

THE NEIGHBORHOOD STATE AND HOPE

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ENLARGED BUILDING PLAN - LEVEL 1 D



RESIDENTIAL SUBTERRANEAN BUILDING A GARAGE ACCESSIBLE STANDARD ACCESSIBLE VAN **EV CHARGER** EV CHARGER ACCESSIBLE STANDARD EV CHARGER ACCESSIBLE VAN EV CHARGER VAN EV RECEPTACLE EV RECEPTACLE ACCESSIBLE STANDARD EV RECEPTACLE ACCESSIBLE VAN STANDARD TANDEM **TOTAL PARKING**

TYPE	COUN
TIPE	COUR
RESIDENTIAL	
ACCESSIBLE STANDARD	
ACCESSIBLE VAN	
EV CHARGER	
EV CHARGER ACCESSIBLE VAN	
EV RECEPTACLE	10
STANDARD	8
	23
TANDEM	
TOTAL PARKING	2.

Comments	COUN
STANDARD	76
TANDEM	5
TOTAL PARKING	85

PROPOSED COMMERCIAL PARKING	- BLDG A & B
TYPE	Count
COMMERCIAL	
BLDG A GARAGE	
ACCESSIBLE STANDARD	2
ACCESSIBLE VAN	
EV CAPABLE	10
EVCS	2
EVCS ACCESSIBLE VAN	1
STANDARD	36
BLDG A GARAGE: 52	52
BLDG B GARAGE	
ACCESSIBLE STANDARD	1
ACCESSIBLE VAN	1
EV CAPABLE ACCESSIBLE STANDARD	1
EV CAPAPABLE	5
EVCS	1
EVCS ACCESSIBLE VAN	1
STANDARD	22
BLDG B GARAGE: 32	32
SUBTERRANEAN BUILDING A GARAGE	
ACCESSIBLE STANDARD	1
ACCESSIBLE VAN	1
EV CAPABLE	6
EVCS	1
EVCS ACCESSIBLE VAN	1
STANDARD	14
SUBTERRANEAN BUILDING A GARAGE: 24	24
TOTAL COMMERCIAL PARKING	108

PROPOSED SITE LOADING SPACES				
TYPE	Coun			
COMMERCIAL				
BLDG A GARAGE				
LOADING				
SHORT TERM LOADING				
SITE				
LOADING				
SHORT TERM LOADING				
COMMERCIAL	1			
RESIDENTIAL				
BUILDING C				
GUEST				
EV CHARGER ACCESSIBLE				
STANDARD				
RESIDENTIAL				

PARKING	•
REQUIRED	
VEHICLE PARKING COMMERCIAL REQUIRED:	1/250 SF
RESTAURANT OUTDOOR: (OUTDOOR SPACES < 50% OF THE INTERIO	0 SPACES R RESTAURANT AREA)
RESIDENTIAL REQUIRED (AUD): STUDIO/1&2 BEDROOM: 3 BEDROOM: GUEST PARKING:	1 SPACE/UNIT 2 SPACE/UNIT 0 SPACES

Unit Type	Req'd Parki
Building A	
1 Bedroom	1
1 Bedroom Jr	
1 Bedroom Loft	
2 Bedroom	
3 Bedroom	
Studio	
Building A	3
Building B	
1 Bedroom	
1 Bedroom Jr	
1 Bedroom/Den	
2 Bedroom	
2 Bedroom 3 Bedroom	
3 Bedroom	
3 Bedroom Live/Work Loft	

Unit Type	Req'd Parking
Building C	
1 Bedroom	39
1 Bedroom Jr	15
1 Bedroom Jr Den	3
1 Bedroom/Den	15
2 Bedroom	38
Studio	17
Building C	127
Building C Building D	127
Building C Building D 1 Bedroom	127
Building C Building D 1 Bedroom 1 Bedroom Den Townhome	127 13 3
Building C Building D 1 Bedroom 1 Bedroom Den Townhome 1 Bedroom Loft	127
Building C Building D 1 Bedroom 1 Bedroom Den Townhome 1 Bedroom Loft 1 Bedroom/Den	127 13 3 2
Building C Building D 1 Bedroom 1 Bedroom Den Townhome 1 Bedroom Loft 1 Bedroom/Den 2 Bedroom	127 13 3 2
Building C Building D 1 Bedroom 1 Bedroom Den Townhome 1 Bedroom Loft 1 Bedroom/Den 2 Bedroom 2 Bedroom Townhome	127 13 3 2 2 12

REQUIRED PARKING - RESIDENTIAL ENTIRE PROJECT

Req'd Parking

Hait Tone	Parking	A	Double Doubles
Unit Type	Factor	Area	Req'd Parking
Building A			
BAR	250	525.96 SF	2.10
CAFE	250	716.12 SF	2.86
FAST CASUAL	250	194.47 SF	0.78
FAST CASUAL	250	1105.10 SF	4.42
FAST CASUAL	250	605.28 SF	2.42
R/R	0	70.45 SF	
R/R	0	70.88 SF	
R/R	0	41.32 SF	
R/R	0	41.67 SF	
R/R	0	41.68 SF	
R/R	0	41.99 SF	
RESTAURANT	250	1737.11 SF	6.95
RESTAURANT	250	4457.46 SF	17.83
RESTAURANT	250	2239.62 SF	8.96
RETAIL	250	770.62 SF	3.08
RETAIL	250	985.43 SF	3.94
RETAIL	250	344.12 SF	1.38
RETAIL	250	206.78 SF	0.83
RETAIL	250	421.96 SF	1.69
RETAIL	250	575.70 SF	2.30
RETAIL	250	324.25 SF	1.30
RETAIL	250	595.78 SF	2.38
Building A		16113.76 SF	63.22
Building B			
CAFE	250	1244.98 SF	4.98
Public R/R	0	439.35 SF	
Restaurant	250	1364.33 SF	5.46
RETAIL	250	742.49 SF	2.97
RETAIL	250	786.21 SF	3.14
RETAIL	250	1283.10 SF	5.13
RETAIL	250	1244.62 SF	4.98
RETAIL	250	974.01 SF	3.90
RETAIL (LIVE/WORK)	250	644.95 SF	2.58
RETAIL (LIVE/WORK)	250	636.69 SF	2.55
RETAIL (LIVE/WORK)	250	431.85 SF	1.73
RETAIL (LIVE/WORK)	250	441.93 SF	1.77
RETAIL (LIVE/WORK)	250	431.85 SF	1.73
RETAIL (LIVE/WORK)	250	397.06 SF	1.59
Building B		11063.42 SF	42.50
Building D			
Cafe	250	502.36 SF	2.01
Building D		502.36 SF	2.01
TOTAL COMMERICAL PARKING	}	27679.54 SF	107.73

THERE ARE 24 COMMERCIAL PARKING SPACES LOCATED IN THE SUBTERRANEAN BUILDING A GARAGE; THESE SPACES WILL BE DEDICATED TO COMMERCIAL EMPLOYEE PARKING.

	PROJEC	T AREAS		
PLANNING NET	ΓBY USE	PLANNIN	G GRO	SS BY USE
Name	Area	Nam	е	Area
Amenity		Amenity		
Bike Room	12683.42 SF			13187.29 SF
Co-Working	1946.79 SF	Co-Working		2007.59 SI
Common Area	13925.13 SF	Common Area		14663.01 SF
Dog Spa	385.26 SF	Dog Spa		398.08 SF
Fitness	6456.10 SF			6705.96 SI
Leasing Office	3641.06 SF	Leasing Office		3775.58 SI
Lounge	2618.16 SF			2708.40 SI
Mail Room	2064.58 SF			2167.32 SI
Amenity	43720.49 SF	Amenity		45613.23 SI
Circulation		Circulation		
Circulation	98138.98 SF			98691.13 SI
Elevator	1070.30 SF			1102.16 SI
Lobby	13633.20 SF			14916.99 SI
Stair	4823.65 SF			5007.71 SI
Circulation	117666.12 SF			119717.99 S
Commercial		Commercial		
Bar	534.78 SF			580.63 SI
Cafe	2550.78 SF			2693.87 SI
Fast Casual		Fast Casual		2046.14 SI
Market	1044.17 SF			1073.33 SI
Restaurant	9891.40 SF			10163.17 SI
Retail	9092.47 SF			9547.94 SI
Retail Live/Work		Retail Live/Wo	rk	3329.32 SI
Commercial		Commercial	I N	29434.39 S
Garage	20143.20 31	Garage		23434.33 3
Commercial Garage	32280 70 SF	Commercial Ga	arage	32316.98 S
Residential Garage		Residential Ga		118470.12 S
Subterranean Building A Garage		Subterranean E Garage		237419.39 SI
Garage Garage	381374.03 SF			388206.49 SI
Residential	301374.03 31	Residential		300200.49 3
Residential	552976.62 SF			570635.25 SI
				570635.25 SI
Residential	552976.62 SF			5/0635.25 31
Utility	0744 07 05	Utility		2222 24 25
Elec Room	6711.37 SF			6883.81 S
Public Restrooms		Public Restroo	ms	485.99 SI
Storage	13262.75 SF	-		13504.22 S
Utility	20157.51 SF	•		20736.81 S
Waste Room		Waste Room		10206.81 SI
Utility	50563.84 SF	•		51817.64 SI
Grand total	1174446.37 SF	GROSS		1205425.00 SI

UNIT STATISTICS

TOTAL UNIT T	YPE BY BUILDING	
Unit Type	%	Coun
Building A		
1 Bedroom	44.24%	169
1 Bedroom Jr	6.81%	26
1 Bedroom Loft	4.45%	17
2 Bedroom	25.92%	99
3 Bedroom	3.40%	9: 1:
Studio	15.18%	58
	100.00%	38
Building A	100.00%	30.
Building B		
1 Bedroom	43.31%	55
1 Bedroom Jr	8.66%	1
1 Bedroom/Den	3.15%	4
2 Bedroom	26.77%	34
3 Bedroom	3.15%	
Live/Work Loft	4.72%	(
Studio	10.24%	1;
Building B	100.00%	12
Building C	22 7 121	
1 Bedroom	30.71%	39
1 Bedroom Jr	11.81%	15
1 Bedroom Jr Den	2.36%	
1 Bedroom/Den	11.81%	15
2 Bedroom	29.92%	38
Studio	13.39%	17
Building C	100.00%	12
Building D		
1 Bedroom	27.08%	1;
1 Bedroom Den Townhome	6.25%	(
1 Bedroom Loft	8.33%	4
1 Bedroom/Den	4.17%	
2 Bedroom	25.00%	12
2 Bedroom Townhome	8.33%	4
Studio	20.83%	10
Building D	100.00%	4:
3		
TOTAL UNIT	COUNT BY TYPE	
Name	%	Count Co
	,,,	
1 Bedroom		
1 Bedroom	39.62%	27
1 Bedroom Den Townhome	0.44%	;
1 Bedroom Jr	7.60%	52

1 Bedroom Den	Townhome		0.44
1 Bedroom Jr			7.60
1 Bedroom Jr D	en		0.44
1 Bedroom Loft			3.07
1 Bedroom/Den			3.07
Live/Work Loft			0.88
Studio			0.58
2 Badraam			55.70
2 Bedroom 1 Bedroom			0.73
2 Bedroom			26.75
2 Bedroom Tow	nhomo		0.58
2 Bediooni Tow	illome		28.07
3 Bedroom			20.07
3 Bedroom			2.49
			2.49
Studio			
Studio			13.74
		- '	13.74
TOTAL UNITS		1	00.00
Area Building	Average	Unit Area Pei Area	r Bui
Decilation of A		200075 02 05	
Building A		298875.83 SF	
Building B		84316.24 SF	
Building C	•	122384.96 SF	
Building D		47399.59 SF	

552976.62 SF

Average Unit Area and Count Totals

Count

684

782.40 663.91 963.66 987.49

Average

808.45

	DPO IEC	T AREAS	
PLANNING NET		PLANNING G	ROSS
Name	Area		,
	Alca		
Building A Amenity		Building A Amenity	
Bike Room	5576.78 SF	Bike Room	5733.
Co-Working		Co-Working	2007.
Common Area		Common Area	9116.
Dog Spa	385.26 SF	Dog Spa	398.
Leasing Office		Leasing Office	1632.
Lounge	2618.16 SF		2708.
	20790.61 SF		21596.
Circulation		Circulation	
Circulation	53420.48 SF		53795.
Elevator	574.78 SF		594.
Lobby	5376.95 SF		5502.
Stair	2309.66 SF	•	2336.
Otali	61681.88 SF		62229 .
Commercial	01001.00 31	Commercial	UZZZJ.
Bar	534.78 SF		580.
Cafe	725.23 SF		
<u> </u>			768.
Fast Casual		Fast Casual	2046.
Restaurant		Restaurant	8723.
Retail	4753.81 SF		4897.
_	16509.77 SF		17016.
Garage		Garage	
Commercial Garage		Commercial Garage	20966.
Subterranean Building A	232630.52 SF	Subterranean Building A	237419.
Garage	050500 40 05	Garage	050005
	253569.16 SF		258385.
Residential		Residential	
Residential	298875.83 SF		309066.
	298875.83 SF		309066.
Utility		Utility	
Elec Room		Elec Room	2390.
Storage	3363.96 SF		3363.
Utility	12238.16 SF	Utility	12655.
Waste Room	6722.42 SF	Waste Room	6841.
	24674.69 SF		25252.
Building A	676101.94 SF	Building A	693546.
Building B		Building B	
Amenity		Amenity	
Bike Room	2199.32 SF	Bike Room	2288
Leasing Office		Leasing Office	813.
Mail Room		Mail Room	541.
a.i toom	3517.03 SF		3643.
Circulation	3317.03 31	Circulation	3043.
	17200 42 CE		17050
Circulation	17399.43 SF		17950
Elevator	205.75 SF		217.
L. a la la ca	1000 00 0	LODDY	1344.
· · · · · · · · · · · · · · · · · · ·	1308.98 SF	0	121
· · · · · · · · · · · · · · · · · · ·	416.30 SF		
Stair			
Stair Commercial	416.30 SF 19330.46 SF	Commercial	19945
Stair Commercial	416.30 SF	Commercial	19945 .
Stair Commercial Cafe	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF	Commercial Cafe Market	1385 1073
Stair Commercial Cafe Market	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF	Commercial Cafe	1385 1073
Stair Commercial Cafe Market Restaurant	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF	Commercial Cafe Market Restaurant	1385 1073 1439
Stair Commercial Cafe Market Restaurant Retail	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF	Commercial Cafe Market Restaurant	1385 1073 1439 4650
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work	1385 1073 1439 4650 3329
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work	1385 1073 1439 4650 3329
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work Garage	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF 11116.00 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work Garage	1385 1073 1439 4650 3329 11878
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF 11116.00 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage	1385 1073 1439 4650 3329 11878
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF 11116.00 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage	19945. 1385. 1073. 1439. 4650. 3329. 11878.
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage Residential	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF 11116.00 SF 11342.06 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage Residential	431. 19945. 1385. 1073. 1439. 4650. 3329. 11878.
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF 11116.00 SF 11342.06 SF 11342.06 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage Residential Residential	1385. 1073. 1439. 4650. 3329. 11878. 11350.
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage Residential Residential	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF 11116.00 SF 11342.06 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage Residential Residential	1385 1073 1439 4650 3329 11878 11350 86484
Stair Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage Residential	416.30 SF 19330.46 SF 1306.06 SF 1044.17 SF 1381.29 SF 4338.66 SF 3045.82 SF 11116.00 SF 11342.06 SF 11342.06 SF 84316.24 SF	Commercial Cafe Market Restaurant Retail Retail Live/Work Garage Commercial Garage Residential Residential	19945. 1385. 1073. 1439. 4650. 3329. 11878.

PLANNING NET	BY BLDG	PLANNING G	ROSS
Name	Area	Name	Area
uilding A		Building A	
Amenity	5570 70 05	Amenity	5700 00 05
Bike Room Co-Working		Bike Room Co-Working	5733.20 SF 2007.59 SF
Common Area	8665.18 SF	Common Area	9116.57 SF
Oog Spa .easing Office	385.26 SF 1598 44 SF	Dog Spa Leasing Office	398.08 SF 1632.79 SF
ounge	2618.16 SF		2708.40 SF
Circulation	20790.61 SF	Circulation	21596.63 SF
Sirculation Circulation	53420.48 SF		53795.80 SF
levator	574.78 SF		594.50 SF
obby Stair	5376.95 SF 2309.66 SF		5502.61 SF 2336.24 SF
, can	61681.88 SF		62229.15 SF
Commercial	524.70.0E	Commercial	F00 C0 CF
Bar Cafe	534.78 SF 725.23 SF		580.63 SF 768.48 SF
ast Casual		Fast Casual	2046.14 SF
Restaurant Retail	8510.12 SF 4753.81 SF	Restaurant Retail	8723.61 SF 4897.18 SF
.c.c.	16509.77 SF		17016.04 SF
Sarage	20020 04 05	Garage	20000 44 05
Commercial Garage Subterranean Building A		Commercial Garage Subterranean Building A	20966.44 SF 237419.39 SF
Sarage		Garage	
Residential	253569.16 SF	Residential	258385.84 SF
Residential	298875.83 SF	Residential	309066.21 SF
Jtility	298875.83 SF	Utility	309066.21 SF
Elec Room	2350.16 SF	Elec Room	2390.97 SF
Storage	3363.96 SF		3363.96 SF
Itility Vaste Room	12238.16 SF 6722.42 SF	Utility Waste Room	12655.92 SF 6841.99 SF
	24674.69 SF		25252.83 SF
Building A	676101.94 SF	Building A	693546.69 SF
Building B		Building B	
menity		Amenity	
Bike Room easing Office		Bike Room Leasing Office	2288.54 SF 813.03 SF
Mail Room		Mail Room	541.50 SF
	3517.03 SF		3643.07 SF
Circulation Circulation	17399.43 SF	Circulation Circulation	17950.74 SF
Elevator	205.75 SF		217.90 SF
obby stair	1308.98 SF 416.30 SF		1344.57 SF 431.94 SF
otali	19330.46 SF		19945.15 SF
Commercial		Commercial	
Cafe Market	1306.06 SF 1044.17 SF		1385.96 SF 1073.33 SF
Restaurant		Restaurant	1439.56 SF
Retail Retail Live/Work	4338.66 SF		4650.75 SF
tetali Live/vvork	11116.00 SF	Retail Live/Work	3329.32 SF 11878.92 SF
Sarage		Garage	
ommercial Garage	11342.06 SF 11342.06 SF	Commercial Garage	11350.54 SF 11350.54 SF
Residential		Residential	11000.04 01
tesidential	84316.24 SF 84316.24 SF		86484.14 SF 86484.14 SF
tility	043 10.24 3F	Utility	00404. I4 SF
lec Room		Elec Room	1752.50 SF
ublic Restrooms torage	466.21 SF 2874.14 SF	Public Restrooms Storage	485.99 SF 2884.60 SF
tility	3509.97 SF	Utility	3534.61 SF
/aste Room	763.17 SF	Waste Room	780.13 SF
Building B	9324.59 SF 138946.38 SF		9437.84 SF 142739.66 SF
	. 555-10.00 31		00.00 01
Building C		Building C	
menity like Room	4016 78 SF	Amenity Bike Room	2332.85 SF
ommon Area	4877.12 SF	Common Area	4066.18 SF
itness	6456.10 SF		6705.96 SF
easing Office lail Room		Leasing Office Mail Room	1329.77 SF 964.39 SF
	17529.19 SF		15399.15 SF
Circulation Circulation	19512.60 SF	Circulation Circulation	20372.78 SF
levator	197.94 SF	Elevator	197.94 SF
obby	3098.42 SF		3245.12 SF
Stair	1285.70 SF 24094.65 SF		1368.61 SF 25184.45 SF
Sarage		Garage	
Residential Garage	116462.81 SF 116462.81 SF	Residential Garage	118470.12 SF 118470.12 SF
Residential	1 10402.87 SF	Residential	11047U.12 SF
Residential	122384.96 SF	Residential	126457.31 SF
tility	122384.96 SF	Utility	126457.31 SF
lec Room	1332.51 SF	Elec Room	1360.81 SF
torage	7024.65 SF	Storage	7255.66 SF
Itility Vaste Room	3249.56 SF 1786.48 SF	Utility Waste Room	4117.79 SF 1815.02 SF
. 30.0 1.00111	13393.20 SF		14549.29 SF
Building C	293864.81 SF		300060.32 SF
Building D		Building D	
menity		Amenity	
Bike Room		Bike Room	2832.70 SF
Common Area Mail Room		Common Area Mail Room	1480.25 SF 661.43 SF
	1883.67 SF		4974.38 SF
Circulation	7806.47 SF	Circulation	6574.04.05
irculation levator	7806.47 SF 91.82 SF		6571.81 SF 91.82 SF
obby	3848.85 SF		4824.70 SF

Residential		Residential	
Residential	84316.24 SF		86484.14 S
	84316.24 SF		86484.14 S
Utility		Utility	
Elec Room		Elec Room	1752.50 S
Public Restrooms		Public Restrooms	485.99 S
Storage	2874.14 SF		2884.60 S
Utility	3509.97 SF		3534.61 S
Waste Room		Waste Room	780.13 S
	9324.59 SF		9437.84 S
Building B	138946.38 SF	Building B	142739.66 S
Building C		Building C	
Amenity		Amenity	
Bike Room	4016.78 SF		2332.85 S
Common Area		Common Area	4066.18 S
Fitness	6456.10 SF		6705.96 S
Leasing Office		Leasing Office	1329.77 S
Mail Room		Mail Room	964.39 S
Circulation	17529.19 SF	Circulation	15399.15 S
Circulation	19512.60 SF		20372.78 S
Elevator	19312.00 SF		197.94 S
	3098.42 SF		3245.12 S
Lobby Stair	1285.70 SF	•	1368.61
Stall	24094.65 SF		25184.45
Garage	24094.05 SF	Garage	25104.45
Residential Garage	116462.81 SF	Residential Garage	118470.12 \$
	116462.81 SF		118470.12 \$
Residential		Residential	
Residential	122384.96 SF	Residential	126457.31 S
	122384.96 SF		126457.31 S
Utility		Utility	
Elec Room	1332.51 SF	Elec Room	1360.81 S
Storage	7024.65 SF	Storage	7255.66 S
Utility	3249.56 SF	Utility	4117.79 S
Waste Room	1786.48 SF	Waste Room	1815.02 S
	13393.20 SF		14549.29 \$
Building C	293864.81 SF	Building C	300060.32 S
Building D		Building D	
Amenity		Amenity	
Bike Room	890.54 SF	Bike Room	2832.70 S
Common Area	382.83 SF	Common Area	1480.25 S
Mail Room	610.30 SF	Mail Room	661.43 S
	1883.67 SF		4974.38 9
Circulation		Circulation	
Circulation	7806.47 SF	Circulation	6571.81 \$
Elevator	91.82 SF	Elevator	91.82 S
Lobby	3848.85 SF		4824.70 \$
Stair Stair	811.99 SF		870.91 S
	12559.13 SF		12359.25 S
Commercial		Commercial	
Cafe	519.49 SF	Cafe	539.42 8
	519.49 SF		539.42 9
Residential		Residential	
Residential	47399.59 SF	Residential	48627.59 S
	47399.59 SF		48627.59 \$
Utility		Utility	
Elec Room	1317.61 SF	Elec Room	1379.53 \$
Utility	1159.82 SF	Utility	428.49 \$
	603 03 SE	Waste Room	769.67 S
Waste Room	093.93 31		
Waste Room	3171.36 SF		2577.69 S
Waste Room Building D			2577.69 S 69078.33 S

PROJE	CT STATISTICS	
STING SQUARE FOOTAGE		
D EL COD ADEA		

EXISTING SQUARE FOOTAGE	
GMP FLOOR AREA	
EXISTING/DEMOLISH	
RETAIL:	150,976 SF
TOTAL EXISTING/DEMOLISH: (NO ADDITIONS PROPOSED) NONRESIDENTIAL GROWTH PLAN	150,976 SF
DEMOLITION CREDIT:	TBD
EXISTING PARKING	SPACES
COVERED:	000
UNCOVERED:	603
TOTAL EXISTING:	603
(all demolished)	
DDODOSED SO FOOTACE	
PROPOSED SQ FOOTAGE	

5	SEE MATRIX THIS SHEET		
OPEN YARD		(OY)	

REQUIRED OY

(15% Net Lot Area)

Alternative Open Yard Design Proposed

56,845 SF

See Exhibit, Sheet A500

137 UNITS

685 UNITS

684 UNITS

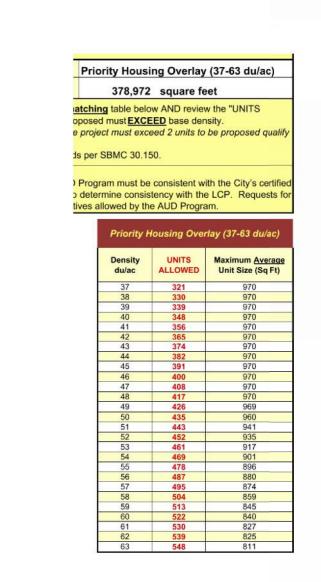
AFFORDABIL	.ITY
STATE DENSITY BONUS	
LOT AREA (LOT SPLIT):	8.7 ACRES NET
MAX. BASE DENSITY: (PRIORITY OVERLAY 63 DU/AC)	548 UNITS
PROPOSED BASE DENSITY: (62 DU/AC @ 811 SF AVERAGE)	548 UNITS

PROPOSED DEED RESTRICTED UNITS: As described in the applicant letter.

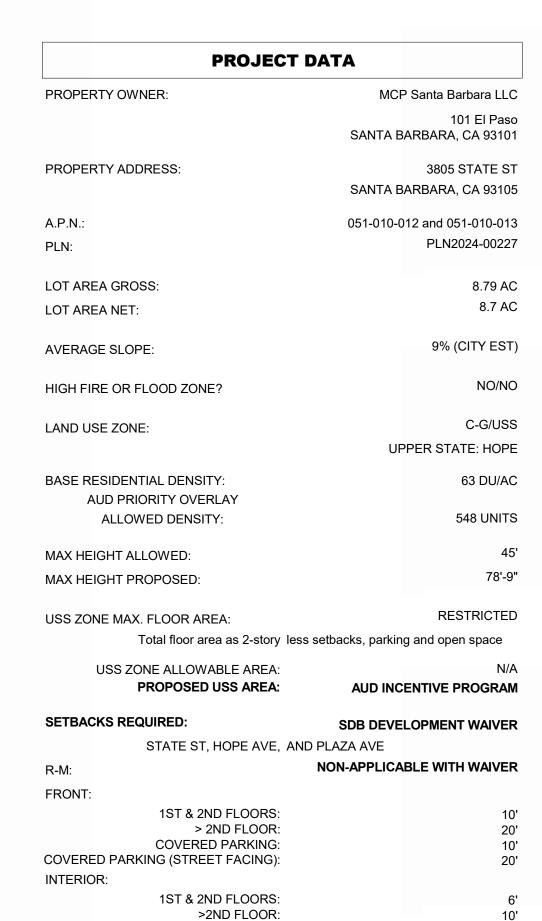
PROPOSED 25% DENSITY BONUS:

TOTAL ALLOWED:

TOTAL PROPOSED:



FIRE DEPARTMENT NOTES 1. FIRE SPRINKLER SYSTEM WILL BE PROVIDED UNDER SEPARATE



PROJECT DESCRIPTION

COVERED PARKING: UNCOVERED PARKING:

UNCOVERED PARKING:

<15' HEIGHT:

>15' HEIGHT:

TIER IV

R2, A, B, S-2

TYPE III AND TYPE I

USS (Front if > than R-M)

SWMP COMPLIANCE:

OCCUPANCY TYPES:

CONSTRUCTION TYPE:

Applicant is applying for a PLN Application under a SB330 application using State Density Bonus Housing Affordability Act. The project proposes to demolish a three story commercial building and associated asphalt parking lots and landscaping. Existing wireless facilities proposed to be removed and the uses discontinued for this application. The project includes a lot split to create a 8.79 acre parcel (gross). The proposed project includes four mixed use buildings providing 684 apartments and 28,145 SF commercial space. The proposed buildings vary in height from two stories to six stories. The taller building elements are internalized on the site to minimize their visibility from pubic view, or used strategically to provide height

The proposed project includes two levels of sub-terranean parking serving residential uses, two ground level parking garages for commercial uses and 11 surface loading spaces. The site design provides a network of pedestrian oriented paseos with restricted auto access largely limited to fire department access only. ROW improvements include new sidewalks and parkways on State St and Hope Ave meeting the Pedestrian Master Plan requirements and a new right hand turn lane from State St to Hope Ave. On site improvements include, new bike lanes connecting State St to Hope Ave, new permeable paving, landscaping, park, and plazas and paseos that will be available to the public.

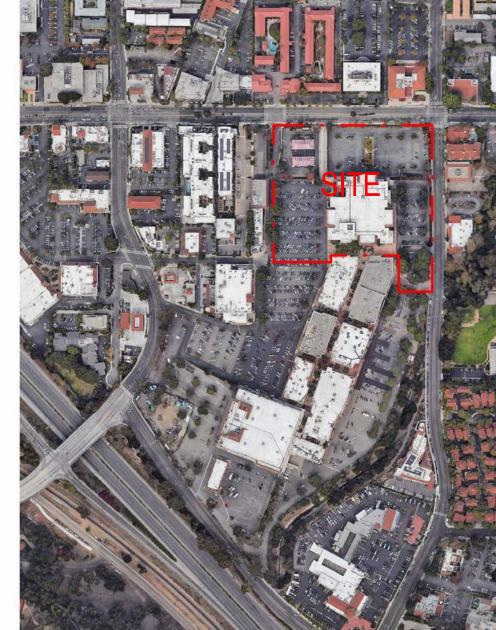
STATE LAW APPLICATIONS

Section 65915 "State Bonus Density"

Section 65589 "State Housing Affordability Act"

Waivers and concessions utilized per applicant letter.

