



City of Santa Barbara California

PLANNING COMMISSION STAFF REPORT

REPORT DATE: March 30, 2022
AGENDA DATE: April 7, 2022
PROJECT ADDRESS: 1384 Shoreline Drive (PLN2021-00545)

TO: Planning Commission
FROM: Planning Division
 Allison De Busk, Senior Planner *ALD*
 Pilar Plummer, Assistant Planner, Email: PPlummer@SantaBarbaraCA.gov

I. PROJECT DESCRIPTION

The project site is currently developed with a single-unit residence, an attached garage, and detached shed. The project involves demolition of the existing residence and all onsite structures, and construction of a new 2,043-square-foot single-unit residence with a partial second-story, a 422-square-foot attached garage, a new in-ground pool and detached 34-square-foot pool amenity structure, and associated hardscape and landscape improvements. The 6,191-square-foot site is located in both the Appealable and Non-Appealable Jurisdiction of the Coastal Zone, but the majority of the site is Appealable. See Exhibits B and C for Project Plans and Applicant Letter, respectively.

II. REQUIRED APPLICATIONS

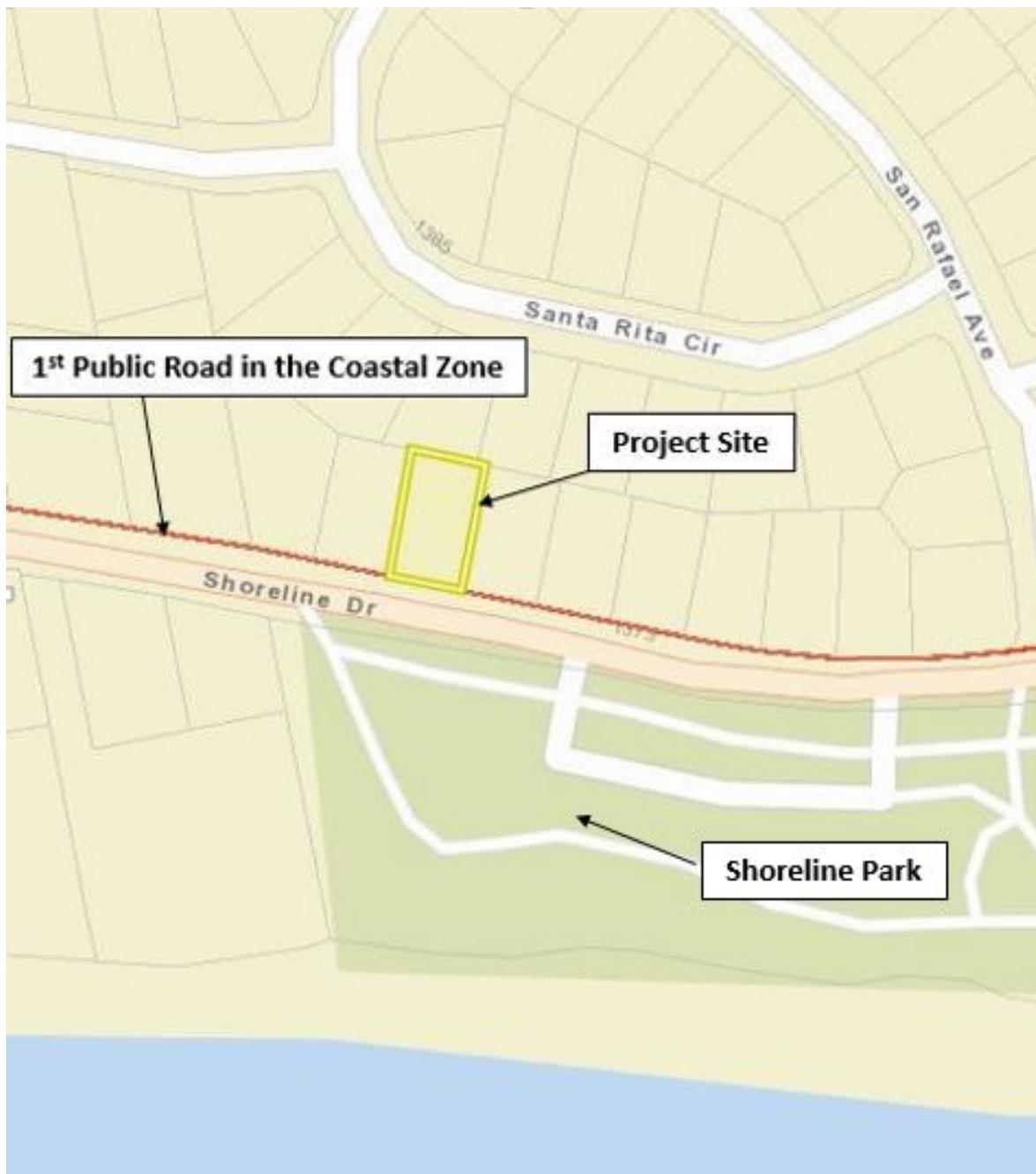
The discretionary application required for this project is a Coastal Development Permit (CDP2021-00027) to allow the proposed development in the Appealable and Non-Appealable Jurisdictions of the City's Coastal Zone (SBMC §28.44.060).

APPLICATION DEEMED COMPLETE: March 9, 2022

DATE ACTION REQUIRED: June 7, 2022

III. RECOMMENDATION

If approved as proposed, the project would conform to the City's Zoning and Building Ordinances and policies of the Coastal Land Use Plan. Therefore, staff recommends that the Planning Commission approve the project, making the findings outlined in Section VIII of this report, and subject to the conditions of approval in Exhibit A.



Vicinity Map: 1384 Shoreline Drive – The project site is located inland of Shoreline Drive, and across the street from Shoreline Park. Shoreline Drive is the first public road in the Coastal Zone landward of the Pacific Ocean.

IV. SITE INFORMATION AND PROJECT STATISTICS

A. SITE INFORMATION

Applicant:	Adam Sharkey, Blackbird Architects	
Property Owner:	Deborah & Jaime Perez	
Site Information		
Parcel Number:	045-193-019	Lot Area: 0.14 acres (6,191 square feet)
Coastal Land Use Plan:	Low Density Residential (Max 5 du/ac)	Zoning: E-3/S-D-3
Existing Use:	Single-Unit Residential	Topography: 6%
Adjacent Zoning and Land Uses		
North:	E-3/S-D-3	Single-Unit Residential
East:	E-3/S-D-3	Single-Unit Residential
South:	P-R/S-D-3	Shoreline Drive, Shoreline Park, & Pacific Ocean
West:	E-3/S-D-3	Single-Unit Residential

B. PROJECT STATISTICS

	Existing	Proposed
Residence & Garage	1,830 sq. ft.	2,465 sq. ft.
Detached Accessory Space	90 sq. ft.	34 sq. ft.
Floor Area Ratio	0.310 = 70% of the Maximum Guideline FAR	0.404 = 91% of the Maximum Required FAR

V. POLICY AND ZONING CONSISTENCY ANALYSIS

A. ZONING ORDINANCE CONSISTENCY

Standard	Requirement/ Allowance	Existing	Proposed
Setbacks			
-Front	20 feet	~15 feet, 8 inches*	20 feet
-W Interior	6 feet	~5 feet, 10 inches*	6 feet
-E Interior	6 feet	> 6 feet	6 feet
-Rear	6 feet	> 6 feet	>6 feet
Building Height	30 feet	14 feet	Varies 14 feet, 6 inches to 19 feet
Parking			
-Vehicle	2 covered spaces	2 covered spaces	2 covered spaces
Open Yard	1,250 s.f.	~ 1,756 s.f.	1,425 s.f.

Lot Coverage					
-Building	N/A	1,830 s.f.	31%	2,509 s.f.	41%
-Paving/Driveway	N/A	1,744 s.f.	28%	1,671 s.f.	27%
-Landscaping	N/A	2,547 s.f.	41%	2,011 s.f.	32%
*Nonconforming					

As identified in the table above, the proposed development is consistent with the Zoning Ordinance. A Coastal Development Permit is required in this case because the project is considered substantial redevelopment, involving complete demolition of all on-site structures to be replaced with a new single-unit residence. Although Coastal Exclusions allow for demolition and construction of a new residence for properties located in the Non-Appealable Jurisdiction of the Coastal Zone, the subject property and the footprint for the proposed residence are primarily located in the Appealable Jurisdiction (SBMC §28.44.060).

B. COASTAL ACT & LAND USE PLAN CONSISTENCY

The project site is located within the Appealable and Non-Appealable Jurisdiction of the Coastal Zone and must be found consistent with the California Coastal Act and the City’s Local Coastal Program (LCP) which implements the California Coastal Act.

1. CALIFORNIA COASTAL ACT

- a. Coastal Act Section 30240(b) (Environmentally Sensitive Habitat Areas; adjacent developments)

Development in areas adjacent to environmentally sensitive habitat areas and parks and recreation areas shall be sited and designed to prevent impacts which would significantly degrade those areas, and shall be compatible with the continuance of those habitat and recreation areas.

There are no mapped Environmentally Sensitive Habitat Areas (ESHAs) on the subject parcel or adjacent parcels; therefore, there are no policy concerns related to ESHAs with the project. The project site is located across Shoreline Drive from Shoreline Park and would not degrade the park or be incompatible with existing recreational use because the use of the site as a single-unit residence would not change.

- b. Coastal Act Section 30250 (Location; existing developed area)

New residential, commercial, or industrial development, except provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have a significant adverse effects, either individually or cumulatively, on coastal resources...

The project site is located in an existing, developed single-family neighborhood comprised of one- and two-story residences, and has access to adequate public services including public transportation, fire prevention, police, and utility services. The project site is located off Shoreline Drive, which is recognized for

its visual qualities within the General Plan Scenic Highway Element, and is across the street from Shoreline Park. The existing development on-site is a one-story single-unit residence and the proposed residence is one-story with a partial second-story to accommodate a roof deck facing Shoreline Drive. No significant adverse effects to the coast or coastal resources are anticipated as the project involves demolition and replacement of an existing single-unit residence with a new residence.

c. Coastal Act Section 30251 (Scenic and visual qualities)

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

The project has been reviewed by the Single Family Design Board (SFDB), which is specifically tasked with ensuring single-family development is compatible in design and material, and in size, bulk, and scale with the surrounding neighborhood, in addition to preserving the City's visual resources. The design of the residence involves a contemporary, one-story residence with a partial second-story to accommodate a roof deck. The design presented to the SFDB received favorable comments, as it relates to the surrounding built environment, and maintains a modest scale consistent with other building heights in the neighborhood, therefore the project is consistent with the scenic and visual qualities policy. Additional discussion is outlined below in Section V.B.2.c, regarding consistency with applicable visual resource policies.

d. Coastal Act Section 30253 (Minimization of adverse impacts)

New development shall do all of the following: (a) Minimize risks to life and property in areas of high geologic, flood, and fire hazard. (b) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.

The project site is not located in an area of high geologic, flood or fire hazard, or along any bluffs or cliffs, and does not require construction of any protective device that would impact existing landforms. The project would not contribute to geologic instability because the site is currently developed with a single-unit residence and the project involves demolition and replacement with a new residence. The project would be constructed in accordance with California Building Code requirements for the geologic and soil conditions of the site.

2. COASTAL LAND USE PLAN

The project is in the Mesa Component of the City's Coastal Land Use Plan (LUP), which spans eastward from Arroyo Burro Beach to the westerly boundary of Santa Barbara City College and extends inland to Cliff Drive. The LUP states that the primary land use of this area is small-lot, single-unit residential. The major coastal issues identified for this Component include infill development potentially blocking public scenic views, and beach and coastal bluff erosion. The project site involves substantial redevelopment of an existing development located along Shoreline Drive, between San Rafael Avenue and Santa Cruz Boulevard. The site is not located along a bluff or cliff, and would not contribute to geologic instability, or erosion of the beach or coastal bluff.

a. Policy 3.1-29 Off-Street Parking for New Development and Substantial Redevelopment

Parking standards in the Zoning Ordinance are designed to ensure sufficient off-street parking is provided for new development and substantial redevelopment so as to avoid significant adverse impacts to public access to the shoreline and coastal recreation areas. Off-street parking for new development and substantial redevelopment, therefore, shall be consistent with the Zoning Ordinance.

The existing and proposed development are both conforming to required parking for single-unit residential, with two covered vehicle spaces in a garage. Therefore, the project provides adequate parking for the site and development in accordance with the Zoning Ordinance.

b. Policy 4.2-22 Storm Water Management

All development shall be planned, sited, and designed to protect the water quality and hydrology of coastal waters in accordance with the requirements of the City's Storm Water Management Program...

The project is a Tier 3 Storm Water Management Program (SWMP) project and must comply with Best Management Practices to ensure water treatment and retention on-site. The applicant has provided a Tier 3 SWMP report that has been reviewed by the City's Creeks Division. In order to satisfy Tier 3 SWMP requirements, the project includes an infiltration chamber for retention and hydromodification, new storm drains will direct runoff from the building roof areas and the new impermeable walkways to the infiltration chamber located southeast of the residence footprint. Tier 3 compliance is required prior to Final Approval of the project from the SFDB.

c. Visual Resources

The following policies relate to visual resources, covering a variety of topics, including Design Review purview, scenic vistas, and design choices to limit impacts to visual resources.

Policy 4.3-3. Design Review.

Policy 4.3-4. Visual Evaluation Requirement.

Policy 4.3-5. Protection of Scenic Resources and Public Scenic Views.

Policy 4.3-6. Obstruction of Scenic View Corridors.

Policy 4.3-7. Compatible Development.

Policy 4.3-8. Mitigating Impacts to Visual Resources.

Policy 4.3-11. Landscape Plans Required.

Policy 4.3-29. Visual Evaluation Requirement.

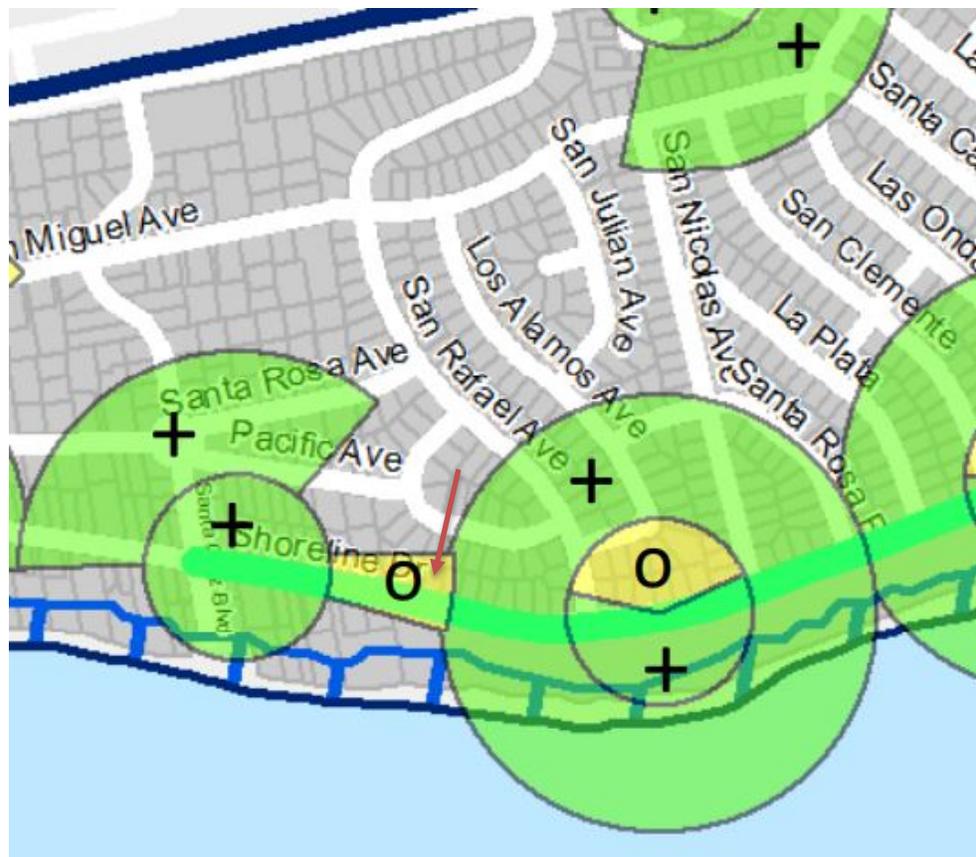


Figure 4.3.-1 Scenic Resources Diagram (above). The subject parcel (~shown with a red arrow) is located within a visual cone identified as having neutral (yellow) to positive (green) background views, and is located off Shoreline Drive (identified by green line).

