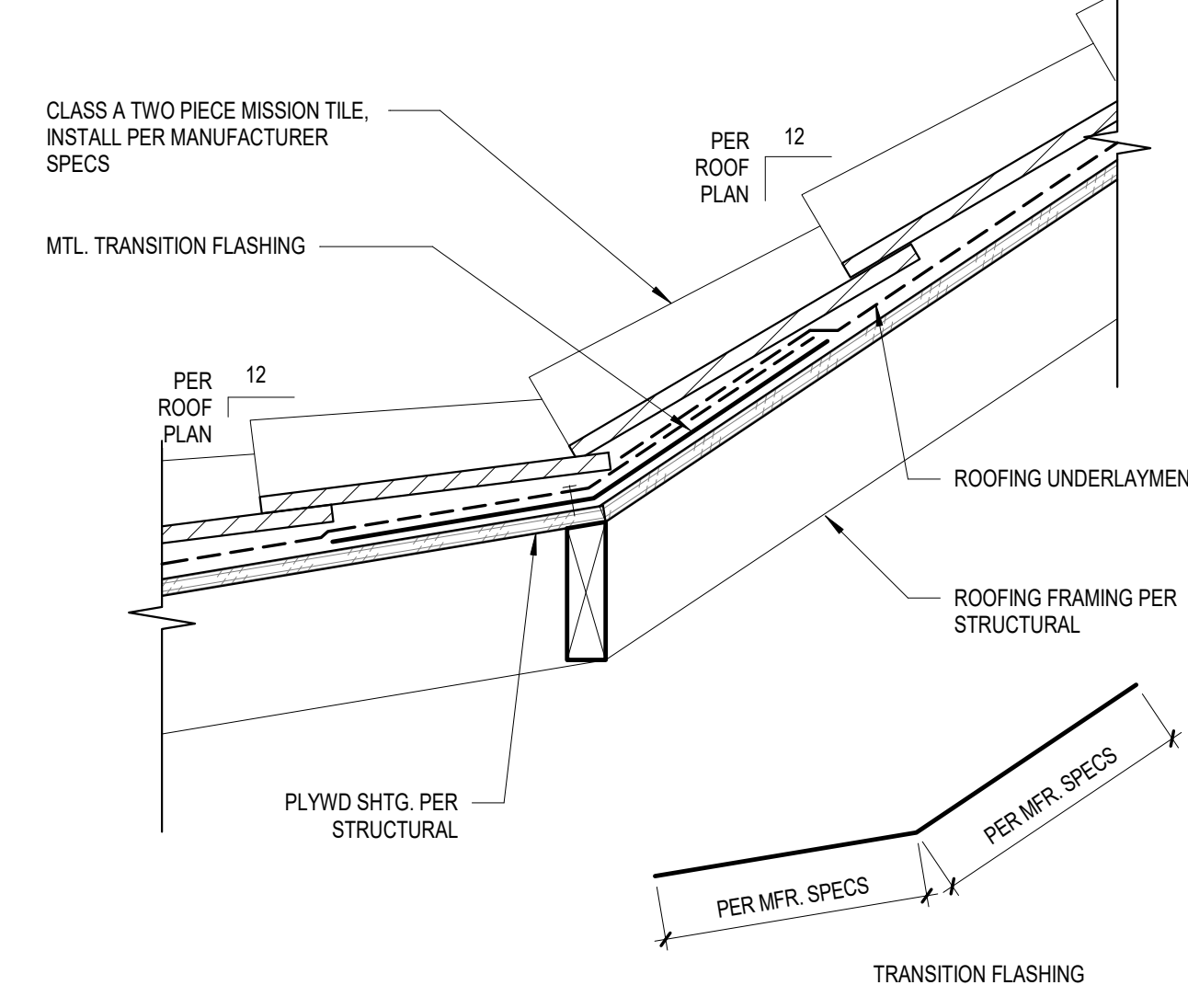
09 EAVE AT COVERED DECK
1 1/2" = 1'-0"



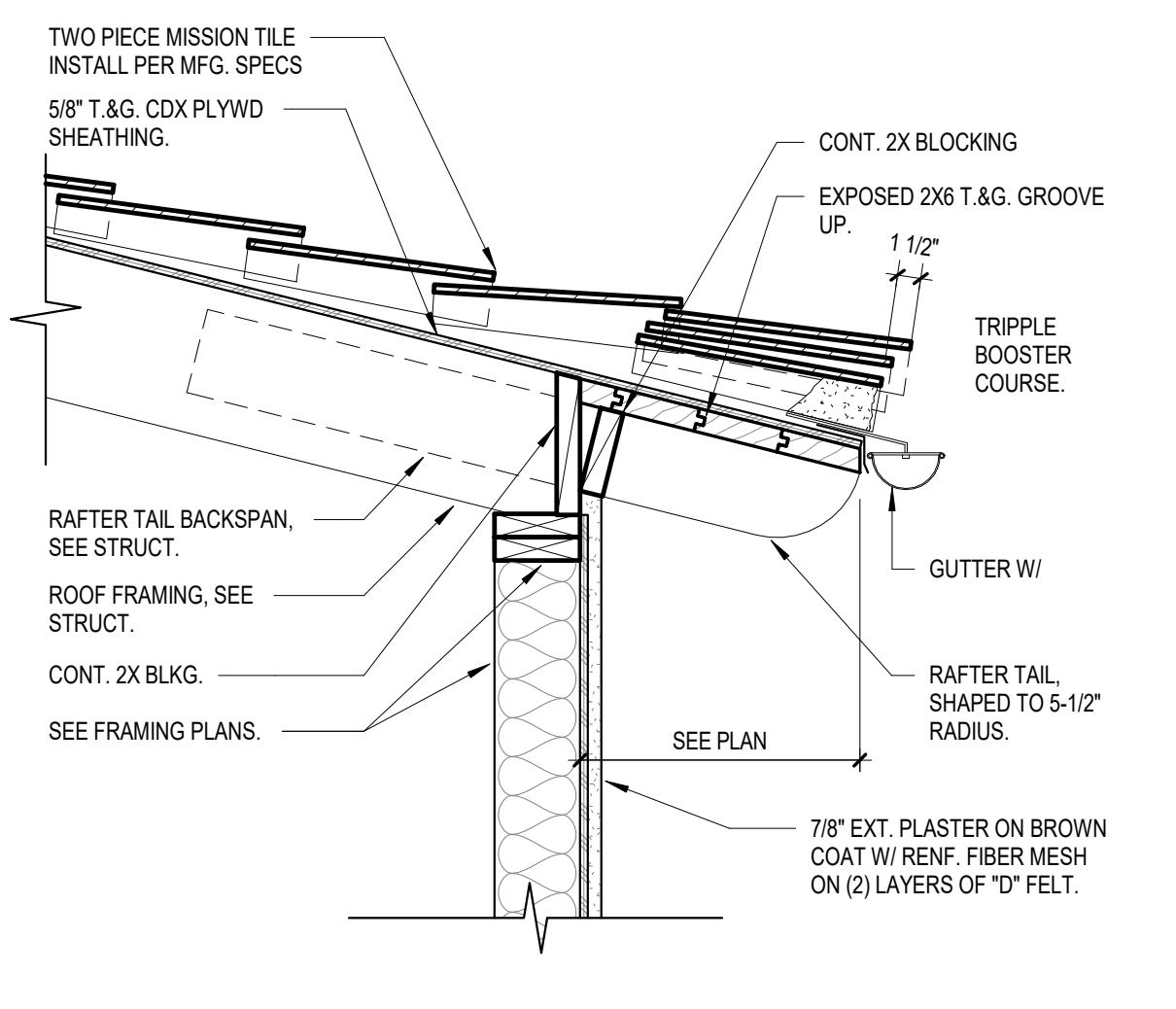
13 CHIMNEY CAP SECTION
1" = 1'-0"