VICINITY MAP



1" = 160'-0"

BUILDING LEGEND





WESTERN PARKING LOT ADJACENT TO BRISTOL FARMS LOOKING NORTH



HOPE AVE MID BLOCK AT LOADING DOCK TO MACY'S



STATE ST AND HOPE AVE



WESTERN PARKING LOT ADJACENT TO ONE STORY SHOPPING STRIP LOOKING AT WEST PROPERTY



EASTERN PARKING LOT LOOKING AT THE EAST SIDE OF MACY'S AND ADJACENT SHOPPING MALL



STATE ST MID BLOCK



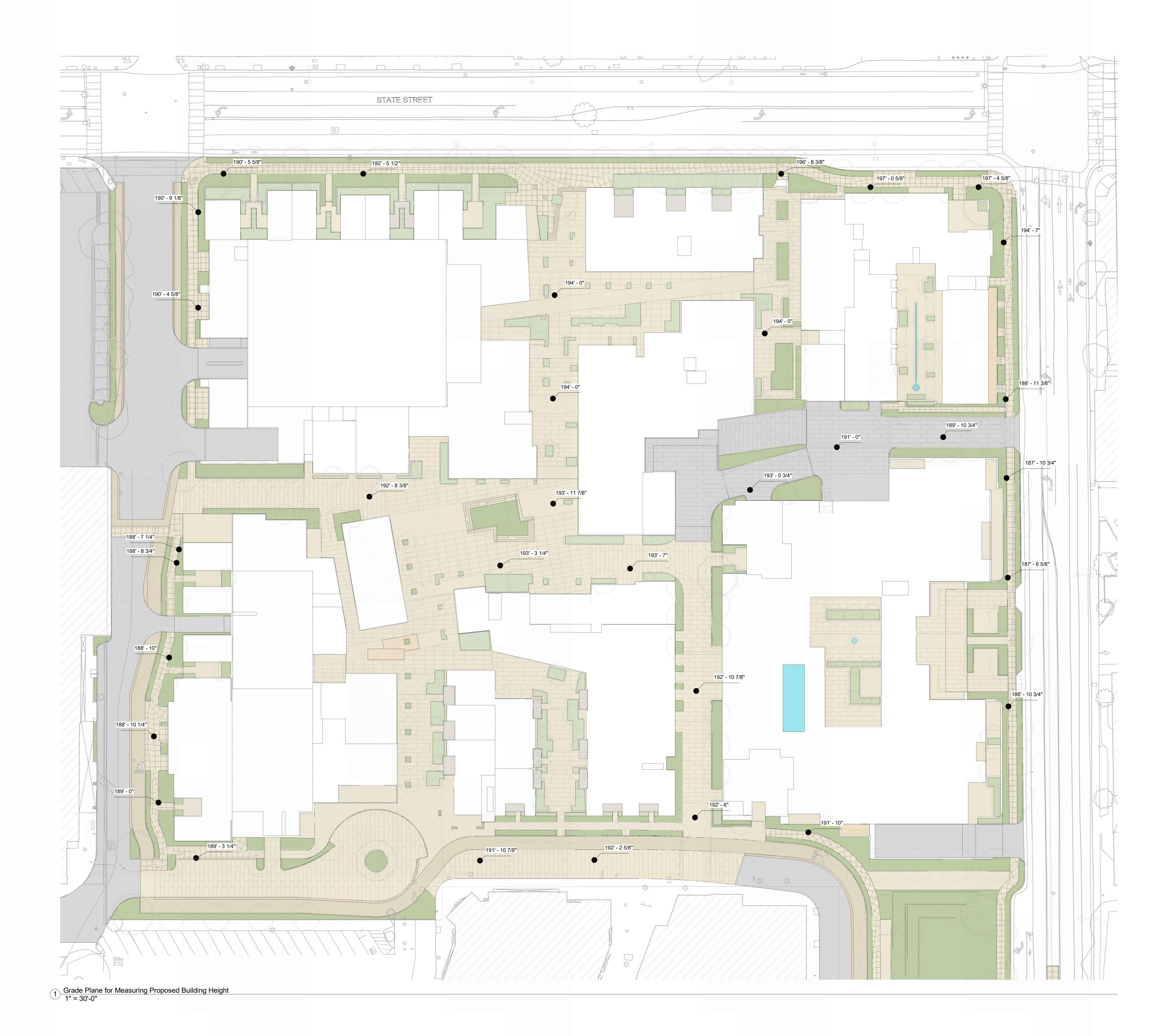
WESTERN PARKING LOT LOOKING EAST AT SITE AND ADJACENT LURE RESTAURANT



SEAR'S SITE LOOKING NORTH



STATE ST NORTHWEST CORNER ADJACENT TO GRACE VILLAGE APARTMENTS

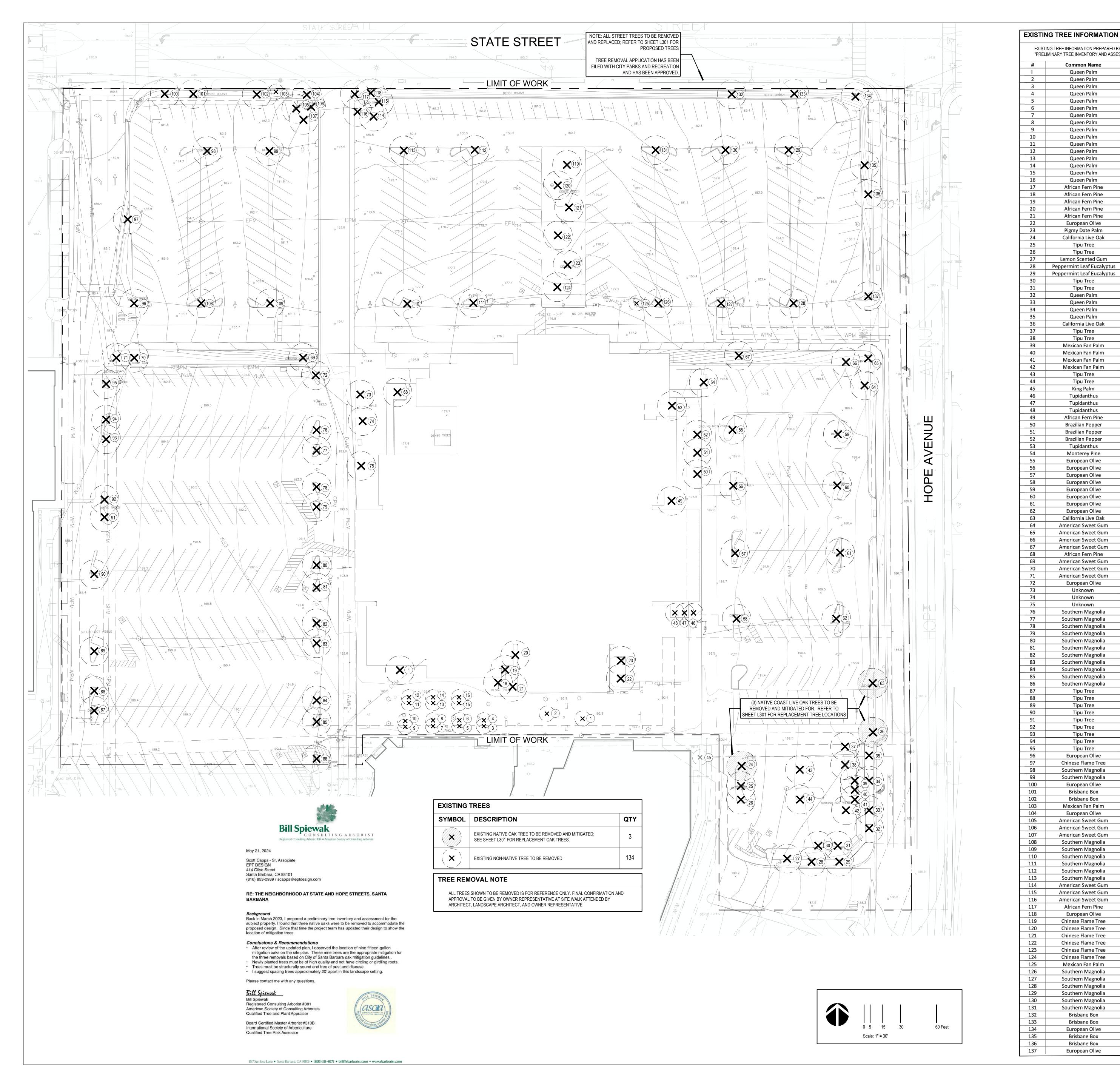


LEGEND

XX' - XX"

Finish Grade

Finish grade at site perimeter is at or close to existing finish grade.
 Finish grade internal to site are propsed grades.
 Existing grade shown in gray tone as a part of the project survey.



# I	Common Name Queen Palm	Genus and species Syagrus romanzoffiana	Dbh 9	Height M	Health G	Structu
2 3 4	Queen Palm Queen Palm Queen Palm	Syagrus romanzoffiana Syagrus romanzoffiana Syagrus romanzoffiana	10 10 12	M M M	G G G	
5 6 7	Queen Palm Queen Palm Queen Palm	Syagrus romanzoffiana Syagrus romanzoffiana Syagrus romanzoffiana	10 10 11	M M M	G G	
8 9	Queen Palm Queen Palm	Syagrus romanzoffiana Syagrus romanzoffiana	12 10	M M	G G	
10 11 12	Queen Palm Queen Palm Queen Palm	Syagrus romanzoffiana Syagrus romanzoffiana Syagrus romanzoffiana	8 12 11	M M M	G G	
13 14 15	Queen Palm Queen Palm Queen Palm	Syagrus romanzoffiana Syagrus romanzoffiana Syagrus romanzoffiana	10 12 12	M M	G G	
16 17 18	Queen Palm African Fern Pine African Fern Pine	Syagrus romanzoffiana Afrocarpus falcatus	9 16 24	M L	G G	G
19 20	African Fern Pine African Fern Pine	Afrocarpus falcatus Afrocarpus falcatus Afrocarpus falcatus	15 15	L L	G G	G G
21 22 23	African Fern Pine European Olive Pigmy Date Palm	Afrocarpus falcatus Olea europaea Phoenix roebelenii	6/6	S M S	G G	G
24 25 26	California Live Oak Tipu Tree Tipu Tree	Quercus agrifolia Tipuana tipu Tipuana tipu	26 18 13	M M M	G G G	G G
27 28	Lemon Scented Gum Peppermint Leaf Eucalyptus	Corymbia citriodora Eucalyptus nicholii	13 28	L L	G G	F F
29 30 31	Peppermint Leaf Eucalyptus Tipu Tree Tipu Tree	Eucalyptus nicholii Tipuana tipu Tipuana tipu	18 9 17	S M	G G	F F G
32 33 34	Queen Palm Queen Palm Queen Palm	Syagrus romanzoffiana Syagrus romanzoffiana Syagrus romanzoffiana	12 11 13	M M M	G G	
35 36	Queen Palm California Live Oak	Syagrus romanzoffiana Quercus agrifolia	10	M S	G G	F
37 38 39	Tipu Tree Tipu Tree Mexican Fan Palm	Tipuana tipu Tipuana tipu Washingtonia robusta	19 10	M M S	G G	G F
40 41 42	Mexican Fan Palm Mexican Fan Palm Mexican Fan Palm	Washingtonia robusta Washingtonia robusta Washingtonia robusta	8 14 12/12	S M M	G G	
43 44	Tipu Tree Tipu Tree	Tipuana tipu Tipuana tipu	10 14	M M	G G	F
45 46 47	King Palm Tupidanthus Tupidanthus	Archontophoenix cunninghamiana Heptapleurum calyptratum Heptapleurum calyptratum	5 7 9/12	S S M	G G	F
48 49 50	Tupidanthus African Fern Pine Brazilian Pepper	Heptapleurum calyptratum Afrocarpus falcatus Schinus terebinthefolius	5/4 18 15	S L M	G G Dead	F P
51 52	Brazilian Pepper Brazilian Pepper	Schinus terebinthefolius Schinus terebinthefolius	16 20	M M	G G	F
53 54 55	Tupidanthus Monterey Pine European Olive	Heptapleurum calyptratum Pinus radiata Olea europaea	10/6/4 10 11/14	S M M	G P F	F P F
56 57 58	European Olive European Olive European Olive	Olea europaea Olea europaea Olea europaea	24 24 30	M M	F P P	F F
59 60	European Olive European Olive	Olea europaea Olea europaea	25 15/22	M M	F F	F
51 52 53	European Olive European Olive California Live Oak	Olea europaea Olea europaea Quercus agrifolia	15/13 12/11/10 9	M M M	P F G	F F
64 65 66	American Sweet Gum American Sweet Gum American Sweet Gum	Liquidambar stryaciflua Liquidambar stryaciflua Liquidambar stryaciflua	16 12 11	M M M	G G	F F
67 68	American Sweet Gum African Fern Pine	Liquidambar stryaciflua Afrocarpus falcatus	13 14	M M	G G	F F
69 70 71	American Sweet Gum American Sweet Gum American Sweet Gum	Liquidambar stryaciflua Liquidambar stryaciflua Liquidambar stryaciflua	18 15 13	M M M	G G	F F
72 73 74	European Olive Unknown Unknown	Olea europaea	24 8 10	S S	G P F	F P F
75 76	Unknown Southern Magnolia	Magnolia grandiflora	8 5	S S	P F	P F
77 78 79	Southern Magnolia Southern Magnolia Southern Magnolia	Magnolia grandiflora Magnolia grandiflora Magnolia grandiflora	5 5 5	S S S	F F	F F
80 81 82	Southern Magnolia Southern Magnolia Southern Magnolia	Magnolia grandiflora Magnolia grandiflora Magnolia grandiflora	5 4 4	S S	F P F	F P F
83 84	Southern Magnolia Southern Magnolia	Magnolia grandiflora Magnolia grandiflora	5 5	S S	P P	P P
85 86 87	Southern Magnolia Southern Magnolia Tipu Tree	Magnolia grandiflora Magnolia grandiflora Tipuana tipu	5 10	S S M	P F G	P F G
88 89 90	Tipu Tree Tipu Tree Tipu Tree	Tipuana tipu Tipuana tipu Tipuana tipu	8 20 12	M M M	G G	G G
91 92	Tipu Tree Tipu Tree	Tipuana tipu Tipuana tipu	11 17	M M	G G	G
93 94 95	Tipu Tree Tipu Tree Tipu Tree	Tipuana tipu Tipuana tipu Tipuana tipu	11 11 12	M M M	G G	G G P
96 97 98	European Olive Chinese Flame Tree Southern Magnolia	Olea europaea Koelreuteria bipinnata Magnolia grandiflora	20 10 11	M S S	G P G	G P G
99	Southern Magnolia European Olive	Magnolia grandiflora Olea europaea	9 12	M M	P F	P F
.01 .02 .03	Brisbane Box Brisbane Box Mexican Fan Palm	Lophostemon confertus Lophostemon confertus Washingtonia robusta	8 13 10	M M S	G G	G
.04 .05 .06	European Olive American Sweet Gum American Sweet Gum	Olea europaea Liquidambar stryaciflua Liquidambar stryaciflua	18 10 8	M M M	G F F	G P P
.07 .08	American Sweet Gum Southern Magnolia	Liquidambar stryaciflua Magnolia grandiflora	8 7 10	M S S	F P	P F
.10	Southern Magnolia Southern Magnolia Southern Magnolia	Magnolia grandiflora Magnolia grandiflora Magnolia grandiflora	8 7	S S	F F	F F
.12 .13 .14	Southern Magnolia Southern Magnolia American Sweet Gum	Magnolia grandiflora Magnolia grandiflora Liquidambar stryaciflua	8 9 10	S S M	P F P	P F P
15 .16 .17	American Sweet Gum American Sweet Gum African Fern Pine	Liquidambar stryaciflua Liquidambar stryaciflua Afrocarpus falcatus	5 8 4	M M S	P F G	P F P
.18 .19	European Olive Chinese Flame Tree	Olea europaea Koelreuteria bipinnata	15 15/17	M M	G G	G F
.20 .21 .22	Chinese Flame Tree Chinese Flame Tree Chinese Flame Tree	Koelreuteria bipinnata Koelreuteria bipinnata Koelreuteria bipinnata	14/15 17/12 16/11	M M M	G G	F F
.23	Chinese Flame Tree Chinese Flame Tree	Koelreuteria bipinnata Koelreuteria bipinnata	13/19 17/18	M M	G G	F
.25 .26 .27	Mexican Fan Palm Southern Magnolia Southern Magnolia	Washingtonia robusta Magnolia grandiflora Magnolia grandiflora	16 6 7	S S	G P F	P F
.28 .29 .30	Southern Magnolia Southern Magnolia Southern Magnolia	Magnolia grandiflora Magnolia grandiflora Magnolia grandiflora	7 8 10	S S S	F F	F F
.31 .32	Southern Magnolia Brisbane Box	Magnolia grandiflora Lophostemon confertus	9 6/3	S M	F G	F G
.33 .34 .35	Brisbane Box European Olive Brisbane Box	Lophostemon confertus Olea europaea Lophostemon confertus	10 12/8 10	M M M	G G	G G F
.36	Brisbane Box European Olive	Lophostemon confertus Olea europaea	8 21	M	G G	G

414 OLIVE STREET SANTA BARBARA, CA 93101 626.795.2008 EPTDESIGN.COM

THE **NEIGHBORHOOD** AT STATE AND HOPE

APN 051-010-013

CITY OF SANTA BARBARA, CALIFORNIA

JOB NUMBER **22-048**

<u>PIC PA PM</u>

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MILESTONES / SUBMITTALS

DESCRIPTION PLN SUBMITTAL 05/31/2024 PLN SUBMITTAL 08/30/2024

REVISIONS

NO. DESCRIPTION

OVERALL TREE DISPOSITION PLAN

L001

SCALE: REFER TO PLAN DATE:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)



Legend

Central Plaza (Public) Iconic Specimen Tree as Landmark Raised Community Lawn Open, Flexible, Event Space

Variety of Seating **Enhanced Paving** Community Plaza (Public)

Specimen Trees Raised Seating Platforms **Community Gathering Space** Variety of Seating **Enhanced Paving**

Pedestrian Paseos (Public)

Network of Paseos Gateway Trees Raised Planters Variety of Seating **Enhanced Paving**

Pedestrian Corridors (Public)

Retractable Bollards for Fire Access **Gateway Trees** Moveable Furniture **Enhanced Paving**

Resident Courts (Private)

Resident Amenities Shade Trees Variety of Seating Secured Fencing and Gates

Open Space Shade Trees

> Variety of Seating **Passive Recreation Community Connections**

Street Tree

Sidewalk

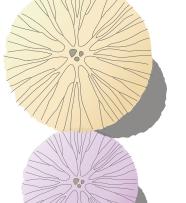
Bike Lane

Bike Parking

Residential: >684 spaces Commercial:

Long Term Provided: 10 spaces Short Term Provided: 29 spaces Refer to Sheet A620 for more information

Trees, such as:



Iconic Specimen Western Sycamore

(Platanus racemosa)

Gateway / Entry Jacaranda (Jacaranda mimosifolia)

State Street Tree

Per City of Santa Barbara Master Street Tree Plan: Strawberry Tree (Arbutus 'Marina')



EPTDESIGN 414 OLIVE STREET SANTA BARBARA, CA 93101

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THE **NEIGHBORHOOD** AT STATE AND HOPE

> **APN** 051-010-013

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riangle revis	IONS	
NO.	DESCRIPTION	DA

OVERALL SITE PLAN - GROUND LEVEL

L101

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS

PENETRATION IRRIGATION LEGEND PODIUM SIDE WALL PENETRATION FOR PRESSURE MAINLINE, CONTROL WIRE CONDUIT OR NON-PRESSURE LATERAL LINE-TRANSITION FROM PVC TO COPPER PIPE AT PODIUM SIDE WALL PENETRATION. IRRIGATION CONTRACTOR SHALL CONNECT TO COPPER PIPE BELOW FINISH GRADE IN PERIMETER LANDSCAPE PLANTER. PRESSURIZED MAINLINE POINT OF CONNECTION TO FLOOR BELOW OR FLOOR ABOVE. DIRECTION OF CONTINUING MAINLINE TO PENETRATE CEILING ABOVE OR FLOOR BELOW PER PLANS. PRESSURE MAINLINE PLUMBING P.O.C. CONNECT PRESSURE MAINLINE PIPING TO PLUMBING STUB-OUT PROVIDED BY PLUMBING CONTRACTOR (TYPICAL). VERIFY LOCATION IN FIELD. EXACT LOCATION TO BE NOTED ON AS-BUILT RECORD DRAWINGS. IRRIGATION PIPING SHALL BE SECURED TO STRUCTURE WITH STRUCTURE PENETRATION TO LANDSCAPE PLANTER ABOVE, COPPER PIPE, COPPER FITTINGS, AND PENETRATION BY PLUMBING CONTRACTOR. PENETRATION SHOWN FOR DESIGN CLARIFICATION ONLY. PLUMBING CONTRACTOR TO DESIGN-BUILD IRRIGATION PLUMBING BASED ON THE IRRIGATION DESIGN PLANS. ALL INSTALLATION BY PLUMBING CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. COORDINATE ALL WORK WITH GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL WATER PROOF ALL STRUCTURE PENETRATIONS, SIZE NOTED. NON-PRESSURE LATERAL PLUMBING P.O.C. CONNECT NON-PRESSURE LATERAL PIPING TO PLUMBING STUB-OUT PROVIDED BY PLUMBING CONTRACTOR (TYPICAL). VERIFY LOCATION IN FIELD. EXACT LOCATION TO BE NOTED ON AS-BUILT RECORD DRAWINGS. IRRIGATION PIPING SHALL BE SECURED TO STRUCTURE WITH STRUCTURE PENETRATION TO LANDSCAPE PLANTER ABOVE, O—— —— O COPPER PIPE, COPPER FITTINGS, AND PENETRATION BY PLUMBING CONTRACTOR. PENETRATION SHOWN FOR DESIGN CLARIFICATION ONLY. PLUMBING CONTRACTOR TO DESIGN-BUILD IRRIGATION PLUMBING BASED ON THE IRRIGATION DESIGN PLANS. ALL INSTALLATION BY PLUMBING CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. COORDINATE ALL WORK WITH GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL WATER PROOF ALL STRUCTURE PENETRATIONS, SIZE NOTED. IRRIGATION CONTROL WIRE CONDUIT IRRIGATION CONTROL WIRE CONDUIT FROM AUTOMATIC CONTROLLER TO PLANTERS. ALL CONDUIT. "J"-BOXES. SWEEP ELLS, ETC. REQUIRED TO INSTALL IRRIGATION CONTROL WIRE SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR, VERIFY LOCATION IN FIELD, IRRIGATION CONTROL WIRE FROM THE AUTOMATIC CONTROLLER TO ELECTRIC CONTROL VALVES SHALL BE PROVIDED AND INSTALLED BY THE IRRIGATION CONTRACTOR. VALVES SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR. PENETRATION SHOWN FOR DESIGN CLARIFICATION ONLY. ELECTRICAL CONTRACTOR TO DESIGN-BUILD IRRIGATION CONTROL WIRE CONDUITS BASED ON THE IRRIGATION DESIGN PLANS. ALL INSTALLATION BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. COORDINATE ALL WORK WITH GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL WATER PROOF ALL STRUCTURE PENETRATIONS, SIZE NOTED.

	WATER DEMAND	STUDY						
	Reference Evapotranspira	tion (ETo)	40.6	Santa Barbara		Project ETAF	0.55	
Valve #				luviantina	ETAE	Landssans	ETAF v Avec	Estimated Tatal
vaive #	Hydrozone # /Planting Descriptions ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
	Regular Landscape Areas							
Ground	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	38,247	14,165.56	356,575.36
Ground	Trees		Drip	0.81		900	555.56	13,984.44
2nd Lvl	Trees, Shrubs, GC		Drip	0.81	0.37	12,109	4,484.96	112,895.30
3rd Lvl	Trees, Shrubs, GC		Drip	0.81	0.37	305	112.96	2,843.50
4th Lvl	Trees, Shrubs, GC		Drip	0.81	0.37	890	329.63	8,297.44
5th Lvl	Trees, Shrubs, GC		Drip	0.81	0.37	16,960		158,117.45
6th Lvl	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	3247	1,202.59	30,271.66
					Subtotals	72,658.38	27,132.73	682,985.16
<u> </u>	Special Landscape Areas							48888 ==
Ground	Open Space				1	5160		129887.52
					0		0	(
					0		0	(
					0		0	(
					0 Subtotals	5160	5160	129887.52
							ndscape Area	77,818.38
							ETWU Total	812,872.68
						ETWU	(in acre-feet)	
								2.45
					Maximi	m Allowed Wat	er Allowance	2.45
					Maximi	m Allowed Wat		
					Maximii		(MAWA) ^e	1,135,813.73
					Maximii			1,135,813.73
^a Hydrozor	ne/Plantina Description		^b Irrigation I	Method		MAWA	(MAWA) ^e (in acre-feet)	1,135,813.73 3.49
-	ne/Planting Description		^b Irrigation I		^c Irrigation E	MAWA Efficiency	(MAWA) ^e (in acre-feet) d ETWU (Annuc	1,135,813.73 3.49 al Gallons Required) =
E.g.			^b Irrigation I Overhead sp		^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET	1,135,813.73 3.49 al Gallons Required) = AF x Area
E.g. 1) Front La	awn		_		^c Irrigation E	MAWA Efficiency head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ETA where 0.62 is c	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that
E.g. 1) Front La 2) Low wa	awn ter use plantings		_		^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium	nwn ter use plantings n water use planting		Overhead sp	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ETA where 0.62 is c	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium	nwn ter use plantings n water use planting (Annual Gallons Allowed) = ((ETo) (0.62)((ETAF	Overhead sp	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium	ter use plantings n water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor	ETo) (0.62)((ETAF that converts acre-i	Overhead sp (x LA) + ((1- inches per	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium	ter use plantings n water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa	ETo) (0.62)((ETAF that converts acre- re foot per year. LA	Overhead sp x LA) + ((1- inches per is the total	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S	ETo) (0.62)((ETAF that converts acre-i re foot per year. LA LA is the total speci	Overhead sp (x LA) + ((1- inches per is the total ial	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a	ETo) (0.62)((ETAF that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for	Overhead sp (x LA) + ((1- inches per is the total ial	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S	ETo) (0.62)((ETAF that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for	Overhead sp (x LA) + ((1- inches per is the total ial	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium ^e MAWA	ter use plantings n water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residenti	ETo) (0.62)((ETAF that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for	Overhead sp (x LA) + ((1- inches per is the total ial	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium e MAWA	ter use plantings water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, s landscape area in square feet, a areas and 0.45 for non-residents	ETo) (0.62)((ETAF that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for	Overhead sp (x LA) + ((1- inches per is the total ial	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium MAWA ETAF Calc	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residenticulations culations andscape Areas	ETo) (0.62)((ETAF that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for ial areas	Overhead sp (x LA) + ((1- inches per is the total ial residential	oray or drip	^c Irrigation E .75 for spray	MAWA Efficiency v head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-ii	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium MAWA ETAF Calc Regular L Total ETA	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residentic culations andscape Areas F x Area	ETo) (0.62)((ETAF that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for ial areas	Overhead sp (x LA) + ((1- inches per is the total ial residential	ETAF) x SLA))	^c Irrigation & .75 for spray .81 for drip	MAWA Efficiency head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ET where 0.62 is c converts acre-in to per square for	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium e MAWA ETAF Calc Regular L Total ETA Total Are	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residents culations andscape Areas F x Area a	that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for ial areas	Overhead sp (x LA) + ((1- inches per is the total ial residential	ETAF) x SLA))	* Irrigation E .75 for spray .81 for drip	MAWA Efficiency	(MAWA) ^e (in acre-feet) d ETWU (Annual ETO x 0.62 x ETA where 0.62 is converts acre-into per square for the per square for th	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium e MAWA ETAF Calc Regular L Total ETA Total Are	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residents culations andscape Areas F x Area a	ETo) (0.62)((ETAF that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for ial areas	Overhead sp (x LA) + ((1- inches per is the total ial residential	ETAF) x SLA))	* Irrigation E .75 for spray .81 for drip	MAWA Efficiency head	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ETo where 0.62 is c converts acre-in to per square for	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium MAWA ETAF Calc Regular L Total ETA Total Area Average I	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residents culations andscape Areas F x Area a	that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for ial areas	Overhead sp (x LA) + ((1- inches per is the total ial residential	ETAF) x SLA))	Average ET Areas must residential	MAWA Efficiency head TAF for Regular t be 0.55 or bel	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ETo where 0.62 is c converts acre-in to per square for	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium MAWA ETAF Calc Regular L Total ETA Total Area Average I	ter use plantings in water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residents culations andscape Areas F x Area a ETAF cape Areas	that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for ial areas	Overhead sp (x LA) + ((1- inches per is the total al residential	ETAF) x SLA))	Average ET Areas must residential	MAWA Efficiency head TAF for Regular t be 0.55 or bel areas, and 0.4	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ETo where 0.62 is c converts acre-in to per square for	1,135,813.73 3.49 al Gallons Required) = AF x Area onversion factor that nches per acre per year
E.g. 1) Front La 2) Low wa 3) Medium MAWA ETAF Calc Regular L Total ETA Total Area Average I	ter use plantings water use planting (Annual Gallons Allowed) = (where 0.62 is conversion factor acre per year to gallon per squa landscape area in square feet, S landscape area in square feet, a areas and 0.45 for non-residents culations andscape Areas F x Area a ETAF cape Areas F x Area	that converts acre- re foot per year. LA LA is the total speci nd ETAF is 0.55 for ial areas 27132.73 72658.38 0.37	Overhead sp (x LA) + ((1- inches per is the total al residential	ETAF) x SLA))	Average ET Areas must residential	MAWA Efficiency head TAF for Regular t be 0.55 or bel areas, and 0.4	(MAWA) ^e (in acre-feet) d ETWU (Annua ETo x 0.62 x ETo where 0.62 is c converts acre-in to per square for	1,135,813.7: 3.4! al Gallons Required) = AF x Area onversion factor that nches per acre per yea

Landscape Compliance Checklist LANDSCAPE COMPLIANCE CHECKLIST The person who prepared the landscape plan must complete and sign this checklist and include it on the landscape plans. Read each checked line and add sheet references to verify compliance, or indicate N/A if "not applicable". 1) Limit Your Lawn √ No turfgrass or high water using plants in parkways, medians, or areas with dimension of < 8 feet </p> ✓ No turfgrass or high-water using plants located on slopes of 20% or greater 2) Plant Water-Wise Sheet# ✓ Nonresidential projects are designed with 100% water-wise plants, or City WELS Worksheet shows ETAF of 0.37 or less and is reproduced on plans Residential projects are designed with 80% water-wise plants, or City WELS Worksheet shows ETAF of 0.5 or less and is reproduced on plans L301/L302 ✓ Plant list includes botanical name, common name, and WUCOLS classification ✓ Plans show total square feet of all new/revised landscaping and provide total sub-areas of irrigated water-wise, moderate, high water use plants 3) Mulch, Mulch, Mulch L301/L302 All appropriate landscaped areas will be covered with at least 3" mulch, organic is preferred ✓ Compost incorporated into soil of landscaped area, if soil is <6% organic matter in top 6" N/A 4) Irrigate Efficiently ✓ A weather-based irrigation controller with a rain shutoff sensor is provided. __L200 ✓ Drip irrigation, with emitters with < 2 GPH, is provided on at least 25% of the landscaped area ✓ If required, plans show private irrigation sub-meter or City issued dedicated irrigation meter L200 ✓ Pressure regulators are provided for mainline, if necessary; inline regulators at each valve ✓ Manual shut-off valve close to point of connection provided L201 ✓ For projects > 5,000 square feet, flow sensor and master shut-off valve is provided L200 ✓ Hydrozones clearly demonstrated on plans and valves show hydrozones separated based on L200 plant water needs. Hydrozones do not mix low, moderate and high water using plants ✓ Irrigation systems are designed to avoid overspray and runoff L201/L202 L200 ✓ Areas less than 8' are irrigated with bubblers, pop-up rotating nozzle, sub-surface, or drip N/A ✓ Overhead irrigation at least 24" setback of any non-permeable surface L200 ✓ Sprinklers have matched precipitation rates within each valve and circuit ✓ Sprinklers have uniform distribution, head-to-head spacing, and setbacks from paved areas L200 I certify that the foregoing is true and correct and that verification will be necessary upon final inspection. License # and Exp. Date

Sitewide ETAF

GENERAL IRRIGATION NOTES

COMMENCING WORK.

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE BEGINNING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- IRRIGATION AS SHOWN IS A REPRESENTATIVE SYSTEM DIAGRAM. ALL EQUIPMENT SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH APPLICABLE JURISDICTIONAL REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE IRRIGATION LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. IT IS RECOMMENDED TO MEASURE FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
- 0. THESE PLANS ARE DIAGRAMMATIC. THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY; THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING
- . ACTUAL LOCATIONS FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND AUTOMATIC CONTROLLER(S) ARE TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- 2. CONTRACTOR SHALL INSTALL ADDITIONAL CHECK VALVES TO IRRIGATION HEADS AND LATERALS AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
- 3. CONTRACTOR SHALL PROVIDE AN ADDITIONAL PILOT WIRE FROM EACH CONTROLLER ALONG THE ENTIRETY OF THE MAINLINE ROUTE TO THE LAST REMOTE CONTROL VALVE ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRE AT BOTH ENDS.
- 4. MAINLINE AND LATERAL LINE PIPING WITHIN BUILDINGS OR STRUCTURES SHALL BE TYPE K COPPER AND IS SHOWN FOR CLARITY ONLY; ACTUAL DESIGN AND ROUTING SHALL BE COMPLETED BY THE PLUMBING ENGINEER AND INSTALLED BY THE PLUMBING CONTRACTOR. EACH STUB-OUT WITHIN EACH PLANTER SHALL HAVE A COPPER FEMALE ADAPTER FOR THE LANDSCAPE CONTRACTOR CONNECTION. ALL PIPING THROUGH BUILDING TO EXTERIOR AND THROUGH BUILDING TO UPPER FLOOR SHALL BE PROVIDED BY PLUMBER.
- . ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN, AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED ACCORDINGLY TO PREVENT OVERSPRAY ONTO BUILDINGS. WALLS, FENCES, HARDSCAPE, ETC. THIS INCLUDES BUT IS NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS, AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- 6. THE PREPARATION OF IRRIGATION SYSTEM AS-BUILT DRAWINGS ARE A CONDITION OF THE CONTRACT. THESE DOCUMENTS SERVE AS WORK PROGRESS SHEETS; CONTRACTOR SHALL PROVIDE DAILY UPDATES TO THESE PLANS BY NEATLY AND LEGIBLY NOTATING CHANGES FROM THE CONTRACT DRAWINGS ON THE LOCATION(S), SIZE(S) AND/OR TYPES OF MATERIALS OR EQUIPMENT AS INSTALLATION OCCURS. ANY GRAPHIC CHANGES SHOULD MATCH THE SYMBOL NOMENCLATURE AS ILLUSTRATED WITHIN THE CONTRACT DRAWINGS. AS-BUILTS SHALL BE AVAILABLE AT ALL TIMES FOR REVIEW BY THE OWNER'S AUTHORIZED REPRESENTATIVE OR LANDSCAPE ARCHITECT

OBSERVATION SCHEDULING

- THE LANDSCAPE CONTRACTOR SHALL BE SCHEDULE AN IRRIGATION SITE OBSERVATION BY THE IRRIGATION DESIGNER, AND/OR THE OWNER'S REPRESENTATIVE, WHICH SHALL NOT OCCUR WITHOUT AT LEAST 48 HOURS PRIOR NOTIFICATION. THE FOLLOWING ITEMS SHALL BE REVIEWED:
- PRE-JOB/KICK-OFF MEETING WITH CONTRACTOR, GENERAL CONTRACTOR, AND IRRIGATION DESIGNER.

CONTROLLER ASSEMBLY AND FOR CERTIFICATION/WARRANTY OF EQUIPMENT.

EACH VALVE DURING THE IRRIGATION COVERAGE TEST.