The Coastal LUP includes “cones of view” which depict the view potential from station points along main transportation corridors. Each cone of view gives both the foreground and background view, and notes whether the view is positive, negative, or neutral. As previously discussed, the project site is located off Shoreline Drive which is identified as a potential city scenic route, and across the

street from Shoreline Park, a popular park affording views of the ocean; the LUP identifies parks as a scenic resource.

The surrounding neighborhood includes a mix of one- and two-story residences. Specifically, adjacent to the site is a partial two-story residence at 1380 Shoreline Drive and a one-story residence at 1390 Shoreline Drive. The proposed residence is situated within a similar development envelope as the existing residence, however conforms to the Zoning Ordinance by complying with the required setbacks. As noted above, the project site is in an area identified as having neutral to positive background views (to the horizon).

The proposed residence is consistent with the surrounding building typology as it is primarily a one-story residence, with a partial second-story to accommodate an upper level roof deck. The applicant prepared panoramic photo simulations and a street silhouette of the project (included in the plan set) to demonstrate the size, bulk, and scale of the project, effects on scenic views, and how the residence would fit into the neighborhood, which received favorable comments from the Single Family Design Board (SFDB).

The applicant has provided a preliminary landscape plan comprised primarily of low drought-tolerant varieties. All landscaping shall comply with the City's Landscape Design Standards, including 80% of plant material will need to be low water use, and shall be approved by the SFDB at Final Approval.

VI. ENVIRONMENTAL REVIEW

Staff has determined that the project is categorically exempt from further environmental review pursuant to California Environmental Quality Act Guidelines Sections 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures). Section 15301 allows for demolition and removal of individual small structures, such as a single-unit residence. Section 15303 allows for the construction of a new single-unit residence. Based on review of the project, there would be no significant project-specific or cumulative impact on the environment as a result of the project, the project does not have the potential to damage scenic highways or historic resources, and the project site is not identified as a hazardous waste site.

VII. DESIGN REVIEW

This project was reviewed by the Single Family Design Board (SFDB) on January 18, 2022 and February 14, 2022 (meeting minutes are attached as Exhibit D). At the January 18 meeting, the SFDB expressed general support for the design and style of the residence, finding the development appropriate with the existing neighborhood. The Board did request that the applicant study the possibility of lowering plate heights, the relationship of the garage to other components along the front elevation, and to provide information related to proposed fencing and how this would relate to existing fencing on adjacent properties. The applicant responded to all items, and on February 14, 2022 the Board stated that the project is compatible with the neighborhood and aesthetically appropriate with no supplementary comments. Should the project receive approval of the Coastal Development Permit by the Planning Commission, the project would return to the SFDB for Project Design Approval and Final Approval.

VIII. **FINDINGS**

The Planning Commission finds the following:

A. COASTAL DEVELOPMENT PERMIT (SBMC §28.44.150)

1. The project is consistent with the policies of the California Coastal Act as described in Section V of the Staff Report dated March 30, 2022. The proposal will not result in any adverse effects related to coastal resources, including public views, public access to the coastal, and coastal bluff erosion. The proposed development is located within an existing developed area that is able to accommodate it, and both parking and open space minimum requirements will be maintained.
2. The project is consistent with all applicable policies of the City's Local Coastal Plan, all applicable implementing guidelines, and all applicable provisions of the Code as described in Section V of the Staff Report dated March 30, 2022. The proposed development is compatible with surrounding neighborhood development, will not impact any public views or public access to the coast, will not contribute to erosion, geologic instability or destruction of the site, and will not contribute to safety or drainage hazards on the site.

Exhibits:

- A. Draft Conditions of Approval
- B. Project Plans
- C. Applicant's letter, dated March 8, 2022
- D. SFDB Minutes
- E. Applicable Coastal Policies

Contact/Case Planner: Pilar Plummer, Assistant Planner
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630 Garden Street, Santa Barbara, CA 93101
Phone: (805) 564-5470 x 4451

DRAFT PLANNING COMMISSION CONDITIONS OF APPROVAL

1384 SHORELINE DRIVE
COASTAL DEVELOPMENT PERMIT
APRIL 7, 2022

I. In consideration of the project approval granted by the Planning Commission and for the benefit of the owners and occupants of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:

A. **Order of Development.** In order to accomplish the proposed development, the following steps shall occur in the order identified:

1. Obtain all required design review approvals.
2. Submit an application for and obtain a Building Permit (BLD) to demolish any structures / improvements and/or perform rough grading. Comply with condition E “Construction Implementation Requirements.”
3. Record any required documents (see Recorded Conditions Agreement section).
4. Permits.
 - a. Submit an application for and obtain a Building Permit (BLD) for construction of approved development and complete said development.
 - b. Submit an application for and obtain a Public Works Permit (PBW) for all required public improvements and complete said improvements.

Details on implementation of these steps are provided throughout the conditions of approval.

B. **Recorded Conditions Agreement.** The Owner shall execute a *written instrument*, which shall be prepared by Planning staff, reviewed as to form and content by the City Attorney and Community Development Director, recorded in the Office of the County Recorder, and shall include the following:

1. **Approved Development.** The development of the Real Property approved by the Planning Commission on April 7, 2022 is limited to demolition of the existing single-unit residence and all other onsite structures, and construction of an approximately 2,043-square-foot single-unit residence, a 422-square-foot two-car attached garage, a new pool, a detached 34-square-foot pool amenity structure, and associated hardscape and landscape improvements and other improvements shown on the plans signed by the chairperson of the Planning Commission on said date and on file at the City of Santa Barbara.
2. **Uninterrupted Water Flow.** The Owner shall allow for the continuation of any historic flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
3. **Landscape Plan Compliance.** The Owner shall comply with the Landscape Plan approved by the Single Family Design Board (SFDB). Such plan shall not be modified unless prior written approval is obtained from the SFDB. The landscaping on the Real Property shall be provided and maintained in accordance with said

landscape plan, including any tree protection measures. If said landscaping is removed for any reason without approval by the SFDB, the owner is responsible for its immediate replacement.

4. **Areas Available for Parking.** All parking areas and access thereto shall be kept open and available in the manner in which it was designed and permitted.
- C. **Design Review.** The project, including public improvements, is subject to the review and approval of the Single Family Design Board (SFDB). The SFDB shall not grant project design approval until the following Planning Commission land use conditions have been satisfied.
1. **Tree Protection Measures.** The landscape plan and grading plan shall include the following tree protection measures:
 - a. **Tree Protection.** All trees not indicated for removal on the approved site plan / landscape plan shall be preserved, protected, and maintained, in accordance with any related Conditions of Approval.
 - b. **During Construction.**
 - (1) All trees within 25 feet of proposed construction activity shall be fenced three feet outside the dripline for protection.
 - (2) No grading shall occur within three feet of the driplines of the existing trees, except as indicated on the grading / site plan for construction of the new driveway curb cut.
 - (3) A qualified Arborist shall be present during any excavation beneath the driplines of the trees which are required to be protected. All excavation within the driplines of the trees shall be minimized and shall be done with hand tools.
 - (4) Any roots encountered shall be cleanly cut and sealed with a tree-seal compound.
 - (5) Any root pruning and trimming shall be done under the direction of a qualified Arborist.
 - (6) No heavy equipment, storage of materials or parking shall take place under the dripline of any tree(s), or within five (5) feet of the dripline of any tree.
- D. **Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed.

Please note that these conditions are in addition to the standard submittal requirements for each department.

1. **Public Works Department.**

- a. **Water Rights Assignment Agreement.** The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water Extraction Rights*. Engineering Division Staff prepares said agreement for the Owner's signature.
- b. **Encroachment Permits.** Any encroachment or other permits from the City or other jurisdictions (State, Flood Control, County, etc.) for the construction of improvements (including any required appurtenances) within their rights of way or easements shall be obtained by the Owner.

2. **Community Development Department.**

- a. **Recordation of Agreements.** The Owner shall provide evidence of recordation of the written instrument that includes all of the Recorded Conditions identified in condition B "Recorded Conditions Agreement" to the Community Development Department prior to issuance of any building permits.
- b. **Drainage and Water Quality.** The project is required to comply with Tier 3 of the Storm Water BMP Guidance Manual, pursuant to Santa Barbara Municipal Code Chapter 22.87 (treatment, rate and volume). The Owner shall submit a hydrology report prepared by a registered civil engineer or licensed architect demonstrating that the new development will comply with the City's Storm Water BMP Guidance Manual. Project plans for grading, drainage, stormwater facilities and treatment methods, and project development, shall be subject to review and approval by the City Building Division and Public Works Department. Sufficient engineered design and adequate measures shall be employed to ensure that no unpermitted construction-related or long-term effects from increased runoff, erosion and sedimentation, urban water pollutants (including, but not limited to trash, hydrocarbons, fertilizers, bacteria, etc.), or groundwater pollutants would result from the project.
- c. **Design Review Requirements.** Plans shall show all design, landscape and tree protection elements, as approved by the appropriate design review board and as outlined in Section C "Design Review," and all elements/specifications shall be implemented on-site.
- d. **Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. The following statement shall be signed prior to issuance of and permits: The undersigned have read and understand the required conditions, and agree to abide by any and all

conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner		Date
Contractor	Date	License No.
Architect	Date	License No.
Engineer	Date	License No.

E. **Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.

1. **Construction Contact Sign.** Immediately after Building permit issuance, signage shall be posted at the points of entry to the site that list the contractor’s name, contractor’s telephone number to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The font size shall be a minimum of 0.5 inches in height. Said sign shall not exceed six feet in height from the ground if it is free-standing or placed on a fence. It shall not exceed six square feet in a single family zone.
2. **Construction Storage/Staging.** Construction vehicle/ equipment/ materials storage and staging shall be done on-site. No parking or storage shall be permitted within the public right-of-way, unless specifically permitted by the Public Works Director with a Public Works permit.
3. **Environmental Health Services (EHS).** If fill material or stained/odiferous soil is encountered, work must cease, and EHS must be notified so that the material can be analyzed.
4. **Air Quality and Dust Control.** The following measures shall be shown on grading and building plans and shall be adhered to throughout grading, hauling, and construction activities:
 - a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water

should be used whenever possible. However, reclaimed water should not be used in or around crops for human consumption.

- b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
 - c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
 - d. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads.
 - e. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.
 - f. The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance for map recordation and land use clearance for finish grading of the structure.
 - g. All portable diesel-powered construction equipment shall be registered with the state's portable equipment registration program OR shall obtain an APCD permit.
 - h. Fleet owners of mobile construction equipment are subject to the California Air Resource Board (CARB) Regulation for In-use Off-road Diesel Vehicles (Title 13 California Code of Regulations, Chapter 9, § 2449), the purpose of which is to reduce diesel particulate matter (PM) and criteria pollutant emissions from in-use (existing) off-road diesel-fueled vehicles. For more information, please refer to the CARB website at www.arb.ca.gov/msprog/ordiesel/ordiesel.htm.
 - i. All commercial diesel vehicles are subject to Title 13, § 2485 of the California Code of Regulations, limiting engine idling time. Idling of heavy-duty diesel construction equipment and trucks during loading and unloading shall be limited to five minutes; electric auxiliary power units should be used whenever possible.
- F. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:
- 1. **Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to

the review and approval of the Public Works Department per SBMC Chapter 22.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.

2. **Complete Public Improvements.** Public improvements, as shown in the public improvement plans or building plans, shall be completed.

G. General Conditions.

1. **Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
2. **Approval Limitations.**
 - a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
 - b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Planning Commission.
 - c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.
3. **Litigation Indemnification Agreement.** In the event the Planning Commission approval of the Project is appealed to the City Council, Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors (“City’s Agents”) from any third party legal challenge to the City Council’s denial of the appeal and approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively “Claims”). Applicant/Owner further agrees to indemnify and hold harmless the City and the City’s Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City’s sole and absolute discretion. Nothing

contained in this condition shall prevent the City or the City’s Agents from independently defending any Claim. If the City or the City’s Agents decide to independently defend a Claim, the City and the City’s Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

II. Time Limits:NOTICE OF COASTAL DEVELOPMENT PERMIT TIME LIMITS:

The Planning Commission action approving the Coastal Development Permit shall expire two (2) years from the date of final action upon the application, per Santa Barbara Municipal Code §28.44.230, unless:

1. A Building permit for the work authorized by the coastal development permit is issued prior to the expiration date of the approval.
2. The Community Development Director grants an extension of the coastal development permit approval. The Community Development Director may grant up to three (3) one-year extensions of the coastal development permit approval. Each extension may be granted upon the Director finding that: (i) the development continues to conform to the Local Coastal Program, (ii) the applicant has demonstrated due diligence in completing the development, and (iii) there are no changed circumstances that affect the consistency of the development with the General Plan or any other applicable ordinances, resolutions, or other laws.

1384 Shoreline Dr Residence

1384 Shoreline Drive,
Santa Barbara, CA 93109

PC, LDT & SFDB Review

03.07.2022

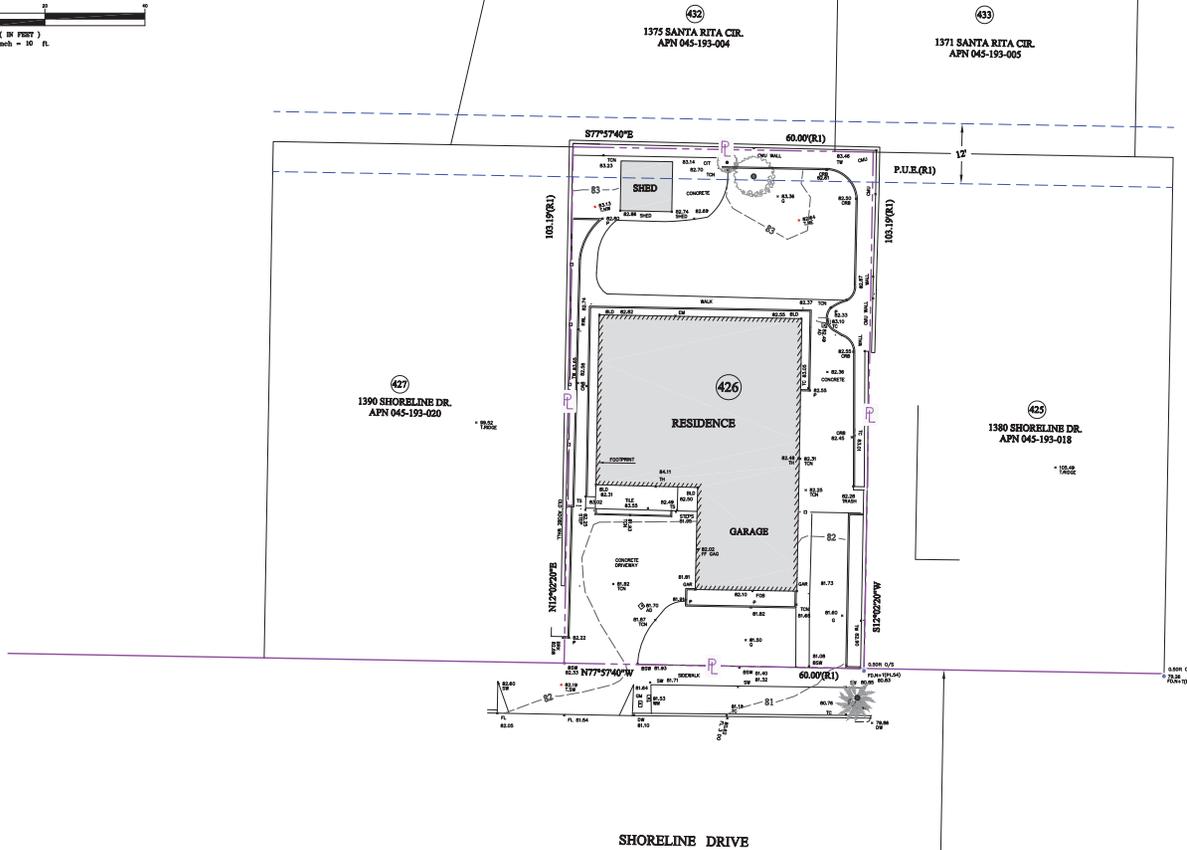
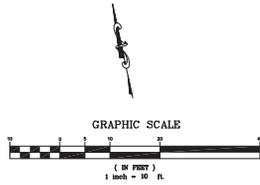