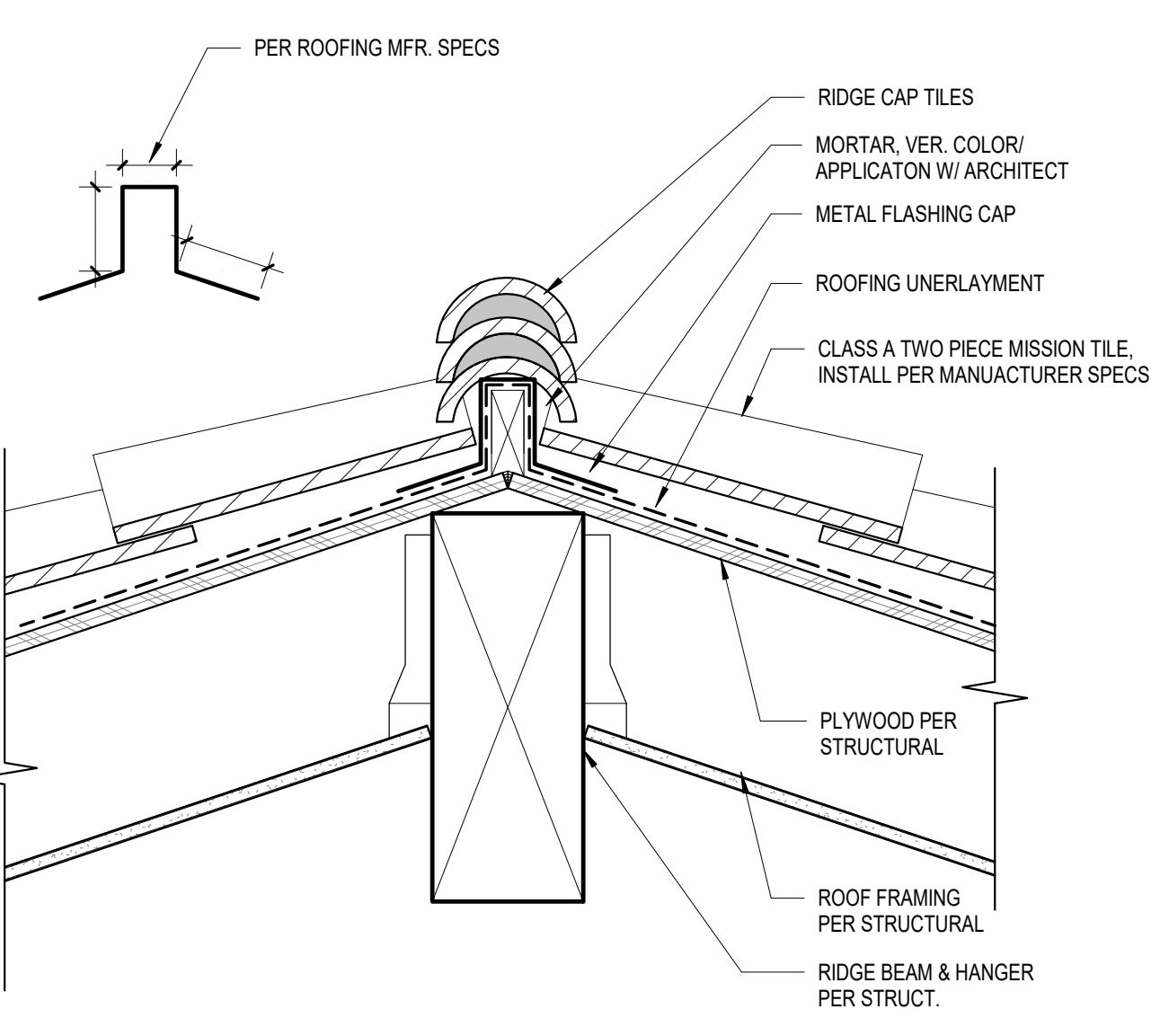
11 ROOF VALLEY FLASHING
1 1/2" = 1'-0"



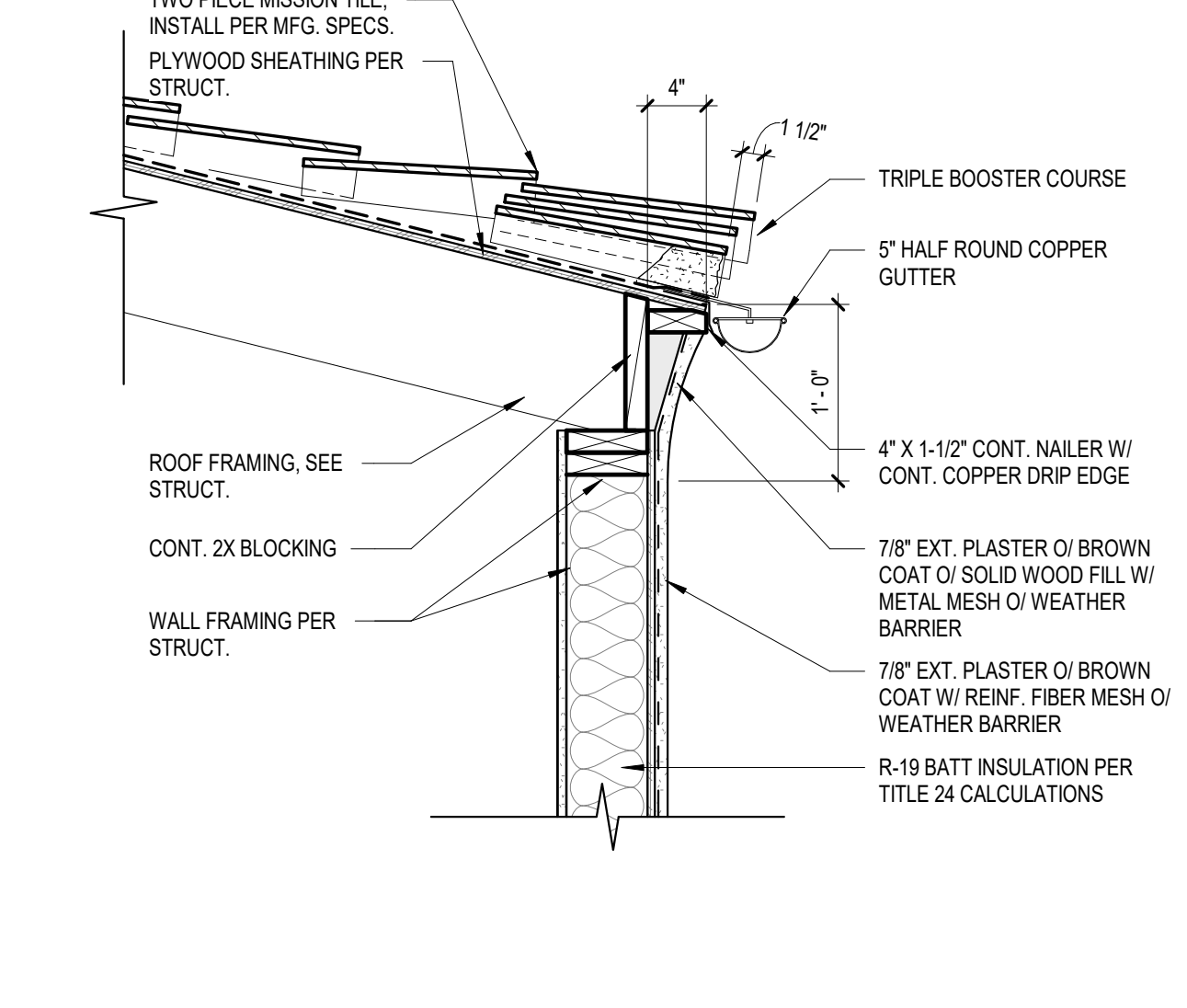
05 ROOF AT PITCH CHANGE
1 1/2" = 1'-0"