- MAINLINE, BASKET STRAINERS, MASTER VALVES, FLOW SENSORS, BOOSTER PUMP INSTALLATION AND OPERATION, INSTALLATION REVIEW PRIOR TO BACKFILLING TRENCHES, IRRIGATION MAINLINE PRESSURE TEST, ETC.
- FINALIZING THE LOCATION FOR THE CONTROLLER ASSEMBLIES LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION DESIGNER TO VERIFY CONNECTION OF FLOW SENSORS AND ASSOCIATED EQUIPMENT TO EACH
- IRRIGATION COVERAGE TEST A DYNAMIC PRESSURE TEST SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR AND SHALL BE OBSERVED BY THE OWNER (OR THE OWNER'S REPRESENTATIVE) AND THE IRRIGATION DESIGNER FOR

HYDROZONE MAP - GROUND LEVEL

IRRIGATION CONSTRUCTION NOTES

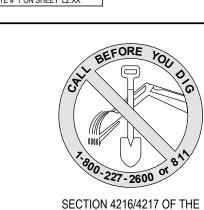
- THE LANDSCAPE CONTRACTOR SHALL PURCHASE AND INSTALL FOUR (4) DOMESTIC WATER METER LOCATED PER THE CIVIL ENGINEER'S SEWER & WATER PLAN AND AS SHOWN ON THE IRRIGATION PLAN. VERIFY THAT THE STATIC PRESSURE IS <u>80</u> PSI PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH AND INSTALL MAINLINE TO THE FLANGED GATE VALVES, BACKFLOW, QUICK COUPLER, MASTER VALVE, AND FLOW SENSOR PER THE IRRIGATION LEGEND AND DETAILS. (REFER TO THE IRRIGATION PLANS FOR SIZING). NOTE REFER TO IRRIGATION LEGEND AND IRRIGATION CONSTRUCTION NOTES FOR MODEL NUMBERS. INSTALL THE FLOW SENSOR PER THE MANUFACTURER'S RECOMMENDATIONS AND DETAILS. CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR TO EXECUTE AND INSTALL THE IRRIGATION SYSTEM PER THE IRRIGATION PLANS.
 - INSTALL THE GATE VALVES, BACKFLOW, QUICK COUPLER, MASTER VALVES, AND FLOW SENSORS WITHIN THE SHRUB PLANTING AREAS ONLY. THE FLOW SENSOR WIRE SHALL BE MANUFACTURED BY "RAIN MASTER", MODEL #EV-CAB-SEN. NO FIELD
 - SPLICES ALLOWED BETWEEN FLOW SENSOR AND CONTROLLER. ALL FLOW SENSOR WIRES SHALL BE NSTALLED WITHIN A GRAY 1-1/2" DIA., SCH. 40 PVC CONDUIT. EACH CONDUIT SHALL HAVE A SEPARATE FLOW SENSOR CABLE INSTALLED WITHIN IT BASED ON THE CORRESPONDING CONTROLLER ASSEMBLY. JOHN DEERE GREEN TECH SHALL MAKE THE FINAL CONNECTIONS FROM THE FLOW SENSOR TO THE CONTROLLER ASSEMBLIES.
 - MAINLINE SHOWN IN HARDSCAPE AREAS IS DIAGRAMMATIC. MAINLINES ARE INTENDED TO BE INSTALLED WITHIN THE SHRUB AREAS ONLY. ANY MAINLINE, LATERAL, OR CONTROL WIRES THAT RUN UNDER HARDSCAPE AREAS SHALL BE INSTALLED IN SCH. 40 PVC SLEEVES WHICH SHALL BE SIZED A MINIMUM OF TWICE THE DIAMETER OF THE ACTUAL PIPE DIAMETER. REFER TO IRRIGATION DETAILS FOR INSTALLATION AND DEPTHS OF SLEEEVING.

CONTROLLER INFORMATION MANUFACTURER: RAIN BIRD CONTROLLER ASSEMBLED BY: ITS NOTE CONTROLLER PART NUMBER CONTROLLER IDENTIFICATION ESP-LXME-FS-MP ESP-TM2-4-120V INTERNET REQUIRED: ETHERNET REQUIRED FLOW SENSOR CABLE: EV-CAB-SEN INSTALL FLOW SENSOR CABLE IN A 1 1/2" U.L. PVC SCH. 40 GRAY CONDUIT THE 120 VOLT POWER SUPPLY CONNECTION TO THE IRRIGATION CONTROLLER ASSEMBLY SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL NFORMATION. FINAL LOCATION OF THE IRRIGATION CONTROLLER ASSEMBLY SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. ALL SPRINKLER HEADS SHALL BE FIELD ADJUSTED TO PREVENT OVER SPRAY ONTO THE IRRIGATION CONTROLLER ASSEMBLY ENCLOSURE. THE SYSTEM IS DESIGNED FOR THE OPERATION OF ONE VALVE AT A TIME PER CONTROLLER. THE SYSTEM HAS BEEN DESIGNED FOR ONE VALVE OPENING AND ONE VALVE CLOSING. THE CONTROLLER SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE OWNERS AUTHORIZED REPRESENTATIVE.

CONTRACTOR TO DETERMINE BEST WAY TO PROVIDE INTERNET CONNECTIVITY FOR CONTROLLER IN PRIORITIZED ORDER PER SITE CONDITIONS. ETHERNET CABLE, WIFI, CELLULAR. COMPONENTS IN

CONTROLLER TO PROVIDE INTERNET CONNECTIVITY WILL VARY.

IRRIGATIC SYMBOL	RAD.	MANF.	MODEL NO. WITH NOZZLE SIZE & TYPE	DESCRIPTION	PSI		O/\/ D	ATE IN	CDM	
YMBOL	RAD.	MANF.	MODEL NO. WITH NOZZLE SIZE & TYPE	DESCRIPTION	P51	FL	.OW R	AIEIN	GPM	
•	-	RAIN BIRD	RWS-B-C-1402 (.50 GPM)	BUBBLER IN SLEEVE WITH GRATE	30	.50	-	<u> </u>	-	
0	-	RAIN BIRD	1402 ON 1802 W/ PA-80	FLOOD BUBBLER ON 2" POP-UP SPRAY HEAD	30	.50	-	<u> </u>	-	
	-	-	MODEL PER POT LEGEND, SHEET L3.00	INTERNAL, MODULE IRRIGATION RESERVOIR	-	-	-	-	-	
XXXXX	XXX				30	0.6 0	PH FL	OW RA	ATE	
		RAIN BIRD (SHRUB)	SPRAY IRRIGATION - VAN SERIES NOZZLES	SPACING 3 TO 18' MATCHED PRECIPITATION WITH VAN AND R						
		RAIN BIRD (SHRUB)	IRRIGATION DRIPLINE - XFS-CV-06-12	SPACE LATERAL ROWS AT 18". DRIPPER SPACING AT 12". INSTALL 3" MIN - 6" MAX BELOW GRADE PER SPECIFICATIONS. APPLICATION RATE: 0.43 IN/HR. TIME TO APPLY 1/4": 36 MINUTES. INSTALL RAINBIRD AIR RELIEF & MANUAL FLUSH VALVES PER DETAIL						
0		RAIN BIRD	TREE DRIP RINGS	INSTALL PER DETAIL						
		RAIN BIRD	AIR RELIEF VALVE	INSTALL PER DETAIL						
≻ ■		NETAFIM	TLSOV - MANUAL FLUSH VALVE	INSTALL PER DETAIL						
(IN)		RAIN BIRD	DRIP SYSTEM OPERATION INDICATOR	INSTALL PER DETAIL						
5		-	DRIP TRANSITION POINT	PIPE TRANSITION POINT FROM PVC LATERAL	_ TO D	RIP TU	JBING	BELOV	V GRADI	
M		-	WATER METER PER CIVIL	SEE CIVIL ENGINEERS PLANS FOR ADDITION	NAL IN	FORM	ATION			
		WILKINS	975XL - 1 1/2" BACKFLOW PREVENTER	VERIFY LOCATION IN FIELD PRIOR TO INSTA STRONG BOX SBBC-45SS STAINLESS STEEL						
H		NIBCO	T-111 GATE VALVE - LINE SIZE 2 1/2" AND SMALLER.	ASSEMBLE WITH SS HARDWARE. INSTALL IN A 10" ROUND VALVE E			VE BO	X.		
MV		SUPERIOR	3300 - 2" NORMALLY OPEN MASTER VALVE	TO FLOW SENSOR.						
FS	110 120 1 SIA DESTINATION DE MOSEE MONESE MO		S							
(BP) MUNRO		MUNRO	MUNRO COMPLETE PRO II	VERIFY AND COORDINATE LOCATION IN FIELD. COORDINATE POWER SOURCE PRIOR TO ORDERING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO BOOSTER PUMP NOTES/SPEC FOR MORE INFORMATION.						
		RAIN BIRD	33-DLRC - 3/4" QUICK COUPLER VALVE	QUICK COUPLER VALVE WITH LOCKING RUBBER COVER. INSTALL IN ROUND VALVE BOX PER DETAIL.						
•		RAIN BIRD	EFB-CP-PRS-D	REMOTE CONTROL VALVE. INSTALL IN RECTANGLE VALVE BOX PER DETAIL.						
		RAIN BIRD	075-ASVF	REMOTE CONTROL VALVE WITH ATMOSPHE	RIC B	BACKFLOW PREVENTER		TER		
		RAIN BIRD	XCZ-PRB-100-COM 0.3-20 GPM XCZ-150-LCS 15-62 GPM	REMOTE CONTROL VALVE KIT WITH PRESSI FILTER. INSTALL IN JUMBO RECTANGULAR FLOW GPM DETERMINES MODEL.						
Ø		King Bros.	LINE SIZE CHECK VALVE	PROVIDE SWING CHECK VALVE WHEN DIRE UPHILL. PROVIDE SPRING CHECK VALVE W DOWNHILL.						
R		RAIN BIRD	RSD-BEX - RAIN SENSOR	RAIN SENSOR. VERIFY LOCATION IN FIELD.						
A		RAIN BIRD	ESP-LXME-FS-MP	SMART IRRIGATION CONTROLLER ASSEMBL PLANS. SEE IRRIGATION CONSTRUCTION NO						
В		RAIN BIRD	ESP-TM2-4-120V	SMART IRRIGATION CONTROLLER ASSEMBLE PLANS. SEE IRRIGATION CONSTRUCTION NO						
@		-	SPARE WIRE PULL BOX	FOUR (4) CONTINUOUS SPARE CONTROL WI (1) WHITE COMMON WIRE, 24" COIL MINIMUM		BLUE I	N COL	OR AN	D ONE	
			EXISTING MAINLINE	PROTECT IN PLACE.						
			MAINLINE	IRRIGATION MAINLINE - PVC SCH. 40 IPS WHITE PIPE. PVC SCH. 40 IPS FOR MAINLINE SIZES 1" TO 2" PVC CLASS 315 IPS FOR MAINLINE SIZES 2 1/2" AND LARGER SLEEVE MAINLINE PER NOTES AND DETAILS.						
			LATERAL LINE	LATERAL PIPE - PVC SCH. 40 IPS WHITE PIPI MINIMUM PIPE SIZE SHALL BE 3/4" - SIZE LAT PVC SCH. 40 IPS FOR SIZES 3/4" TO 2 1/2" PVC CLASS 315 IPS FOR SIZES 3" AND LARG	TERAL	S PER	PLAN			
====	==	====	PVC Sleeves	PVC SCH. 40 IPS WHITE PIPE - SLEEVES SHA MAINLINE, LATERAL, OR WIRES CROSSING U IRRIGATION CONSTRUCTION NOTES. SIZE T DIAMETER OR WIRE BUNDLE.	JNDEF	R HARI	DSCAF	E PER		



GOVERNMENT CODE

REQUIRES A DIG ALERT

IDENTIFICATION NUMBER BE

ISSUED BEFORE A "PERMIT TO

DOMESTIC WATER POINT OF CONNECTION

EQUIPMENT SIZES:

CONTROLLER X

JOB NUMBER 22-048

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SANTA BARBARA, CA 93101

NEIGHBORHOOD

CITY OF SANTA BARBARA

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Q/L2.51

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R/L2.51

C/L2.52

F, G/L2.51

J, K/L2.51

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A/L2.52

H/L2.51

I/L2.51

POC = WATER METER

WM = WATER METER

BS = BASKET STRAINE

MV = MASTER VALVE

FS = FLOW SENSOR

MILESTONES / SUBMITTALS DESCRIPTION

PLN SUBMITTAL 05/31/2024 PLN SUBMITTAL 08/30/2024

> **REVISIONS** DESCRIPTION

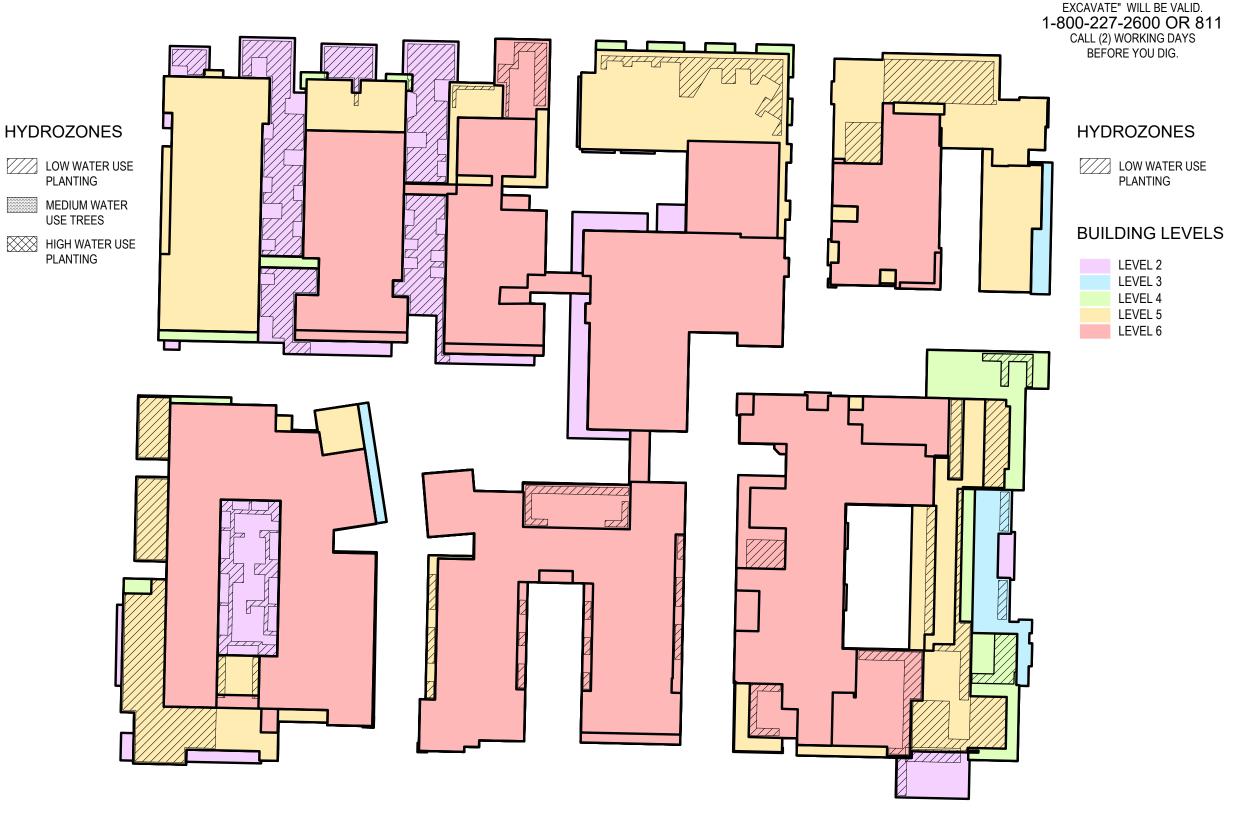
IRRIGATION SCHEDULE AND

L200

NOTES

SCALE: REFER TO PLAN

HYDROZONE MAP - UPPER LEVELS



LATERAL LINE SIZING CHART

_____ 2"

IDENTICAL TICK

SIZED THE SAME

MINIMUM PIPE SIZE

PLANT MATERIAL

ABBREVIATIONS:

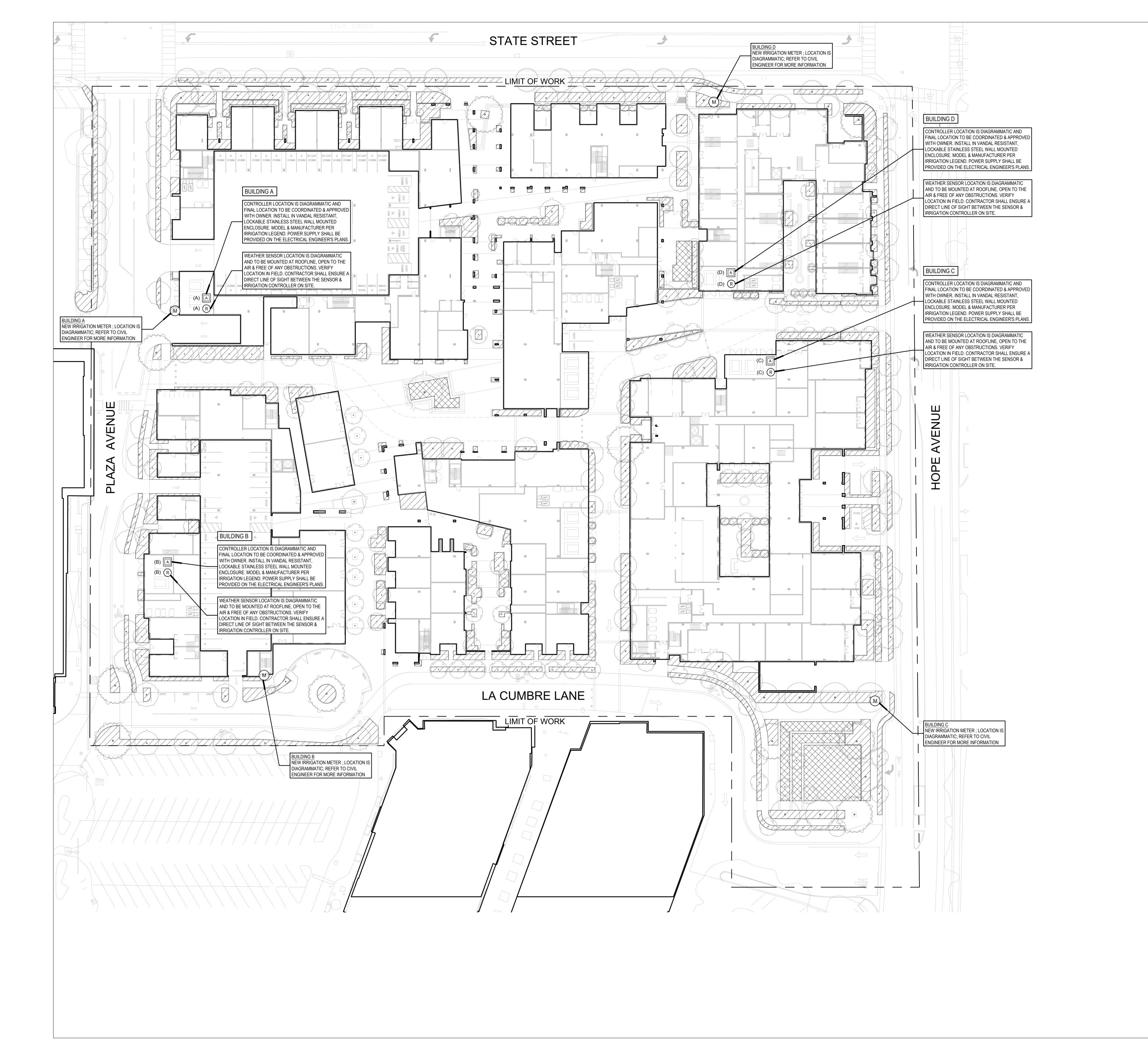
TR Trees

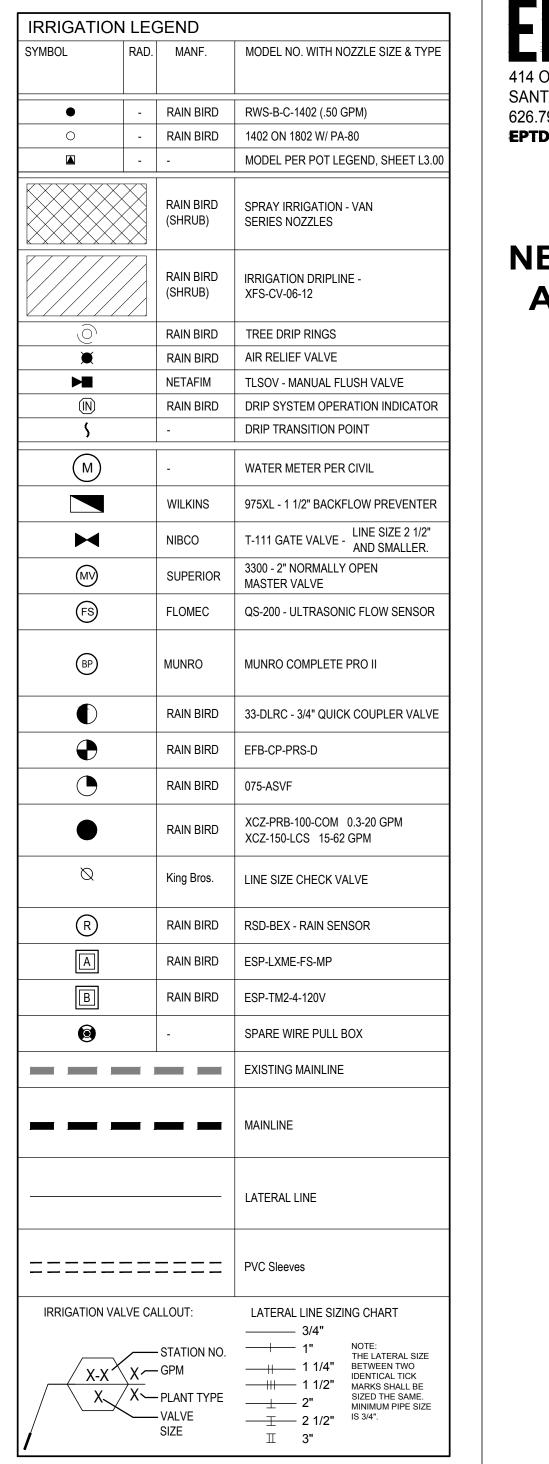
PT Pots

SB Shrub / Ground cover

IRRIGATION VALVE CALLOUT:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)





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THE
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	CRIPTIO		DATE
	SUBMIT		05/31/2024
PLN	SUBMIT	ΓTAL	08/30/2024

OVERALL IRRIGATION SITE PLAN - GROUND LEVEL

NO. DESCRIPTION

L201

SCALE: REFER TO PLAN DAT

Scale: 1" = 30'

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)



LEGENE	LEGEND: BUILDING LEVELS		
SYMBOL	NAME		
	LEVEL 2		
	LEVEL 3		
	LEVEL 4		
	LEVEL 5		
	LEVEL 6		

SYMBOL	RAD.	MANF.	MODEL NO. WITH NOZZLE SIZE & TYI
•	 -	RAIN BIRD	RWS-B-C-1402 (.50 GPM)
0	-	RAIN BIRD	1402 ON 1802 W/ PA-80
	-	-	MODEL PER POT LEGEND, SHEET L3.
		RAIN BIRD (SHRUB)	SPRAY IRRIGATION - VAN SERIES NOZZLES
		RAIN BIRD (SHRUB)	IRRIGATION DRIPLINE - XFS-CV-06-12
0		RAIN BIRD	TREE DRIP RINGS
×		RAIN BIRD	AIR RELIEF VALVE
—		NETAFIM	TLSOV - MANUAL FLUSH VALVE
(N) S		RAIN BIRD	DRIP SYSTEM OPERATION INDICATOR DRIP TRANSITION POINT
		-	DRIP TRANSITION POINT
(M)		-	WATER METER PER CIVIL
		WILKINS	975XL - 1 1/2" BACKFLOW PREVENTER
\bowtie		NIBCO	T-111 GATE VALVE - LINE SIZE 2 1/2" AND SMALLER.
MV		SUPERIOR	3300 - 2" NORMALLY OPEN MASTER VALVE
FS) BP		FLOMEC	QS-200 - ULTRASONIC FLOW SENSOR
		MUNRO	MUNRO COMPLETE PRO II
		RAIN BIRD	33-DLRC - 3/4" QUICK COUPLER VALVI
•		RAIN BIRD	EFB-CP-PRS-D
		RAIN BIRD	075-ASVF
•		RAIN BIRD	XCZ-PRB-100-COM 0.3-20 GPM XCZ-150-LCS 15-62 GPM
Ø		King Bros.	LINE SIZE CHECK VALVE
R		RAIN BIRD	RSD-BEX - RAIN SENSOR
A		RAIN BIRD	ESP-LXME-FS-MP
В		RAIN BIRD	ESP-TM2-4-120V
©		-	SPARE WIRE PULL BOX
			EXISTING MAINLINE
			MAINLINE
			LATERAL LINE
=====	==:	====	PVC Sleeves
IRRIGATION V	ALVE CA	LLOUT:	LATERAL LINE SIZING CHART
X-X′ X.	\rightarrow	- STATION NO. - GPM - PLANT TYPE	

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THE **NEIGHBORHOOD** AT STATE AND HOPE

> **APN** 051-010-013

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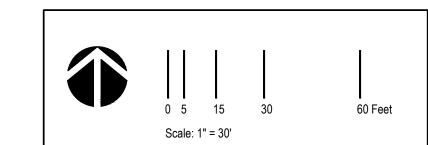
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			EPT
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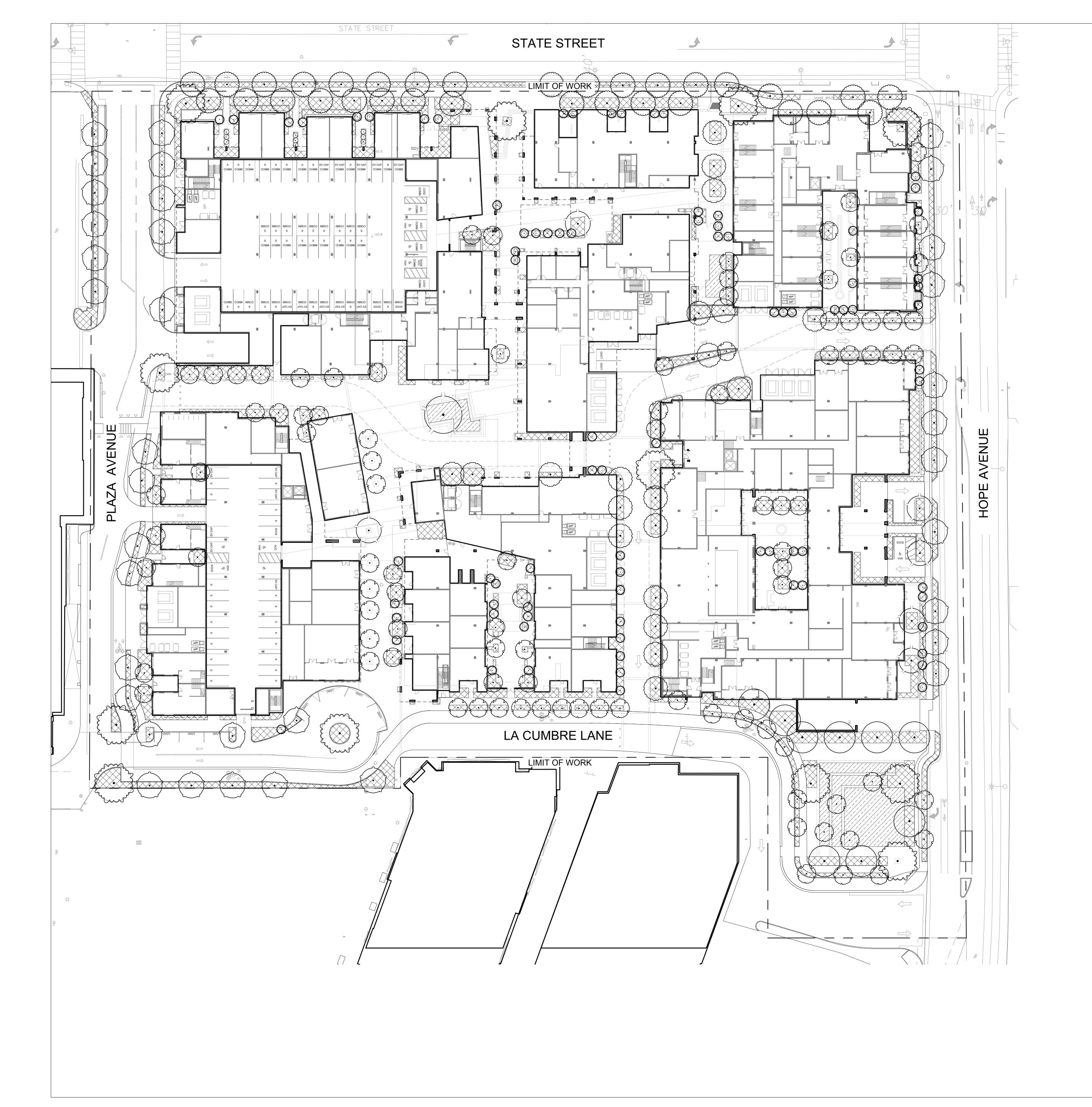
MILESTONES / SUBMITTALS PLN SUBMITTAL 05/31/2024

PLN SUBMITTAL 08/30/2024

A REVISIONS NO. DESCRIPTION DATE

OVERALL IRRIGATION SITE PLAN - UPPER LEVELS L202





SYMBOL	NAME	WATER REQ.*	SIZE	QTY
$\overline{(\cdot)}$	MITIGATION TREE (REFER TO ARBORIST REPORT FOR MORE INFORMATION): QUERCUS AGRIFOLIA COAST LIVE OAK	LOW	15 GALL. MIN.	9
\odot	STREET TREE PER CITY OF SANTA BARBARA MASTER STREET TREE PLAN: ARBUTUS 'MARINA' STRAWBERRY TREE	LOW	24" BOX	32
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	ACCENT TREE: CERCIS OCCIDENTALIS WESTERN REDBUD	LOW	24" BOX	83
	SHADE TREE: GEIJERA PARVIFOLIA AUSTRALIAN WILLOW	LOW	24" BOX	97
{··}	GATEWAY TREE: JACARANDA MIMOSIFOLIA JACARANDA	MED	60" BOX	12
	SPECIMEN TREE: PLATANUS RACEMOSA CALIFORNIA SYCAMORE	MED	48" BOX	7
$\bigcirc$	SHADE TREE: PODOCARPUS GRACILIOR YEW PINE	MED	24" BOX	17
$\overline{(\cdot)}$	STREET TREE: TO BE DETERMINED IN COORDINATION WITH THE CITY OF SANTA BARBARA	LOW	36" BOX	36

SYMBOL	NAME	WATER REQ.*	SIZE	QTY
	ACHILLEA 'MOONSHINE' YARROW	LOW	50% 15 GAL. @ 48" OC	38,247 S
	ARCTOSTAPHYLOS 'PACIFIC MIST' PACIFIC MIST MANZANITA	LOW	35% 5 GAL.	
	ARCTOSTAPHYLOS H. 'MONTEREY CARPET' MONTEREY CARPET MANZANITA	LOW	30" OC	
	BACCHARIS 'CENTENNIAL' COYOTE BRUSH	LOW	15% 1 GAL. @ 18" OC	
	BERBERIS REPENS CREEPING MAHONIA	LOW		
	CAREX DIVULA BERKELEY SEDGE	LOW		
	DIANELLA 'LITTLE REV' LITTLE REV FLAX LILY	LOW		
	ERIOGONUM GRANDE 'RUBESCENS' BUCKWHEAT	LOW		
	GREVILLEA 'MOONLIGHT' GREVILLEA	LOW		
	GREVILLEA 'WATTLEBIRD YELLOW' GREVILLEA	LOW		
	HESPERALOE PARVIFOLIA 'YELLOW' YELLOW YUCCA	LOW		
	JUNCUS PATENS 'ELK BLUE' CALIFORNIA GRAY RUSH	LOW		
	LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	LOW		
	MUHLENBERGIA C. 'WHITE CLOUD' WHITE MUHLY	LOW		
	PHLOMIS FRUTICOSA 'GRANDE VERDE' JERUSALEM SAGE	LOW		
	PHLOMIS RUSSELIANA TURKISH SAGE	LOW		

LAWN LEGEND: such as:					
	SIZE	QTY			
N II LOW	SOD	5,160 S			
	WATE REQ.	WATER REQ.* SIZE			

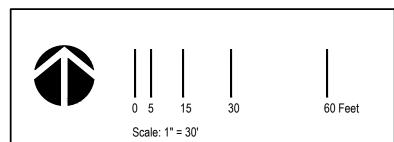
*WATER REQUIREMENT PLANT FACTOR IS BASED ON WUCOLS DATABASE AND CAN BE FOUND ONLINE AT: http://ucanr.eduedu/sites/WUCOLS/

# PLANT WATER REQUIREMENTS

All Plant Water Requirement information is specific to Santa Barbara, and sourced per WUCOLS, and/or the City of Santa Barbara Addendum to the WUCOLS Plant list dated 4-8-2019. The landscape uses a minimum of 80% water wise plants. See table below, and Sheet L200 Water Use Calculations.

Water Ose Calculations.		
Water Wise (Low to Very Low)	71,758 SF	93%
Medium Water Use	900 SF	1 %
High Water Use	5,160 SF	6 %
Total Landscape Area	77,818 SF	100 %

MULCH NOTE: IN ALL SHRUB AND GROUNDCOVER AREAS APPLY 3" MIN. LAYER OF MULCH. CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL. DO NOT INSTALL MULCH IN AREAS OF GROUNDCOVER THAT ARE LESS THAN 3" TALL AT MATURITY.