235 Palm Ave.
Santa Barbara CA
93101 USA
1 805.857.1315
1 805.357.1317
www.bbact.com

Abbreviations

& and	F.G. finish grade	FAV. paving or pavement
W at	FIN. finish	FLAM. glass laminate
A.B. anchor bolt	F.F. floor joist	FLAS. plaster
AGT. acoustical ceiling tile	FL. flowline	PLYWOOD. plywood
	FLASH. flashing	PT. joint
AD. area drain	FLR. floor	P.T. pressure treated
ADJ. adjustable or adjacent	F.O. face of	PTDF. pressure treated Douglas fir
A.F.F. above finish floor	F.O.B. face of block	PODCTO. powder coated
A.F.G. above finish grade	F.O.C. face of concrete	PTD. painted
A.F.C.I. arc fault circuit interrupter	F.O.F. face of finish	PTCLSD. particle board
AGGR. aggregate	F.O.S. face of stud	
ALUM. aluminum	FP. fireplace	(R) remove
APPROX. approximate	FS. finish surface	R. clear
ARCH. architectural	FT. foot or feet	RAD. radius
AC. asphaltic concrete	FTD. footing	RA. return air
	FURR. furring	RD. roof drain
BD. board	(F) future	RWD. rewood
BTWN. between		REIN. reinforced
BTLUM. blumous	GALV. galvanized	REQ. required
BLD. building	G.C.F. ground fault circuit interrupter	RM. room
BLK. block	GL. glass	R.O. rough opening
BLKG. blocking	GRD. ground	(RS) remove and save; salvage
BM. beam	GRD. gypsum wall board	RS. rough sawn
B.O. bottom of	GYP. gypsum	S. south
BOT. bottom	H. height	S.A.D. see architectural drawing
BTWN. between	H.B. hose bibb	S4S. surfaced four sides
BTLUM. blumous	HDLR. handrail	SCHED. schedule
BLK. block	HORIZ. horizontal	SERV. service
BLKG. blocking	HR. hour	SF. square feet
BM. beam	HVAC. heating, ventilation & air conditioning	SH. sheetrock
B.O. bottom of	C.J. control joint	SHT. sheet
BOT. bottom	CJ. control joint	SHTS. sheathing
BTWN. between	LD. inside diameter (DIM.)	SIM. similar
BTLUM. blumous	INSUL. insulation	SPEC. specification
BLK. block	INT. interior	SQ. square
BLKG. blocking	INT. interior	SS. stainless steel
BM. beam	INT. interior	STC. sound transmission class
B.O. bottom of	INT. interior	STND. stained
BOT. bottom	INT. interior	STD. standard
BTWN. between	INT. interior	STL. steel
BTLUM. blumous	INT. interior	STOR. storage
BLK. block	INT. interior	STRUCT. structural
BLKG. blocking	INT. interior	T. toilet
BM. beam	INT. interior	T. tempered glass
B.O. bottom of	INT. interior	T. tread
BOT. bottom	INT. interior	T.B. towel bar
BTWN. between	INT. interior	T.C. top of curb/concrete
BTLUM. blumous	INT. interior	TEL. telephone
BLK. block	INT. interior	T.E. temperature
BLKG. blocking	INT. interior	T&G. tongue and groove
BM. beam	INT. interior	THRES. threshold
B.O. bottom of	INT. interior	T.O.C. top of curb/concrete
BOT. bottom	INT. interior	T.O.P. top of paving
BTWN. between	INT. interior	T.O.S. top of slab/soil
BTLUM. blumous	INT. interior	T.O.W. top of wall
BLK. block	INT. interior	T.P. top plate
BLKG. blocking	INT. interior	T.W. top of wall
BM. beam	INT. interior	TYP. typical
B.O. bottom of	INT. interior	U.N.D. unless noted otherwise
BOT. bottom	INT. interior	VERT. vertical
BTWN. between	INT. interior	V.F. verify in field
BTLUM. blumous	INT. interior	W. west
BLK. block	INT. interior	W. with
BLKG. blocking	INT. interior	WD. wood
BM. beam	INT. interior	W.H. water heater
B.O. bottom of	INT. interior	WIND. window
BOT. bottom	INT. interior	W/O. without
BTWN. between	INT. interior	W.P. waterproof
BTLUM. blumous	INT. interior	W.R. water resistant
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
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BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
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BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
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BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
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BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
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BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
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BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
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BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
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BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
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BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
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BTLUM. blumous	INT. interior	
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BLKG. blocking	INT. interior	
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BTLUM. blumous	INT. interior	
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BLKG. blocking	INT. interior	
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BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
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BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
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BLKG. blocking	INT. interior	
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BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
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BLKG. blocking	INT. interior	
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BLKG. blocking	INT. interior	
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BOT. bottom	INT. interior	
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BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	
B.O. bottom of	INT. interior	
BOT. bottom	INT. interior	
BTWN. between	INT. interior	
BTLUM. blumous	INT. interior	
BLK. block	INT. interior	
BLKG. blocking	INT. interior	
BM. beam	INT. interior	

Provided for Reference Only



LEGEND

- AD AREA DRAIN
- BLD BUILDING
- BSW BACK OF SIDEWALK
- CTY CURB
- CP CONTROL POINT (survey)
- CSB CURB
- DO DRAINAGE OUTLET PIPE
- DRW DRAINAGE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FF FLOOR FINISH (survey minimum)
- FF FLOOR FINISH
- FL FLOWLINE
- FN FENCE
- FOR FACE OF BUILDING
- G GARAGE
- GAR GARAGE
- GM GROUND METER
- PL PLASTER
- PLI PAVEMENT LINE
- PLB PUBLIC UTILITY EASEMENT
- RFI RAILROAD
- RFI PUBLIC UTILITY EASEMENT
- SW SIDEWALK
- SW SIDEWALK
- T TARGET (DRUM)
- TC TOP OF CURB
- TCN TOP OF CONCRETE
- TH THRESHOLD
- TS TOP OF STEPS
- TW TOP OF WALL
- WM WATER METER



DIGALERT

ATTENTION: ALL UTILITIES ARE SHOWN AS LOCATED BY THE UTILITY COMPANIES AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES.

800-487-3800
1-800-277-2800
1-800-277-2800
1-800-277-2800

PROBER
Topographic Survey

1384 Shoreline Drive
Santa Barbara, CA
Topographic Survey

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DATE: 03/07/2022
DRAWN BY: J.P.
CHECKED BY: J.P.
SCALE: 1" = 10' 0"

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12/24/2021

City: Santa Barbara - Planning
Pilar Plummer
630 Garden Street, Santa Barbara, CA 93102, USA
pplummer@santabarbaraca.gov

Construction Site Well Review (CSWR) ID: 1012389

Assessor Parcel Number(s): 045193019

Property Owner(s): Jaime Perez

Project Location Address: 1384 Shoreline Drive Santa Barbara, California 93109

Project Title: 1384 Shoreline Drive, Santa Barbara, CA, 93109

Public Resources Code (PRC) § 3208.1 establishes well abandonment responsibility when a previously plugged and abandoned well will be impacted by planned property development or construction activities. Local permitting agencies, property owners, and/or developers should be aware of, and fully understand, that significant and potentially dangerous issues may be associated with development near oil, gas, and geothermal wells.

The California Geologic Energy Management Division (CalGEM) has received and reviewed the above referenced project dated 12/23/2021. To assist local permitting agencies, property owners, and developers in making wise land use decisions regarding potential development near oil, gas, or geothermal wells, the Division provides the following well evaluation.

The project is located in Santa Barbara County, within the boundaries of the following fields:

N/A

The Mesa Oil Field was discovered in 1929. Review of historical aerial imagery in this area identified wooden oil derricks, oil well drilling and production pumps, and other accessory oilfield equipment. Any

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excavation may encounter oilfield impacted soil.

There are several plugged and abandoned oil wells located in close proximity to the project site. According to Division records the nearest plugged and abandoned well to the project is "Bastanchury" 2 (APN 0408030613). This well is located approximately 130 feet west of the subject parcel. The Division recommends that any wells in close proximity to the property be researched to verify the location and ensure that any construction does not impede access. If any well locations are found to differ from Division records an updated plot plan identifying the well locations relative to the proposed structure(s) is expected to be provided, prior to conducting construction. The Division's online well mapping tool, Well Finder, can be accessed at <https://www.conservation.ca.gov/calgem/Pages/WellFinder.aspx>.

Our records indicate there are no known oil or gas wells located within the project boundary as identified in the application.

- Number of wells Not Abandoned to Current Division Requirements as Prescribed by Law and Projected to Be Built Over or Have Future Access Impeded by this project: 0
- Number of wells Not Abandoned to Current Division Requirements as Prescribed by Law and Not Projected to Be Built Over or Have Future Access Impeded by this project: 0
- Number of wells Abandoned to Current Division Requirements as Prescribed by Law and Projected to Be Built Over or Have Future Access Impeded by this project: 0
- Number of wells Abandoned to Current Division Requirements as Prescribed by Law and Not Projected to Be Built Over or Have Future Access Impeded by this project: 0

The Division categorically advises against building over, or in any way impeding access to, oil, gas, or geothermal wells. Impeding access to a well could result in the need to remove any structure or obstacle that prevents or impedes access including, but not limited to, buildings, housing, fencing, landscaping, trees, pools, patios, sidewalks, roadways, and decking. Maintaining sufficient access is considered the ability for a well servicing unit and associated necessary equipment to reach a well from a public street or access way, solely over the parcel on which the well is located. A well servicing unit, and any necessary equipment, should be able to pass unimpeded along and over the route, and should be able to access the well without disturbing the integrity of surrounding infrastructure.

There are no guarantees a well abandoned in compliance with current Division requirements as prescribed by law will not start leaking in the future. It always remains a possibility that any well may start to leak oil, gas, and/or water after abandonment, no matter how thoroughly the well was plugged and abandoned. The Division acknowledges wells plugged and abandoned to the most current Division requirements as prescribed by law have a lower probability of leaking in the future, however there is no

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guarantees that such abandonments will not leak.

The Division advises that all wells identified on the development parcel prior to, or during, development activities be tested for liquid and gas leakage. Surveyed locations should be provided to the Division in Latitude and Longitude, NAD 83 decimal format. The Division expects any wells found leaking to be reported to it immediately.

Failure to plug and abandon the well may result in enforcement action, including an order to perform abandonment well work, pursuant to PRC § 3208.1, and 3224.

PRC § 3208.1 give the Division the authority to order or permit the re-abandonment of any well where it has reason to question the integrity of the previous abandonment, or if the well is not accessible or visible. Responsibility for re-abandonment costs may be affected by the choices made by the local permitting agency, property owner, and/or developer in considering the general advice set forth in this letter. The PRC continues to define the person or entity responsible for abandonment as:

- The property owner - If the well was plugged and abandoned in conformance with Division requirements at the time of abandonment, and in its current condition does not pose an immediate danger to life, health, and property, but requires additional work solely because the owner of the property on which the well is located proposes construction on the property that would prevent or impede access to the well for purposes of remedying a currently perceived future problem, then the owner of the property on which the well is located shall obtain all rights necessary to abandon the well and be responsible for the abandonment.
- The person or entity causing construction over or near the well - If the well was plugged and abandoned in conformance with Division requirements at the time of plugging and abandonment, and the property owner, developer, or local agency permitting the construction failed either to obtain an opinion from the supervisor or district deputy as to whether the previously abandoned well is required to be reabandoned, or to follow the advice of the supervisor or district deputy not to undertake the construction, then the person or entity causing the construction over or near the well shall obtain all rights necessary to reabandon the well and be responsible for the abandonment.
- The party or parties responsible for disturbing the integrity of the abandonment - If the well was plugged and abandoned in conformance with Division requirements at the time of plugging and abandonment, and after that time someone other than the operator or an affiliate of the operator disturbed the integrity of the abandonment in the course of developing the property, then the party or parties responsible for disturbing the integrity of the abandonment shall be responsible for the abandonment.

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No well work may be performed on any oil, gas, or geothermal well without written approval from the Division. Well work requiring approval includes, but is not limited to, mitigating leaking gas or other fluids from abandoned wells, modifications to well casings, and/or any other re-abandonment work. The Division also regulates the top of a plugged and abandoned well's minimum and maximum depth below final grade. CCR §1723.5 states well casings shall be cut off at least 5 feet but no more than 10 feet below grade. If any well needs to be lowered or raised (i.e. casing cut down or casing riser added) to meet this regulation, a permit from the Division is required before work can start.

The Division makes the following additional recommendations to the local permitting agency, property owner, and developer:

- To ensure that present and future property owners are aware of (a) the existence of all wells located on the property, and (b) potentially significant issues associated with any improvements near oil or gas wells, the Division recommends that information regarding the above identified well(s), and any other pertinent information obtained after the issuance of this letter, be communicated to the appropriate county recorder for inclusion in the title information of the subject real property.
- The Division recommends that any soil containing hydrocarbons be disposed of in accordance with local, state, and federal laws. Please notify the appropriate authorities if soil containing significant amounts of hydrocarbons is discovered during development.

As indicated in PRC § 3106, the Division has statutory authority over the drilling, operation, maintenance, and abandonment of oil, gas, and geothermal wells, and attendant facilities, to prevent, as far as possible, damage to life, health, property, and natural resources; damage to underground oil, gas, and geothermal deposits; and damage to underground and surface waters suitable for irrigation or domestic purposes. In addition to the Division's authority to order work on wells pursuant to PRC §§ 3208.1 and 3224, it has authority to issue civil and criminal penalties under PRC §§ 3236, 3236.5, and 3359 for violations within the Division's jurisdictional authority. The Division does not regulate grading, excavations, or other land use issues.

If during development activities, any wells are encountered that were not part of this review, the property owner is expected to immediately notify the Division's construction site well review engineer in the Coastal district office, and file for Division review an amended site plan with well casing diagrams. The District office will send a follow-up well evaluation letter to the property owner and local permitting agency.

Should you have any questions, please contact me at (504) 425-7710 or via email at Miguel.Cabrera@conservation.ca.gov.