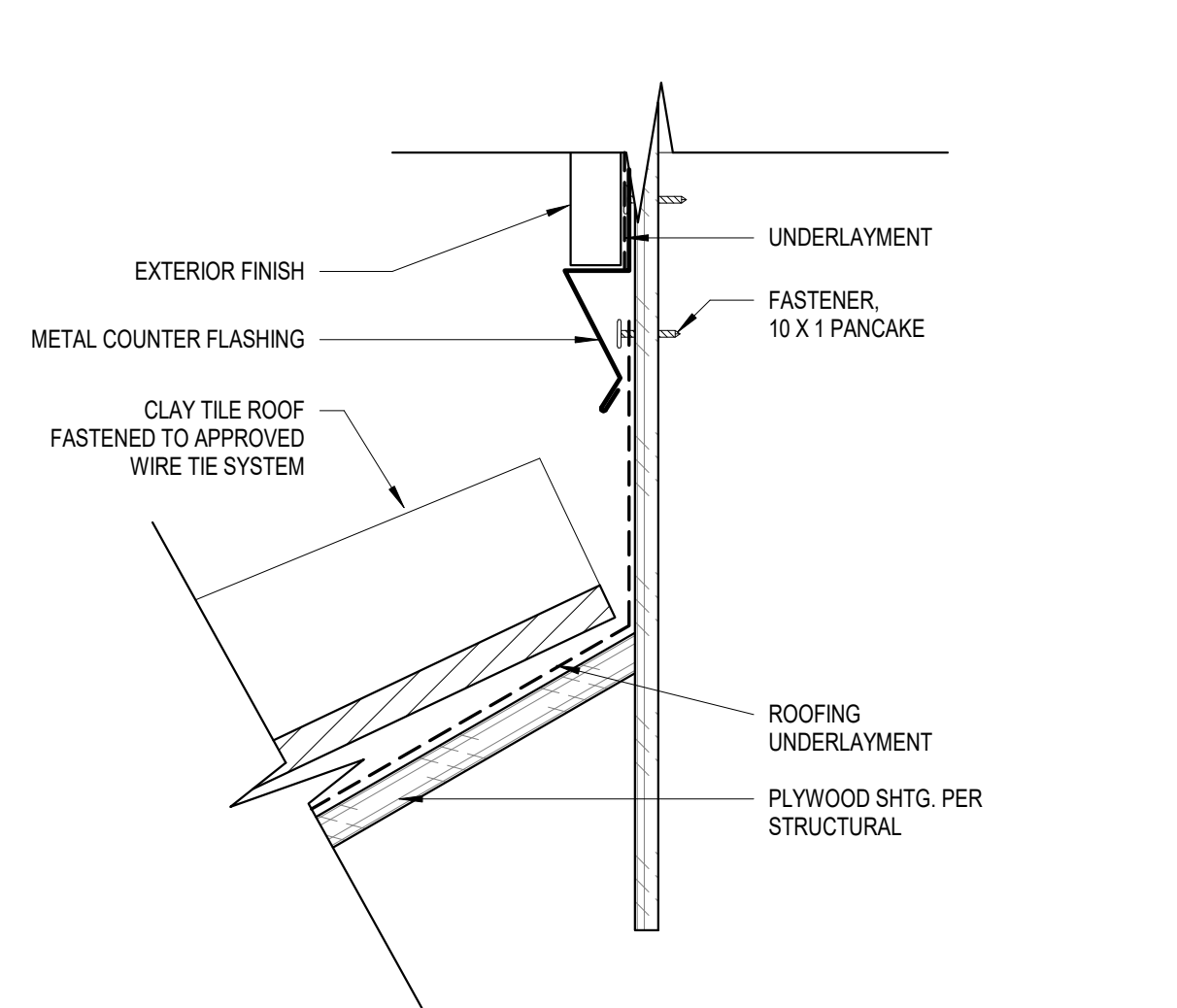
06 EAVE WITH RAFTER
1" = 1'-0"



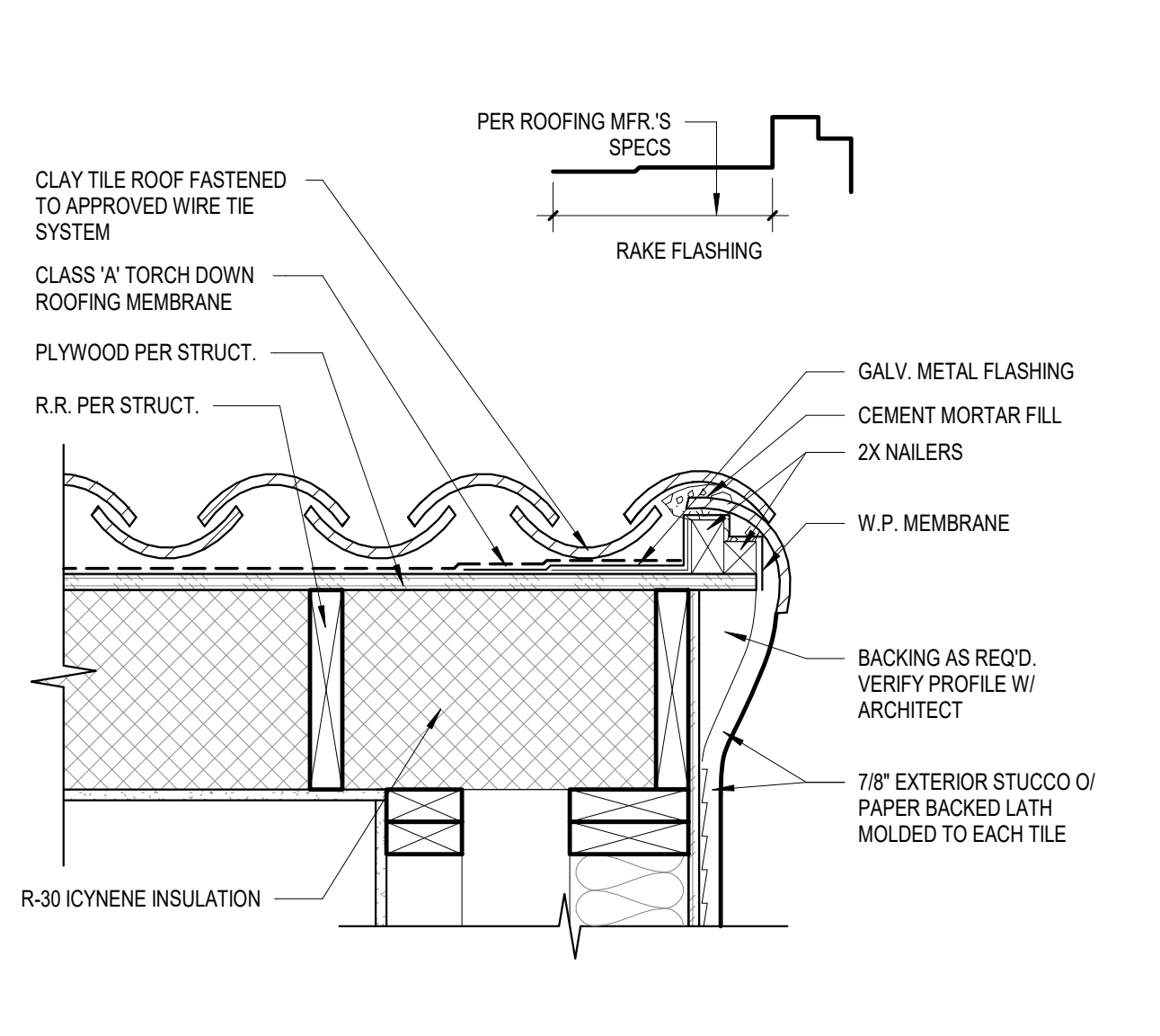
07 TYPICAL RIDGE
1 1/2" = 1'-0"