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# THE **NEIGHBORHOOD** AT STATE AND HOPE

APN 051-010-013

CITY OF SANTA BARBARA, CALIFORNIA

JOB NUMBER **22-048** 

<u>PIC PA PM</u>

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MILESTONES / SUBMITTALS

DESCRIPTION	DATE
PLN SUBMITTAL	05/31/2024
PLN SUBMITTAL	08/30/2024

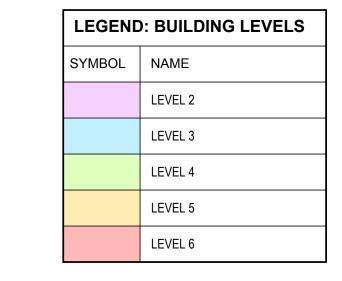
REVISIONS NO. DESCRIPTION DATE

**OVERALL PLANTING** SITE PLAN -**GROUND LEVEL** 

L301

SCALE: REFER TO PLAN DATE:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)



VENUE

HOPE

STATE STREET

LIMIT OF WORK

LA CUMBRE LANE

_S	PLANTIN	NG LEGEND: Trees, such as:			
	SYMBOL	NAME	WATER REQ.*	SIZE	
	**************************************	ACCENT TREE: CERCIS OCCIDENTALIS WESTERN REDBUD	LOW	24" BOX	
		SHADE TREE: GEIJERA PARVIFOLIA AUSTRALIAN WILLOW	LOW	36" BOX	

SYMBOL	NAME	WATER REQ.*	SIZE	QTY
	ACHILLEA 'MOONSHINE' YARROW	LOW	50% 15 GAL. @ 48" OC	33,511
	CAREX DIVULA BERKELEY SEDGE	LOW	35% 5 GAL.	
	DIANELLA 'LITTLE REV' LITTLE REV FLAX LILY	LOW	30" OC	
	GREVILLEA 'MOONLIGHT' GREVILLEA	LOW	15% 1 GAL. @ 18" OC	
	GREVILLEA 'WATTLEBIRD YELLOW' GREVILLEA	LOW		
	HESPERALOE PARVIFOLIA 'YELLOW' YELLOW YUCCA	LOW		
	LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	LOW		
	MUHLENBERGIA C. 'WHITE CLOUD' WHITE MUHLY	LOW		
	PHLOMIS FRUTICOSA 'GRANDE VERDE' JERUSALEM SAGE	LOW		
	PHLOMIS RUSSELIANA TURKISH SAGE	LOW		

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Medium Water Use	900 SF	1 %
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Total Landscape Area	77,818 SF	100 %

PLANT WATER REQUIR	REMENTS
	·

Water Use Calculations.

Water Wise (Low to Very Low)	71,758 SF	93%
Medium Water Use	900 SF	1 %
High Water Use	5,160 SF	6 %
Total Landscape Area	77,818 SF	100 %

**OVERALL PLANTING SITE PLAN - UPPER LEVELS** 

L302

SCALE: REFER TO PLAN DATE:

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MILESTONES / SUBMITTALS

05/31/2024

08/30/2024

DESCRIPTION PLN SUBMITTAL

PLN SUBMITTAL

REVISIONS

NO. DESCRIPTION

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### SITE LIGHTING LEGEND MOUNTING HEIGHT | FIXTURE, SUCH AS: SYMBOL DESCRIPTION FIXTURE: RECESSED WALL LUMINAIRE RECESSED WALL -MANUF: BEGA FINAL SELECTION TBD FIXTURE: PM PATH LIGHT PATH LIGHT FINAL SELECTION TBD MANUF: FX LUMINAIRE FESTOON LIGHTING FIXTURE: EXTON POWERSPAN CABLE SYSTEM KORE-EXS LED DIRECT CABLE | 10'-0" MANUF: TEGAN LIGHTING MOUNTED MODULE TREE MOUNTED DOWNLIGHT - TBD FIXTURE: DELTA STAR LED MANUF: B-K LIGHTING FINAL SELECTION TBD FIXTURE: WHITE STRIP LIGHT LED STRIP LIGHT -FINAL SELECTION TBD MANUF: FX LUMINAIRE ARCHITECTURAL LIGHTING LEGEND SYMBOL DESCRIPTION MOUNTING HEIGHT | FIXTURE, SUCH AS: FIXTURE: LED WALL LUMINAIRES WALL LUMINAIRE TBD PER FINAL SELECTION TBD ARCHITECT MANUF: BEGA FIXTURE: WALL LUMINAIRE THIN WALL LUMINAIRES TBD PER MANUF: BEGA ARCHITECT W/ DIRECT LIGHT FIXTURE: LEDGE SQUARE TBD PER LEDGE SQUARE MANUF: RBW ARCHITECT FINAL SELECTION TBD FIXTURE: RECESSED CEILING DOWN LIGHT TBD PER DOWNLIGHT ARCHITECT MANUF: BEGA FINAL SELECTION TBD FIXTURE: KENDO M WET LINEAR ILLUMINATION SYSTEM TBD PER FINAL SELECTION TBD MANUF: LIGHTING SYSTEMS FIXTURE: 36" OUTDOOR WALL LIGHTING OUTDOOR WALL LIGHTING AT TBD PER MANUF: S | H STUDIO NORTH-EAST BUILDING ARCHITECT FIXTURE: 23" OURDOOR WALL LIGHTING FINAL SELECTION TBD MANUF: S | H STUDIO OUTDOOR WALL LIGHTING AT TBD PER FIXTURE: 24" OUTDOOR WALL LIGHTING MANUF: S | H STUDIO SOUTH-EAST BUILDING ARCHITECT FINAL SELECTION TBD FIXTURE: 13" OUTDOOR WALL LIGHTING MANUF: S | H STUDIO FIXTURE: BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT OUTDOOR WALL LIGHTING AT MANUF: JOHN TIMBERLAND VANCE SOUTH-WEST BUILDING ARCHITECT FINAL SELECTION TBD FIXTURE: OAL BLACK MODERN LED OUTDOOR WALL LIGHT MANUF: MINKA GROUP

### **OFF SITE STREET LIGHTING**

REFER TO CIVIL ENGINEER DRAWINGS FOR STREET LIGHT LOCATIONS.

### CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINE - GENERAL NOTE

- 1. FINAL LIGHT FIXTURE SELECTIONS ARE 'TO BE DETERMINED'. FINAL SELECTIONS TO COMPLY WITH THE CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINES. EXTERIOR LIGHTING FIXTURES TO USE THE MINIMUM INTENSITY REQUIRED FOR THE INTENDED
- 2. RECESSED SOFFIT LIGHTING AND LANDSCAPE LIGHTING TO BE CONCEALED OR DESIGNED IN A MANNER APPROPRIATE FOR ADJACENT ARCHITECTURE.
- 3. ALL EXTERIOR BUILDING LIGHTING, SITE LIGHTING, AND STREETLIGHTS TO CONFORM TO THE CITY OF SANTA BARBARA'S OUTDOOR LIGHTING ORDINANCE (MUNICIPAL CODE CHAPTER 22.75) AND THE OUTDOOR LIGHTING & STREETLIGHT DESIGN GUIDELINES.

### DARK SKY COMPLIANCE

1. LIGHTING SHALL BE DESIGNED TO CONTROL GLARE, MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES, MINIMIZE DIRECT UPWARD LIGHT EMISSION, PROMOTE EFFECTIVE SECURITY, AND AVOID INTERFERENCE WITH THE SAFE OPERATION OF MOTOR VEHICLES. THE MINIMUM INTENSITY NEEDED FOR THE INTENDED PURPOSE SHOULD BE USED.

### **OUTDOOR LIGHTING COMPLIANCE STATEMENT**

### **Outdoor Lighting Compliance Statement**

As preparer of these plans for outdoor lighting, I certify that this lighting design meets the City of Santa Barbara Outdoor Lighting Ordinance and Outdoor Lighting Design Guidelines.

	Scot Gas.	
SCOTT CAPPS, PLA, EPTDESIGN	Mg. 393.	08-30-2024
Principal Lighting Designer Name	Signature	Date

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# **NEIGHBORHOOD** AT STATE AND HOPE

APN 051-010-013

CITY OF SANTA BARBARA,

**CALIFORNIA** 

JOB NUMBER **22-048** 

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MILESTONES / SUBMITTALS DESCRIPTION PLN SUBMITTAL 05/31/2024 PLN SUBMITTAL 08/30/2024

REVISIONS

NO. DESCRIPTION

**OVERALL LIGHTING** SITE PLAN -**GROUND LEVEL** 

L401

Inrush current: 53 A / 200 μs

B10A: 8 luminaires

B 16 A: 13 luminaires

3000 K – Article number

4000 K - Article number + K4

Article No. 24 108

type per miniature circuit breaker:

Maximum number of luminaires of this

LED colour temperature optionally 3000 K

**Product description** LED wall luminaire with asymmetrical light Luminaire made of aluminium and stainless For glare-free illumination of surfaces from low Front plate made of stainless steel mounting height. Steel grade no. 1.4301 Clear safety glass **Lamp** Module connected wattage Silicone gasket Recess housing made of aluminium, Luminaire connected wattage with 2 opposite insertions Rated temperature for installation conduits of up to ø 30 mm Ambient temperature 2 sliding nuts M6 suitable for the enclosed threaded rods for an additional fixation of the 24108 2x LED-0769/830 recess housing during installation Module designation 3000 K Centre-plate made of hot-dip galvanised steel Colour temperature Colour rendering index Module luminous flux 2393 lm Luminaire luminous flux Luminaire luminous efficiency 24 108 K4 Module designation Colour temperature Colour rendering index  $R_a > 80$ Module luminous flux

Luminaire luminous flux Luminaire luminous efficiency Lifetime of the LED Ambient temperature t_a=15 °C - at 50,000h: L90B10 -at > 500,000h: L70B50Ambient temperature t_a= 25 °C - at 50,000h: L90B10 - at 287,000h: L70B50

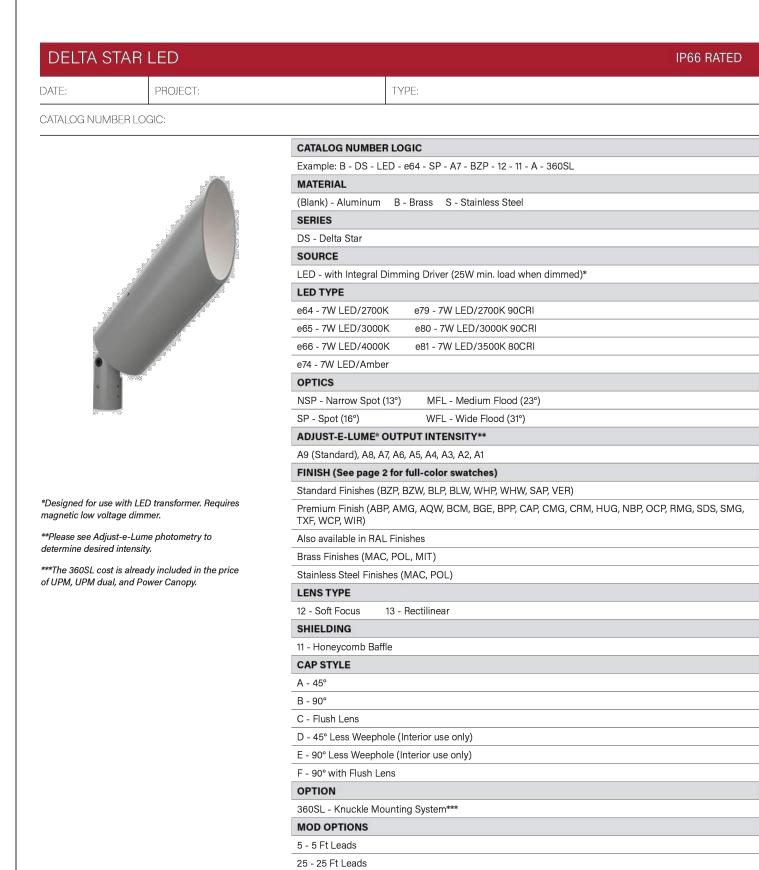
R_a>80 with 4 fixing holes ø 4 mm and 2 holes ø 8,5 mm It supports centering and positioning of the 77,2 lm/W recess housing on the sheathing and also protects it during building activity against soiling Connection box with terminal 4^D for through-2x LED-0769/840 wiring of mains supply cable max. 5 x 2.5° 4000 K LED power supply unit DC 176-276 V 2489 lm DALI controllable 80,3 lm/W A basic isolation exists between power cable and control line Safety class I Luminaire housing: Protection class IP 67 Dust tight and protection against temporary Connection box: Protection class IP 65 Dust tight and protected against water jets Impact strength IK10 Protection against mechanical impacts < 20 joule C € – Conformity mark Weight: 8.6 kg

max. ambient temperature t_a = 35 °C - at 50,000h: L90B50 - at 157,000h: L70B50

Light distribution

BEGA Gantenbrink-Leuchten KG · Postfach 31 60 · 58689 Menden · info@bega.com · www.bega.com

### **RECESSED WALL** Scale: NTS



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05/13/2024 SKU-739
SUB000930

B-K LIGHTING MADEIN THE USA 559.438.5800 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

TREE MOUNTED DOWNLIGHT

# **FX**Luminaire.



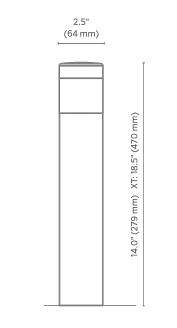
# PM Path Light DESIGNER PLUS

Modern bollard produces 360° spread without glare. Aluminum construction. RGBW capable with Luxor® system.

Quick Facts Machined and extruded aluminum

Tamper-resistant features

Color temperature filters Compatible with Luxor Durable TGIC powder technology Phase and PWM dimmable Cree® integrated LEDs Input voltage: 10-15V



coat finish

**PATH LIGHT** Scale: NTS



### **SRP WHITE** Strip Light

Highly versatile SRP Strip Lights make it easier than ever to illuminate stair ledges, outdoor patios, hardscape elements, and more.

### Features

- 12 VAC power ensures compatibility with any
- low-voltage lighting transformer Two color temperature options offer a warm (2,700K) or soft (3,000K) look
- 10' (3.1 m) and 40' (12.2 m) lengths
- Preinstalled 10' (3.1 m) power feed Compatible with Luxor® Low-Voltage CUBE (LCM-LV) for zoning and dimming capabilities
- Total Lumens: 28.7 lm/ft (94.6 lm/m) Input Voltage: 10 to 15 V
- Input Power: 0.6 W/ft (2.1 W/m) VA: 0.7 W/ft (2.2 W/m)

Model	Description
SRP-10-W	2,700K, 10' (3.1 m)
SRP-10-S	3,000K, 10' (3.1 m)
SRP-40-W	2,700K, 40' (12.2 m)
SRP-40-S	3,000K, 40' (12.2 m)

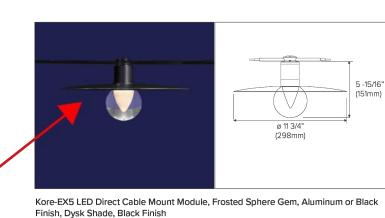


# Tegan

### **DYSK SHADE & GEM MODULES** Kore EX5 IP65, Direct Cable Mount Tensioned/Draped Systems **EXTON POWERSPAN CABLE SYSTEM** 24VDC Remote Power, 0-10V Dimming CATALOG NUMBER LOGIC EX5 - K - C - FG - BLK - DS - AL EXTON KORE LED DIRECT FLAT GEM BLACK DYSK ALUMINUM 5-WATT MODULE CABLE FINISH SHADE FINISH 2700K MOUNT

### EXTON - KORE-EX5 LED 24VDC DIRECT CABLE MOUNT MODULE WITH DYSK SHADE & GEM - COMBINATIONS





Kore-EX5 LED Dysk Shade with Flat, Sphere and Cylinder Gem Modules feature a 27K, 5W LED source with an integral current controller for 24V DC operation. Anodized Aluminum (AL) or Black (BLK) finish. System and Remote Power Supply(s) ordered separately to create a complete System.

teganlighting.com | info@teganlighting.com | 415-504-3536 TG32 - 05/15/2024 © 2023 Tegan Lighting. All rights reserved.

### **FESTOON LIGHTING** Scale: NTS

LED wall luminaire - directed light



BEGA Product:

Project:

Modified:

This LED wall mounted luminaire has directed light distribution and is designed for the general illumination of pathways, walkways, and plazas. Luminaire housing constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy Reflector made of pure anodized aluminum
Silicone applied robotically to casting, plasma treated for increased adhesion High temperature silicone gasket Mechanically captive stainless steel fasteners NRTL listed to North American Standards, suitable for wet locations

Protection class IP65 Weight: 4.0 lbs Electrical 120-277VAC Operating voltage LED module wattage System wattage 0-10V, TRIAC, and ELV dimmable Controllability Color rendering index 1680 lumens (3000K) Luminaire lumens Lifetime at Ta=15°C Lifetime at Ta=45°C LED color temperature 4000K - Product number + K4 3500K - Product number + K35

2700K - Product number + **K2**7 BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details All BEGA standard finishes are matte, textured polyester powder coat with

minimum 3 mil thickness. Available colors Black (BLK) Bronze (BRZ) Silver (SLV) ONFIRM STANDARD FINISH



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Prepared By: Independent Electric Supply - San Leandro, CA March 16, 2023 Index 不



LED wall luminaire · directed light

# SITE LIGHTING LEGEND

SYMBOL	DE	SCRIPTION	MOUNTING HEIGHT	FIXTURE, SUCH AS:
	A.	RECESSED WALL - FINAL SELECTION TBD	18 - 24"	FIXTURE: RECESSED WALL LUMINAIRE MANUF: BEGA
	B.	PATH LIGHT FINAL SELECTION TBD	18" - 24"	FIXTURE: PM PATH LIGHT MANUF: FX LUMINAIRE
-00	C.	FESTOON LIGHTING KORE-EXS LED DIRECT CABLE MOUNTED MODULE	10'-0"	FIXTURE: EXTON POWERSPAN CABLE SYSTEM MANUF: TEGAN LIGHTING
<b>♣</b>	D.	TREE MOUNTED DOWNLIGHT - FINAL SELECTION TBD	TBD	FIXTURE: DELTA STAR LED MANUF: B-K LIGHTING
	E.	LED STRIP LIGHT - FINAL SELECTION TBD	18"	FIXTURE: WHITE STRIP LIGHT MANUF: FX LUMINAIRE

ARCHITE	ARCHITECTURAL LIGHTING LEGEND				
SYMBOL	DESCRIPTION	MOUNTING HEI	GHT FIXTURE, SUCH AS:		
<b>\( \rightarrow</b>	F. WALL LUMINAIRE FINAL SELECTION TB	TBD PER ARCHITECT	FIXTURE: LED WALL LUMINAIRES MANUF: BEGA		
Ф	G. THIN WALL LUMINAIR W/ DIRECT LIGHT	ES TBD PER ARCHITECT	FIXTURE: WALL LUMINAIRE MANUF: BEGA		
<del> </del>	H. LEDGE SQUARE FINAL SELECTION TB	TBD PER D ARCHITECT	FIXTURE: LEDGE SQUARE MANUF: RBW		
•	I. DOWNLIGHT FINAL SELECTION TB	TBD PER D ARCHITECT	FIXTURE: RECESSED CEILING DOWN LIGHT MANUF: BEGA		
	J. LINEAR ILLUMINATION FINAL SELECTION TB		FIXTURE: KENDO M WET MANUF: LIGHTING SYSTEMS		
<b>_</b>	K. OUTDOOR WALL LIGH NORTH-EAST BUILDIN FINAL SELECTION TB	NG   TBD PER	FIXTURE: 36" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 23" OURDOOR WALL LIGHTING MANUF: S   H STUDIO		
•	L. OUTDOOR WALL LIGH SOUTH-EAST BUILDIN FINAL SELECTION TB	NG   IBD PER ARCHITECT	FIXTURE: 24" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 13" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO		
<b></b>	M. OUTDOOR WALL LIGH SOUTH-WEST BUILDI FINAL SELECTION TB	NG   IBD PER ARCHITECT	FIXTURE: BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT MANUF: JOHN TIMBERLAND VANCE OR FIXTURE: OAL BLACK MODERN LED OUTDOOF WALL LIGHT MANUF: MINKA GROUP		

### **OFF SITE STREET LIGHTING**

REFER TO CIVIL ENGINEER DRAWINGS FOR STREET LIGHT LOCATIONS.

### CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINE - GENERAL NOTE

- 1. FINAL LIGHT FIXTURE SELECTIONS ARE 'TO BE DETERMINED'. FINAL SELECTIONS TO COMPLY WITH THE CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINES. EXTERIOR LIGHTING FIXTURES TO USE THE MINIMUM INTENSITY REQUIRED FOR THE INTENDED
- RECESSED SOFFIT LIGHTING AND LANDSCAPE LIGHTING TO BE CONCEALED OR DESIGNED IN A
- MANNER APPROPRIATE FOR ADJACENT ARCHITECTURE. ALL EXTERIOR BUILDING LIGHTING, SITE LIGHTING, AND STREETLIGHTS TO CONFORM TO THE CITY OF SANTA BARBARA'S OUTDOOR LIGHTING ORDINANCE (MUNICIPAL CODE CHAPTER 22.75) AND THE OUTDOOR LIGHTING & STREETLIGHT DESIGN GUIDELINES.

### DARK SKY COMPLIANCE

**BEGA** 

1. LIGHTING SHALL BE DESIGNED TO CONTROL GLARE, MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES, MINIMIZE DIRECT UPWARD LIGHT EMISSION, PROMOTE EFFECTIVE SECURITY, AND AVOID INTERFERENCE WITH THE SAFE OPERATION OF MOTOR VEHICLES. THE MINIMUM INTENSITY NEEDED FOR THE INTENDED PURPOSE SHOULD BE USED.

### **OUTDOOR LIGHTING COMPLIANCE STATEMENT**

### **Outdoor Lighting Compliance Statement**

As preparer of these plans for outdoor lighting, I certify that this lighting design meets the City of Santa Barbara Outdoor Lighting Ordinance and Outdoor Lighting Design Guidelines.

SCOTT CAPPS, PLA, EPTDESIGN	Scot. 975.	08-30-2024
Principal Lighting Designer Name	Signature	Date

# SANTA BARBARA, CA 93101 626.795.2008 **EPTDESIGN.COM**

**NEIGHBORHOOD** AT STATE AND HOPE

051-010-013

**CITY OF SANTA BARBARA CALIFORNIA** 

22-048 <u>PIC PA PM</u> TEAM These drawings are instruments of service. EPTDESIGN shall retain all copyrights, statutory and common law right with regard to these drawings and the designs contained therein in all formats, including printed and digitized. These drawings are not to be altered in any way, nor assigned to a third party without first obtaining written permission and consent from EPTDESIGN MILESTONES / SUBMITTALS DESCRIPTION

JOB NUMBER

PLN SUBMITTAL

PLN SUBMITTAL 08/30/2024

05/31/2024

REVISIONS DATE NO. DESCRIPTION

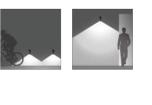
**SPECIFICATION** SHEET -LANDSCAPE AND

**ARCH. LIGHTING** L451

SCALE: REFER TO PLAN DATE

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)







### Wall luminaires with directed light

A series of wall mounted luminaires with directed light. At low mounting heights they can be used for marking dangerous areas such as steps, or arrange them in rows to illuminate corridors and passageways. At high mounting heights they can be used near doors or to accent architecture.

BEGA 19544 and 19545 small opening wiring box (included) required for proper installation.

Die-cast aluminum · Matte safety glass

Protection class IP 64

Scale: NTS

LED color temperatures: 2700 K, 3000 K, 3500 K, 4000 K BEGA luminaires offer a minimum service life of 60,000 hours, with suitable LED replacement modules guaranteed for up to 20 years after date of purchase. Further LED technical data including luminous flux, CRI, dimming and electrical characteristics are provided on the individual luminaire specification sheets. available at www.bega-us.com

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure ® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver, BEGA standard White, as well as optionally available RAL and custom colors, are a polyester powder. NRTL listed to North American standards · Suitable for wet locations

THIN WALL LUMINAIRE

Housing: Constructed of die-cast and extruded aluminum. Housing is provided with mounting clamps that provide a vibration

free (≤ 0.3% copper content) A360.0 aluminum alloy.

proof installation in ceilings up to 1 3/8" total thickness. Rough-in housing constructed of glavanized steel with through wiring box.

Fough-in housing included. Die castings are marine grade, copper

Enclosure: Tempered clear glass, retained by a one piece, die-

cast aluminum step baffle frame that is treaded into luminaire

housing. Internal reflector made from pure, anodized aluminum

Fully gasketed for weather tight operation using a molded silicone

Electrical: 30W LED luminaire, 34.5 total system watts, -30°C start temperature. EldoLED 0-10V dimmable driver mounted to

the junction box of the ceiling pan for easy maintenance. The LED driver provides smooth and flicker free dimming down to 0.1% and is compatible with both sink and current source controllers.

Optional Dali dimmable driver available, consult factory for details.

LED module(s) are available from factory for easy replacement.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject

to change at the discretion of BEGA-US. For the most current

Finish: All BEGA standard finishes are polyester powder coat with

minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied

CSA certified to U.S. and Canadian standards, suitable for wet

Standard LED color temperature is 3000K with an 85 CRI.

Available in 4000K (85 CRI); add suffix K4 to order.

technical data, please refer to www.bega-us.com.

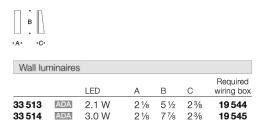
locations. Protection class IP65

Luminaire Lumens: 1173

Tested in accordance with LM-79-08

Weight: 7.7 lbs.

Recessed ceiling downlights with symmetrical ligth distribution · narrow beam



**LEDGE SQUARE** 

Scale: NTS

Cast aluminum LED housing, molded PCB lens

PRODUCT DIMENSIONS 5 W x 5 H x 3 in D

PRODUCT WEIGHT

2.5 lbs / 1.1 kg

Delivered Lumens 390 lm ADA Compliant Power Consumption 8.8W UL Listed Luminous Efficacy 44.4 lm/W Suitable for Damp Locations LED LIFESPAN 50k hours SPECIFICATION LOGIC PRIMARY FINISH Matte White PC20 PC30 Matte Black COLOR TEMPERATURE 2700K (warm white) 3000K (soft white) DIMMING / CONTROL / INPUT 10% Dimming, TRIAC / Forward Phase Control, 120V Input 10_TRIAC_120V DRAWINGS YOUR PRODUCT CODE LD-S Ledge Sconce Dimension LD-S-DESCRIPTION LEDge's beauty lies in the economy of its form. Ledge's clean-cut design, drawn up as an intersection between two geometric planes, fits nicely into a range of settings. Its flexibility extends further in options of upward or downward installation and an array of surface MATERIALS

CERTIFICATION

PERFORMANCE

50 Greene St New York NY 10013 T +1 212 388 1621 sales@rbw.com

Generate Date: Fri Aug 02 2024

3. ALL EXTERIOR BUILDING LIGHTING, SITE LIGHTING, AND STREETLIGHTS TO CONFORM TO THE CITY OF SANTA BARBARA'S OUTDOOR LIGHTING ORDINANCE (MUNICIPAL CODE CHAPTER 22.75) AND

SITE LIGHTING LEGEND

SYMBOL DESCRIPTION

RECESSED WALL

PATH LIGHT

FINAL SELECTION TBD

FINAL SELECTION TBD

KORE-EXS LED DIRECT CABLE | 10'-0"

TREE MOUNTED DOWNLIGHT - TBD

TBD PER

TBD PER

ARCHITECT

TBD PER

ARCHITECT

TBD PER

ARCHITECT

ARCHITECT

ARCHITECT

FESTOON LIGHTING

MOUNTED MODULE

LED STRIP LIGHT -

WALL LUMINAIRE

W/ DIRECT LIGHT

LEDGE SQUARE

DOWNLIGHT

FINAL SELECTION TBD

THIN WALL LUMINAIRES

FINAL SELECTION TBD

FINAL SELECTION TBD

FINAL SELECTION TBD

NORTH-EAST BUILDING

FINAL SELECTION TBD

LINEAR ILLUMINATION SYSTEM TBD PER

OUTDOOR WALL LIGHTING AT | TBD PER

ARCHITECTURAL LIGHTING LEGEND

SYMBOL DESCRIPTION

FINAL SELECTION TBD

FINAL SELECTION TBD

1. LIGHTING SHALL BE DESIGNED TO CONTROL GLARE, MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES, MINIMIZE DIRECT UPWARD LIGHT EMISSION, PROMOTE EFFECTIVE SECURITY, AND AVOID INTERFERENCE WITH THE SAFE OPERATION OF MOTOR VEHICLES. THE MINIMUM INTENSITY

As preparer of these plans for outdoor lighting, I certify that this lighting design meets the City of Santa Barbara Outdoor Lighting Ordinance and Outdoor Lighting Design Guidelines.

	Scot Gas.	
SCOTT CAPPS, PLA, EPTDESIGN	Jag. 393.	08-30-2024
Principal Lighting Designer Name	Signature	Date





24VDC Class 2 for wet locations • Single micro binned LEDs +/- 30 CCT fixtures made to order up to 144" Fixtures can be linked up to 35' Dims with minimal color shift depending on output Class 2 listed for wet locations Dot free even illumination achievable with frosted lens 3 Year warranty Vibrant colors with R9 values up Profile dimensions IP68 IC RATED clear or frosted lens **RoHS** powder coated Technical information **OUTPUT OPTIONS** Multiplier CRI R_f R_g Average power 2700K 0.73 97 95 101 0.81 91 89 98 5.2 W/ft 40 lm/W 3500K 0.86 94 90 102 4000K 1,00 94 86 96 Ordering code

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com ©copyright BEGA-US 2014 Updated 05/14

**DOWNLIGHT** Scale: NTS

Scale: NTS

FIXTURE: 24" OUTDOOR WALL LIGHTING OUTDOOR WALL LIGHTING AT MANUF: S | H STUDIO SOUTH-EAST BUILDING **ARCHITECT** FINAL SELECTION TBD FIXTURE: 13" OUTDOOR WALL LIGHTING MANUF: S | H STUDIO FIXTURE: BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT OUTDOOR WALL LIGHTING AT MANUF: JOHN TIMBERLAND VANCE SOUTH-WEST BUILDING ARCHITECT OR FINAL SELECTION TBD FIXTURE: OAL BLACK MODERN LED OUTDOOR WALL LIGHT MANUF: MINKA GROUP **OFF SITE STREET LIGHTING** REFER TO CIVIL ENGINEER DRAWINGS FOR STREET LIGHT LOCATIONS. CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINE - GENERAL NOTE 1. FINAL LIGHT FIXTURE SELECTIONS ARE 'TO BE DETERMINED'. FINAL SELECTIONS TO COMPLY WITH THE CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINES. EXTERIOR LIGHTING FIXTURES TO USE THE MINIMUM INTENSITY REQUIRED FOR THE INTENDED PURPOSE. RECESSED SOFFIT LIGHTING AND LANDSCAPE LIGHTING TO BE CONCEALED OR DESIGNED IN A MANNER APPROPRIATE FOR ADJACENT ARCHITECTURE. THE OUTDOOR LIGHTING & STREETLIGHT DESIGN GUIDELINES. DARK SKY COMPLIANCE NEEDED FOR THE INTENDED PURPOSE SHOULD BE USED. **OUTDOOR LIGHTING COMPLIANCE STATEMENT Outdoor Lighting Compliance Statement** 

MOUNTING HEIGHT | FIXTURE, SUCH AS:

MOUNTING HEIGHT | FIXTURE, SUCH AS:

MANUF: BEGA

FIXTURE: PM PATH LIGHT

MANUF: TEGAN LIGHTING

FIXTURE: DELTA STAR LED MANUF: B-K LIGHTING

FIXTURE: WHITE STRIP LIGHT

FIXTURE: LED WALL LUMINAIRES

FIXTURE: WALL LUMINAIRE

FIXTURE: LEDGE SQUARE

FIXTURE: KENDO M WET

MANUF: S | H STUDIO

MANUF: S | H STUDIO

MANUF: LIGHTING SYSTEMS

FIXTURE: RECESSED CEILING DOWN LIGHT

FIXTURE: 36" OUTDOOR WALL LIGHTING

FIXTURE: 23" OURDOOR WALL LIGHTING

MANUF: FX LUMINAIRE

MANUF: BEGA

MANUF: BEGA

MANUF: RBW

MANUF: BEGA

MANUF: FX LUMINAIRE

FIXTURE: RECESSED WALL LUMINAIRE

FIXTURE: EXTON POWERSPAN CABLE SYSTEM

SANTA BARBARA, CA 93101

**NEIGHBORHOOD** 

AT STATE AND

HOPE

051-010-013

CITY OF SANTA BARBARA,

**CALIFORNIA** 

626.795.2008

**EPTDESIGN.COM** 



**SPECIFICATION** SHEET -**ARCH. LIGHTING** 

L452

JOB NUMBER

<u>PIC PA PM</u>

DESCRIPTION

PLN SUBMITTAL

PLN SUBMITTAL

**REVISIONS** 

NO. DESCRIPTION

TEAM

DATE

05/31/2024

08/30/2024

DATE

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MILESTONES / SUBMITTALS

22-048

SCALE: REFER TO PLAN DATE:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)

JOB: 801 BRANNAN EXT & COMMON AREA

CAT#6624LED-30WLED-STD FINISH

TYPE: A18A

**SPECIFY FINISH**





**III**luminii

Kendo M Wet | Linear Illumination System

Required LED A B C wiring box

Submitted by Lighting Systems

Job Name: KMW-24-30K-HO-F-FC-SA-E-1 / 329-341-353 Page Street Architect: David Baker + Partners (San Francisco) DCU-W-96-24

REV 11.2 01182021 page 1 of 9 www.luminii.com tel: 224-333-6033

Submitted On: Feb 10, 2021 **LINEAR ILLUMINATION SYSTEM** 

Index Page



### Product Cut Sheet Specifications

- Width: 8" Height: 24"
- Projection: 13
- Canopy Size: 5" x 14" Max Wattage: E-26 60w
- Weight: 6 lbs.
- POA to Top: 17"

Weather Location: Wet

- POA to Bottom: 7" Sockets: 1



### Product Cut Sheet Specifications

- Width: 5" Height: 13"
- Projection: 10
- Canopy Size: 4.5" x 11"
- Max Wattage: E-26 60w Weight: 6.5 lbs.
- POA to Top: 3" POA to Bottom: 10"
- Sockets: 1 Weather Location: Wet



Contact Info: sales@lightingshs.com (mailto:sales@lightingshs.com) (805) 962 - 5119

(tel:+18059625119)



JOHN TIMBERLAND VANCE

8" BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT

WIDTH: 6" HEIGHT: 8"

PROJECTION: 10.75" WEIGHT: 1.34 LBS. 13 W BUILT IN LED ARRAY

1,150 LUMENS, 3,000K



Contact Info:

sales@lightingshs.com

(mailto:sales@lightingshs.com)

(805) 962 - 5119

(tel:+18059625119)

### MINKA LAVERY

CITY STREETS 10" WIDE SAND OAL BLACK MODERN LED OUTDOOR WALL LIGHT

WIDTH: 10" HEIGHT: 7.5" WEIGHT: 1.19 LBS. PROJECTION: 11.25" 8 W BUILT IN LED MODULE 657 LUMENS, 3,000K





OUTDOOR WALL LIGHTING AT SOUTH-WEST BUILDING

Scale: NTS

### SITE LIGHTING LEGEND MOUNTING HEIGHT | FIXTURE, SUCH AS: SYMBOL DESCRIPTION

MANUF: BEGA

FIXTURE: PM PATH LIGHT

MANUF: TEGAN LIGHTING

FIXTURE: DELTA STAR LED

FIXTURE: WHITE STRIP LIGHT

FIXTURE: LED WALL LUMINAIRES

FIXTURE: WALL LUMINAIRE

FIXTURE: LEDGE SQUARE

FIXTURE: KENDO M WET

MANUF: S | H STUDIO

OUTDOOR WALL LIGHT

MANUF: MINKA GROUP

WALL LIGHT

MANUF: LIGHTING SYSTEMS

FIXTURE: RECESSED CEILING DOWN LIGHT

FIXTURE: 36" OUTDOOR WALL LIGHTING

FIXTURE: 23" OURDOOR WALL LIGHTING

FIXTURE: 24" OUTDOOR WALL LIGHTING

FIXTURE: 13" OUTDOOR WALL LIGHTING

FIXTURE: BLACK LED SWIVEL MODERN

FIXTURE: OAL BLACK MODERN LED OUTDOOR

MANUF: JOHN TIMBERLAND VANCE

MANUF: B-K LIGHTING

MANUF: FX LUMINAIRE

MANUF: BEGA

MANUF: BEGA

MANUF: RBW

MANUF: BEGA

MOUNTING HEIGHT | FIXTURE, SUCH AS:

MANUF: FX LUMINAIRE

FIXTURE: RECESSED WALL LUMINAIRE

FIXTURE: EXTON POWERSPAN CABLE SYSTEM

SANTA BARBARA, CA 93101 626.795.2008 **EPTDESIGN.COM** 

# **NEIGHBORHOOD** AT STATE AND HOPE

APN 051-010-013

CITY OF SANTA BARBARA, **CALIFORNIA** 

NOIL

### 1. FINAL LIGHT FIXTURE SELECTIONS ARE 'TO BE DETERMINED'. FINAL SELECTIONS TO COMPLY WITH THE CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINES. EXTERIOR LIGHTING FIXTURES TO USE THE MINIMUM INTENSITY REQUIRED FOR THE INTENDED

2. RECESSED SOFFIT LIGHTING AND LANDSCAPE LIGHTING TO BE CONCEALED OR DESIGNED IN A

MANNER APPROPRIATE FOR ADJACENT ARCHITECTURE.