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Sincerely,
Miguel Cabrera
Northern District Deputy

cc: Pilar Plummer - Plan Checker
cc: Jaime Perez - Property Owner

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1384 Shoreline Dr Residence

1384 Shoreline Drive
Santa Barbara, CA 93109

045-193-019

Revisions

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NOT FOR CONSTRUCTION

Oil Well Letter

A0.2
PC, LDT & SFD Review 03.07.2022



(1) Looking towards existing residence



(2) Looking north west towards neighbor on the west (1390 Shoreline Dr)



(3) Looking north east towards existing garage and neighbor on the east (1380 Shoreline Dr)



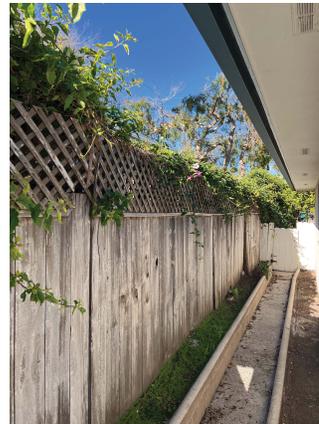
(4) Looking towards neighbor on the east (1380 Shoreline Dr)



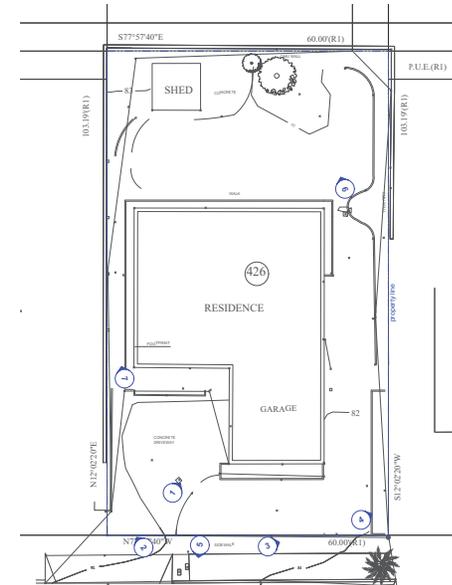
(6) Looking north towards neighbor on the north (1375 Santa Rita Cir)



(5) View towards Shoreline park from proposed site



(7) Looking along west fence and side yard



**1384 Shoreline Dr
Residence**

1384 Shoreline Drive
Santa Barbara, CA 93109
045-193-019

Revisions

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NOT FOR
CONSTRUCTION

Existing Site Photos

A0.3

PC, LDT & SFDB Review 03.07.2022



**1384 Shoreline Dr
Residence**

1384 Shoreline Drive
Santa Barbara, CA 93109
045-193-019

Revisions

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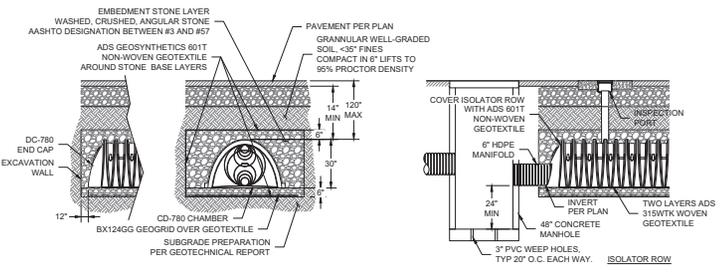
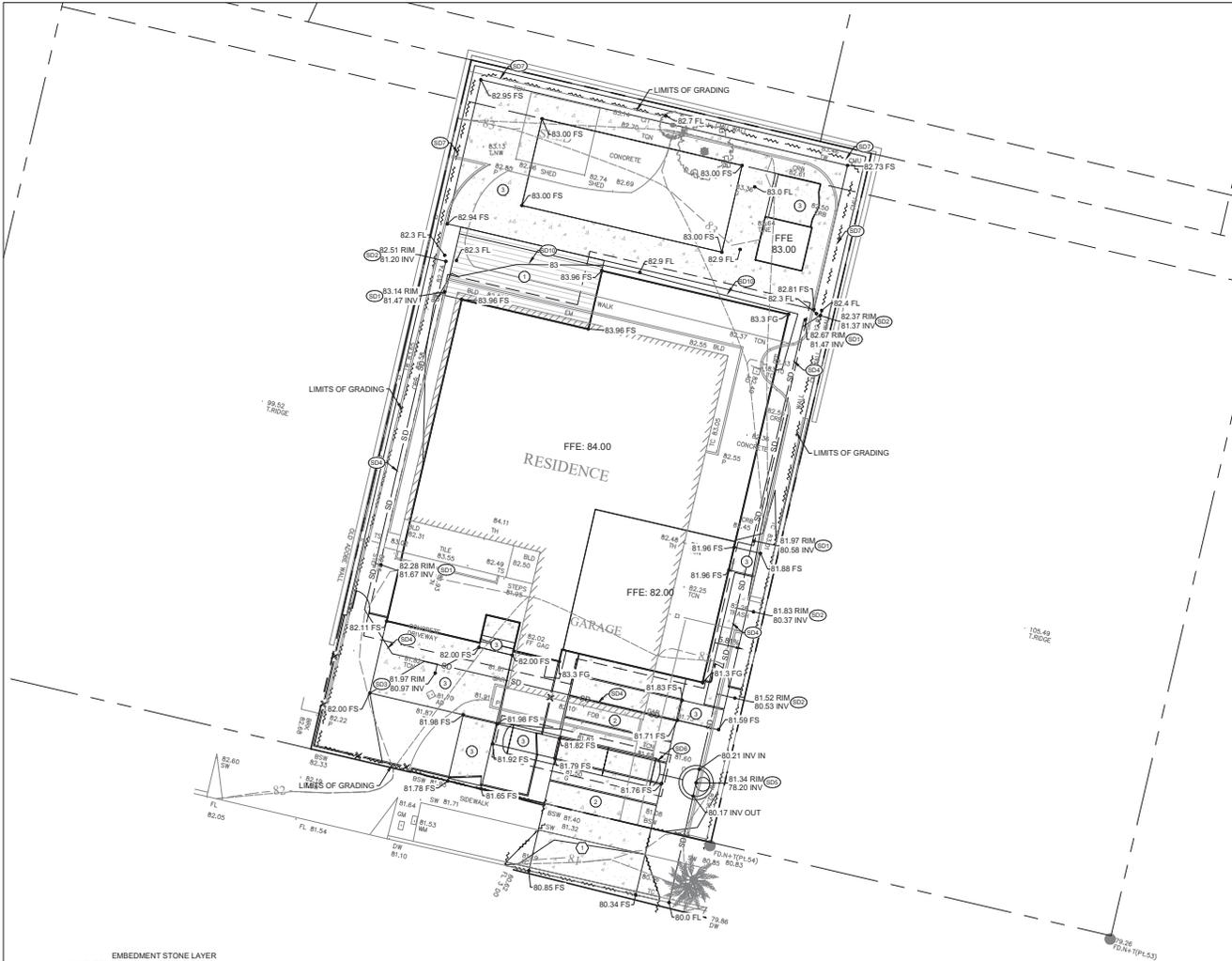
NOT FOR
CONSTRUCTION

Renderings

A0.4

PC, LDT & SFD Review 03.07.2022

S:\M\2022\1A\1642\188 - Perez Residence - 1642-602 - Working Drawings\Permitting\1642_C-2.1 GRADING SHEET.dwg, C-2.1, Mar 07, 2022, 10:40m, Bruce



1 STORMTECH RETENTION CHAMBER DETAIL

GENERAL NOTES:

SEE DEMOLITION AND PROTECTION PLAN FOR ADDITIONAL INFORMATION.
 ALL DEMOLITION AND GRADING SHALL BE IN COMPLIANCE WITH THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT PREPARED BY BRAUN & ASSOCIATES INC., DATED FEBRUARY 17, 2022 AND ALL ADDENDA TO THE REPORT SHALL BE CONSIDERED PART OF THESE PLANS. CONTRACTOR SHALL CONTACT SOILS ENGINEER PRIOR TO START OF DEMOLITION WORK.
 CONTACT: MARK D. BRAUN, PE PHONE: (805) 688-5429

TIER 3 BMP COMPLIANCE REQUIREMENT:
 BEFORE THE BUILDING INSPECTOR WILL GRANT CERTIFICATE OF OCCUPANCY AND FINALIZE THE BUILDING PERMIT, THE CONTRACTOR IS TO HAVE THE BUILDING AND SAFETY DIVISION CERTIFY POST-CONSTRUCTION BMP'S WERE INSTALLED AS APPROVED AND THAT THEY COMPLY WITH THE CITY OF SANTA BARBARA'S TIER 3 STORM WATER REQUIREMENTS. UNLESS OTHERWISE NOTED, ALL IMPERVIOUS ROOF AND PAVEMENT AREA WILL BE DIRECTED TO THE ONSITE PROPOSED STORM WATER BMP'S.

RIGHT OF WAY CONSTRUCTION NOTES:

- 1. CONSTRUCT RESIDENTIAL DRIVEWAY PER CITY OF SANTA BARBARA STANDARD DETAILS H-01.0 AND H-03.0.

SITE CONSTRUCTION NOTES:

- 1. CONSTRUCT WOOD DECK PER ARCHITECTURE PLANS.
- 2. CONSTRUCT CONCRETE DRIVEWAY PANELS ON PERMEABLEBASE CONNECTED HYDRAULICALLY TO THE CHAMBER SYSTEM.
- 3. CONSTRUCT CONCRETE WALKWAY SECTION.

STORM DRAIN CONSTRUCTION NOTES:

- 1. INSTALL ROOF DRAIN CONNECTION.
- 2. INSTALL 4-INCH PEDESTRIAN RATED ATRIUM GRATE DRAIN.
- 3. INSTALL 6-INCH PEDESTRIAN RATED FLAT GRATE DRAIN.
- 4. INSTALL 4-INCH SDR35 PVC STORM DRAIN LINE.
- 5. INSTALL 48-INCH DISTRIBUTION MANHOLE PER DETAIL 1 THIS SHEET.
- 6. INSTALL STORMTECH DC-780 RETENTION SYSTEM WITH 3 CHAMBERS PER DETAIL 1 THIS SHEET.
- 7. CONSTRUCT EARTH SWALE.

Plan Prepared By:

 CIVIL • STRUCTURAL
 710 Blair Court Street
 Santa Barbara, CA 93101
 (805) 962-3966
 www.ashleyandvance.com

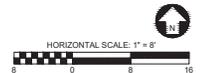
The use of these plans and specifications shall be restricted to the original use for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual conflicts with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

Engineer of Record:

Perez Residence
 1384 SHORELINE DRIVE
 SANTA BARBARA, CA 93109

Revisions:

Project Engineer: LJR Ext: 203
 Project Manager: BRJ
 Date: 03.07.2022 Scale: PER PLAN
 AV Job No: 211889 Sheet Size: 24" x 36"



GRADING AND DRAINAGE PLAN
C-2.1

hydrozone information

Hydrozone #	Water Use	Irrigation Method	Area (SF)	% of Irrigated Area	Irrigation Note
1	Low	Drip	642 SF	43.50%	supplemental as needed
2	Low	Drip	260 SF	17.62%	supplemental as needed
3	Low	Spray	287 SF	19.44%	supplemental as needed
4	Low	Drip	287 SF	19.44%	supplemental as needed

TOTAL	1,476 SF	100%
-------	----------	------

note: see Sheet L1.0 for complete water efficient landscape worksheet

irrigation system description

A high efficiency, low water use and weather based irrigation system will be used to supply the necessary water requirements for the selected plant palettes with "water wise" plants making up the majority of the palette. Plant water needs correspond to proposed irrigation methods including low precipitation spray and drip irrigation.

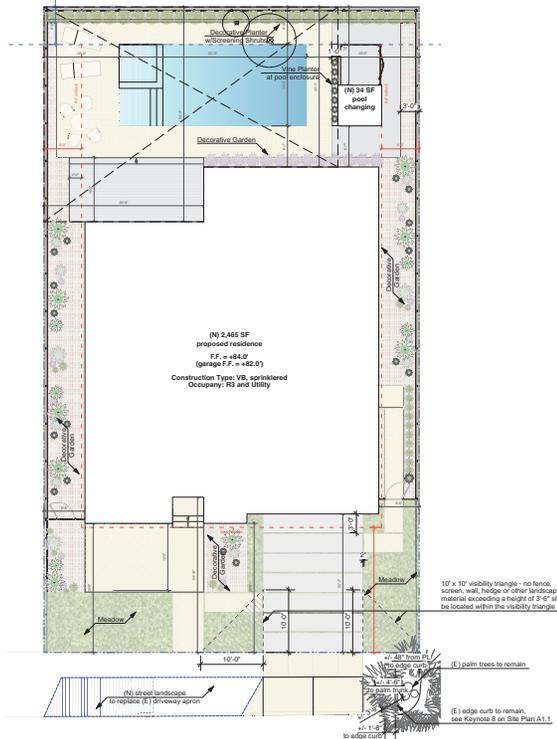
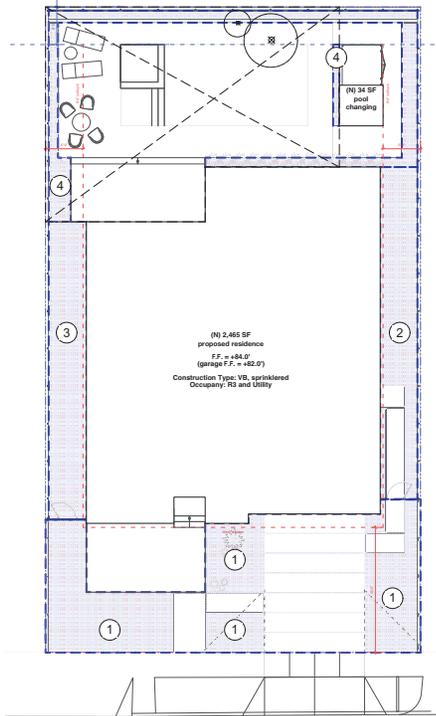
irrigation system design criteria:

A high efficiency, low water use and weather based irrigation system will be used to supply the necessary water requirements for the selected plant palettes with "water wise" plants making up the majority of the palette. Plant water needs correspond to proposed irrigation methods including low precipitation spray and drip irrigation.

irrigation legend

note: refer to irrigation equipment schedule

- hydrozone boundary
- ① hydrozone number
- drip irrigation



preliminary plant lists

Botanic Name	Common Name	WUCOLS
1. Decorative Garden		
Ground Cover - GC		
<i>Ceanothus griseus 'Carmel Creeper'</i>	Carmel Creeper	L
<i>Coloneaster dammeri</i>	Bamboo Coloneaster	L
<i>Dymoria margaritae</i>	NCA	L
Perennial - P		
<i>Dianella 'Cassa Blue'</i>	Cassa Blue Flax Lily	L*
<i>Philodendron bipinnatifidum</i>	Philodendron	L*
<i>Penstemon 'Firebird'</i>	Firebird Penstemon	L
<i>Achillea millefolium (CA native)</i>	Yarrow	L
<i>Asclepias (CA native)</i>	Milk/Silk Weed	VL
<i>Eriogon glaucus</i>	Beach Aster	L
<i>Zauschneria 'Solidarity Pink'</i>	Pink California Fuchsia	VL
Shrubs - S		
<i>Angicathos 'Gold Velvet'</i>	Gold Kangaroo Paw	L*
<i>Asparagus densiflorus 'Meyers'</i>	Fontal Fern	L*
<i>Ceanothus griseus 'Yankee Point'</i>	Ceanothus Yankee Point	L
<i>Ceratostema hillebrandii</i>	Bamboo Cycad	M
<i>Coprosma 'Pink Spendor'</i>	Mirror Bush	L*
<i>Cycas revoluta</i>	Sago Palm	L*
<i>Dietes grandiflora 'Sunstripe'</i>	Yellow/Striped Forsythia Lily	L
<i>Leucopetrum 'Blanche Ito'</i>	Blanche's Sky-Rocket Pincushion	L
<i>Nandina domestica 'Gulf Stream'</i>	Gulf Stream Heavenly Bamboo	L
<i>Phormium 'Jester'</i>	Jester Flax	L
<i>Protea cynaroides 'Mini King'</i>	Dwarf King Protea	L*
<i>Sprentzia reginae</i>	Bird of Paradise	L*
<i>Teucrium chamaedrys</i>	Germander	VL
<i>Eriogonum arborescens</i>	Santa Cruz Island Buckwheat	VL
<i>Encelia californica</i>	California Sunflower	VL
<i>Eriogonum alquantum</i>	Saint Catherine's Lace	VL
<i>Salvia clevelandii 'Winifred Gilman'</i>	Winifred Gilman Cleveland Sage	VL
Vines - V		
<i>Solanum laxum</i>	Potato Vine	M
<i>Bauhinia corymbosa</i>	Phanera	M
<i>Daliscia buccinatoria</i>	Trumpet Vine	L

* per WUCOLS Santa Barbara Addendum

Botanic Name	Common Name	WUCOLS
2. Meadow		
Grasses - G		
<i>Bouteloua gracilis</i>	Blue Gramma Grass	L

landscape information

- a. total landscape area: 1,476 sq ft
- b. total non-irrigated landscape area: 0 sq ft
- c. project type: single family residence
- d. irrigation water supply type: potable water / public

I am familiar with the requirements for landscape and irrigation plans contained in AB 1881. I have prepared this plan in compliance with those regulations. I certify that the plan implements those regulations to provide efficient use of water.

I have complied with the criteria in MWEL0 and applied them for the efficient use of water in the Landscape Design Plan.

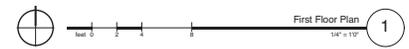
It is my understanding that verification of compliance will be necessary upon final building inspection. I shall inspect the completed installation and I will submit in writing that the installation substantially conforms to the approved plans.

Signature: Adam Sharkey, C-32165
Name

License # C-32165 Exp. Date _____

general notes

- Contractor to submit a detailed soil analysis by a reputable laboratory that includes soil amendment recommendations for approval prior to planting. A Soil Management Report shall be prepared in accordance with the State of California's Model Water Efficient Landscape Ordinance and be provided prior to irrigation and planting installation.
- Contractor shall provide and install landscape mulch over all planted areas, including below shrubs and vines. Mulch shall be pre-composted mulch on flat areas and gravel/hair mulch on slopes over 3:1. Mulch shall be spread evenly at a minimum depth of 3". Keep mulch 2" clear from trunks of trees and shrubs. Contractor to submit samples for approval prior to installation.
- Compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tilling.