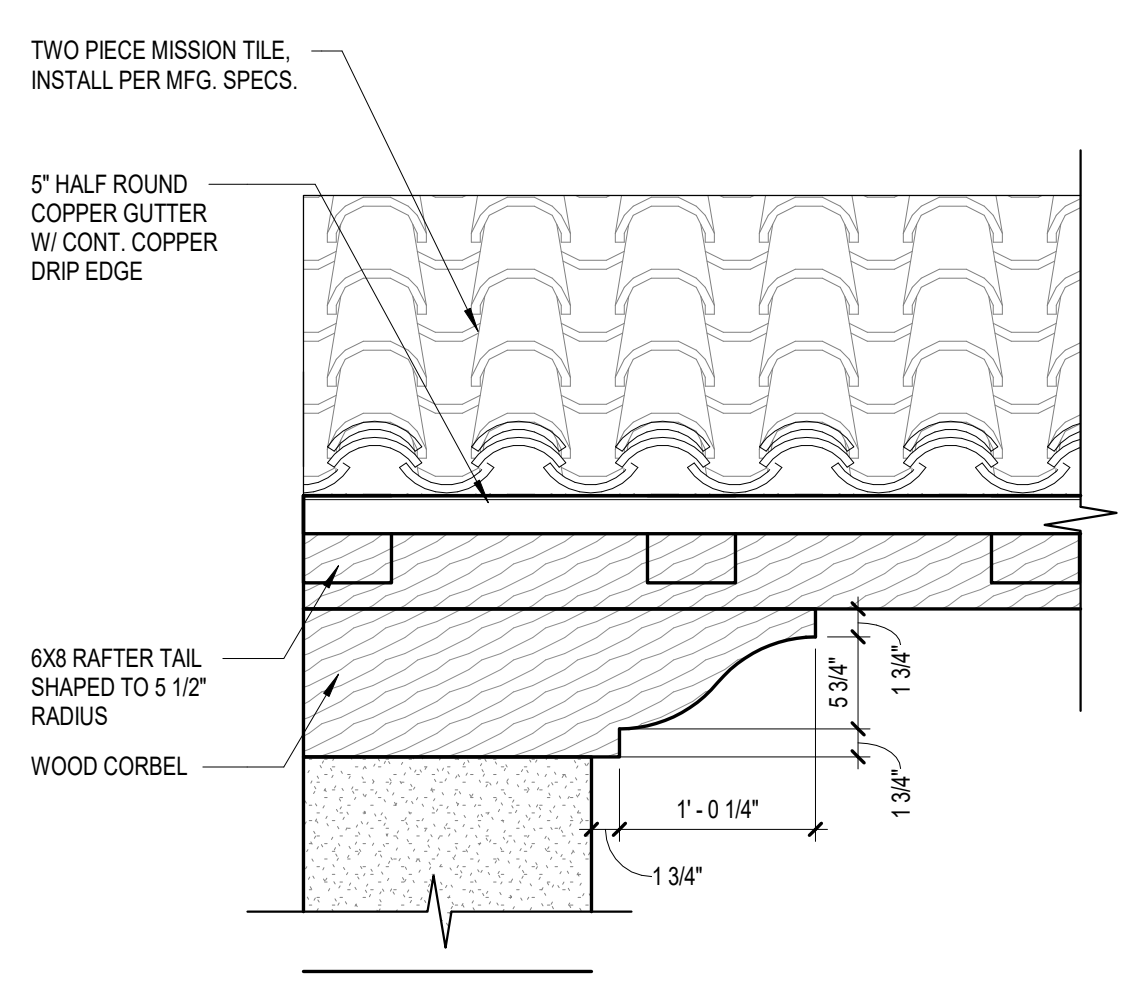
01 TYPICAL EAVE
1" = 1'-0"



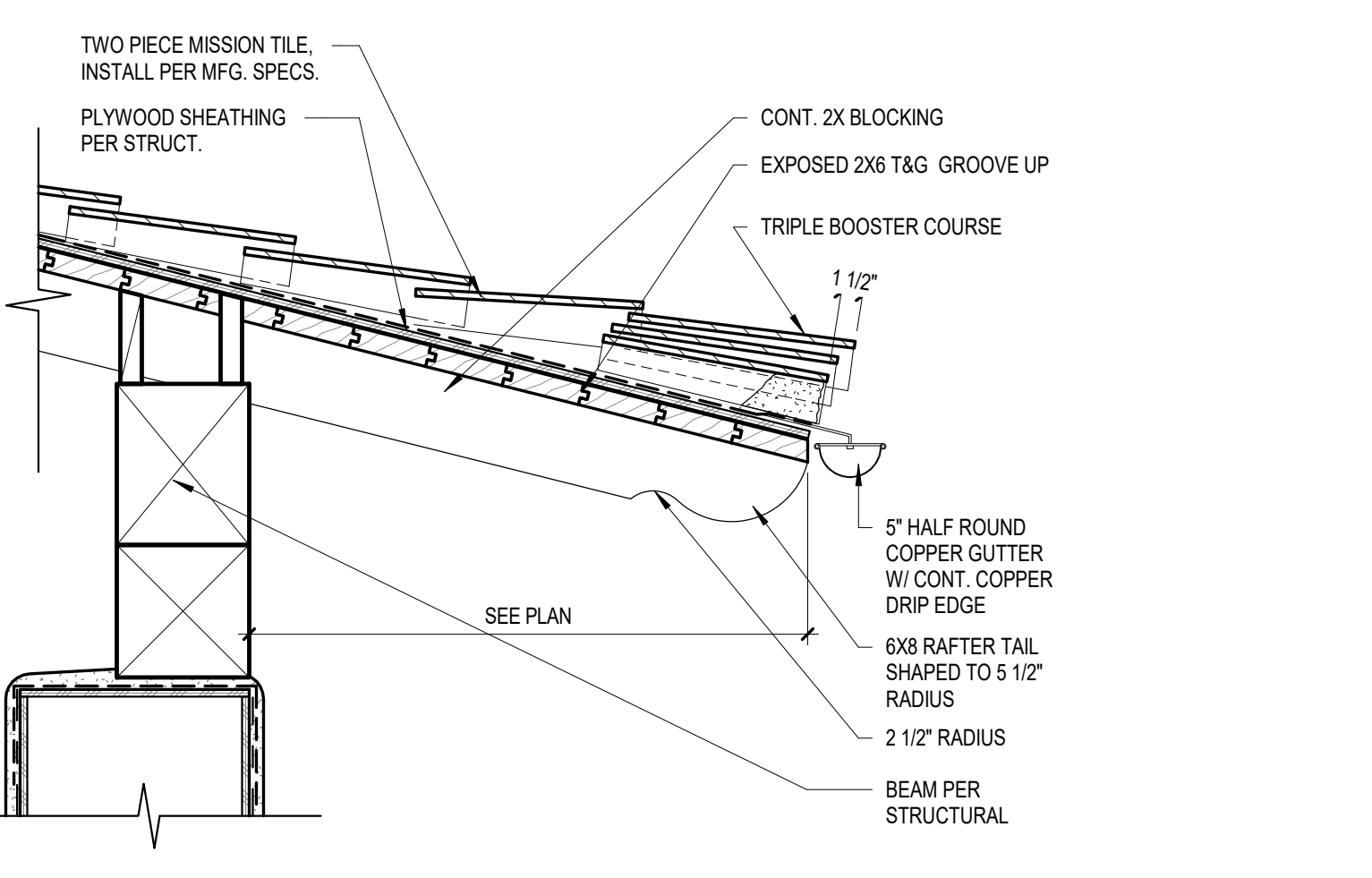
02 ROOF AT WALL
3" = 1'-0"