3. ALL EXTERIOR BUILDING LIGHTING, SITE LIGHTING, AND STREETLIGHTS TO CONFORM TO THE CITY OF SANTA BARBARA'S OUTDOOR LIGHTING ORDINANCE (MUNICIPAL CODE CHAPTER 22.75) AND THE OUTDOOR LIGHTING & STREETLIGHT DESIGN GUIDELINES.

### DARK SKY COMPLIANCE

OFF SITE STREET LIGHTING

1. LIGHTING SHALL BE DESIGNED TO CONTROL GLARE, MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES, MINIMIZE DIRECT UPWARD LIGHT EMISSION, PROMOTE EFFECTIVE SECURITY, AND AVOID INTERFERENCE WITH THE SAFE OPERATION OF MOTOR VEHICLES. THE MINIMUM INTENSITY NEEDED FOR THE INTENDED PURPOSE SHOULD BE USED.

### **OUTDOOR LIGHTING COMPLIANCE STATEMENT**

RECESSED WALL -

PATH LIGHT

<del>-</del>O-----

FINAL SELECTION TBD

FINAL SELECTION TBD

KORE-EXS LED DIRECT CABLE | 10'-0"

TREE MOUNTED DOWNLIGHT - TBD

FESTOON LIGHTING

MOUNTED MODULE

LED STRIP LIGHT -

WALL LUMINAIRE

W/ DIRECT LIGHT

LEDGE SQUARE

DOWNLIGHT

FINAL SELECTION TBD

THIN WALL LUMINAIRES

FINAL SELECTION TBD

FINAL SELECTION TBD

FINAL SELECTION TBD

NORTH-EAST BUILDING

FINAL SELECTION TBD

SOUTH-EAST BUILDING

OUTDOOR WALL LIGHTING AT

CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINE - GENERAL NOTE

SOUTH-WEST BUILDING

FINAL SELECTION TBD

FINAL SELECTION TBD

LINEAR ILLUMINATION SYSTEM TBD PER

OUTDOOR WALL LIGHTING AT TBD PER

OUTDOOR WALL LIGHTING AT TBD PER

REFER TO CIVIL ENGINEER DRAWINGS FOR STREET LIGHT LOCATIONS.

ARCHITECTURAL LIGHTING LEGEND

SYMBOL DESCRIPTION

FINAL SELECTION TBD

FINAL SELECTION TBD

18 - 24"

TBD PER

TBD PER

TBD PER

TBD PER

ARCHITECT

ARCHITECT

ARCHITECT

ARCHITECT

ARCHITECT

ARCHITECT

ARCHITECT

## **Outdoor Lighting Compliance Statement**

As preparer of these plans for outdoor lighting, I certify that this lighting design meets the City of Santa Barbara Outdoor Lighting Ordinance and Outdoor Lighting Design Guidelines.

SCOTT CAPPS, PLA, EPTDESIGN	Scof. GAS.	08-30-2024	
Principal Lighting Designer Name	Signature	Date	

JOB NUMBER 22-048

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MILESTONES / SUBMITTALS

RIPTION	DATE
SUBMITTAL 0	5/31/2024
SUBMITTAL 0	8/30/2024
JODIVII I IAL	10/0

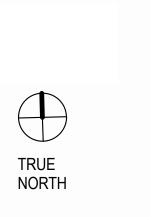
REVISIONS DATE NO. DESCRIPTION

**SPECIFICATION** SHEET -**ARCH. LIGHTING** 

L453

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)

1 Level Site Existing
1" = 50'-0"



TRUE NORTH

TRUE NORTH

ne Cearnal Collective, LLP & David Baker Architects
reject # 21030
sue Date 8/22/2024 5:51:51 PM
PLN 2ND 08-30-2024

A202 FLOOR PLAN - LEVEL 2



The Cearnal Collective, LLP & David Baker Architects
Project # 21030
Issue Date 8/22/2024 5:52:07 PM
PLN 2ND 08-30-2024

A204 FLOOR PLAN - LEVEL 4

STATE AND HO

TRUE NORTH

TRUE NORTH







1 Elevation State Street
1" = 20'-0"



LA CUMBRE PLAZA LANE

2 Elevation Hope Ave
1" = 20'-0"

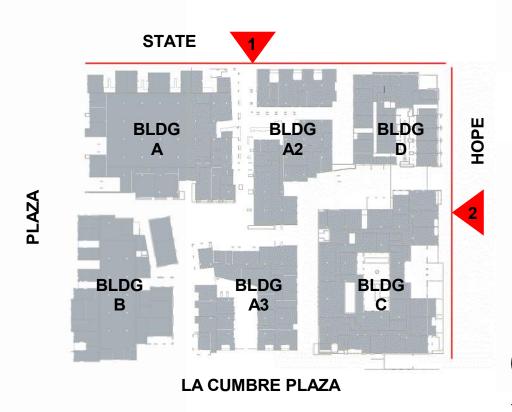
PROPOSED PARK

**BUILDING C** 

**BUILDING D** 

STATE STREET

NOTE: EXISTING BUILDING HEIIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.







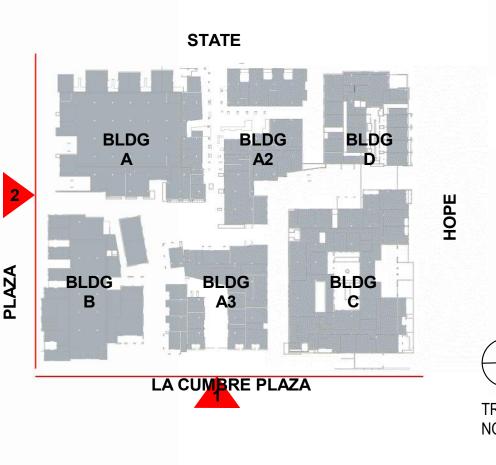


1" = 20'-0"



2 Elevation Plaza Ave 1" = 20'-0"

NOTE: EXISTING BUILDING HEIIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.





KEYN



1" = 20'-0"



3 Elevation A2 West 1" = 20'-0"



5 Elevation A2 South 1" = 20'-0"

CENTRAL PLAZA STATE STREET **BUILDING A1** 

2 Elevation A1 East 1" = 20'-0"

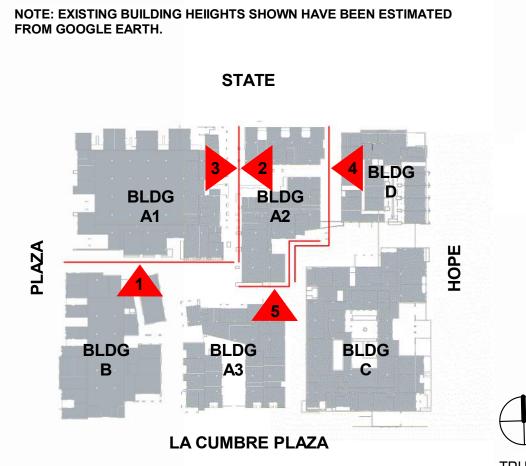


4 Elevation A2 East 1" = 20'-0"

TYPICAL MATERIALS BUILDING A1 & A2 WALLS: 3 COAT STEEL TROWEL PLASTER, WHITE
LOW FIRED CLAY TILE, TERRACOTTA
GLAZED BRICK TILE, DARK COLOR TONAL MIX
KEBONY MODIFIED WOOD SIDING ACCENTS
MURAL AT BUILDING A1 SOUTH ROOF: FLAT ROOFS, PVC

WINDOWS/DOORS: RESIDENTIAL: ALUMINUM CLAD, COLOR TBD COMMERCIAL: WOOD STOREFRONT

METAL WORK:
STEEL RAILINGS, COLOR TBD
STEEL AND WOOD SLAT SCREENS AT LOBBY STAIR ENCLOSURES
DENVER DOWNSPOUTS: GSM, PAINTED



TRUE NORTH



A302A BUILDING ELEVATIONS - BLDG A1 & A2





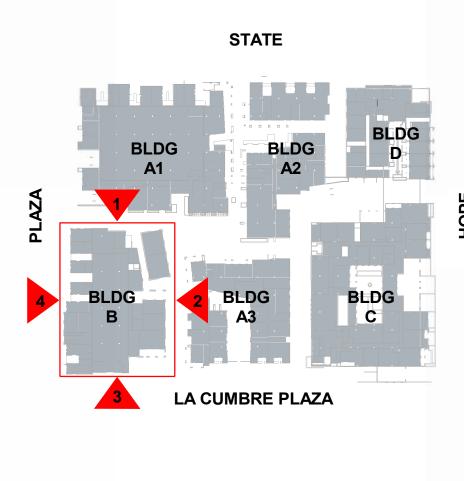
2 Elevation B East 1" = 20'-0"



3 Elevation B South 1" = 20'-0"



4 Elevation B West 1" = 20'-0"



**KEYMAP** 

NOTE: EXISTING BUILDING HEIIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.

TYPICAL MATERIALS BUILDING B WALLS: 3 COAT STEEL TROWEL PLASTER, WHITE SANTA BARBARA SANDSTONE, ASHLAR RUNNING BOND CUT FLAT ROOFS, PVC WINDOWS/DOORS: RESIDENTIAL: ALUMINUM CLAD, COLOR TBD COMMERCIAL: ALUMINUM STOREFRONT METAL WORK:

METAL RAILINGS, COLOR TBD

LASER CUT METAL SCREEN AT STAIR ENCLOSURES, COLOR TBD

GUTTERS/DOWNSPOUTS: GSM, PAINTED

BUILDING C AND D WALLS: 3 COAT STEEL TROWEL PLASTER, COLORS TBD ROOF: FLAT ROOFS: PVC SLOPED ROOFS: 2 PIECE MISSION TILE WINDOWS/DOORS: RESIDENTIAL: ALUMINUM CLAD, COLOR TBD COMMERCIAL: ALUMINUM STOREFRONT METAL WORK: METAL RAILINGS, SOLID STOCK, COLOR TBD GUTTERS/DOWNSPOUTS: COPPER

EXPOSED WOOD:
SOLID BODY STAIN, COLOR TBD



TRUE NORTH



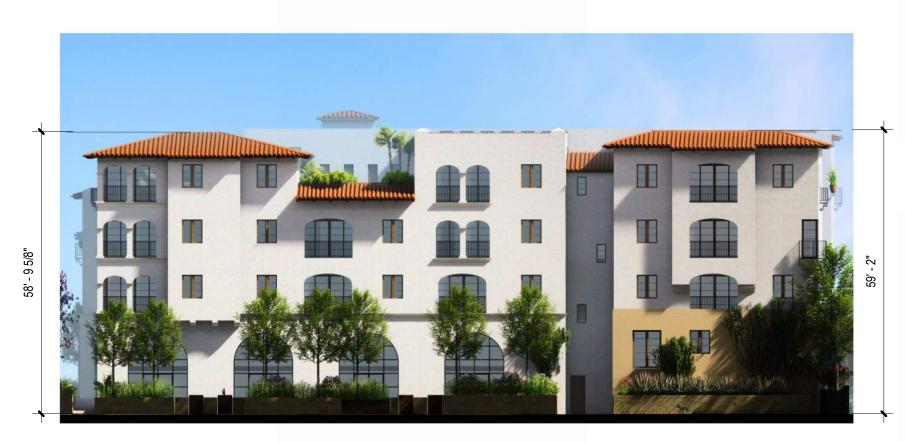
5 Elevation D East 1" = 20'-0"



6 Elevation D North
1" = 20'-0"



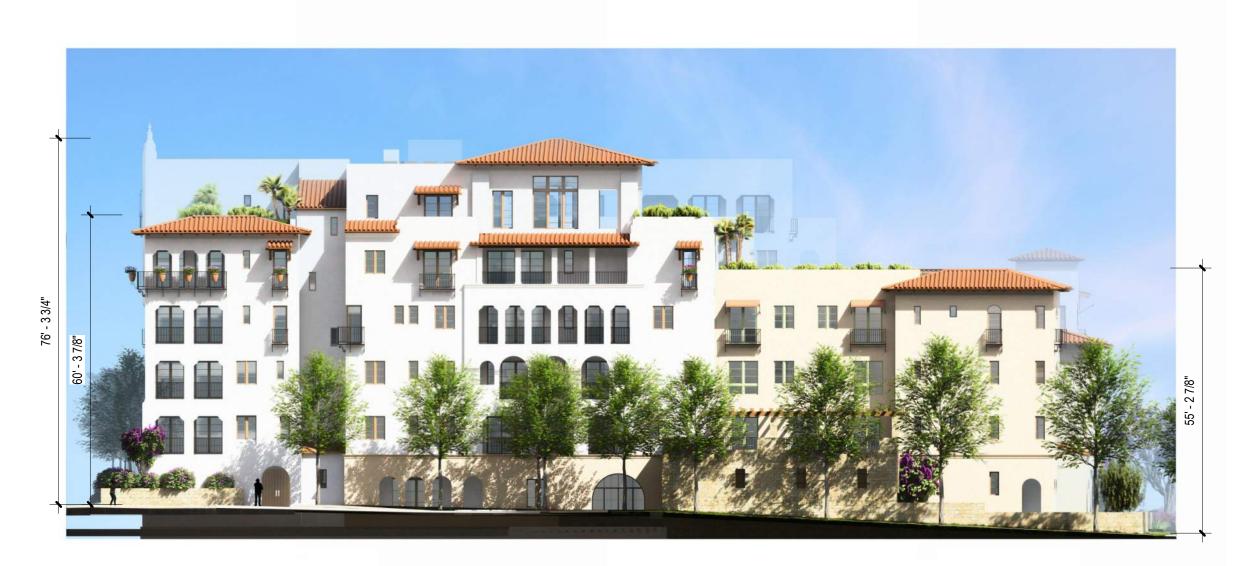
7 Elevation D South 1" = 20'-0"



8 Elevation D West 1" = 20'-0"



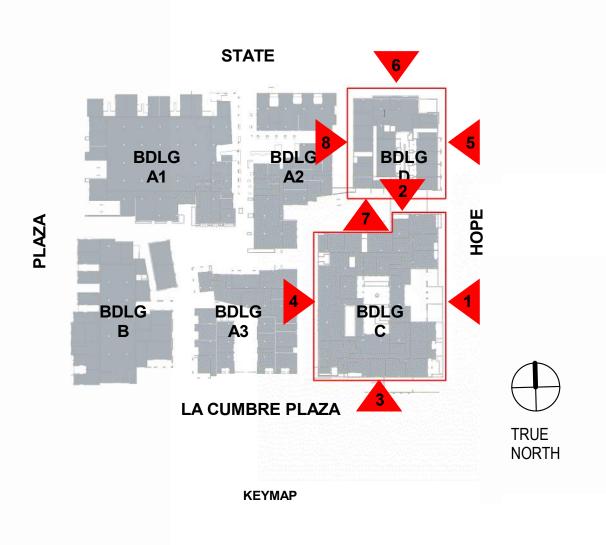
2 Elevation C North 1" = 20'-0"



3 Elevation C South 1" = 20'-0"



4 Elevation C West 1" = 20'-0"



NOTE: EXISTING BUILDING HEIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.

TYPICAL MATE	RIALS	
BUILDING B WALLS:	: 3 COAT STEEL TROWEL PLASTER, WHITE SANTA BARBARA SANDSTONE, ASHLAR RUNNING	BOND CUT
ROOF:	FLAT ROOFS, PVC	
WINDO	WS/DOORS: RESIDENTIAL: ALUMINUM CLAD, COLOR TBD COMMERCIAL: ALUMINUM STOREFRONT	
METAL	WORK: METAL RAILINGS, COLOR TBD LASER CUT METAL SCREEN AT STAIR ENCLOSURE GUTTERS/DOWNSPOUTS: GSM, PAINTED	ES, COLOR T
BUILDING C AN WALLS:		
ROOF:	FLAT ROOFS: PVC SLOPED ROOFS: 2 PIECE MISSION TILE	
WINDO	WS/DOORS: RESIDENTIAL: ALUMINUM CLAD, COLOR TBD COMMERCIAL: ALUMINUM STOREFRONT	
METAL WORK:	METAL RAILINGS, SOLID STOCK, COLOR TBD GUTTERS/DOWNSPOUTS: COPPER	
EXPOSED WOO	DD: SOLID BODY STAIN, COLOR TBD	



1 Elevation A3 North 1" = 20'-0"



3 Elevation A3 West 1" = 20'-0"



2 Elevation A3 East 1" = 20'-0"

TYPICAL MATERIALS

BUILDING A3

WALLS:

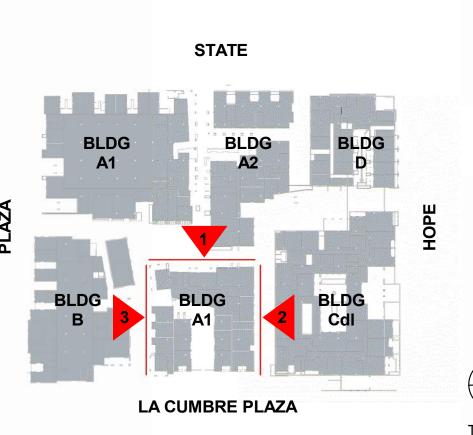
3 COAT STEEL TROWEL PLASTER, WHITE
STEEL PANEL ACCENTS
GLAZED BRICK TILE, BLUE
MURAL AT BUILDING A3 NORTH

ROOF:
FLAT ROOFS, PVC

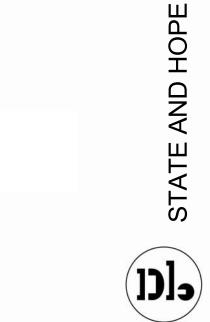
WINDOWS/DOORS:
RESIDENTIAL: ALUMINUM CLAD, COLOR TBD
COMMERCIAL: WOOD STOREFRONT

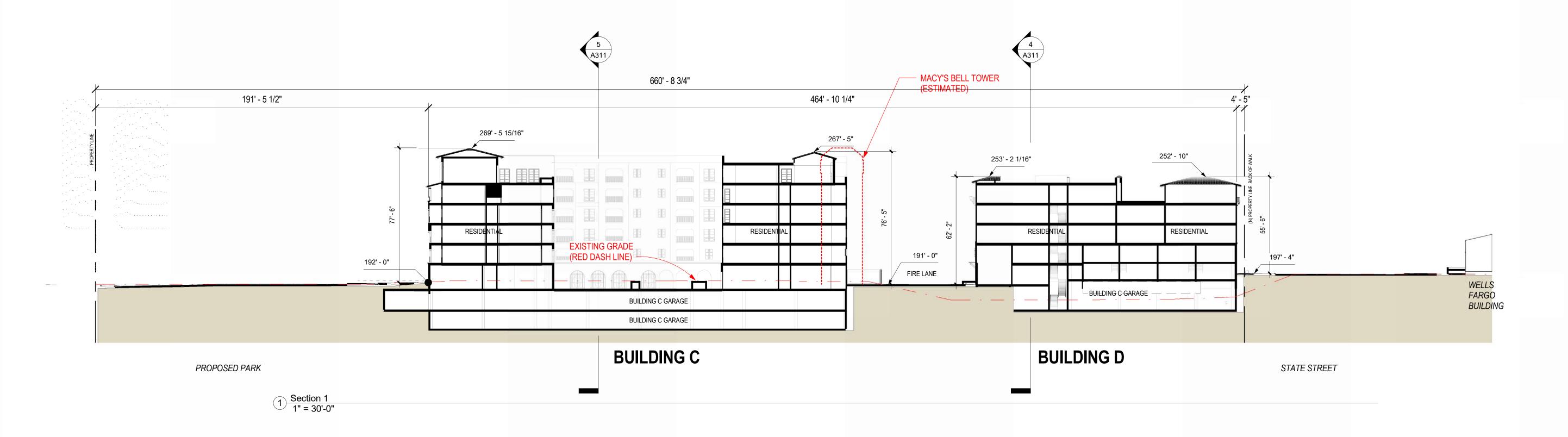
METAL WORK:
STEEL RAILINGS, COLOR TBD
STEEL AND WOOD SLAT SCREENS AT LOBBY STAIR ENCLOSURES
DENVER DOWNSPOUTS: GSM, PAINTED

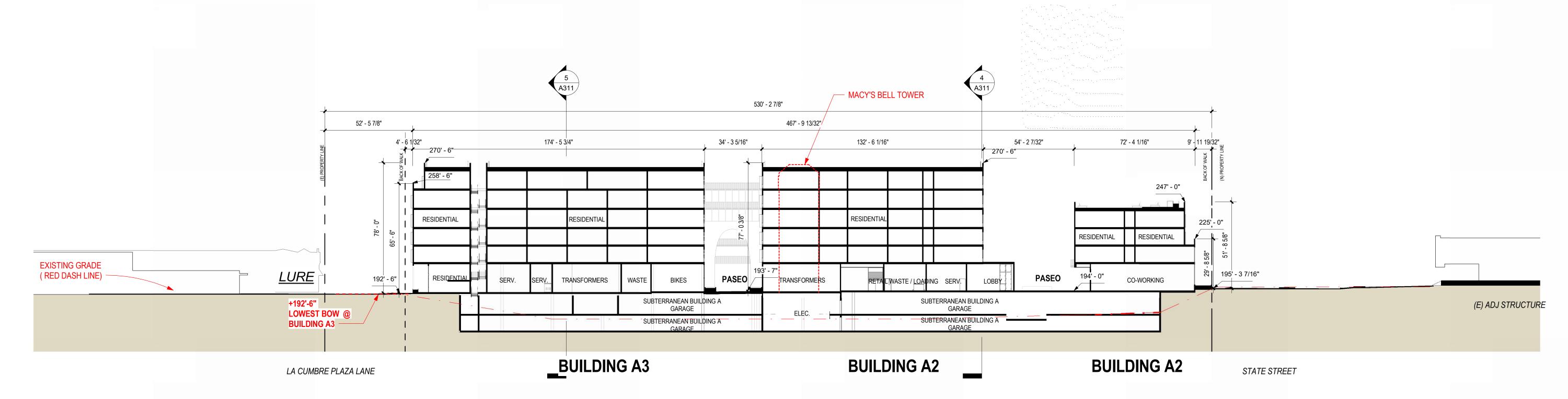
NOTE: EXISTING BUILDING HEIIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.

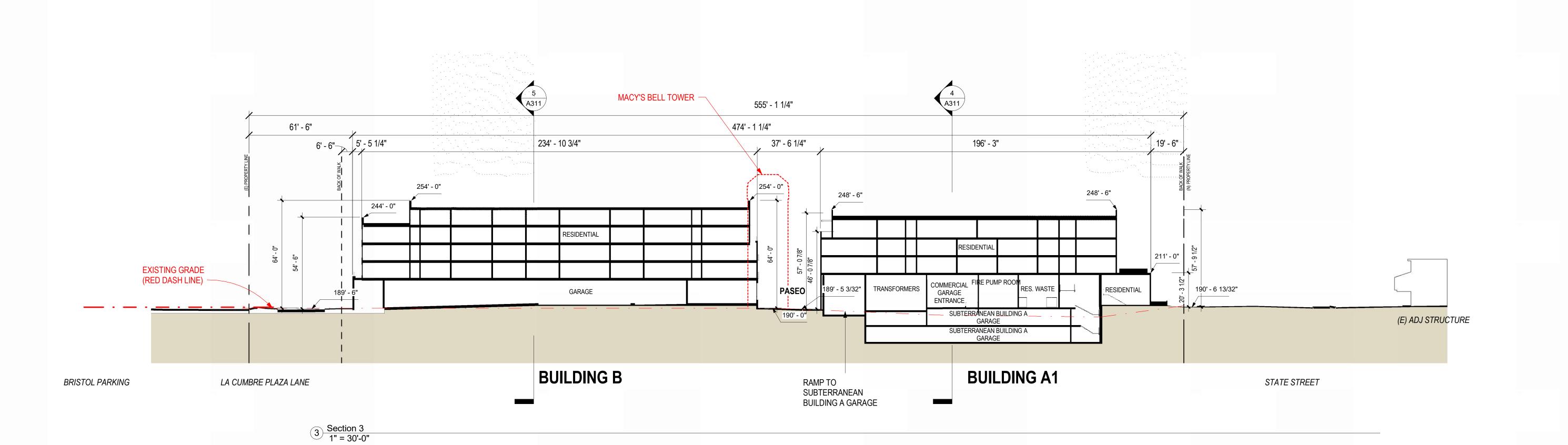




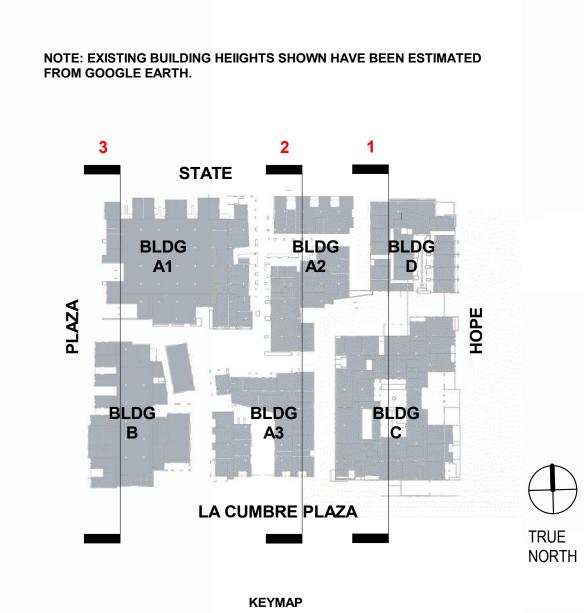




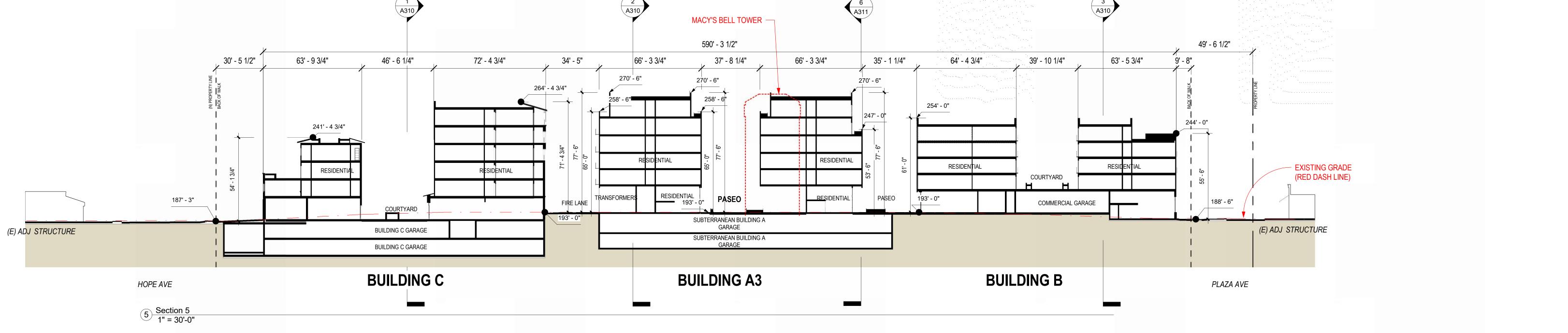


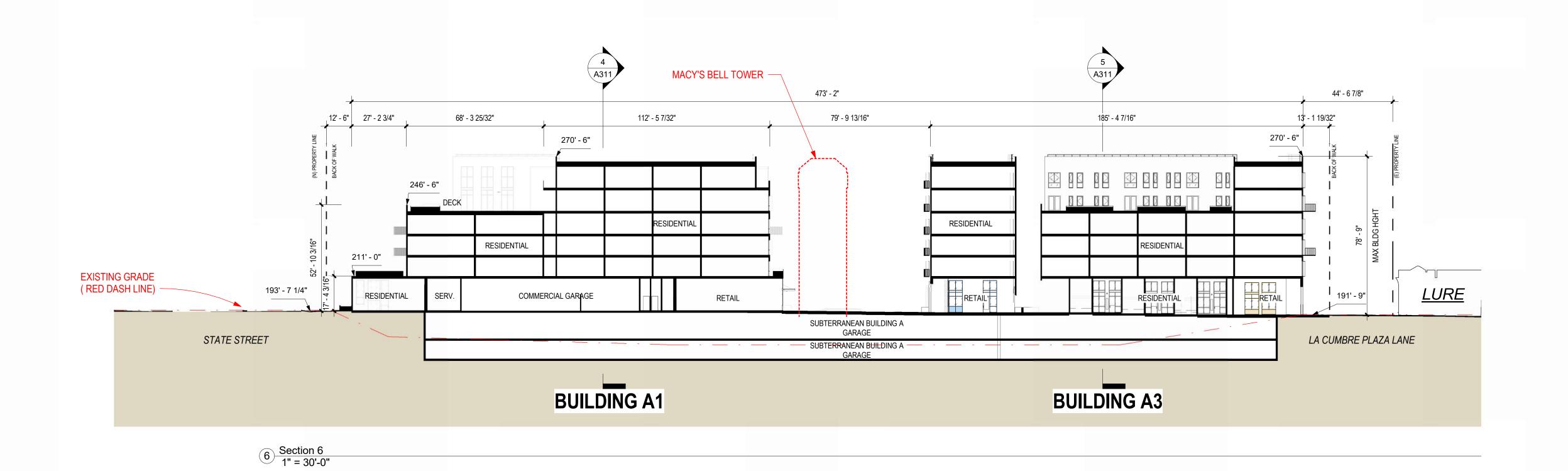


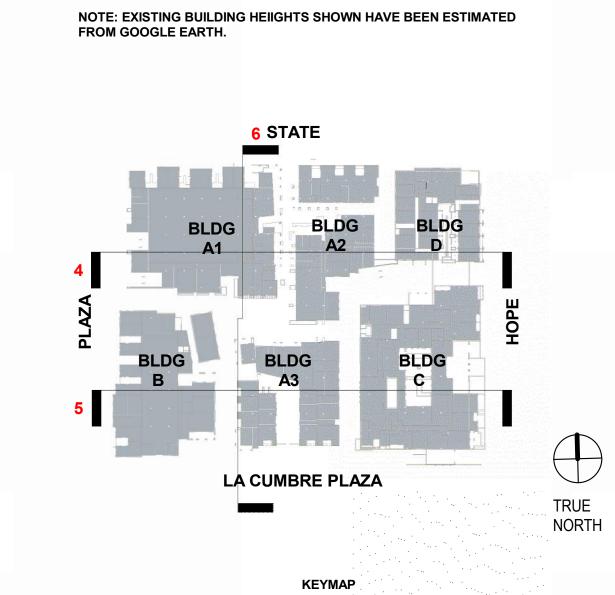
2 Section 2 1" = 30'-0"



A310
TE SECTIONS







STATE AND HOPE Dla

Building Section - Building A2.2

1" = 20'-0"

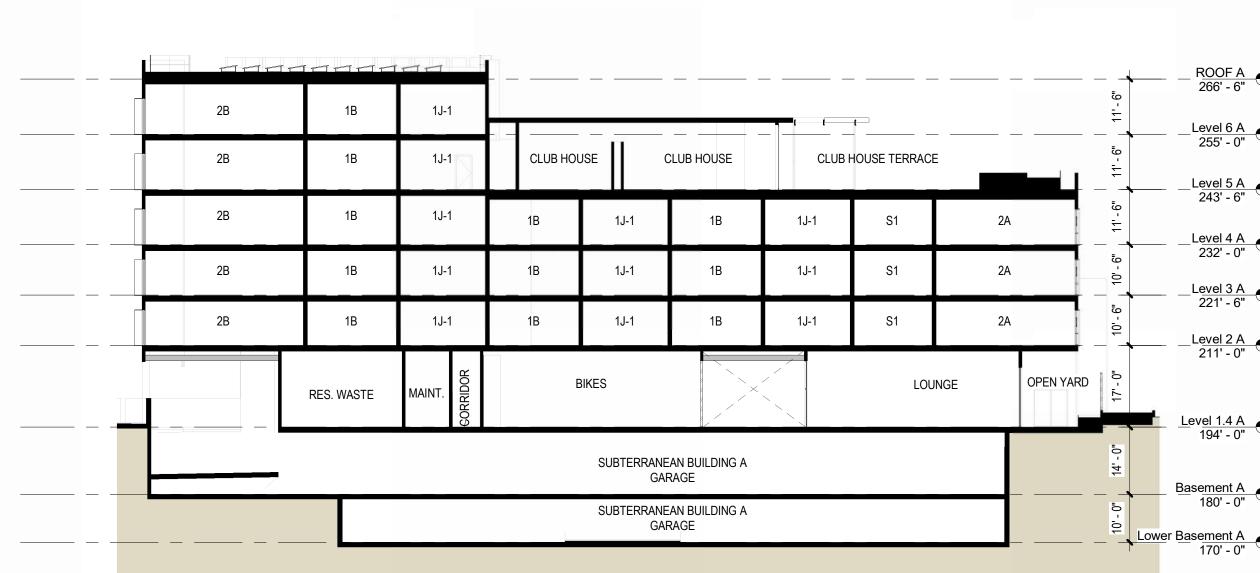
LA CUMBRE PLAZA

NOTE: EXISTING BUILDING HEIIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.