**1384 Shoreline Dr
Residence**

1384 Shoreline Drive
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045-193-019

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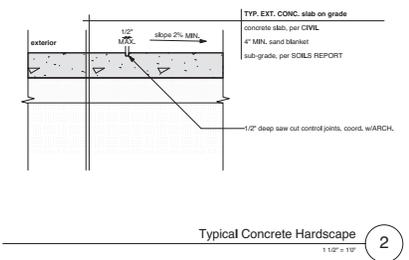
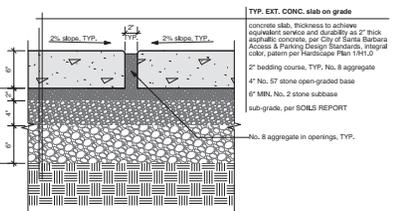
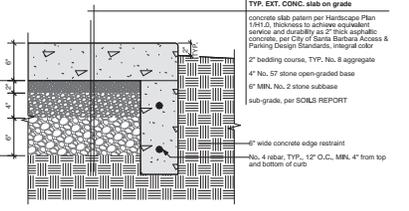
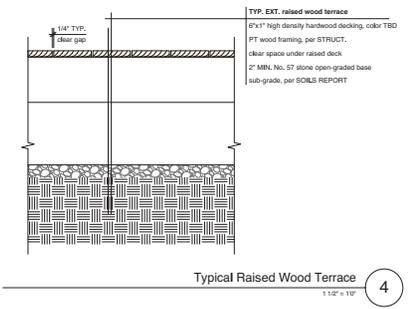
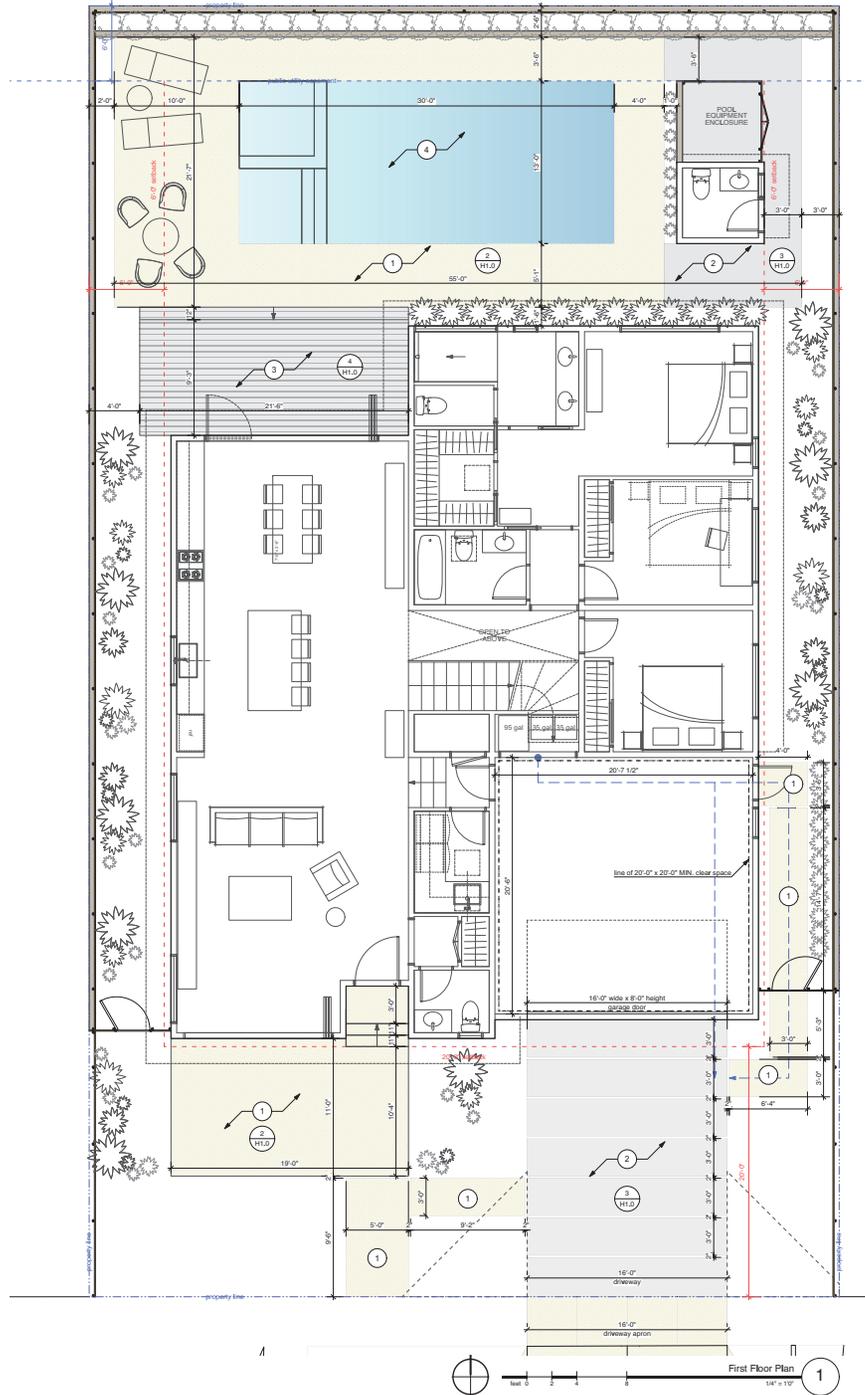
Hardscape Plan

H1.0

PC, LDT & SFDB Review 03.07.2022

LEGEND: HARDSCAPE PLAN

- property line
- 1 (N) concrete hardscape, integral color TBD, sandcast finish, see DET. 2H1.0
- 2 (N) CONC. hardscape with 2" gravel joints, integral color TBD, sandcast finish, see DET. 2H1.0
- 3 (N) IPE wood terrace, see DET. 4H1.0
- 4 (N) pool, under separate permit



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Demolition Site Plan

D1.0

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GENERAL NOTES: DEMOLITION

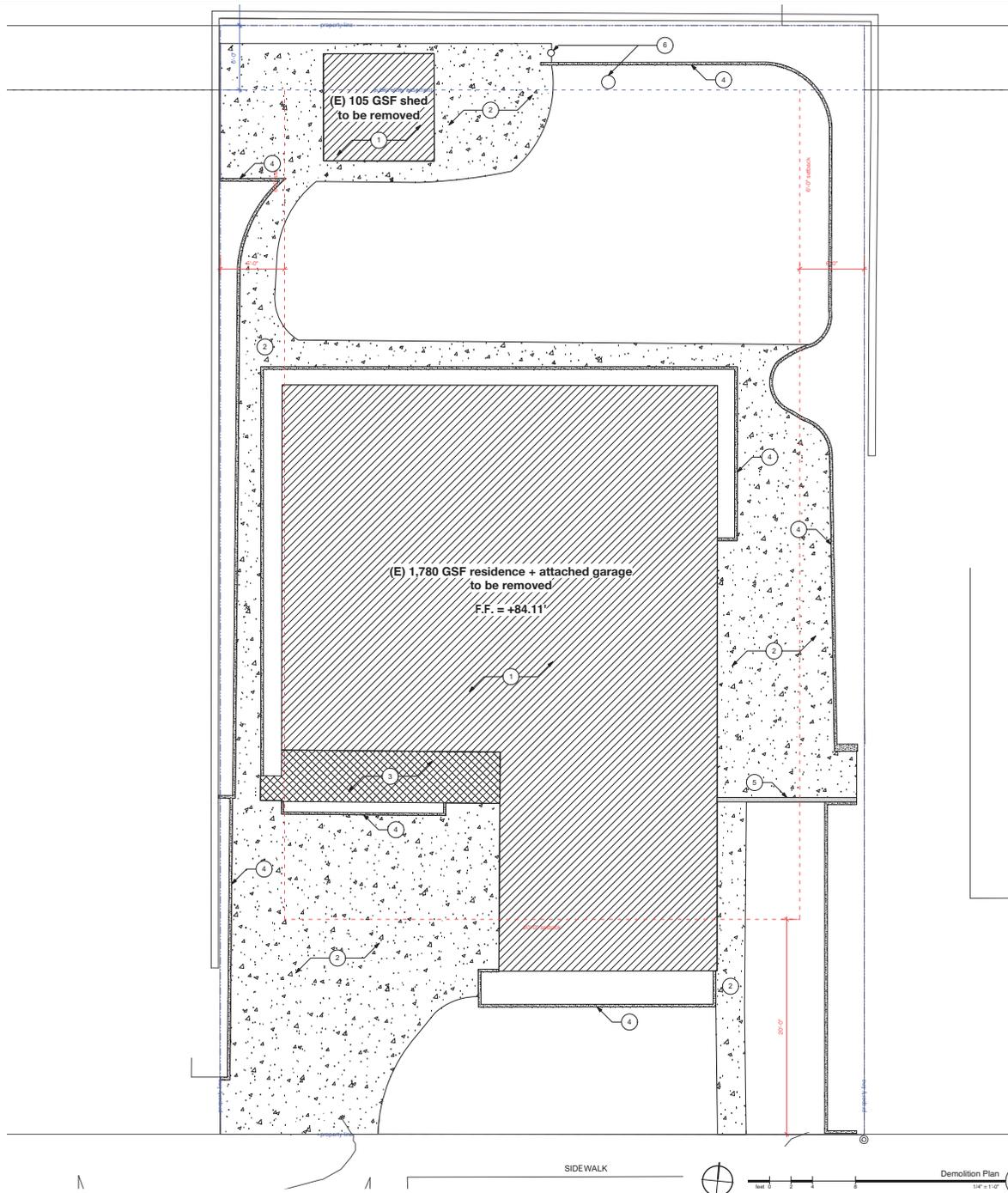
- A. Demolition drawings are schematic and based on canopy field observation. Field verify all existing conditions prior to start of demolition. Report discrepancies to Architect before disturbing existing work.
- B. Prior to demolition, contractor to verify with owner all items to be salvaged.
- C. Coordinate utility outages for all affected parts.
- D. All demolished areas shall be completed to "finished and measure" finish, including all exposed cavities in adjacent walls and ceilings.
- E. If asbestos is encountered, stop work and contact owner.
- F. 65% MIN. of all construction and demolition debris generated shall be diverted from the landfill, as mandated by California Municipal Code. Demolition and/or excess construction materials shall be separated crates for reuse/recycle or proper disposal. During demolition and grading, spacing time for recycling of construction materials and brush shall be provided onsite.

KEY NOTES: DEMOLITION

- 1. Existing building and shed to be removed (1,780 GSF residence and attached garage, 105 GSF shed)
- 2. Existing CONC. hardscape to be removed (approx. 1,442 SF)
- 3. Existing raised CONC. porch and steps to be removed (approx. 102 SF)
- 4. Existing CONC. curb at allways and planters to be removed
- 5. Existing wood fence to be removed
- 6. Existing citrus trees to be removed

LEGEND: DEMOLITION PLAN

- - - - - property line
- (//) building to be removed
- (.) CONC. hardscape to be removed
- (X) asphalt driveway to be removed
- (- - - - -) masonry fence to be removed
- (=) masonry fence to remain
- (=) wood fence to be removed
- (O) citrus trees to be removed

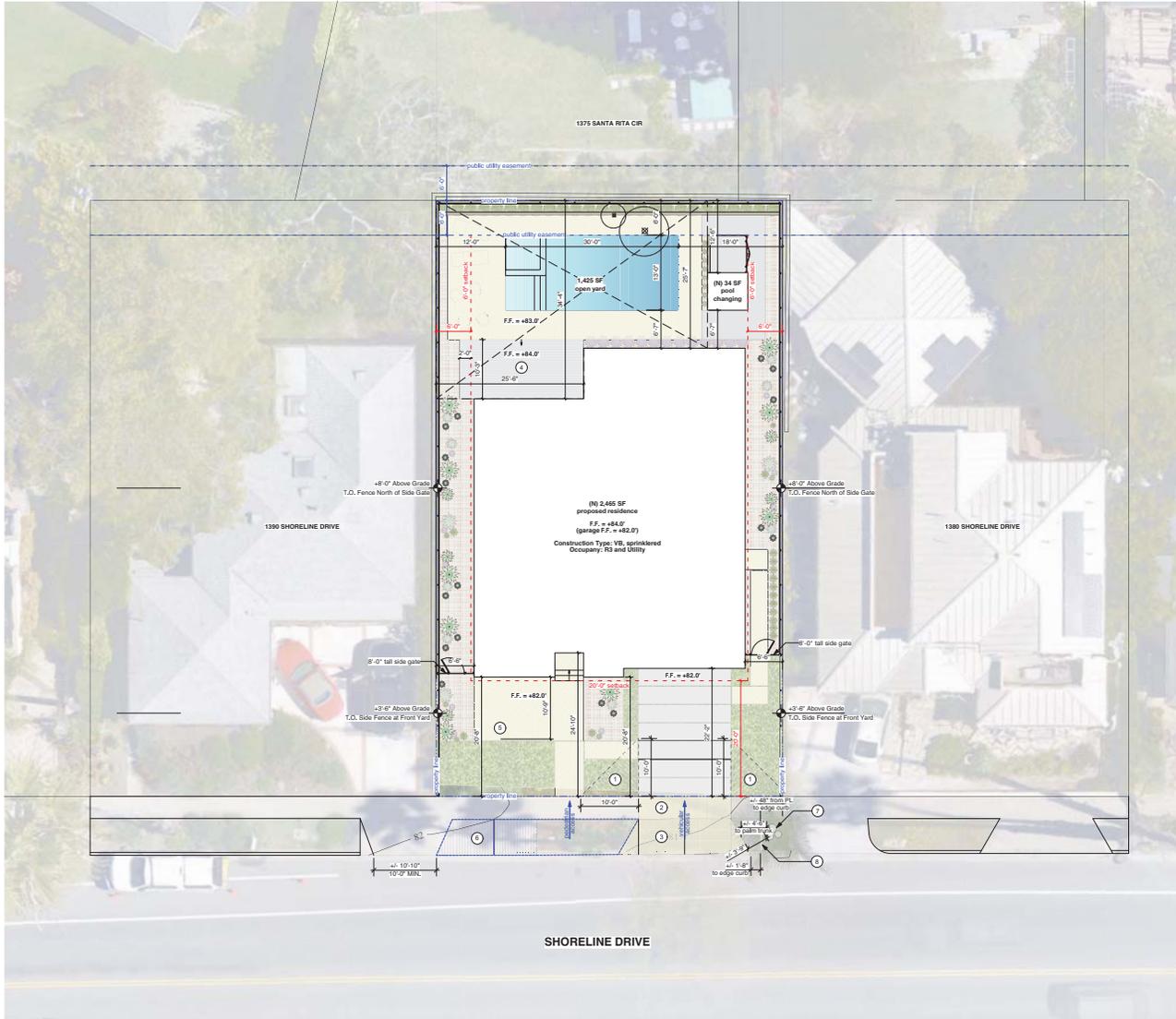


LEGEND: PROPOSED SITE PLAN

- property line
- setback
- easement
- (E) contour
- (N) contour
- feature above
- (N) proposed residence
- (N) concrete hardscap, integral color TBD, sandcast finish, see DET. 21H1.0 appendices
- (N) CONC. driveway with 2" gravel joints, integral color TBD, sandcast finish, see DET. 21H1.0 - appendices
- (N) IPE wood dock - pervious
- (N) pool, under separate permit
- (N) transparent fence, height per ELEV.
- (N) masonry fence, height per ELEV.
- (N) partial height enclosure wall
- visibility triangle
- existing non-specimen citrus tree to be removed, ref. Demolition Plan D1.0

KEY NOTES: SITE PLAN

1. 10' x 10' visibility triangle - no fence, screen, wall, hedge or other landscaping material exceeding a height of 3'-6" shall be located within the visibility triangle.
2. New concrete sidewalk to comply with City of Santa Barbara Public Works Standard Construction Details, control joint pattern to match existing pattern.
3. New 18" R/W side driveway concrete apron to comply with City of Santa Barbara Public Works Standard Construction Details.
4. New wood terrace, approx. 12" above existing grade, Per Santa Barbara Municipal Code, Title 22 Zoning-Casual, Section 28.15.050 C.L.U.I. required open yard can incorporate docks, patios, terraces, or similar improvements if the maximum height of the improvement above existing or finished grade, whichever is lower, is not greater than 36 inches. Per Title 28 Zoning - Casual, Section 28.35.020, for architectural purposes, terraces and outside steps may extend above the finished floor level of the first floor, may encroach up to three feet into any interior setback.
5. New concrete front patio, 10" MAX. above grade. Per Title 28 Zoning - Casual, Section 28.37.062 B.T. Slopes that are no more than 15 inches in height above existing grade may encroach into any setback.
6. Existing driveway apron to be removed and replaced with street landscape.
7. Existing palm trees to remain.
8. E/s edge curb to remain to protect palm tree trunk, approx. 4'-0" West of Property Line and approx. 1'-0" SW from any point of proposed (N) driveway apron, as shown on Site Plan, based on measurements in field.