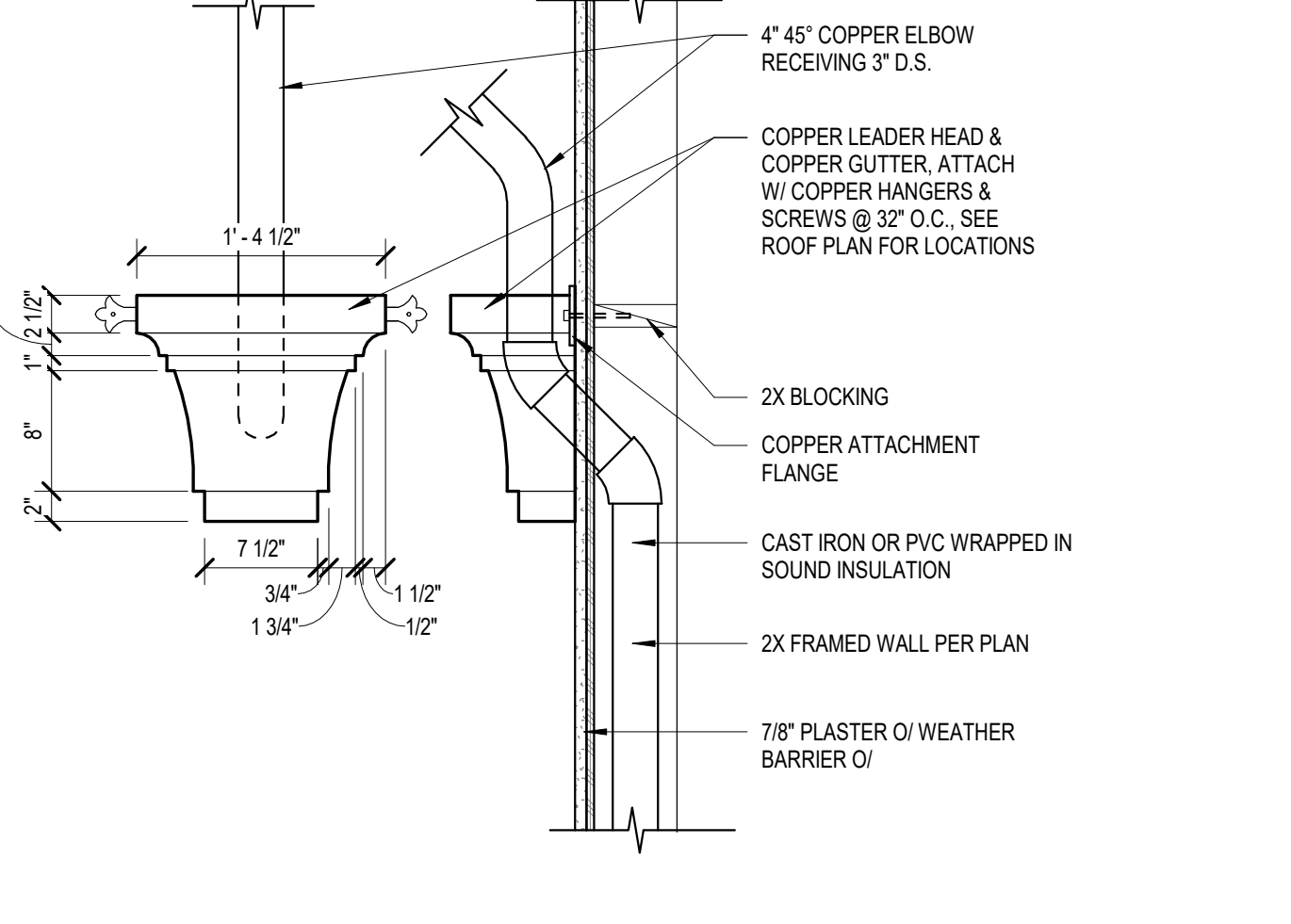
03 ROOF RAKE AT 14" WALL
1 1/2" = 1'-0"



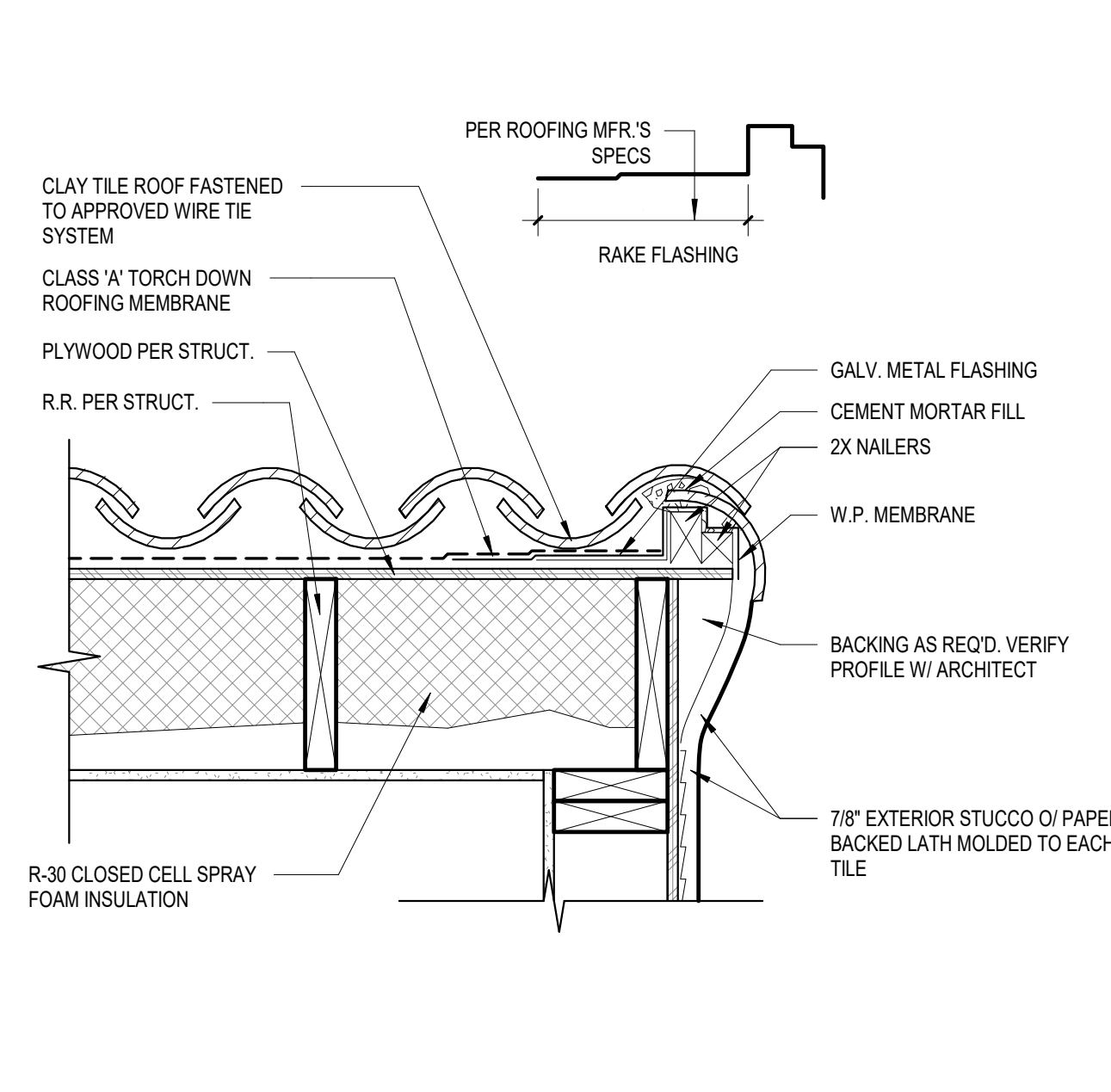
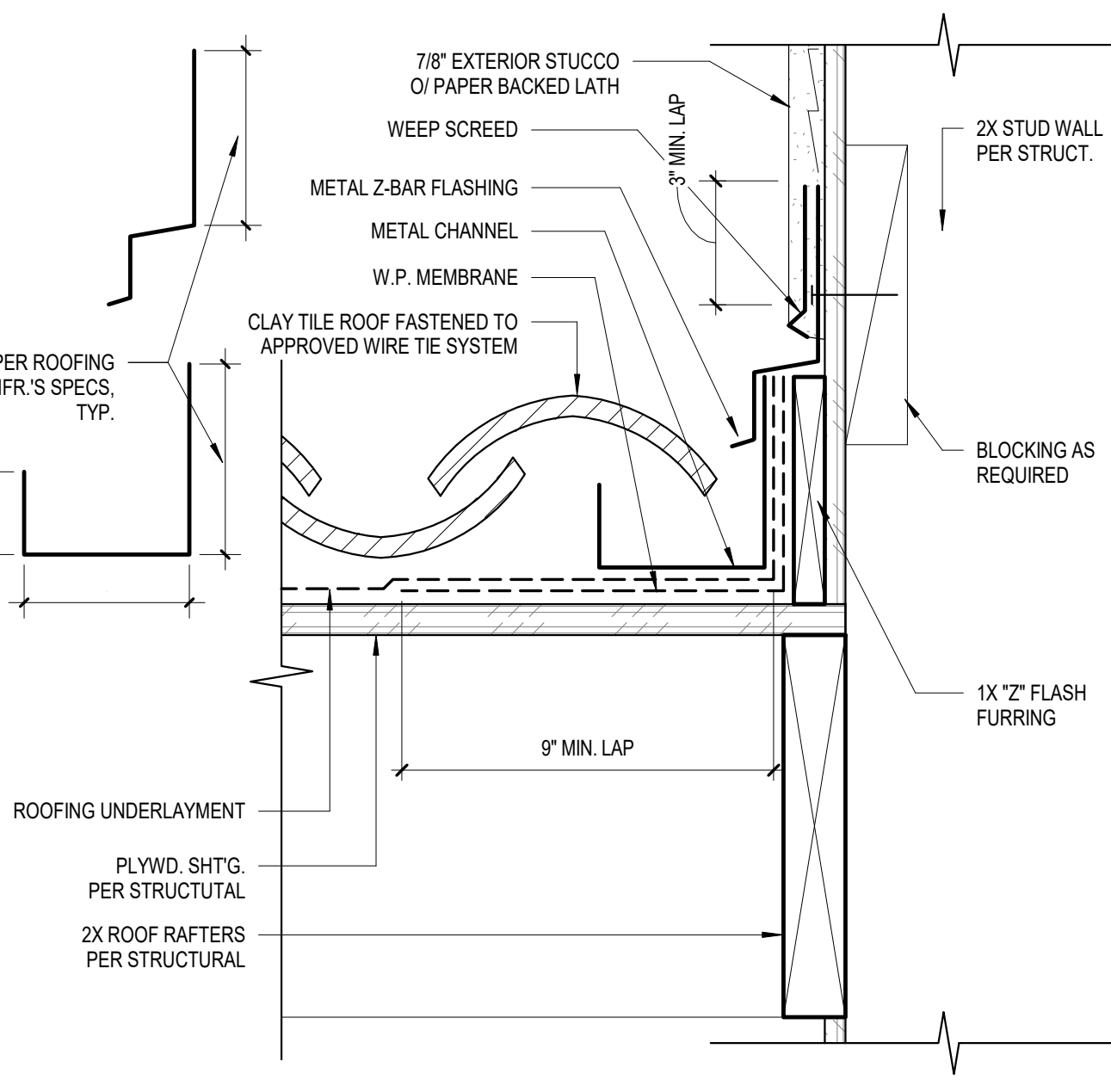
14 EAVE AT ENTRY
1" = 1'-0"