BLDG A1

POOL DECK POOL EQUIP. Level 4 A 232' - 0" Level 3 A 221' - 6" RESTAURANT SECOND LEVEL Level 2 A 211' - 0" STAIR LOUNGE CO-WORKING Level 1.4 A 194' - 0" SUBTERRANEAN BUILDING A GARAGE SUBTERRANEAN BUILDING 5 GARAGE (1) Basement A 180' - 0" SUBTERRANEAN BUILDING A S GARAGE (1) SUBTERRANEAN BUILDING A

2B 1J-1 1B 1J-1 1J-1 1J-1 BIKES OPEN YARD LOUNGE RES. WASTE SUBTERRANEAN BUILDING A GARAGE Basement A 180' - 0" SUBTERRANEAN BUILDING A GARAGE 5 Building Section - Building A2.3
1" = 20'-0"



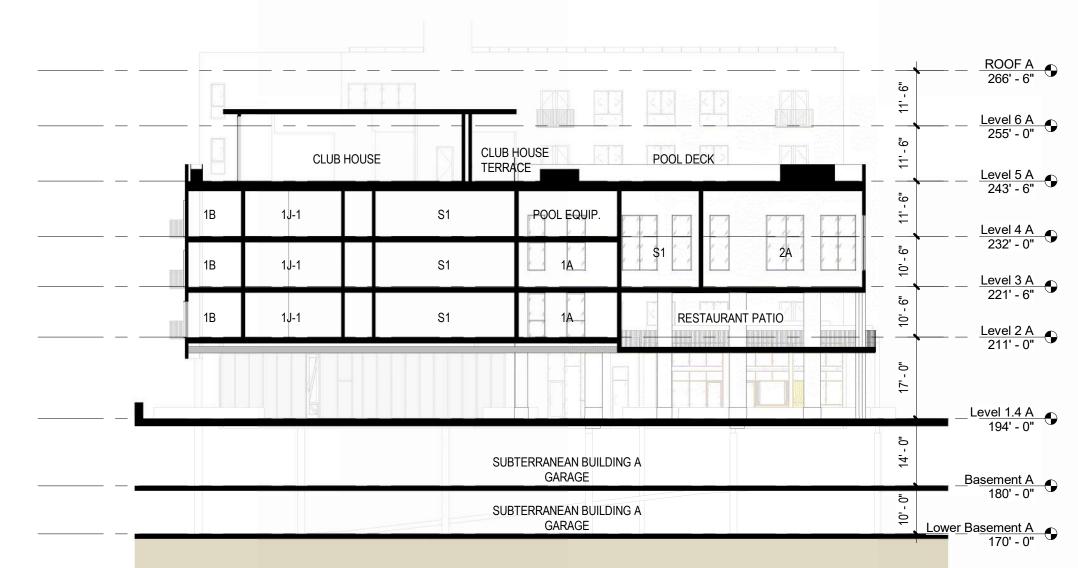
2B	OUTD	OOR COMMON PATIO				3C []	11-6-	<u>RO0</u> 266
2B	1A	1A	1A			3C	- 1- 6	<u>Leve</u> 255
2B	1A	1A	1A			3C 2	11 - 6"	Leve
2В	1A	1A 	1A			3C	10 6"	232 <u>Leve</u> 22
2B	1A	1A	1A			3C 📗	10 6"	<u>Leve</u>
BIKE	s	RET	ΓAIL	LOBE	Y ELEV.	CAFE	18' - 0"	
3		SUBTERRANEAN GARAC				SUBTERRANEAN BUILDING GARAGE	13 0."	Level 193 Basem 180
		SUBTERRANEAN GARAO				SUBTERRANEAN BUILDING GARAGE	Wod. 10. A	180 er_Bas <u>em</u> 170

1" = 20'-0"

		<b>444</b>	1					_			-1= <del>-1 1-</del> +			
		1D-S	8	CORRIDOR	S1	S1	9 9		FITNESS		FITNESS TERRACE		11' - 6"	
		2B		CORRIDOR	S1	S1			FITNESS		COMMON AREA		116"	
		2B		CORRIDOR	S1	S1		S1	S1	S1	3A	3A	11 6"	
		2B		CORRIDOR	S1	S1		S1	S1	S1	3A	3A	10, - 6"	
		2B	ELEV.	CORRIDOR	S1	S1	STAIR	S1	S1	S1	3A	3A	10' - 6"	
	RETAIL	RETAIL			LOBBY/MAIL				LE	ASING	RETAIL	X	17' - 0"	
SUBTERRANEAN BUILDING A GARAGE		SUBTERRANEAN BUILDING A GARAGE				SUBT	ERRANEAN BUIL GARAGE	LDING A			14' - 0"			
SUBTERRANEAN BUILDING A GARAGE			SUBTERI	RANEAN BUILDII GARAGE	NG A		SUBT	BTERRANEAN BUILDING A GARAGE				10, -0,	Lower B	

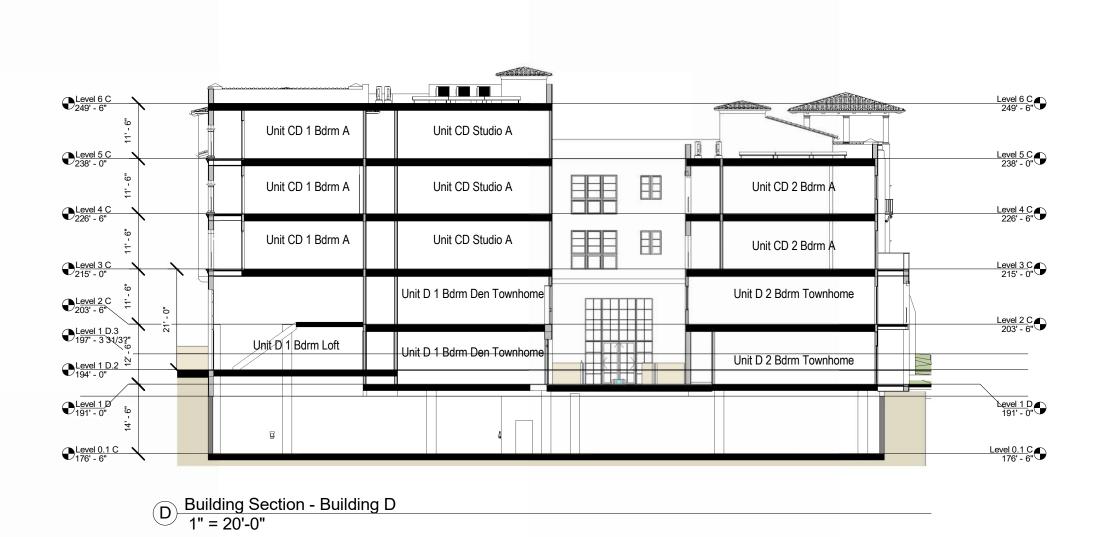
RES. WASTE COMMERCIAL GARAGE LEASING SUBTERRANEAN BUILDING A GARAGE Basement A 180' - 0" SUBTERRANEAN BUILDING A GARAGE Lower Basement A 170' - 0" 2 Building Section - Building A1.2
1" = 20'-0"

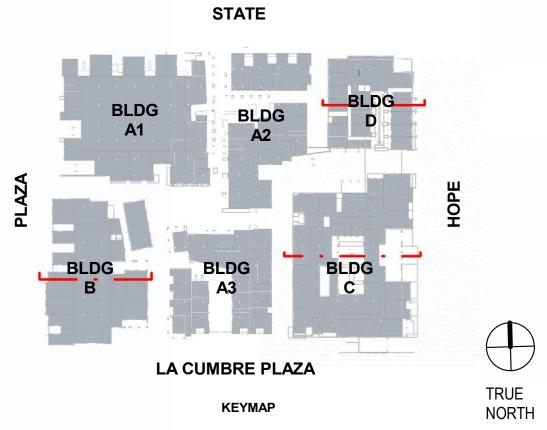
			GARAGE			·	Ba <u>sement A</u> 180' - 0"			
			SUBTERRANEAN BUILDING GARAGE	G A		10. Lov	ver Basement A			
							1/0' - 0"			
3 Building Section - Building 1" = 20'-0"	ilding A2.1									
1" = 20'-0"										
				Д	į					
				2D		2D		FITNESS	FITNESS	11-6"
				2D		2D		FITNESS	FITNESS	<u>-</u> -
								FILMESS	FIINESS	
	WASTE	1A		2D		2D		2C	S1	
	WASTE	1A		2D		2D		2C	S1	10 - 6"
	WASTE	1A		2D		2D		2C	S1	10, - 6"





