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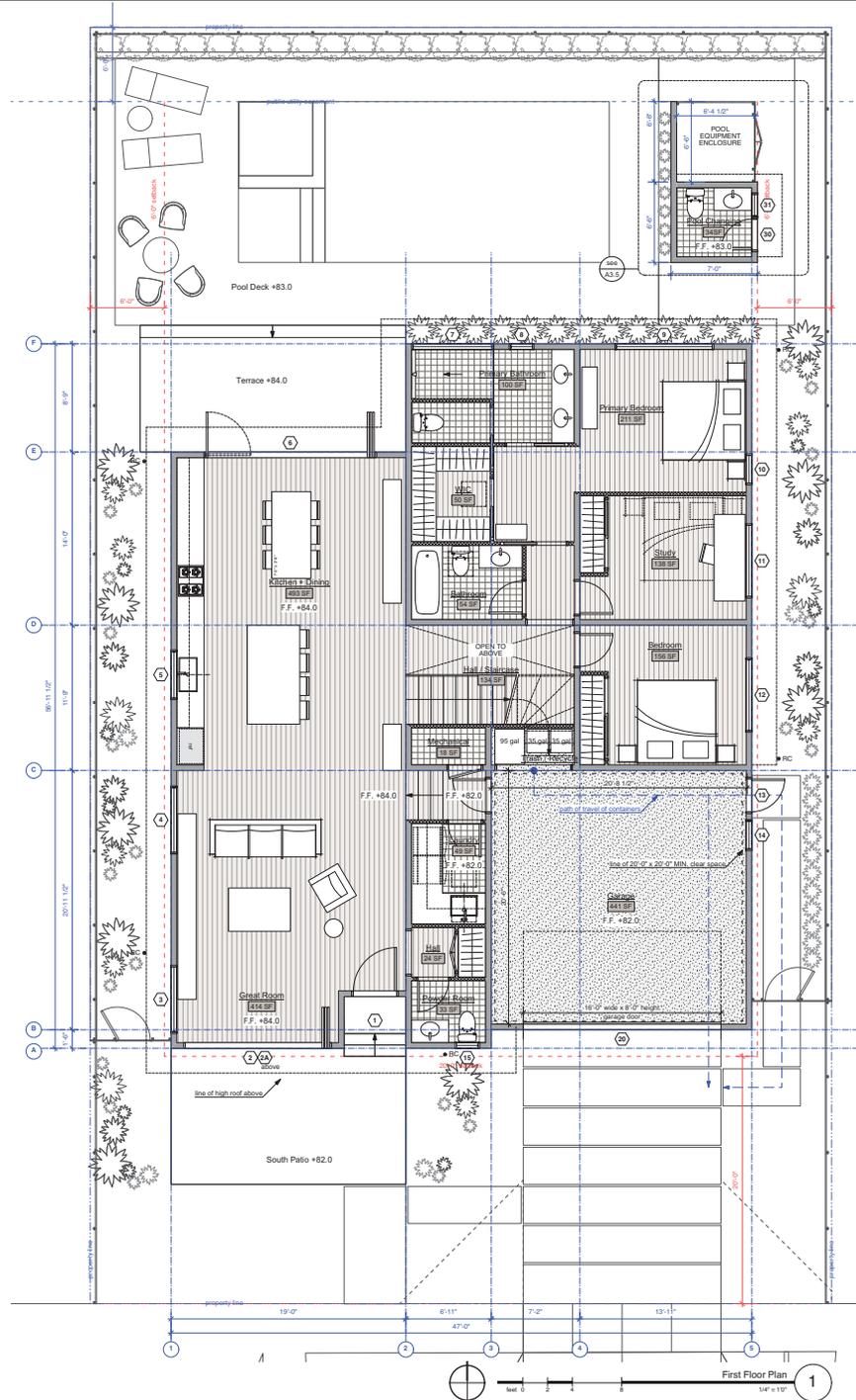
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Proposed Site Plan

A1.1

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LEGEND: FLOOR PLAN

- movable furniture
- feature below
- feature above
- ▨ built-in cabinetry, full height, coordinate w/ interior elevations
- ▨ built-in cabinetry, low height, coordinate w/ interior elevations
- ⬇ rain chain
- ⬇ R/C

WALL TYPE LEGEND: FLOOR PLAN

- ▨ 2x4 wood stud wall
- ▨ 2x6 wood stud wall

FLOORING FINISHES

- ▨ INT. wood flooring
- ▨ INT. tile flooring
- ▨ INT. concrete flooring

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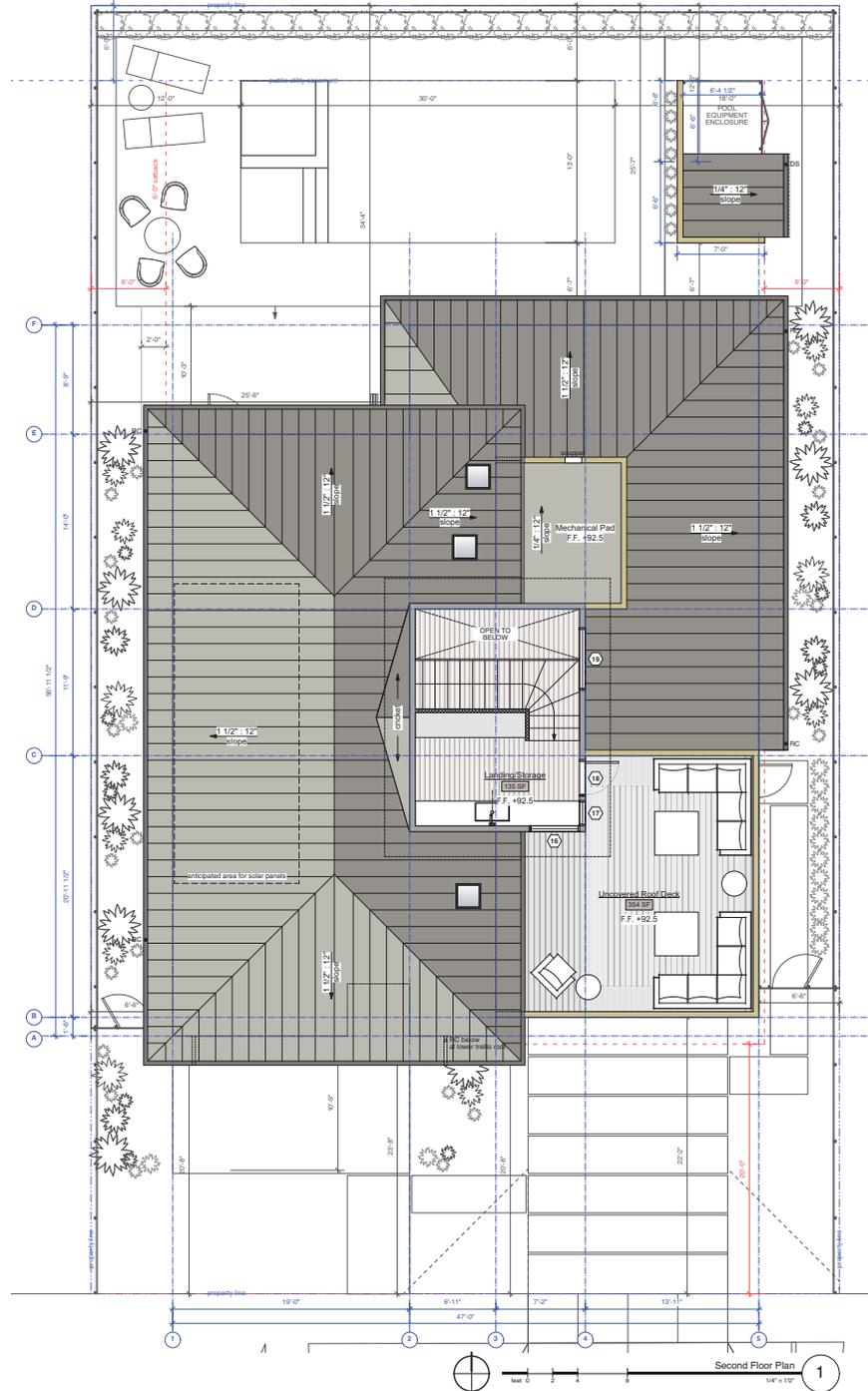
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First Floor Plan

A2.1
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LEGEND: FLOOR PLAN

- movable furniture
- feature below
- feature above
- ▨ built-in cabinetry, full height, coordinate w/ interior elevations
- ▨ built-in cabinetry, low height, coordinate w/ interior elevations
- rain chain
- RC

WALL TYPE LEGEND: FLOOR PLAN

- ▨ 2x4 wood stud wall
- ▨ 2x6 wood stud wall

FLOORING FINISHES

- ▨ INT. wood flooring
- ▨ INT. tile flooring
- ▨ INT. concrete flooring
- ▨ EXT. IPE wood decking

ROOFING MATERIALS

- ▨ standing seam metal roof, dark bronze
- ▨ single ply roofing membrane
- ▨ skylight, dimension per SCHED.

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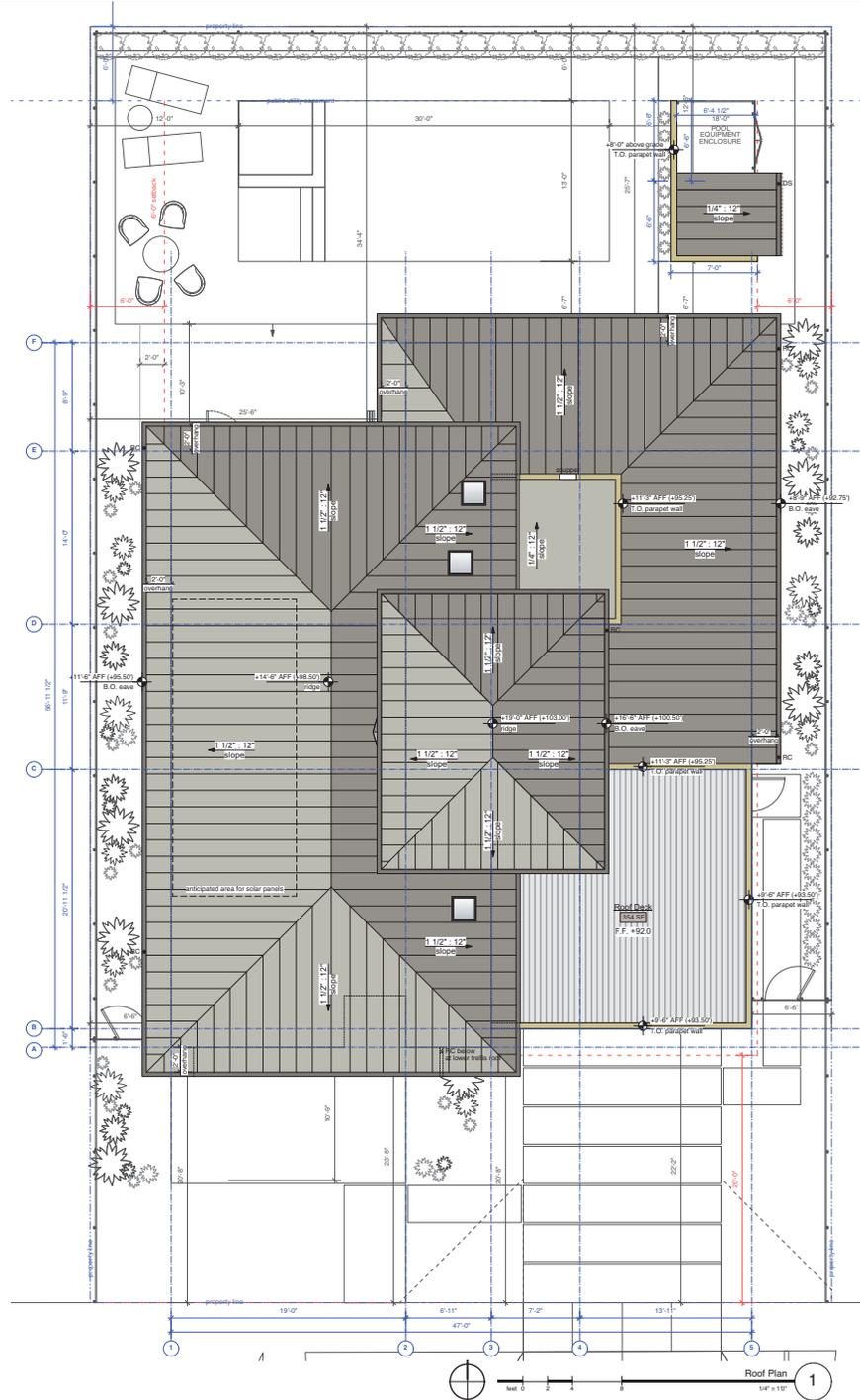
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Second Floor Plan

A2.2
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LEGEND: ROOF PLAN

- feature below
-  standing seam metal roof, dark bronze
-  single ply roofing membrane
-  parapet wall
-  custom box metal gutter, pre-finished
-  rain chain
-  EXT. IPE wood decking
-  skylight, dimension per SCHED.



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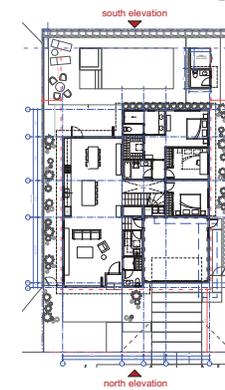
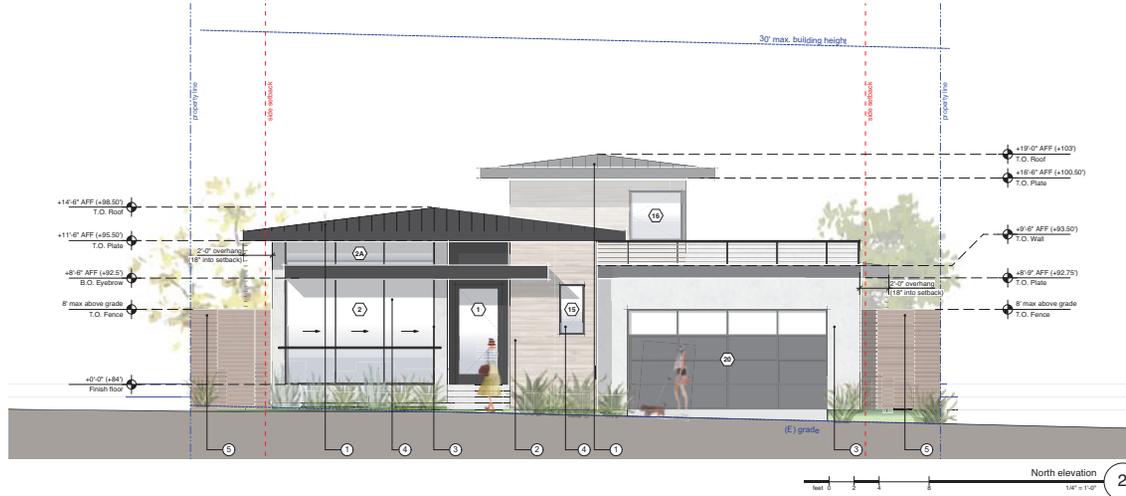
Roof Plan

A2.3

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EXTERIOR FINISH SCHEDULE

- ① Roofing / Fascia
standing seam metal roof
dark bronze, metal fascia to match roof color
- ② Wood Siding
light color, horizontal siding
- ③ Plaster
light gray integral color
- ④ Windows and Doors
bronze anodized aluminum frame
- ⑤ Metal Panel Fence
2" or 3" rigid panel, rust finish
board-former CONC. wall base