12 COPPER LEADER & DOWNSPOUT
1" = 1'-0"



08 ROOF RAKE AT WALL
3" = 1'-0"



04 TYPICAL RAKE
1 1/2" = 1'-0"



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**PETER AND
SUZANNE
HOOPER**

PROJECT

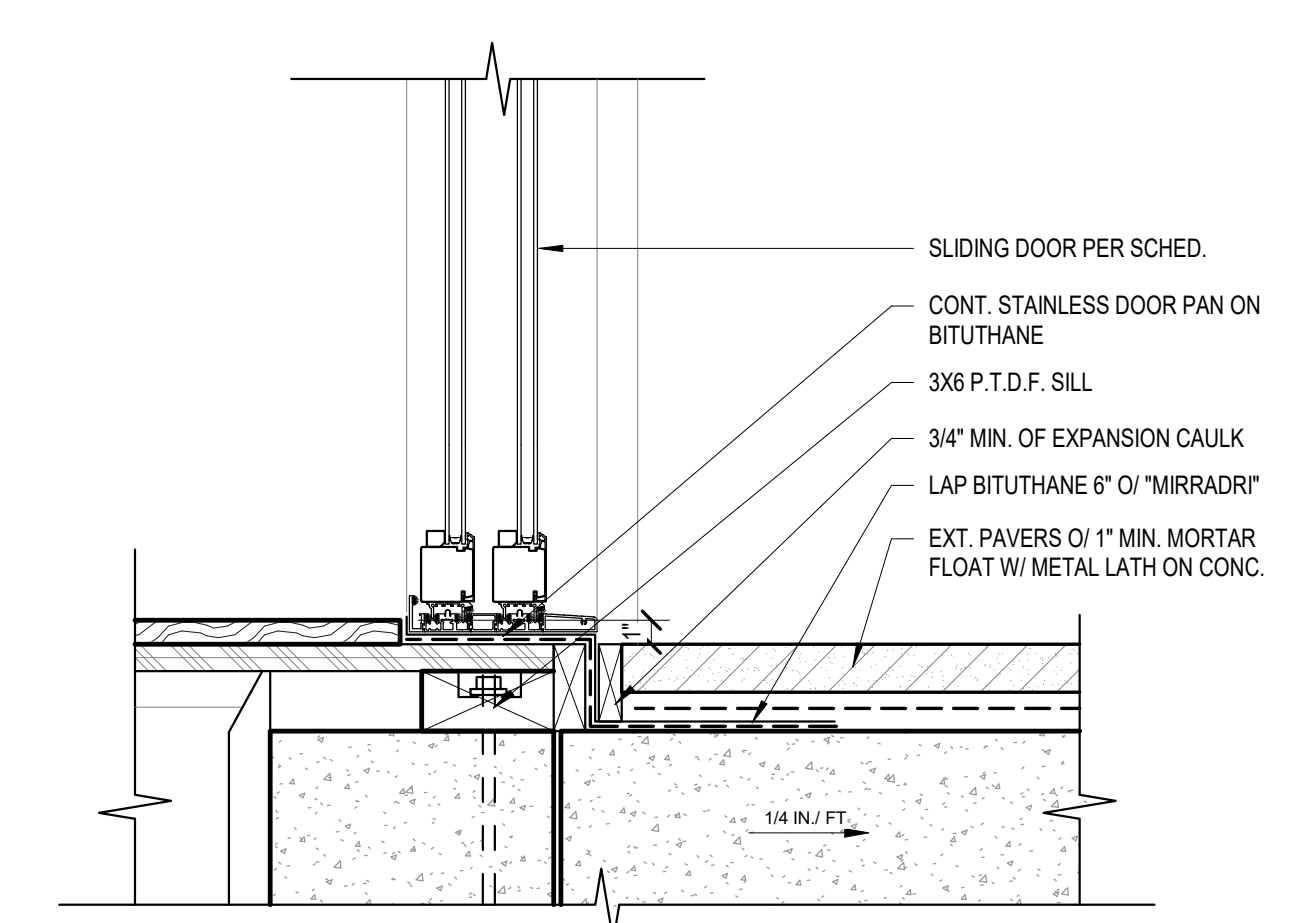
**NEW
RESIDENCE &
DETACHED ADU**

1553 SHORELINE DRIVE