KEYMAP



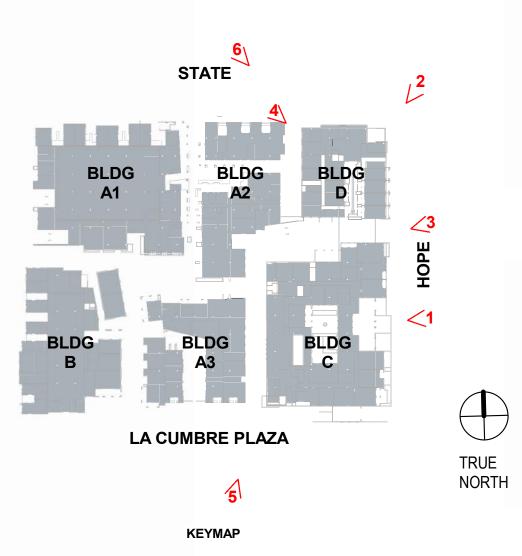


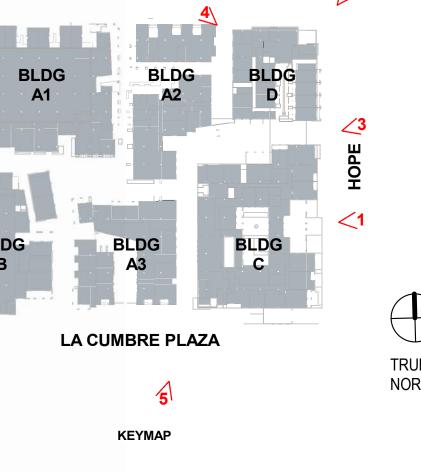


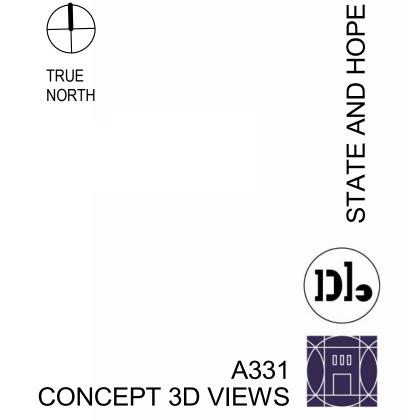








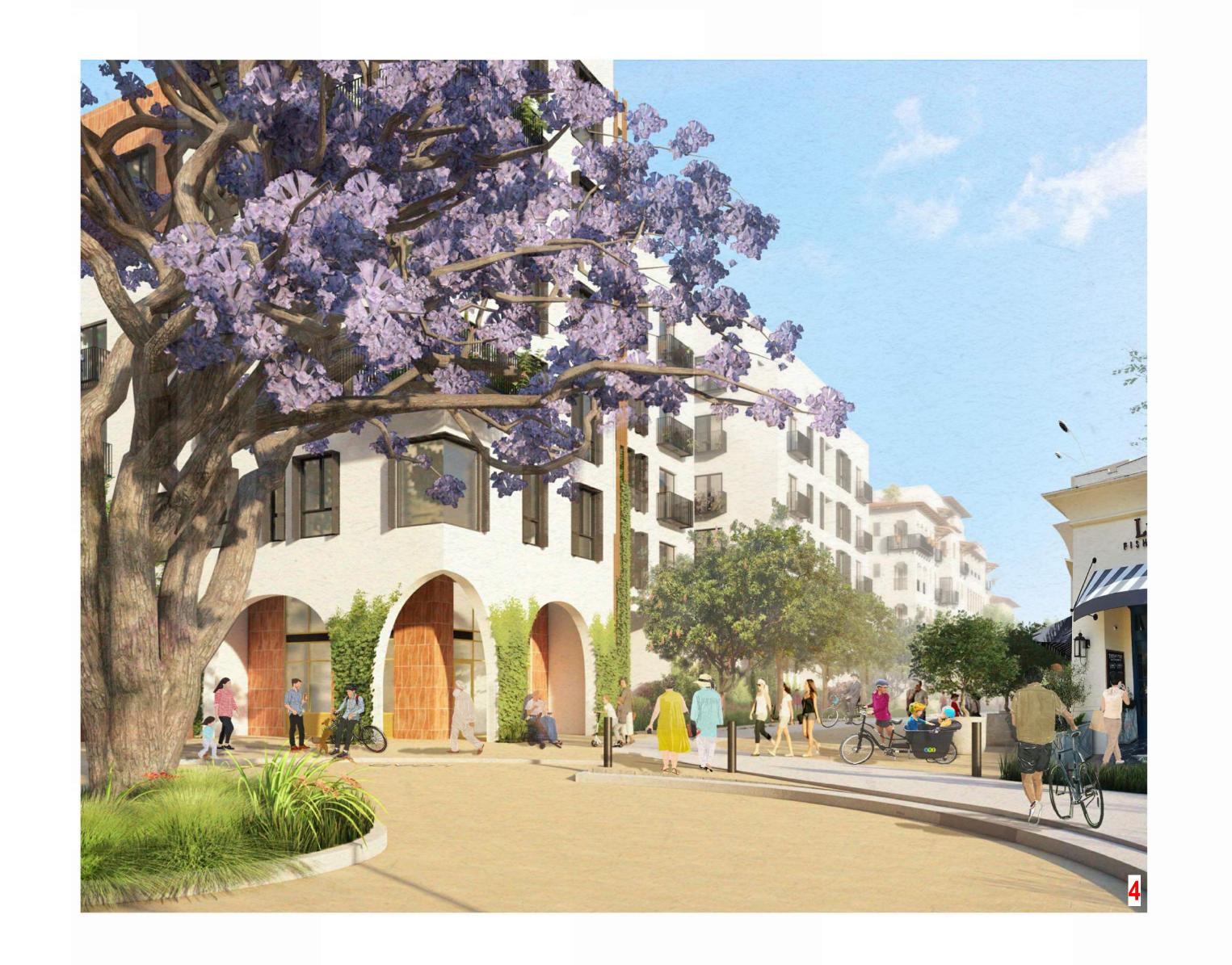


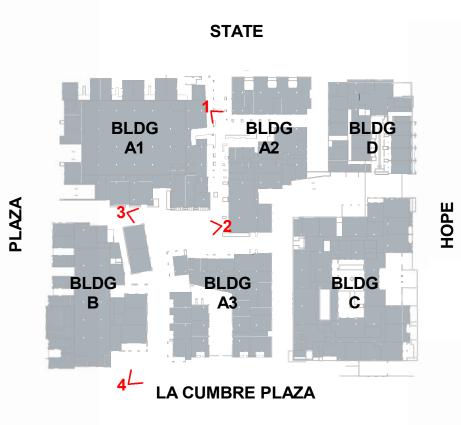




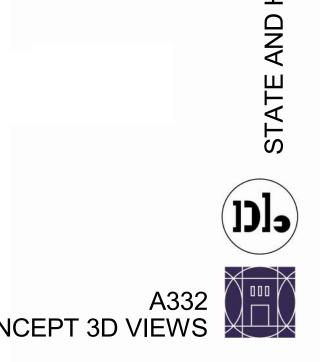


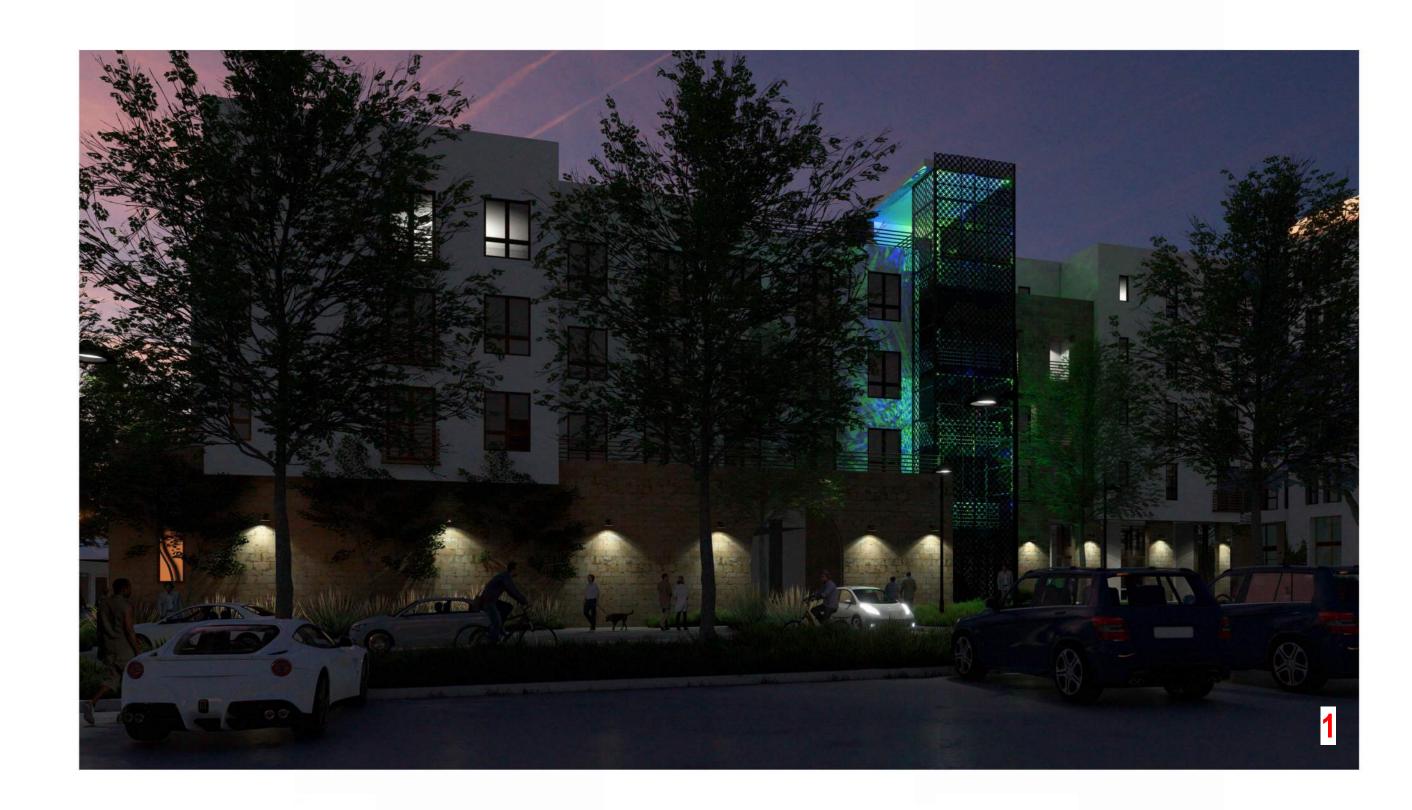


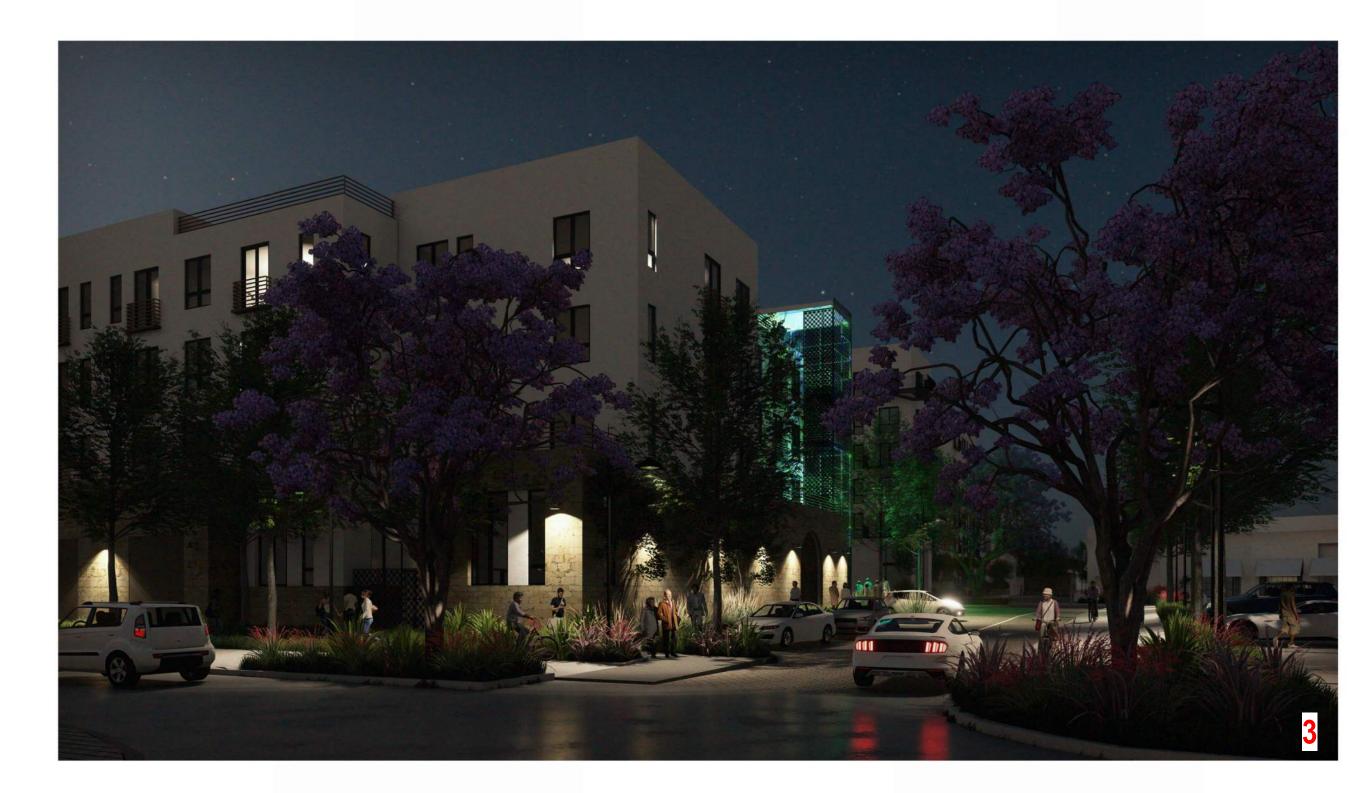




NORTH





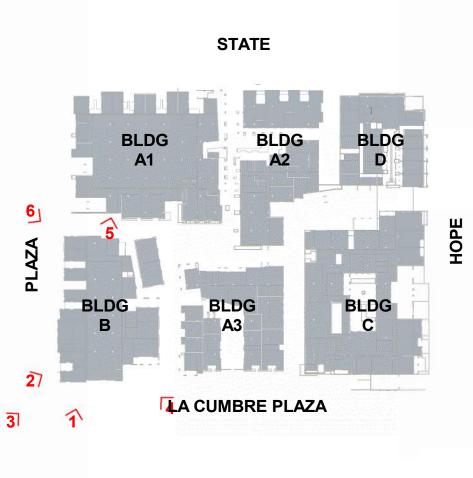












KEYMAP



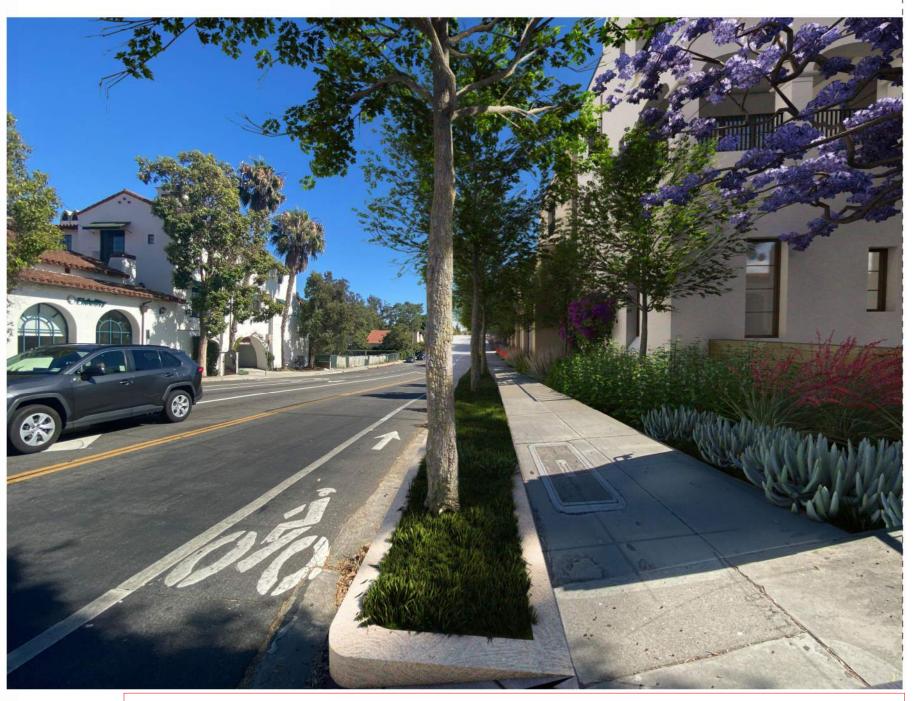








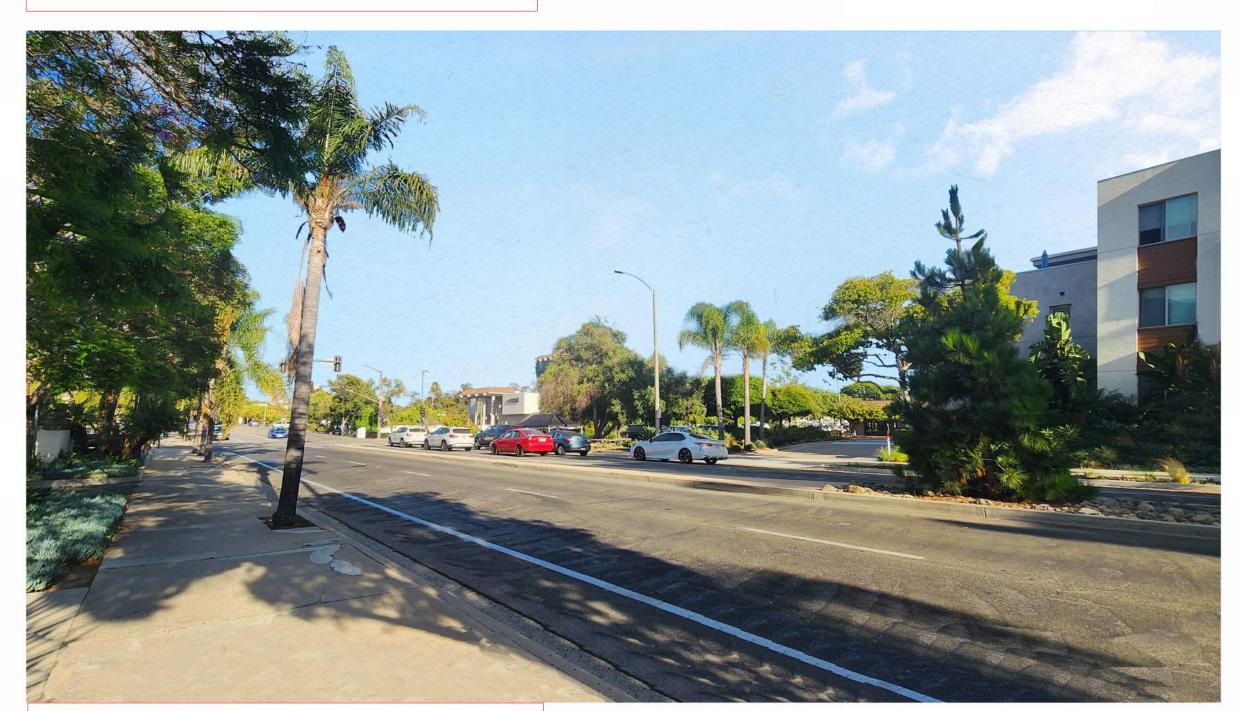
A. HOPE AVENUE LOOKING SOUTH EXISTING



A. HOPE AVENUE LOOKING SOUTH PROPOSED



A. STATE STREET PROPSOED



A. STATE STREET EXISTING



B. STATE STREET PROPOSED



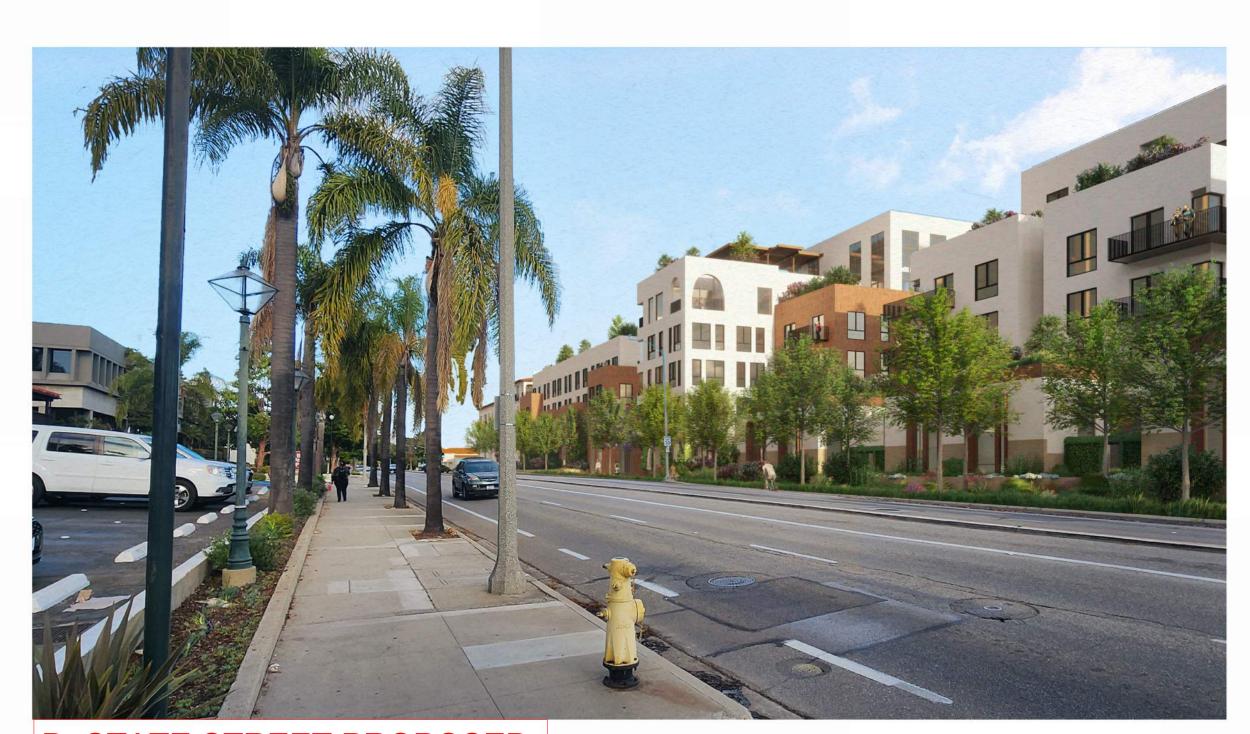
B. STATE STREET EXISTING



C. STATE ST LOOKING DOWN PLAZA AVE PROPOSED



C. STATE ST LOOKING DOWN PLAZA AVE EXISTING



D. STATE STREET PROPOSED



D. STATE STREET EXISTING



KEY PLAN







A. PLAZA AVE PROPOSED



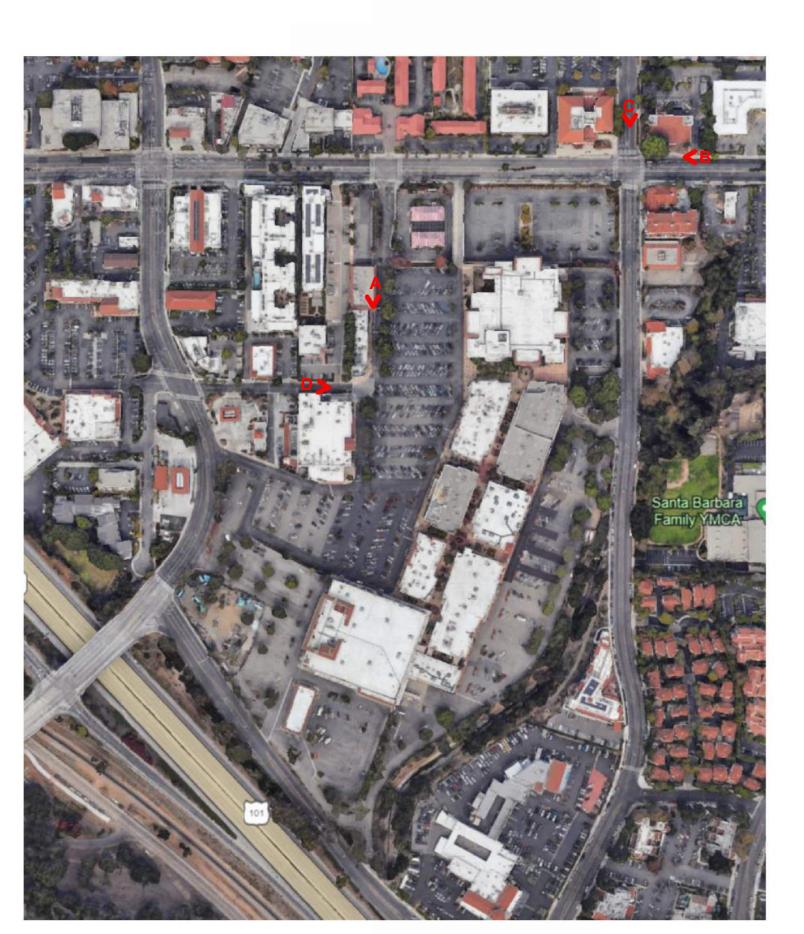














C. S LA CUMBRE ROAD EXISTING



B. S LA CUMBRE ROAD EXISTING



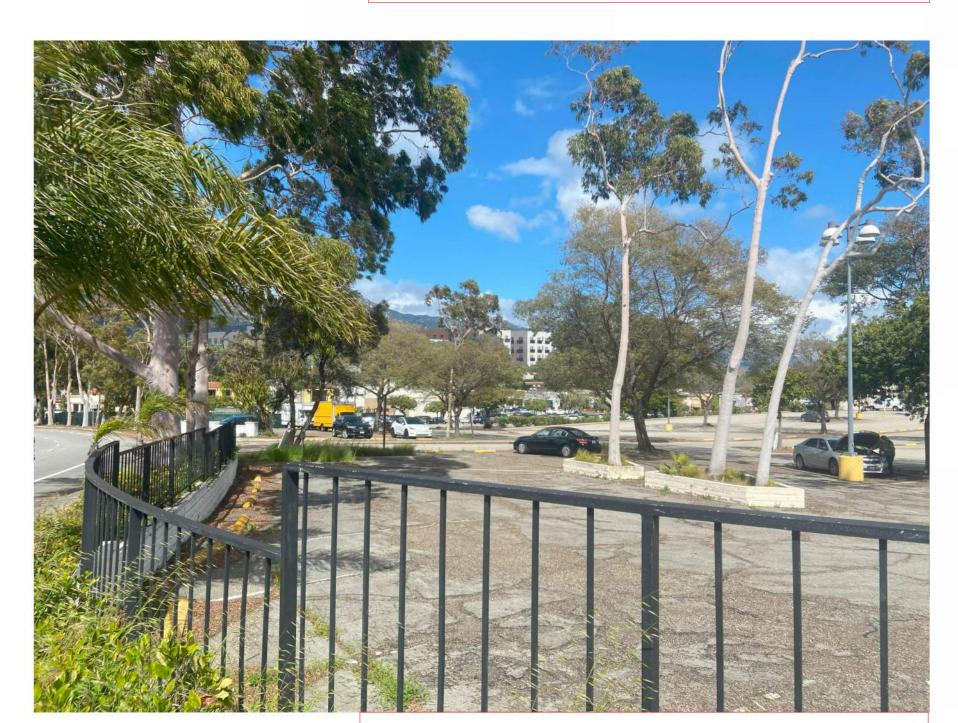
A. S LA CUMBRE ROAD EXISTING



C. S LA CUMBRE ROAD PROPOSED



B. S LA CUMBRE ROAD PROPOSED



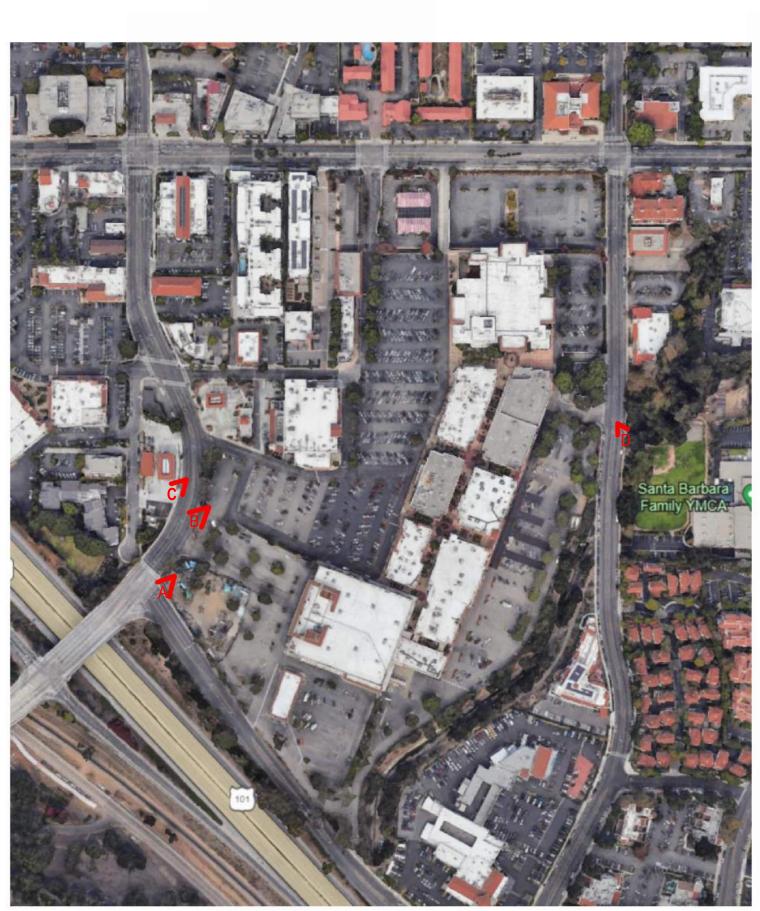
A. S LA CUMRE ROAD PROPOSED



D. S HOPE AVENUE EXISTING

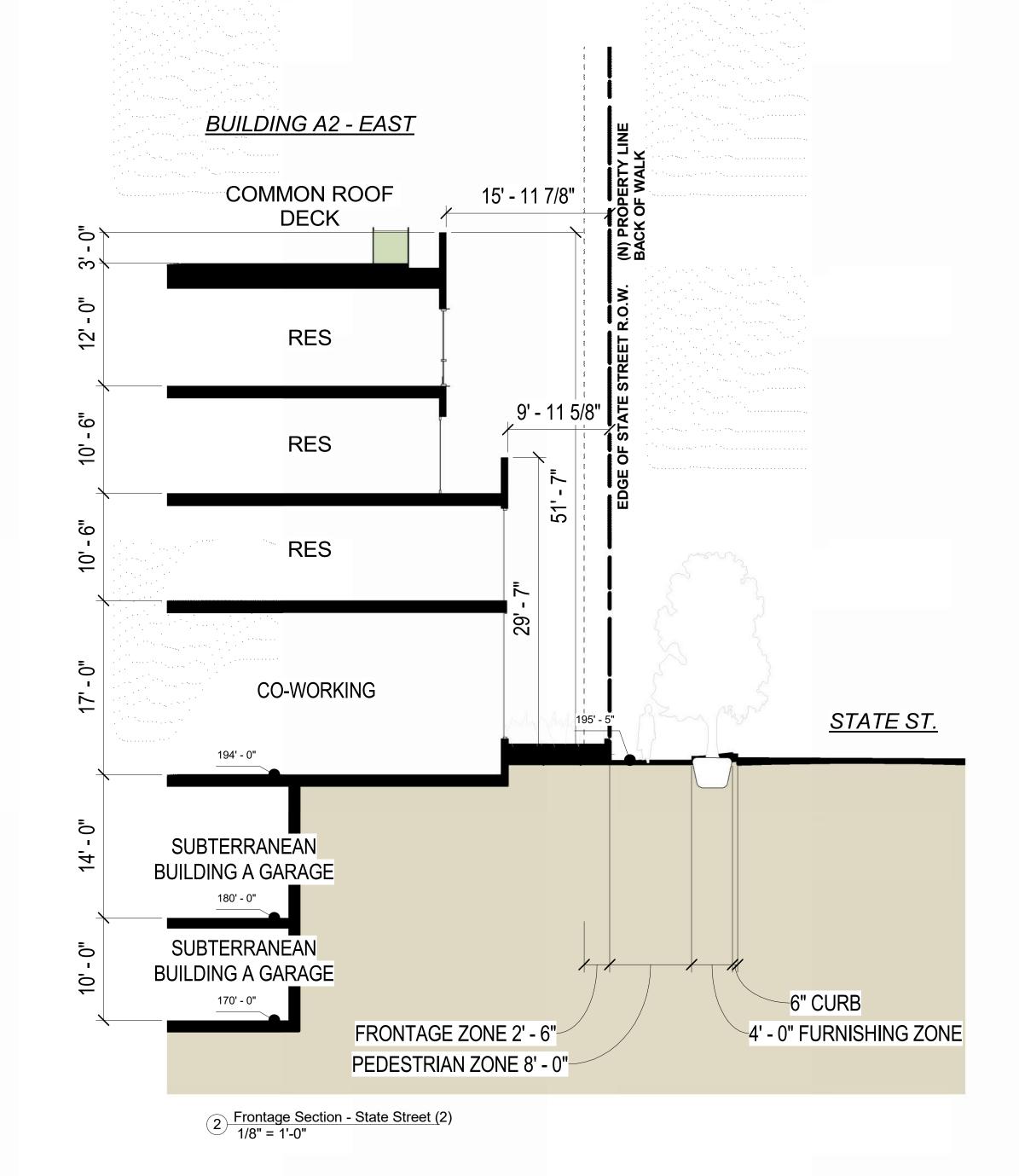


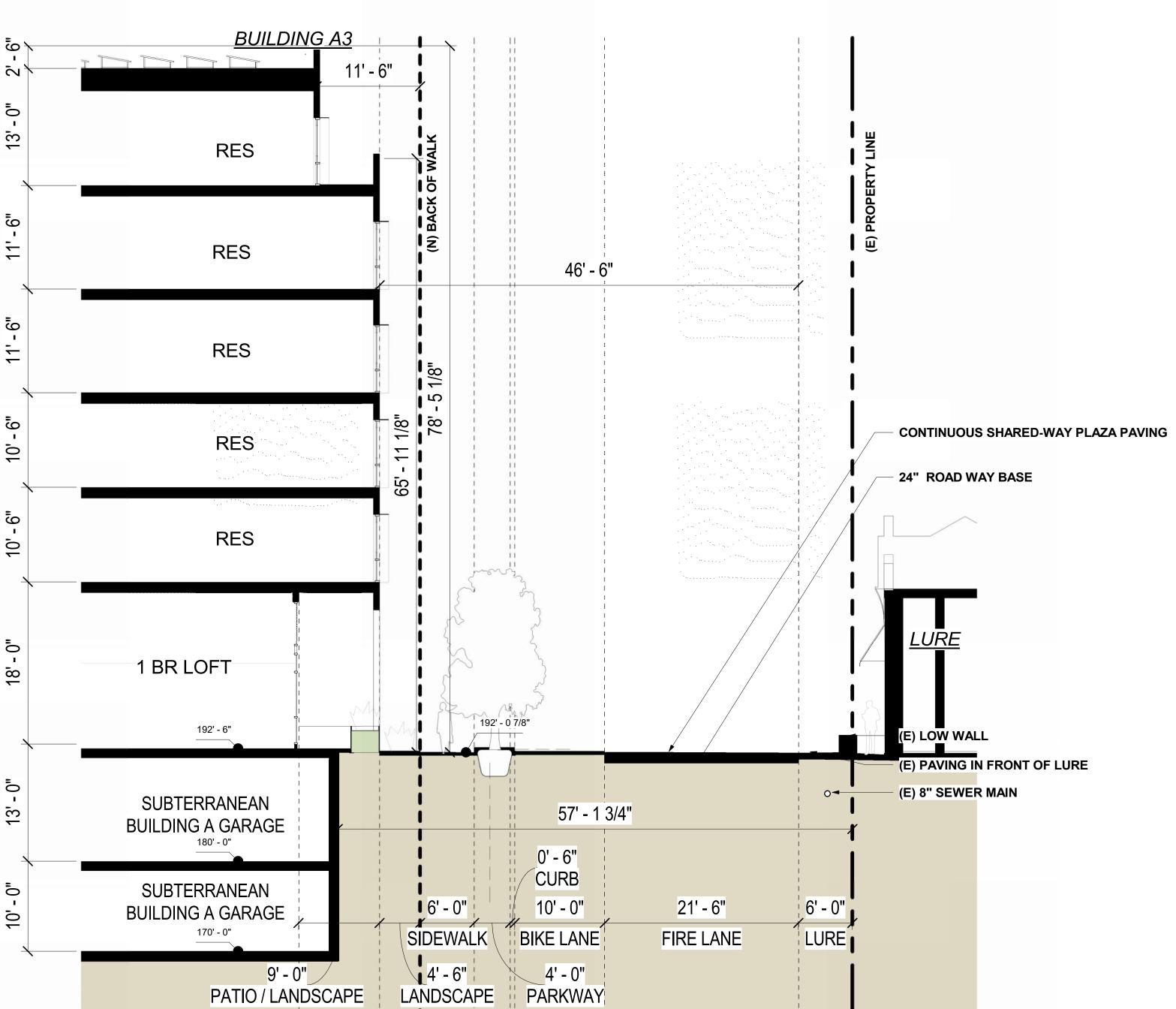
D. S HOPE AVENUE PROPOSED

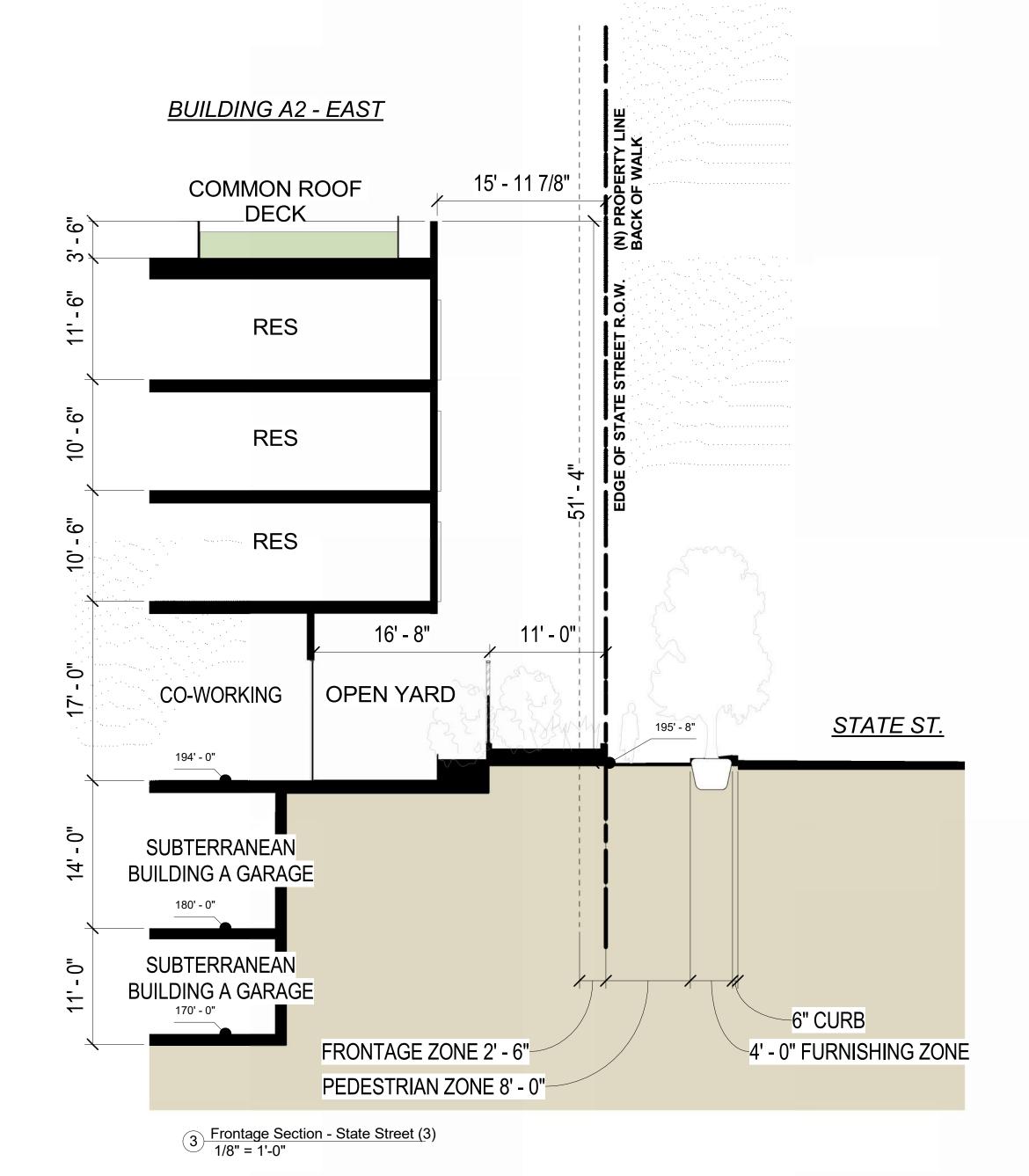


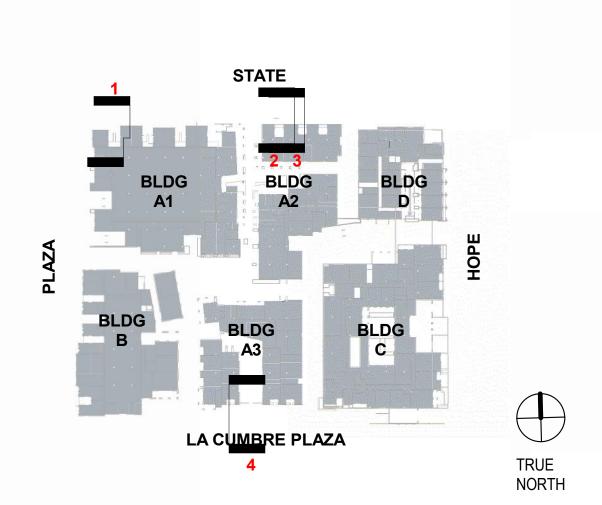
KEY PLAN













The Ceanal Collective, LLP & .....

Project # 21030
Issue Date 8/22/2024 6:01:40 PM

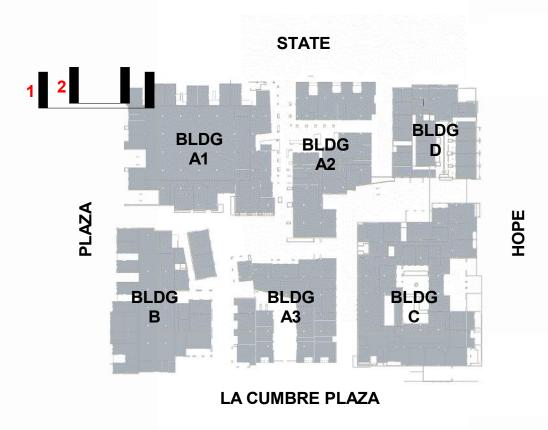
PLN 2ND 08-3

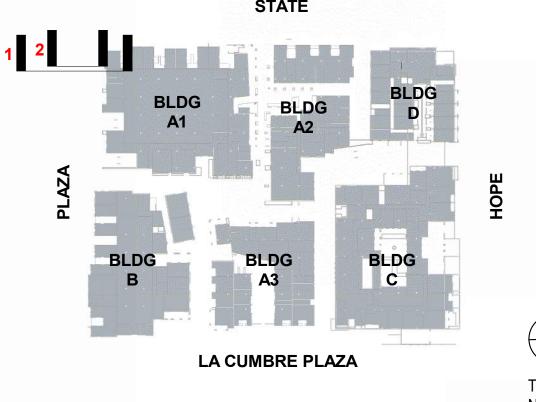


55' - 10" (E) ROADWAY ESMT. 42' - 6" (E) TRAVEL LAN(É) LEFT TURN LAN(E) TRAVEL LANÉ (E) ADJACENT PROPERY
OWNER SURFACE PARKING
SPACES CURRENTLY
OVERLAP PROPERTY LINE;
THEY CAN SHIFT WEST 6'
AND STILL HAVE A CITY COMPLIANT DRIVE AISLE (E) SIDEWALK PLAZA AVENUE

2 PROPOSED PLAZA AVENUE SECTION 1/8" = 1'-0"

3 CURB SECTION - PLAZA AVENUE EXISTING 1/8" = 1'-0" 68' - 0" **BUILDING A1** 44' - 0" (E) ROADWAY ESMT. 42' - 6" BIKE LANE LEFT TURN LANE LANE BIKE LANE RES RES RES (E) ADJACENT PROPERY OWNER SURFACE PARKING SPACES CURRENTLY OVERLAP PROPERTY LINE; THEY CAN SHIFT WEST 6' **SERVICE** STAIR AND STILL HAVE A CITY SUBTERRANEAN **BUILDING A GARAGE** STAIR SUBTERRANEAN BUILDING A GARAGE PLAZA AVENUE 8' - 0" SIDEWALK 7' - 6" LANDSCAPE





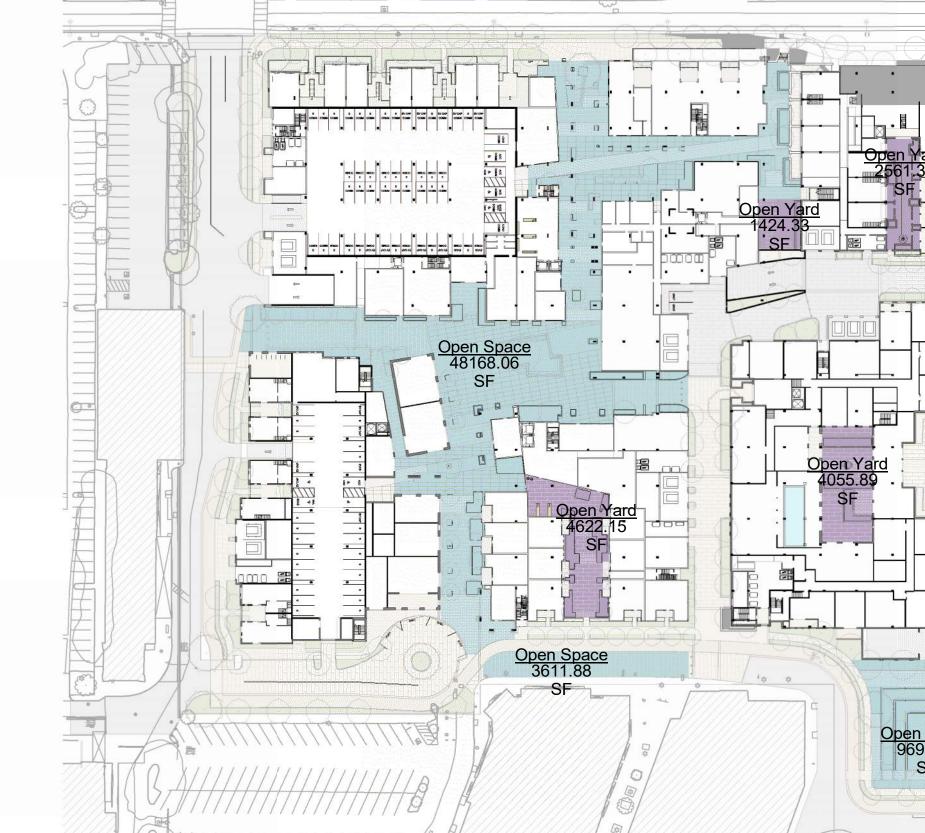


2 LEVEL 2 OPEN YARD 1" = 80'-0"

5 LEVEL 5 OPEN YARD 1" = 80'-0"







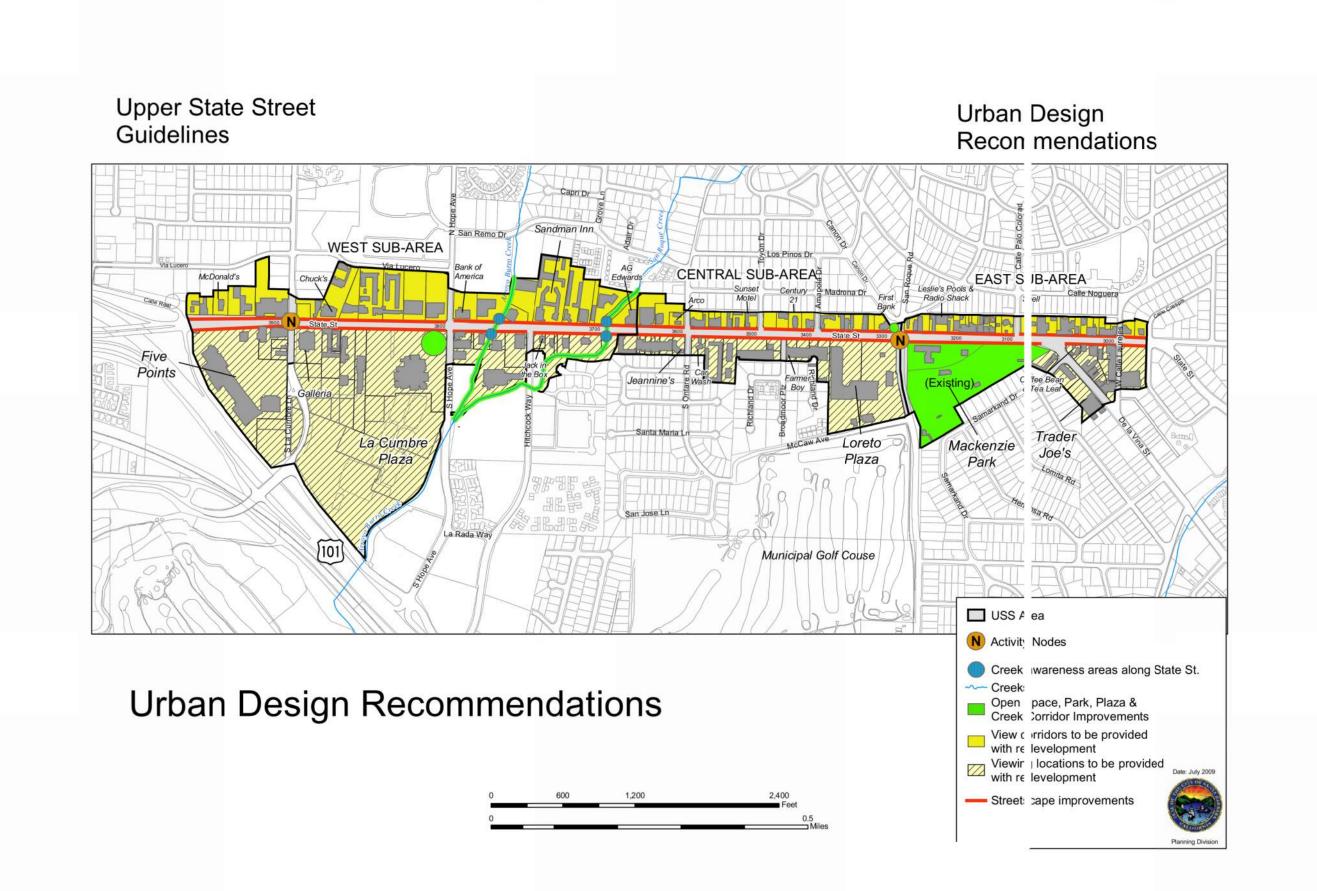








**VIEWING LOCATIONS** 



# **USS GUIDELINES OPEN SPACE** UPPER STATE STREET GUIDELINES URBAN DESIGN RECOMMENDATIONS OPEN SPACE PROVIDED IN ADDITION TO AND EXCLUSIVE OF THE REQUIRED AUD OPEN YARD OPEN SPACE, PARK, AND PLAZAS PROVIDED SITE AREA: 378,972 SF PROPOSED 61,478 SF 61,478 SF/378,972 SF = 16% OF LOT AREA PROVIDED AS OPEN SPACE

4 LEVEL 4 OPEN YARD 1" = 80'-0"

PROPOSED OPEN SPACE (USS GUIDELINES)		
Level	Area	
Level 1	9698.76 SF	
Level 1	48168.06 SF	
Level 1	3611.88 SF	

DES	ER STATE STREET GUIDELINES IGN ELEMENTS IN AREAS
GUI	DELINES:
30.	OPEN SPACE AND PARKS. Project provides private and public open
spac	es.
31.	RELATIONSHIP TO NEARBY USES. Open spaces are located in
relati	ionship to compatible land uses such as retail and entertainment venues.
32.	UNDERGROUND PARKING AND OPEN SPACE OPPORTUNITIES.
Proje	ect utilizes underground parking to create more opportunity for ground leve
oper	space.
33.	PLAZA ELEMENTS. Project creates plazas and a network of paseos f
publi	c use
34.	
35.	, , ,
focus	sed plazas and paseos.