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Elevations

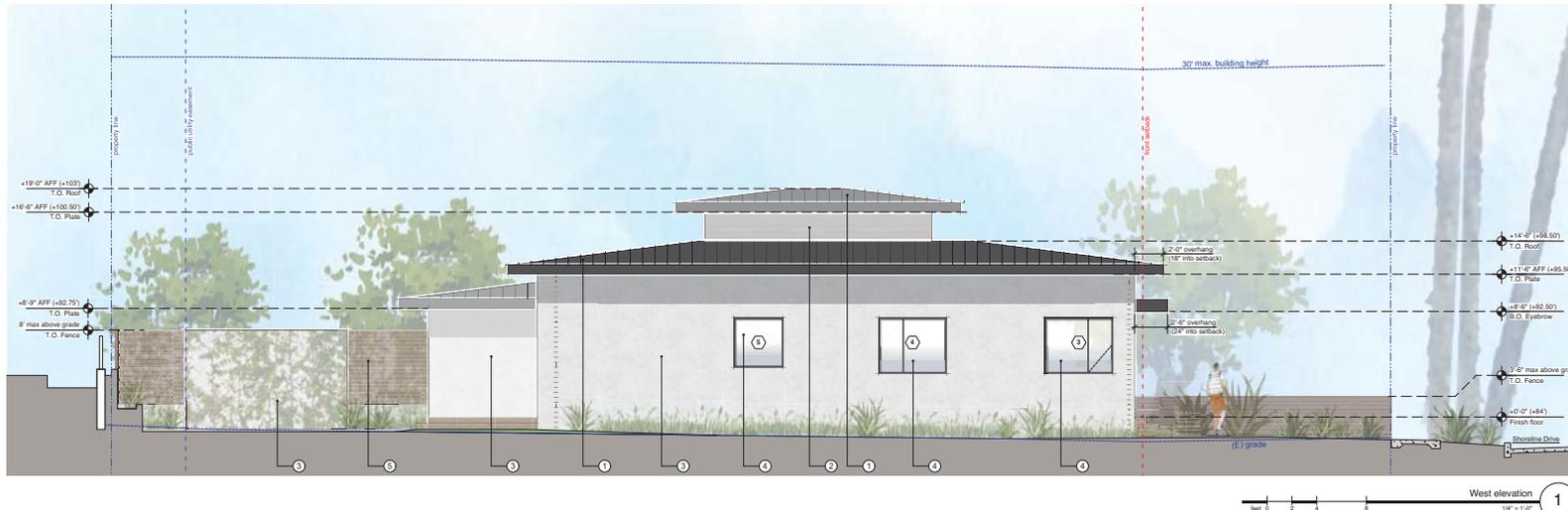
A3.1
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EXTERIOR FINISH SCHEDULE

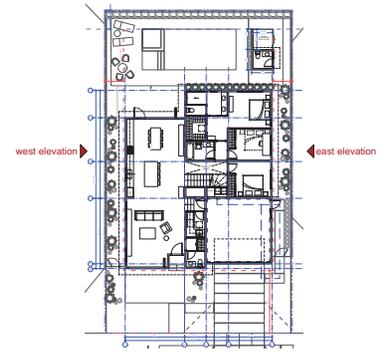
- 1 Roofing / Façade
standing seam metal roof
dark bronze, metal façade to match roof color
- 2 Wood Siding
light color, horizontal siding
- 3 Plaster
light gray integral color
- 4 Windows and Doors
bronze anodized aluminum frame
- 5 Metal Panel Fence
6" x 6" FIBR metal panel, rust finish
board-formed CONC. wall base



East elevation 2
1" = 1'-0"



West elevation 1
1" = 1'-0"



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1384 Shoreline Drive
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Elevations

A3.2

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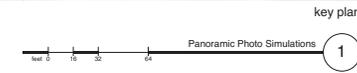
(1) Panoramic Photo Simulation - looking towards east on Shoreline Drive



(2) Panoramic Photo Simulation - looking north east from across Shoreline Drive



(3) Panoramic Photo Simulation - looking towards north west



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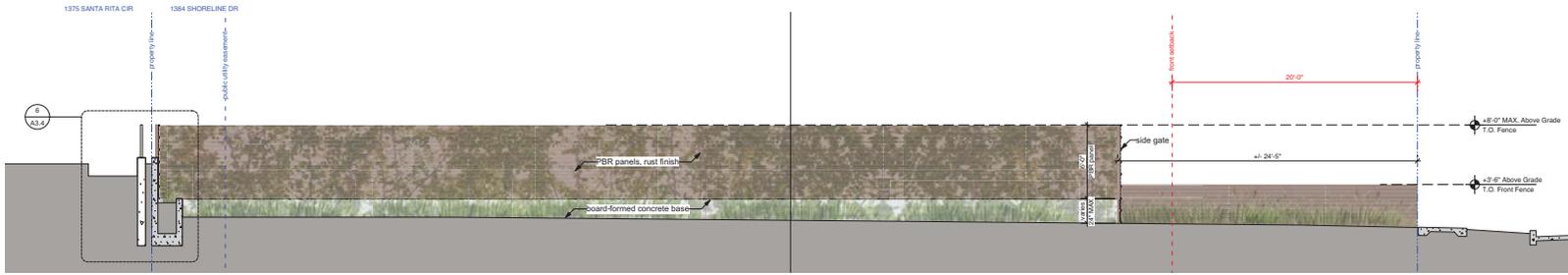
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Renderings

Photo Simulations
Street Silhouette

A3.3

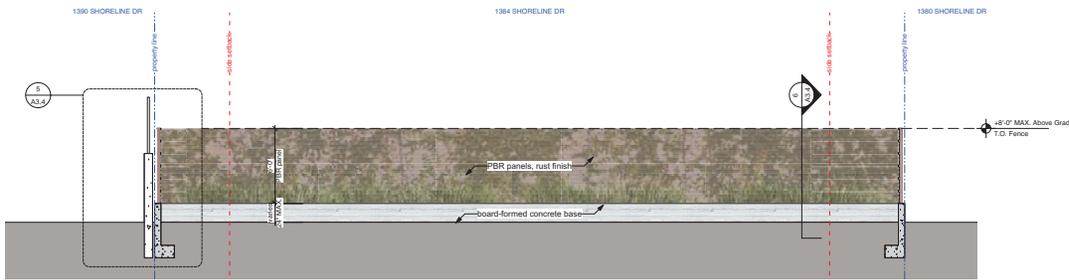
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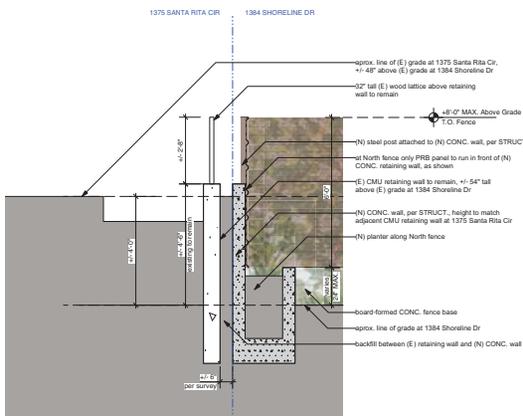
East Fence Elevation 3
1/4" = 1'-0"



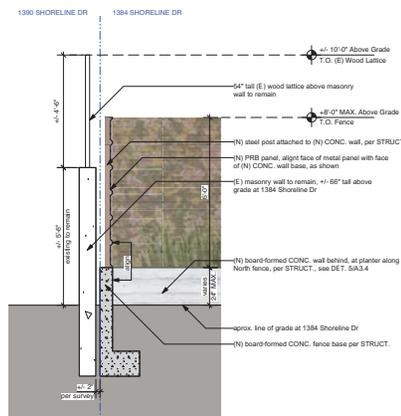
Fence Reference Image 2
N.T.S.



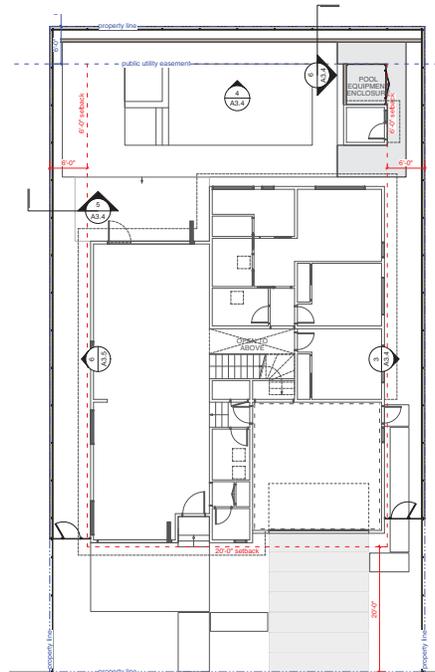
North Fence Elevation 4
1/4" = 1'-0"



North Fence Section 6
1/2" = 1'-0"



West Fence Section 5
1/2" = 1'-0"



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Santa Barbara, CA 93109
045-193-019

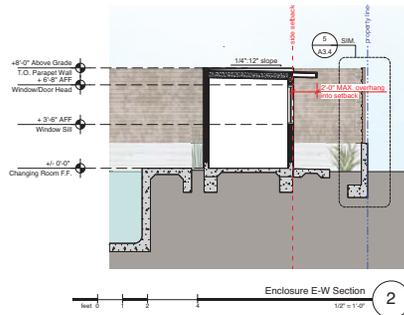
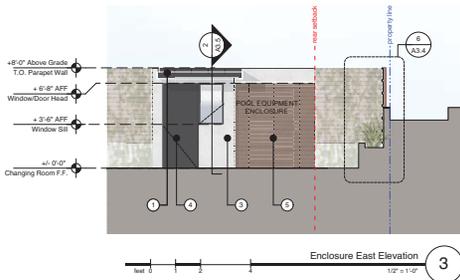
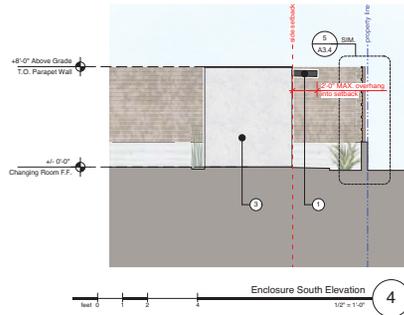
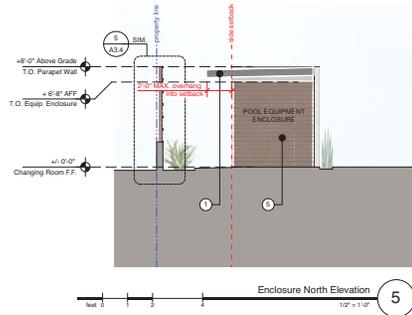
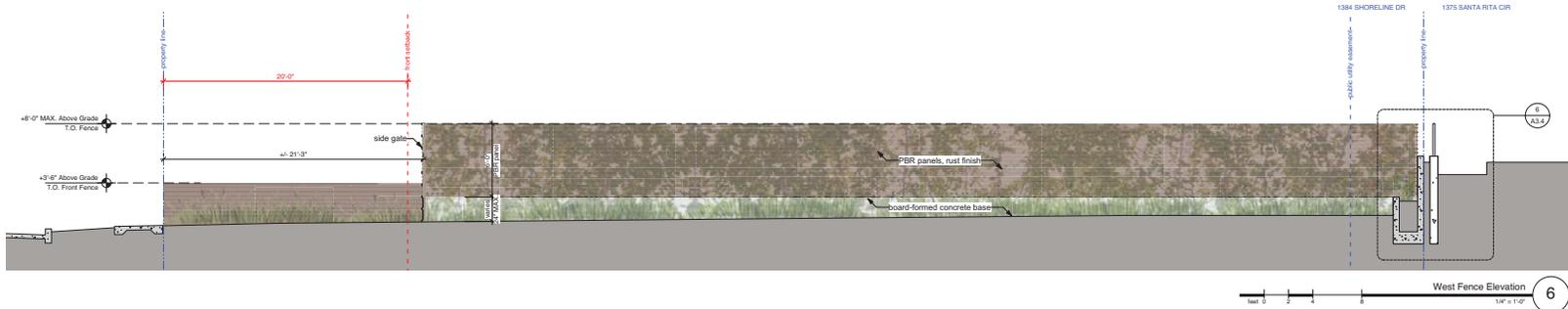
Revisions

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NOT FOR CONSTRUCTION

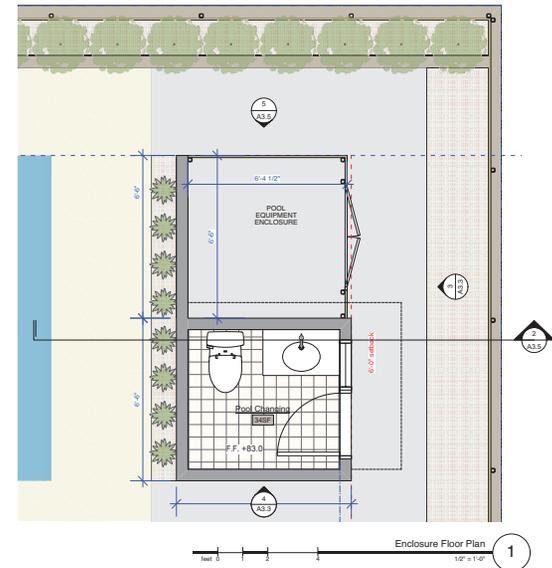
Fences
East Fence
North Fence
Fence Sections

A3.4
PC, LDT & SFPB Review 03.07.2022



EXTERIOR FINISH SCHEDULE

- 1 Roofing / Fascia
standing seam metal roof
dark bronze, metal fascia to match roof color
- 2 Wood Siding
light color, horizontal siding
- 3 Plaster
light gray integral color
- 4 Windows and Doors
bronze anodized aluminum frame
- 5 Metal Panel Fence
6'-0" PBR metal panel, rust finish
board-formed CONC. wall base



**1384 Shoreline Dr
Residence**

1384 Shoreline Drive
Santa Barbara, CA 93109
045-193-019

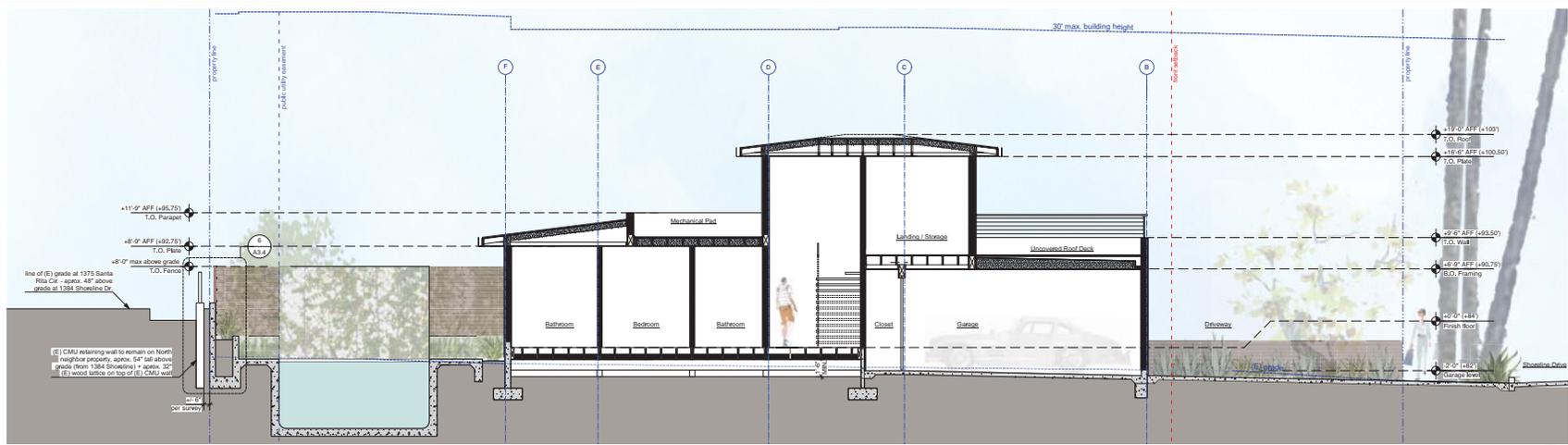
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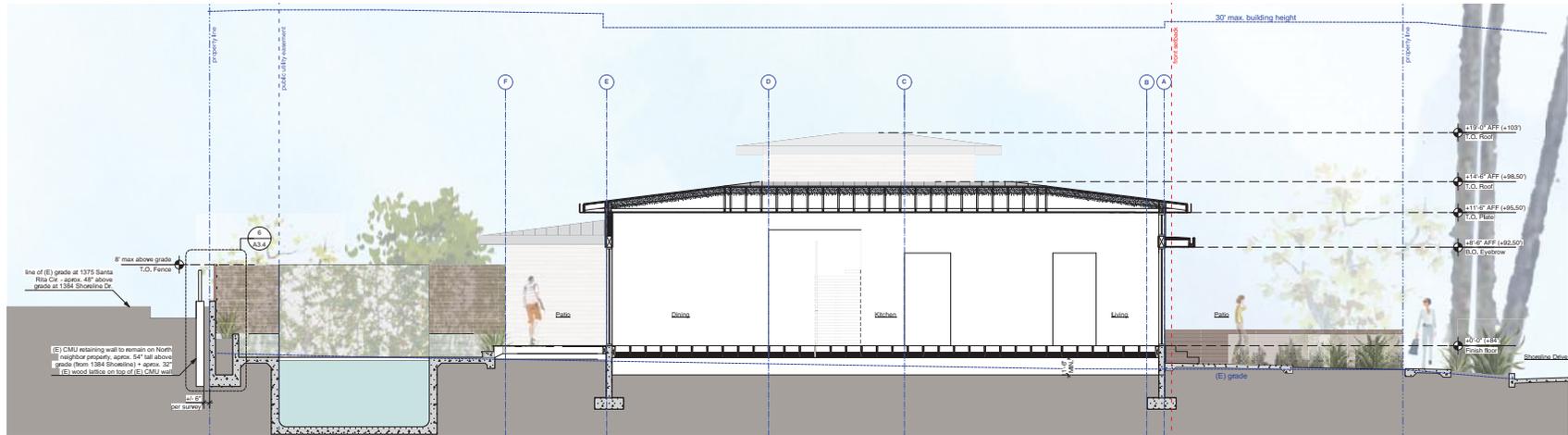
NOT FOR
CONSTRUCTION