SANTA BARBARA, CA

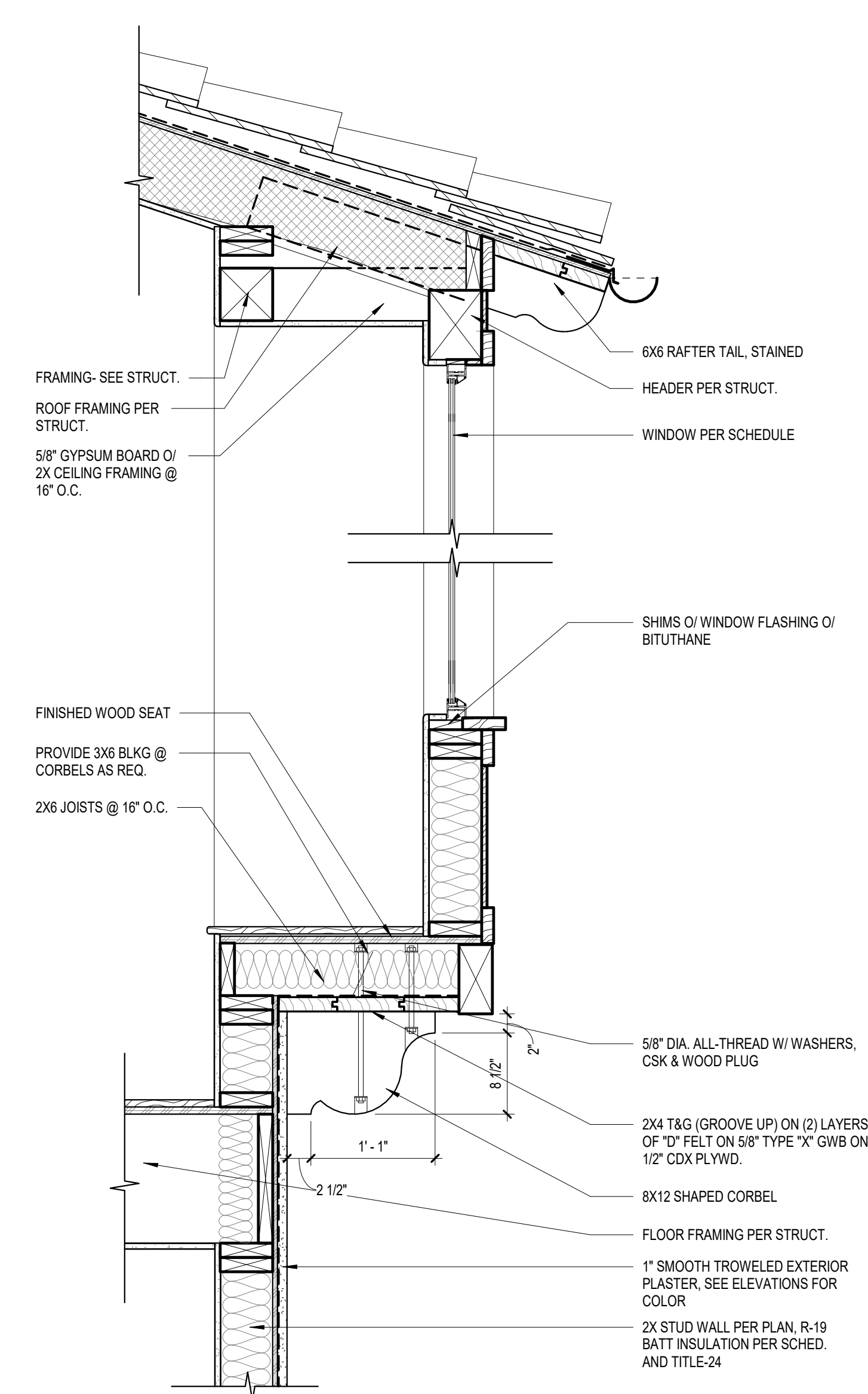
SHEET TITLE

DETAILS

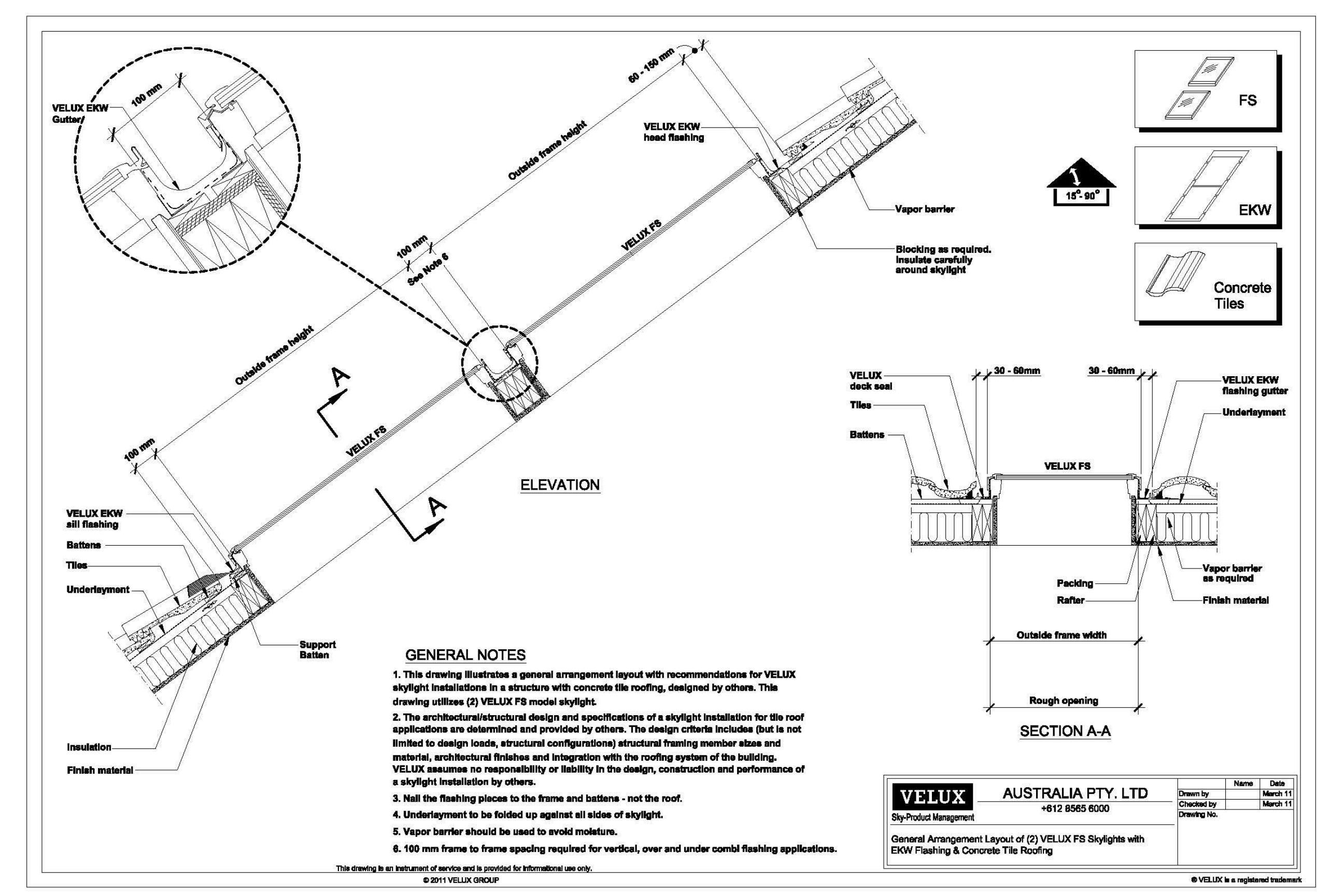
REVISIONS



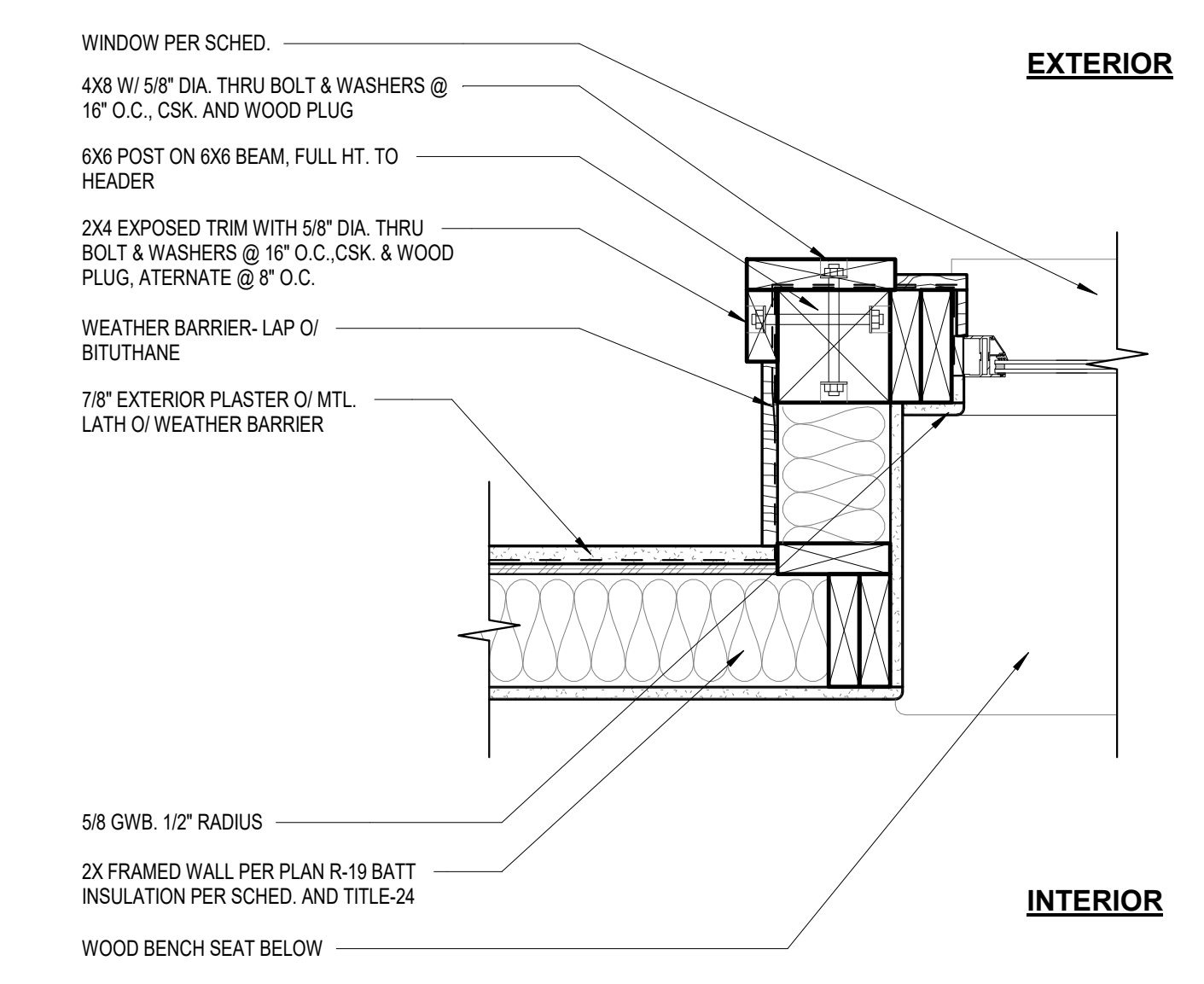
03 SLIDING DOOR SILL
1 1/2" = 1'-0"



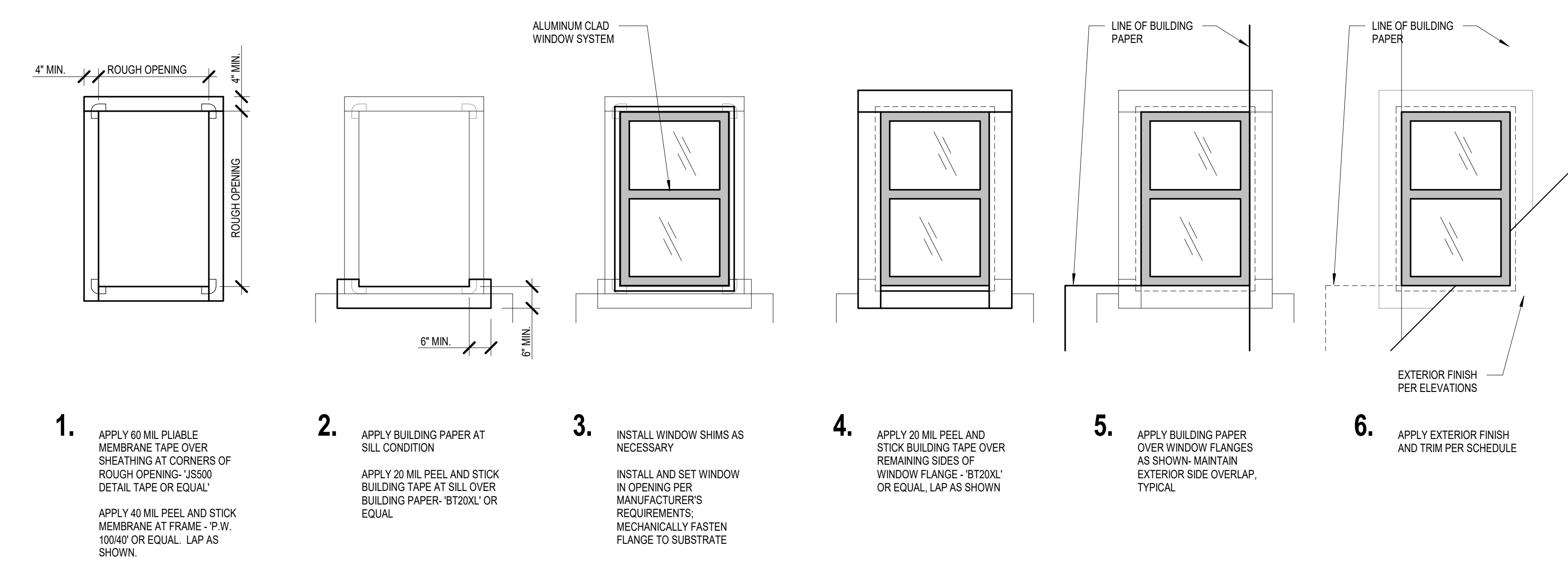
01 SECTION AT BAY WINDOW
1" = 1'-0"



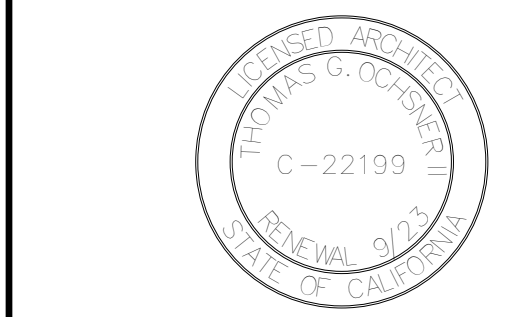
04 SKYLIGHT DETAIL
1/2" = 1'-0"



02 JAMB AT BAY WINDOW
1 1/2" = 1'-0"



05 WATERPROOFING AT FLANGED WINDOW OPENING (DOOR SIM. @ HEAD/JAMB)
3" = 1'-0"



PROJECT NAME NEW RESIDENCE &
DETACHED ADU
DATE DRAWN
DATE 4/22/2024
SHEET NO.

A-9.3