Pool Enclosure
Changing Room
Equipment Enclosure
West Fence

A3.5
PC, LDT & SFPB Review 03.07.2022



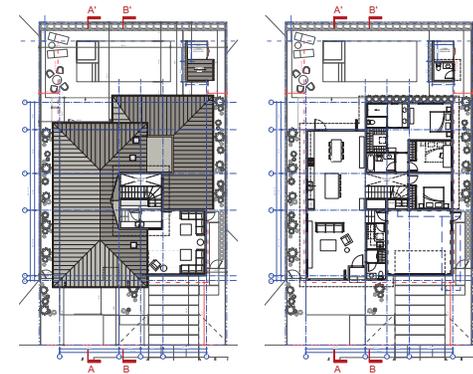
Section BB' 2
1/4" = 1'-0"



Section AA' 1
1/4" = 1'-0"

LEGEND: BUILDING SECTIONS

- feature in front
- feature behind
- existing grade
- (N) concrete
- (N) framing
- fiberglass batt insulation
- foam-in-place insulation
- rigid foam insulation



**1384 Shoreline Dr
Residence**

1384 Shoreline Drive
Santa Barbara, CA 93109
045-193-019

Revisions

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NOT FOR
CONSTRUCTION

Sections

A4.1
PC, LDT & SFD& Review 03.07.2022



March 8, 2022

Planning Commission
City of Santa Barbara Planning Commission
630 Garden Street
Santa Barbara CA, 93101

RE: Perez Residence – 1384 Shoreline Drive, PLN2021-00545, APN # 045-193-019

Dear Commissioners:

On behalf of the property owners Jaime & Debbi Perez, our office requests Planning Commission review and approval for a Coastal Development Permit to allow the demolition of the existing residential development at 1384 Shoreline Drive and for the construction of a new primary residence with attached garage, small pool changing accessory structure, outdoor inground swimming pool, site walls, fencing, and landscaping. The project proposes a total of 2,499 square feet on the 6,191 square foot lot.

PROJECT OBJECTIVES

- Replace the aged existing circa 1952 house and site development at 1384 Shoreline Drive with quality new construction to provide improved living opportunities at the site.
- Design and orient the home to better connect to the Shoreline Drive neighborhood, Shoreline Park, and beautiful views to the coast and Pacific Ocean.
- Provide a small second floor view deck above the garage, and a private back yard pool and hardscape area for the owner's use and enjoyment
- Provide new drought-tolerant and beautiful landscaping
- Provide new retaining walls and fencing at the boundaries of the property

PLANNING REVIEW & APPROVALS

The project has submitted project design materials for City review that include preliminary architectural, civil grading/stormwater/hydrology, and landscape design. The project has received 30-Day review comments from City Departments, and the project has resubmitted and addressed all outstanding items in coordination with City staff.

SINGLE FAMILY DESIGN BOARD REVIEW

The project can be characterized as a modest-sized home designed in a warm/approachable contemporary style that is compatible with the surrounding Shoreline Drive neighborhood. The



design features a combination of integral color plaster and wood siding for the exterior walls, metal roofs, and contemporary aluminum windows and doors.

The project was presented to the Single Family Design Board on January 18th and February 14th. Initial comments from the Board were positive generally and requested that the project study and consider making minor adjustments to building plate heights, the garage massing and garage door, and to provide more information on proposed fencing and walls.

Based on those comments, adjustments to the project design were made and the revised project was presented to the SFDB on February 14th. All project updates were found to be favorable by the SFDB, and the project received unanimous positive comments, found to be compatible with the neighborhood, and aesthetically appropriate. The project was approved by a 5/0 vote to be taken to the Planning Commission, and to then return for Preliminary/Final Approval.

NEXT STEPS

The applicants are excited to realize this project which will enhance the unique qualities of Shoreline Drive, the Mesa neighborhood, and the City of Santa Barbara. We respectfully request Planning Commission review and approval. Please let us know if you need any additional information.

Sincerely,

Adam Sharkey, AIA, LEED BD+C
Blackbird Architects Inc.



City of Santa Barbara

SINGLE FAMILY DESIGN BOARD MINUTES

TUESDAY, JANUARY 18, 2022

3:00 P.M.

This Meeting Was Conducted Electronically
SantaBarbaraCA.gov

BOARD MEMBERS:

Brian Miller, *Chair*
Leslie Colasse, Vice Chair
Ohan Arakelian
David Brentlinger
Katie Klein
Joseph Moticha

CITY COUNCIL LIAISON:

Meagan Harmon

PLANNING COMMISSION LIAISON:

Sheila Lodge

STAFF:

Ellen Kokinda, Acting Design Review Supervisor
Barbara Burkhart, Assistant Planner
Gillian Fennessy, Commission Secretary

(3:30PM) NEW ITEM: CONCEPT REVIEW

- 1384 SHORELINE DR**
Assessor's Parcel Number: 045-193-019
Zone: E-3/SD-3
Application Number: PLN2021-00545
Owner: Jaime & Debbie Perez
Applicant: Adam Sharkey

(Proposal to demolish the existing single-story single-unit residence and construct a new two-story single-unit residence with an attached garage. The project includes associated site and landscape improvements, a new pool, and pool amenity structure. The proposed total of 2,619 square feet on a 6,191 square foot lot is 96% of the maximum required floor-to-lot area ratio. Planning Commission review and approval is required for a Coastal Development Permit.)

No final appealable action will take place at this hearing. Neighborhood Preservation Findings will be required to be made for Project Design Approval.

Actual time: 3:15 p.m.

Present: Ken Radtkey, Applicant; Adam Sharkey, Applicant; Stefan Farmazon, Applicant; and Jaime & Debbie Perez, Owners.

Staff comments: Pilar Plummer, Assistant Planner stated that this is an initial concept review for a new residence. As noted in the project description this project requires a Planning Commission review of a Coastal Development Permit. Staff is looking for specific feedback about any consistency issues with the Neighborhood Preservation findings and general comments about size, bulk and scale of the building. The Board should consider whether or not they would like the project to come back for additional concept review prior to the Planning Commission review.

Public comment opened at 3:33 p.m., the following individuals spoke:

1. John and Lisa Miller
2. Francene Lieber

Written correspondence from John & Lisa Miller and Francene & Jesse Lieber was acknowledged.

Public comment closed at 3:39 p.m.

Motion: Return to Full Board for Concept Review with comments:

1. The Board finds that the design and style of the project is appropriate with the existing neighborhood.
2. The applicant shall study the possibility of lowering the plate heights.
3. The applicant shall study the relationship of garage structure compared to the other part of the front elevation.
4. The Board cannot support a translucent garage door.
5. The Board supports a row of windows on the upper part of garage door.
6. The applicant shall provide more clarity in terms of the fence height and how it relates to the adjacent neighbors.

Action: Miller/Moticha, 4/0/0. (Colasse and Arakelian absent.) Motion carried.



City of Santa Barbara

SINGLE FAMILY DESIGN BOARD MINUTES FEBRUARY 14, 2022

3:00 P.M.

This Meeting Was Conducted Electronically
SantaBarbaraCA.gov

BOARD MEMBERS:

Brian Miller, *Chair*
Leslie Colasse, *Vice Chair*
Ohan Arakelian
David Brentlinger
Katie Klein
Joseph Moticha

CITY COUNCIL LIAISON:

Meagan Harmon

PLANNING COMMISSION LIAISON:

Sheila Lodge

STAFF:

Ellen Kokinda, Acting Design Review Supervisor
Pilar Plummer, Assistant Planner
Gillian Fennessy, Commission Secretary

(5:15PM) CONTINUED ITEM: CONCEPT REVIEW

4. [1384 SHORELINE DR](#)

Assessor's Parcel Number: 045-193-019
Zone: E-3/SD-3
Application Number: PLN2021-00545
Owner: Jaime & Debbie Perez
Applicant: Adam Sharkey

(Proposal to demolish the existing single-family residence and construct a new two-story single-family residence with an attached garage. The project includes associated site and landscape improvements, a new pool, and pool amenity structure. The proposed total of 2,499 square feet on a 6,191 square foot lot is 91% of the maximum required floor-to-lot area ratio. Planning Commission review and approval is required for a Coastal Development Permit.)

No final appealable action will take place at this hearing. Neighborhood Preservation Findings will be required to be made for Project Design Approval. Project was last reviewed on January 18, 2022.

RECUSAL: Board Member Colasse recused herself from hearing this item due to not reviewing the materials from the previous hearing.

Actual time: 5:15 p.m.

Present: Ren Radtkey, Applicant and Adam Sharkey, Applicant

Public comment opened at 5:30 p.m., and the following individuals spoke:

1. Francene & Jesse Lieber

Written correspondence from John & Lisa Miller and Dawn McGrew was acknowledged.

Public comment closed at 5:32 p.m.

Motion: **Continue to the Planning Commission for return to the Full Board with the comment that the proposed project is compatible with the neighborhood and is aesthetically appropriate.**

Action: Arakelian/Moticha, 5/0/0. (Colasse absent.) Motion carried.

LOCAL COASTAL PROGRAM POLICIES

1384 Shoreline Drive

PLN2021-00545

COASTAL ACT POLICIES

Coastal Act 30250 – Location; existing developed area

New residential, commercial, or industrial development, except as otherwise provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources.

Coastal Act 30251 – Scenic and visual qualities

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

Coastal Act 30253 – Minimization of Adverse Impacts

New development shall do all of the following: (a) Minimize risks to life and property in areas of high geologic, flood, and fire hazard. (b) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.

LAND USE & DEVELOPMENT POLICIES

Policy 3.1-29 Off-Street Parking for New Development and Substantial Redevelopment.

- A. Parking standards in the Zoning Ordinance are designed to ensure sufficient off-street parking is provided for new development and substantial redevelopment so as to avoid significant adverse impacts to public access to the shoreline and coastal recreation areas. Off-street parking for new development and substantial redevelopment, therefore, shall be consistent with the Zoning Ordinance.

Policy 4.2-22 Storm Water Management. All development shall be planned, sited, and designed to protect the water quality and hydrology of coastal waters in accordance with the requirements of the City's Storm Water Management Program, approved by the Central Coast Regional Water Quality Control Board under California's statewide National Pollutant Discharge Elimination System (NPDES) Phase II Small Municipal Separate Storm

Sewer System (MS4) Storm Water Permit (Order No. 2013-0001 DWQ, effective July 1, 2013, or any amendment to or re-issuance thereof).

- Policy 4.3-3** Design Review. Development in the Coastal Zone shall be reviewed by the Architectural Board of Review, Historic Landmarks Commission, or Single Family Design Board in accordance with established rules and procedures, as applicable. If any of the rules, procedures, or actions of these design review boards/commissions conflict with the policies of the Coastal LUP, the policies of the Coastal LUP shall take precedence.
- Policy 4.3-4** Visual Evaluation Requirement. A site-specific visual evaluation shall be required for new development and substantial redevelopment that has the potential to impact scenic resources or public scenic views. The visual evaluation shall be used to evaluate the magnitude and significance of changes in appearance of scenic resources or public scenic views as a result of development.
- Policy 4.3-5** Protection of Scenic Resources and Public Scenic Views. Development shall be sited and designed to avoid impacts to scenic resources and public scenic views. If there is no feasible alternative that can avoid impacts to scenic resources or public scenic views, then the alternative that would result in the least adverse impact to scenic resources and public scenic views that would not result in additional adverse impacts to other coastal resources shall be required. Methods to mitigate impacts could include, but not be limited to: siting development in the least visible portion of the site, managing building orientation, breaking up the mass of new structures, designing structures to blend into the natural setting, restricting the building maximum size, reducing maximum height standards, clustering building sites and development, requiring a view corridor, eliminating accessory structures not requisite to the primary use, minimizing grading, minimizing removal of native vegetation, incorporating landscape elements or screening, incorporating additional or increased setbacks, stepping the height of buildings so that the heights of building elements are lower closer to public viewing areas and increase with distance from the public viewing area. Mitigation shall not substitute for implementation of the feasible project alternative that would avoid impacts to visual resources, public scenic views, or public viewing areas.
- Policy 4.3-6** Obstruction of Scenic View Corridors. Development shall not obstruct public scenic view corridors of scenic resources, including those of the ocean viewed from the shoreline and of the upper foothills and mountains viewed respectively from the beach and lower elevations of the City.
- Policy 4.3-7** Compatible Development. Development shall be sited and designed to be visually compatible with the character of surrounding areas and where appropriate, protect the unique characteristics of areas that are popular visitor destination points for recreational uses.
- Policy 4.3-8** Mitigating Impacts to Visual Resources. Avoidance of impacts to visual resources through site selection and design alternatives, if feasible, is the preferred method over landscape screening. Landscape screening, as mitigation of visual impacts, shall not substitute for project alternatives including resiting, or reducing the height or bulk of structures. When landscaping is required to screen the development, it shall be maintained for the life of the development for that purpose.

Policy 4.3-11 Landscape Plans Required. Applications for new development and substantial redevelopment shall be required to have an approved landscape plan prepared by a licensed design professional that demonstrates that the landscaping associated with the new development or substantial redevelopment is visually compatible with the character of the area and minimizes impacts to visual and scenic resources. As a condition of the permit, the applicant shall be required to implement and fulfill all obligations of the landscape plan for the life of the development. The following standards shall apply:

- Ensure vegetation choices are appropriate for environmental conditions, including but not limited to, exposure, soil, and water needs. Unless otherwise specified in Policies 4.1-17 or 5.1-38, within and near areas of natural vegetation and natural habitats, require drought-tolerant plant species, except where inappropriate for the given habitat type (e.g., creek beds and wetlands), that blend with the existing natural vegetation and natural habitats on the site. Within High Fire Hazard Areas, plant species should be fire retardant. The use of any plant species listed as problematic, a noxious weed, or invasive by the California Native Plant Society, the California Exotic Pest Plant Council, the State of California, or the federal government shall be avoided unless necessary for habitat restoration of a sensitive species (e.g., Monarch Butterfly).
- Landscaping shall be designed to avoid obstructing or limiting public view impacts for the life of the development. Plant materials shall be chosen to avoid impacts at their maximum growth potential. The property owner shall maintain new plant materials to avoid their inadvertently intruding into the protected viewshed.
- Landscaping and irrigation shall be planned with consideration for water conservation through use of water-wise plant species; water-efficient irrigation systems, including using microspray, drip irrigation, and mulching; and designing irrigation to eliminate runoff.
- Enforce City regulations that require maintenance of the trees, plants, irrigation systems, and other improvements shown on an approved landscape plan.

Policy 4.3-29 Visual Evaluation Requirement. Site-specific visual evaluations shall include an analysis of all feasible siting or design alternatives that would minimize significant impacts to public scenic views of scenic resources. The alternatives analysis shall identify through such means as visual simulations, three-dimensional massing models, perspective drawings, rendered streetscape elevations, and/or story poles and flagging. If there is no feasible alternative to avoid impacts to public scenic views of scenic resources, then the alternative that would result in the least adverse impacts to public scenic views of scenic resources that would not result in additional adverse impacts to other coastal resources shall be required.