NET LOT AREA: 8.7 ACRES/378 15% OF NET LOT AREA: <b>56,845</b> MIN 10'X10' (1) 20'X20' AREA MIN PRIVATE AREAS MAY OVERLA ALL AREAS SHOWN ARE OPEN <b>STATE DENSITY BONUS WAIV</b>	SF P 15% COMMON ON THE GROUND LEVEL I TO THE SKY ABOVE.
PROP	OSED OPEN YARD
Level	Area
Level 1	12663.75 SF
Level 2	5475.52 SF
Level 3	1813.61 SF
Level 4	1058.41 SF
Level 5	13187.23 SF

**REQUIRED OPEN YARD** 

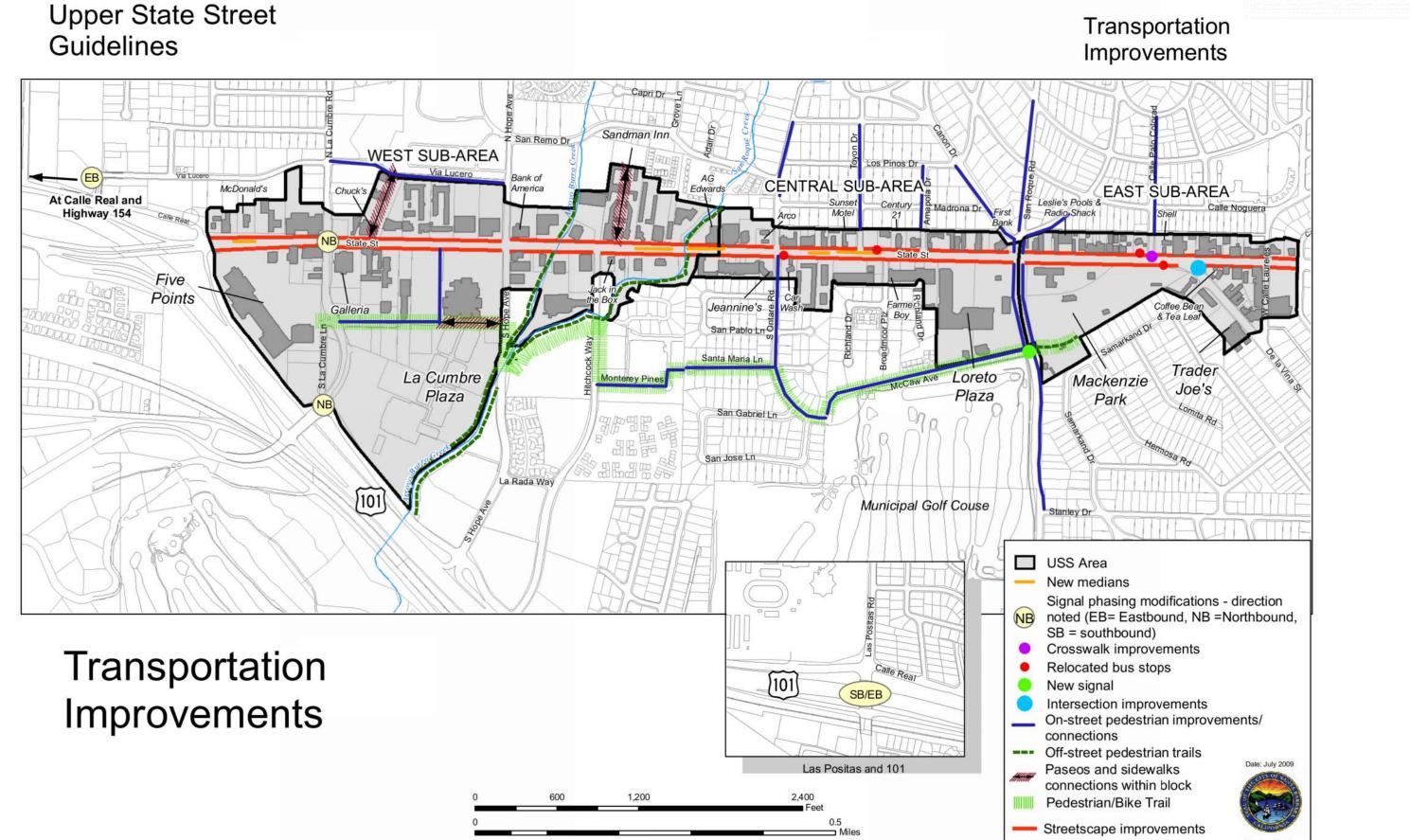
ALTERNATIVE OPEN YARD DESIGN PROPOSED SBMC SECTION 30.140.140.F

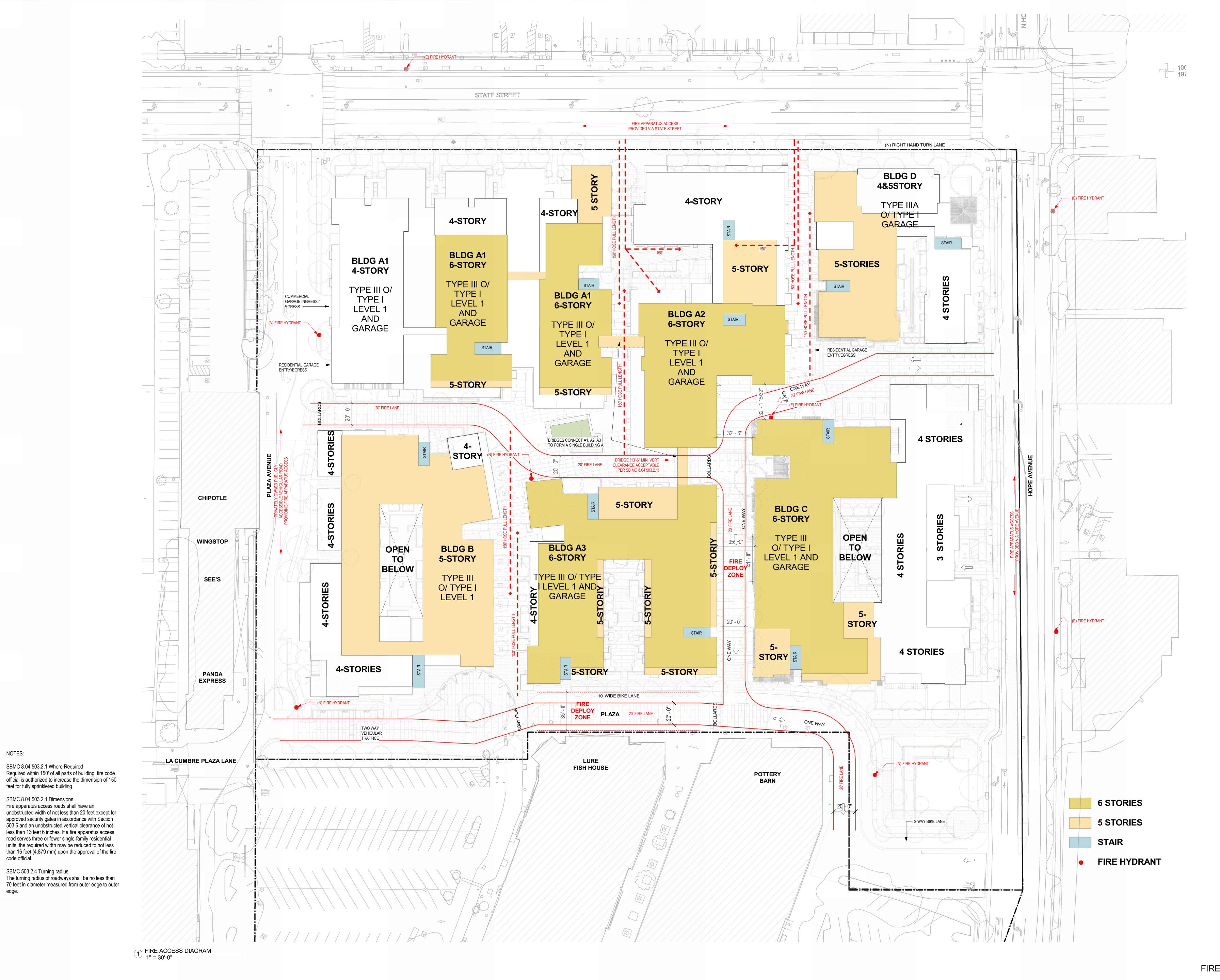
Level 6

TOTAL OPEN YARD

4426.15 SF

38624.67 SF





The Cearnal Collective, LLP & Dav Project # 21030 | Ssue Date 8/22/2024 6:03:12 PM | PLN 2ND 08-

NOTES:

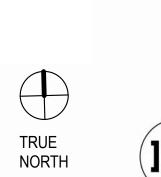
code official.

SBMC 8.04 503.2.1 Where Required

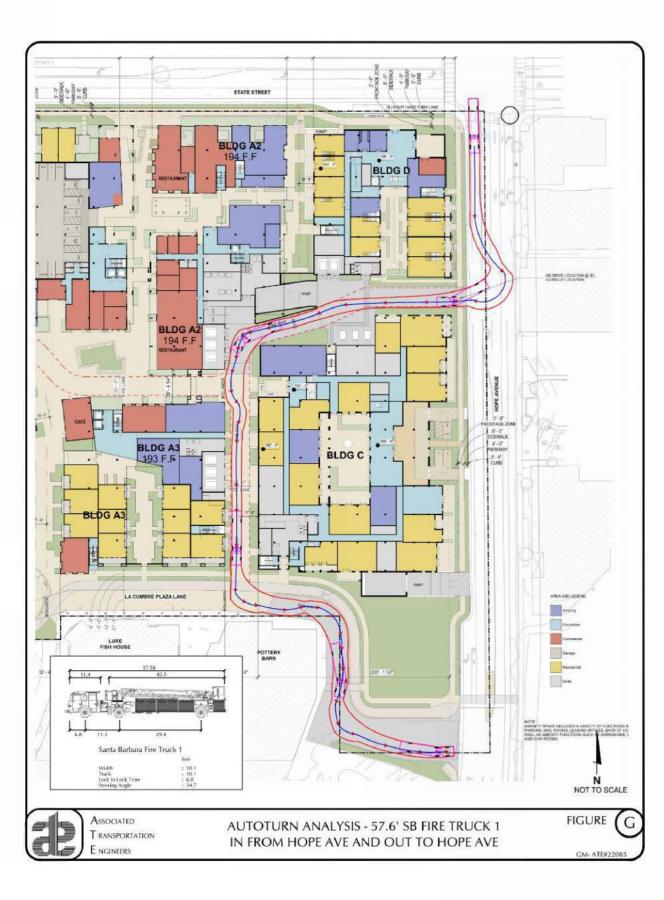
SBMC 8.04 503.2.1 Dimensions.

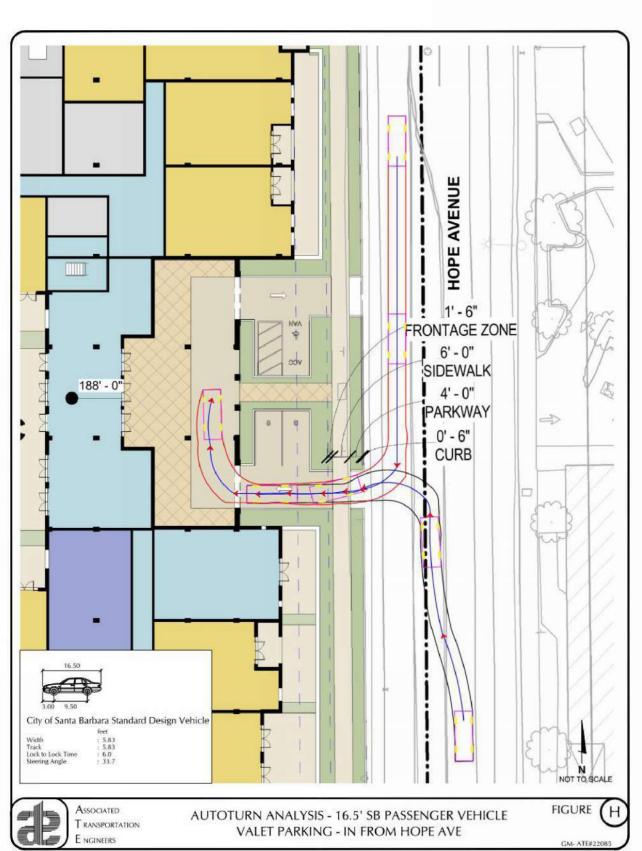
FIRE ACCESS DIAGRAM

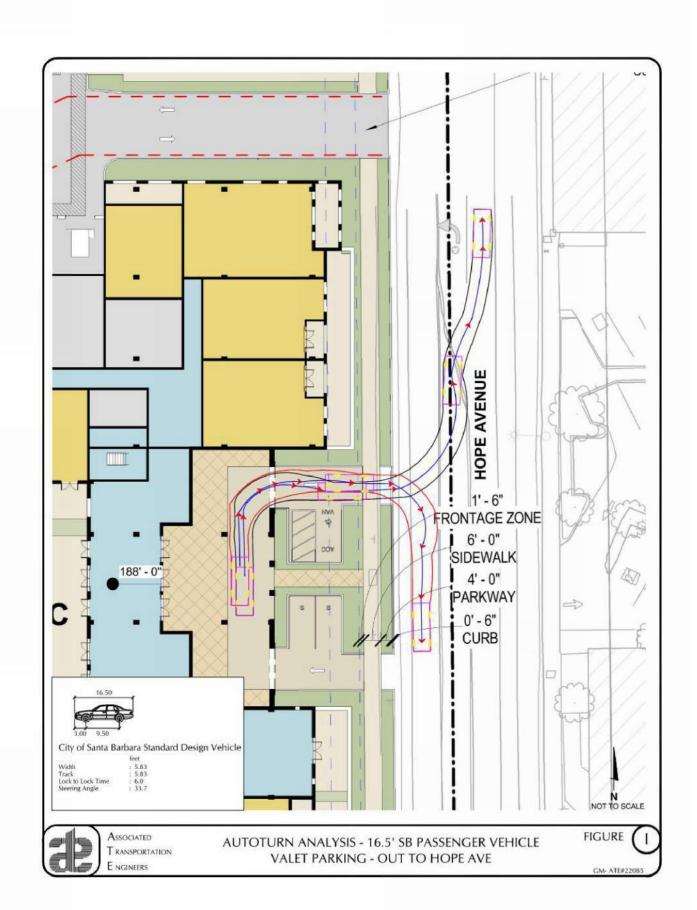
TRUE NORTH

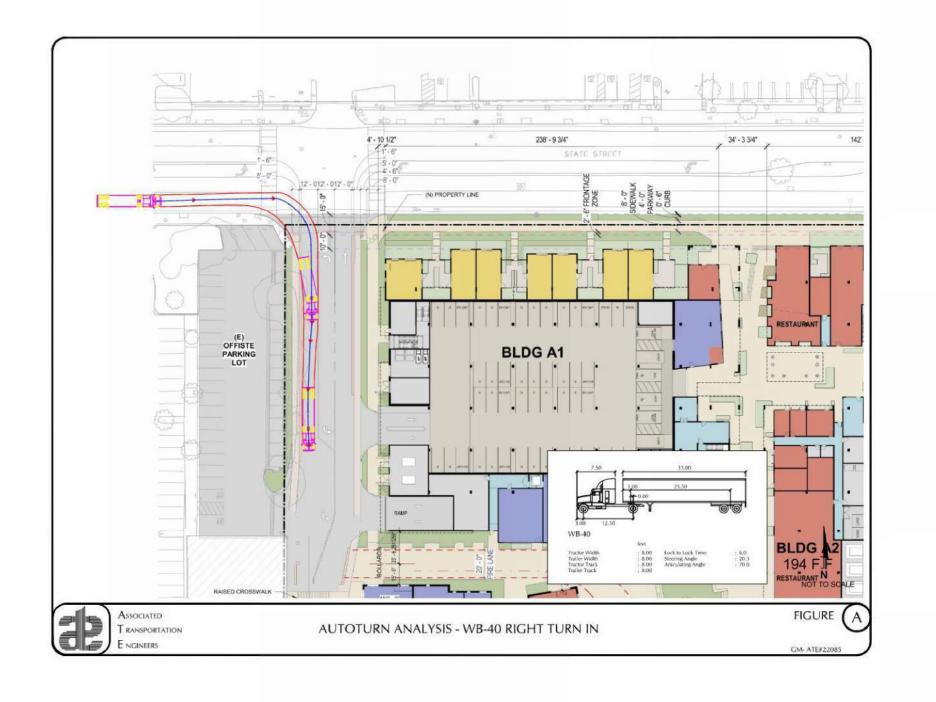


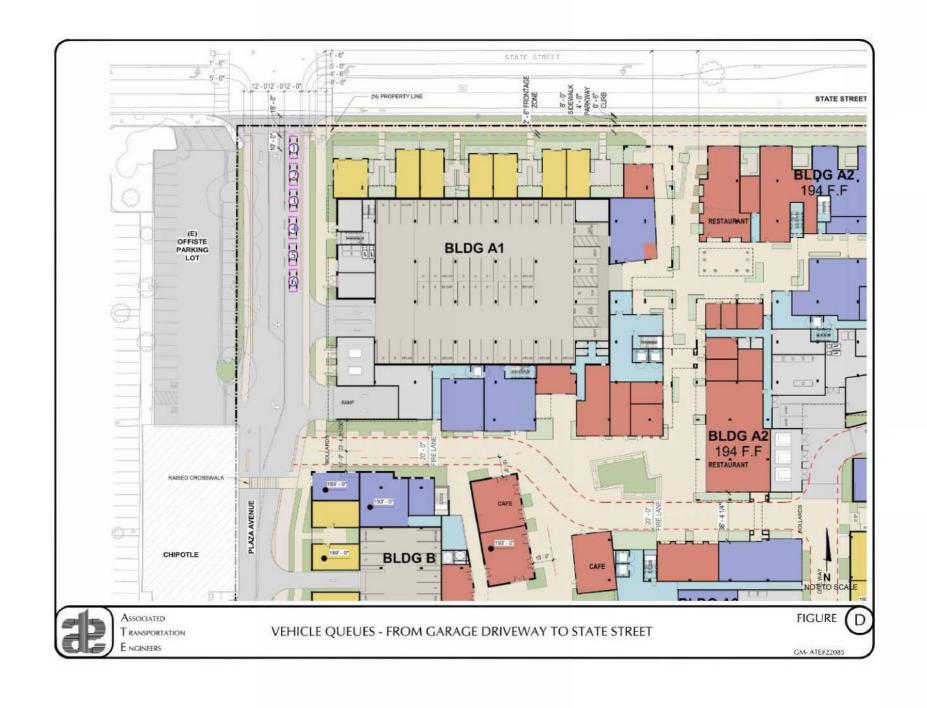


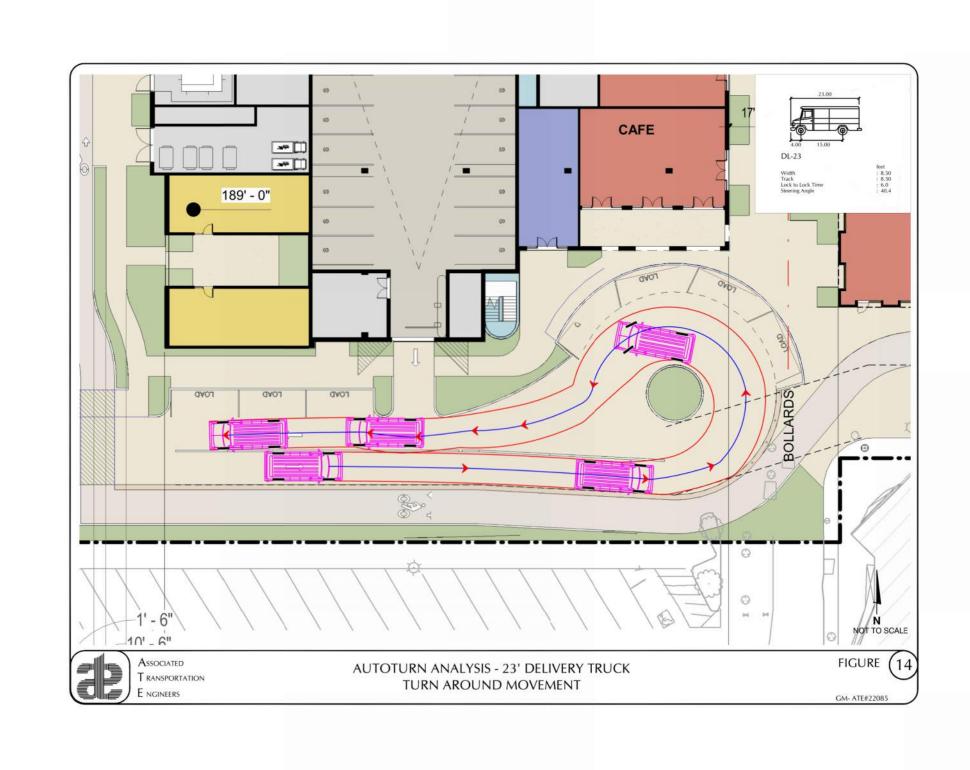


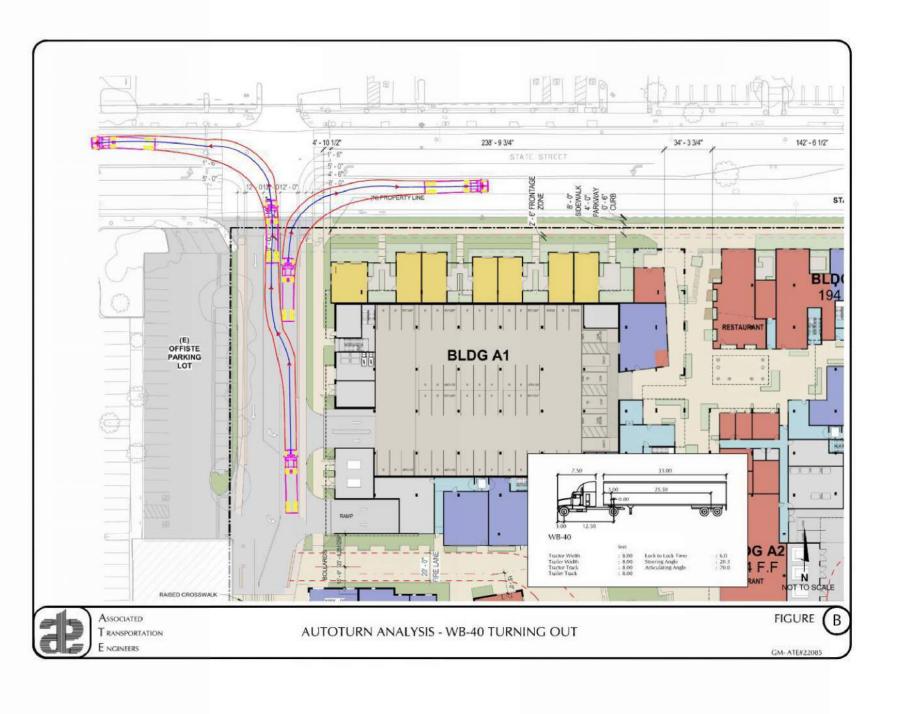


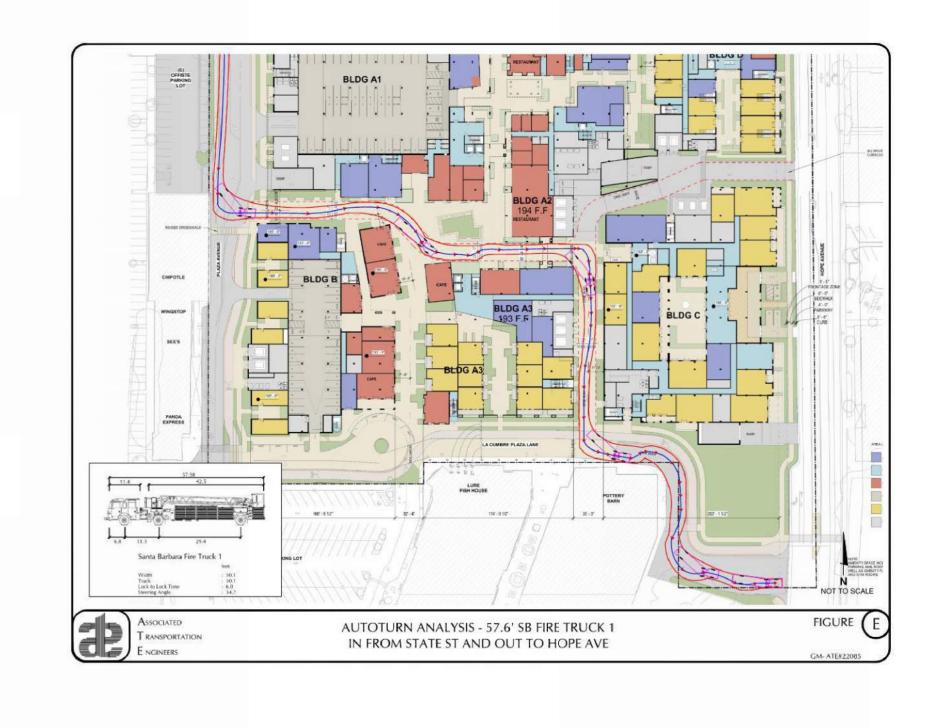


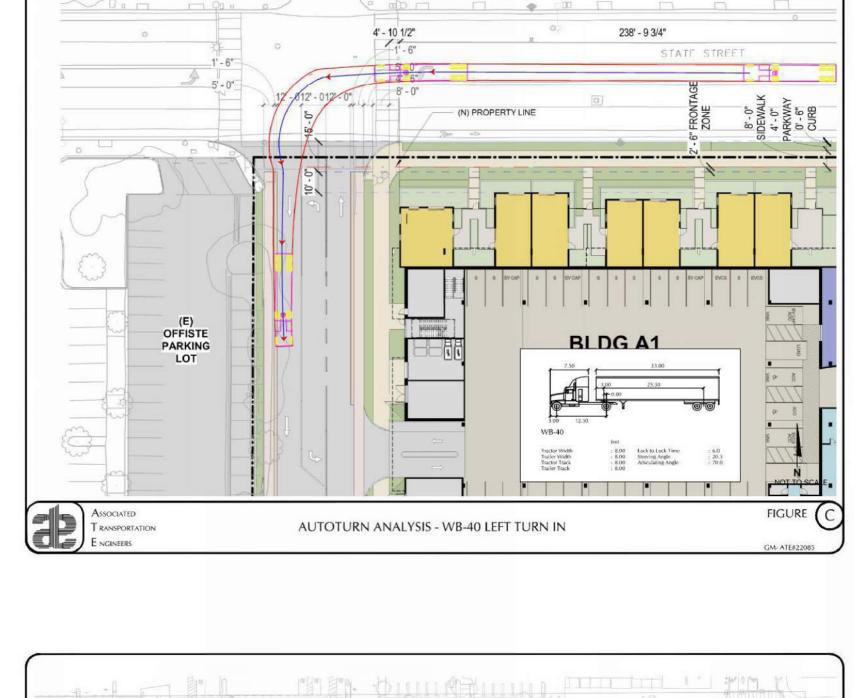


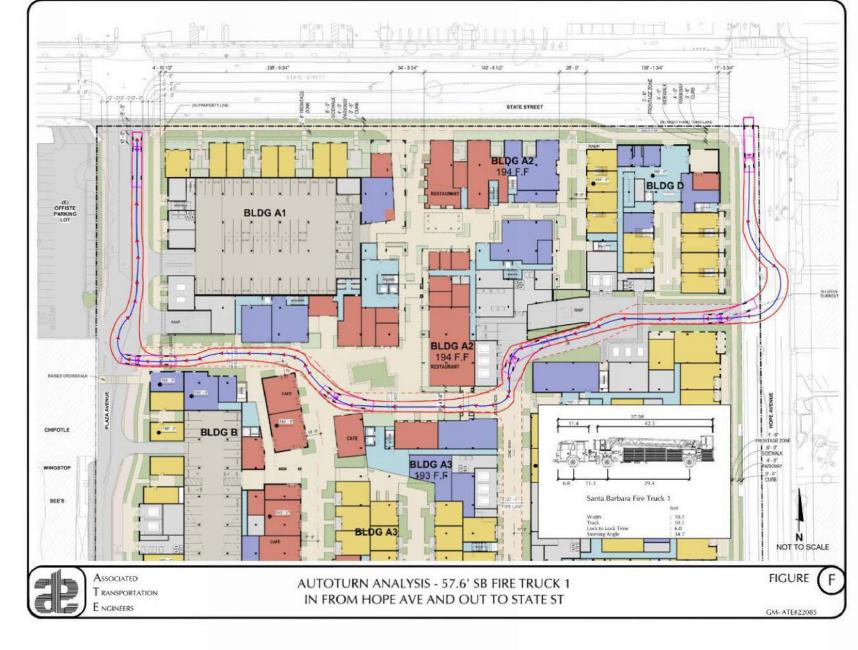


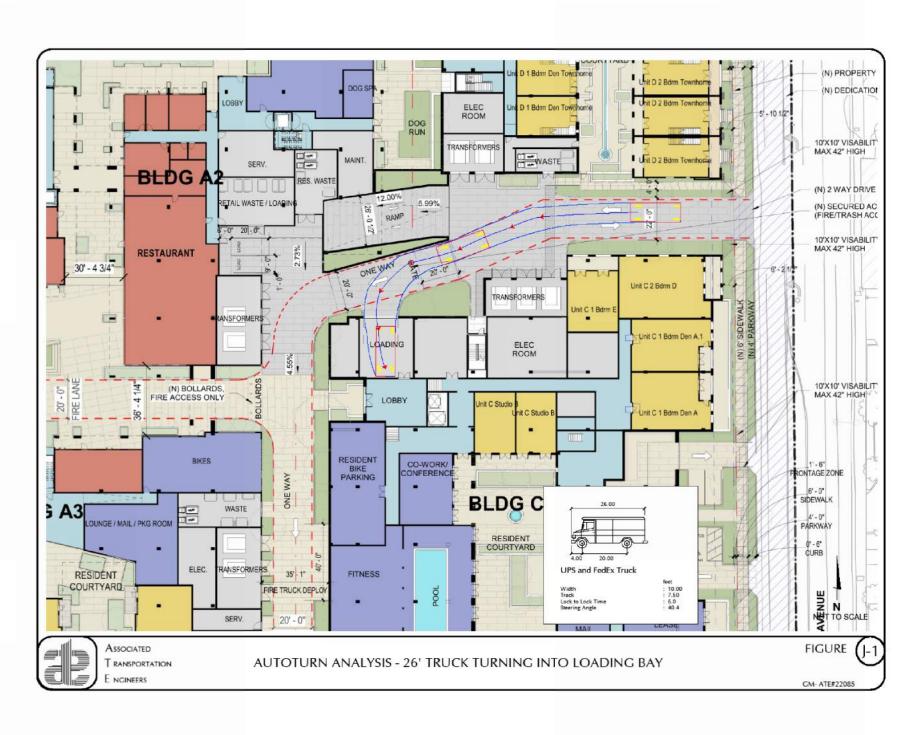








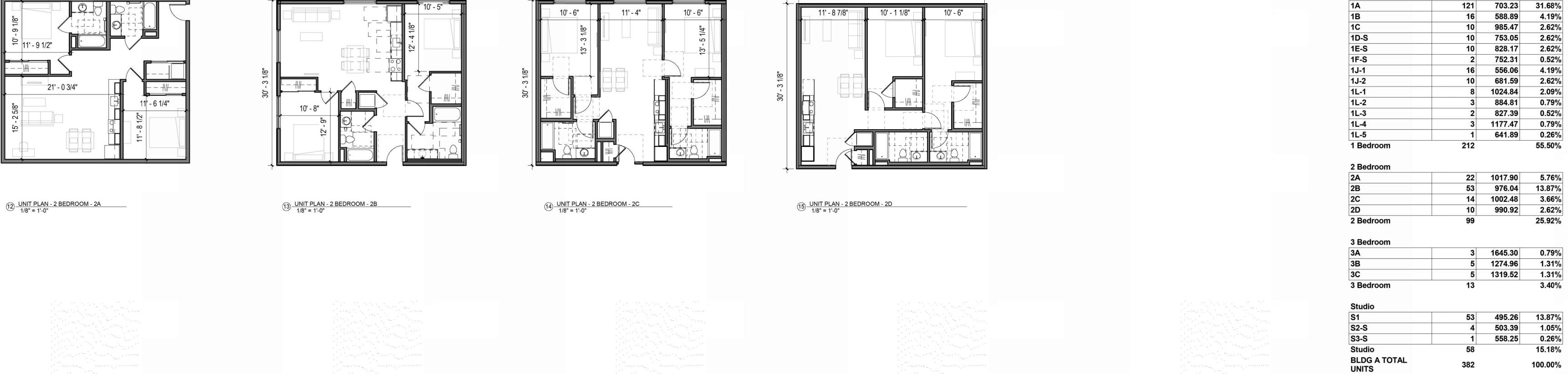








STATE AND HOPE

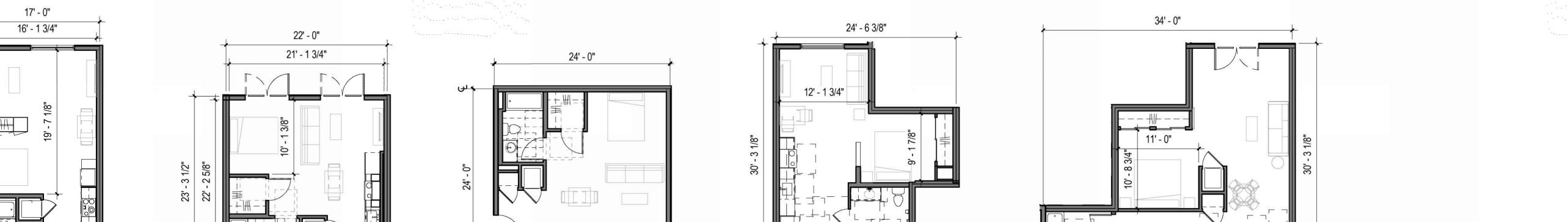




25' - 2 7/8"

11' - 8 7/8"

10, -8 3/4	30' - 3 1/8	
11 UNIT PLAN - JUNIOR - 1J-2 1/8" = 1'-0"		
27' - 3 5/8" 27' - 3 5/8" 10' - 5" - 41/8" -	36'-0"	34' - 5 5/8"
UNIT PLAN - 1 BEDROOM - 1D-S  1/8" = 1'-0"	8 UNIT PLAN - 1 BEDROOM - 1E-S 1/8" = 1'-0"	9 <u>UNIT PLAN - 1 BEDROOM - 1F-S</u> 1/8" = 1'-0"

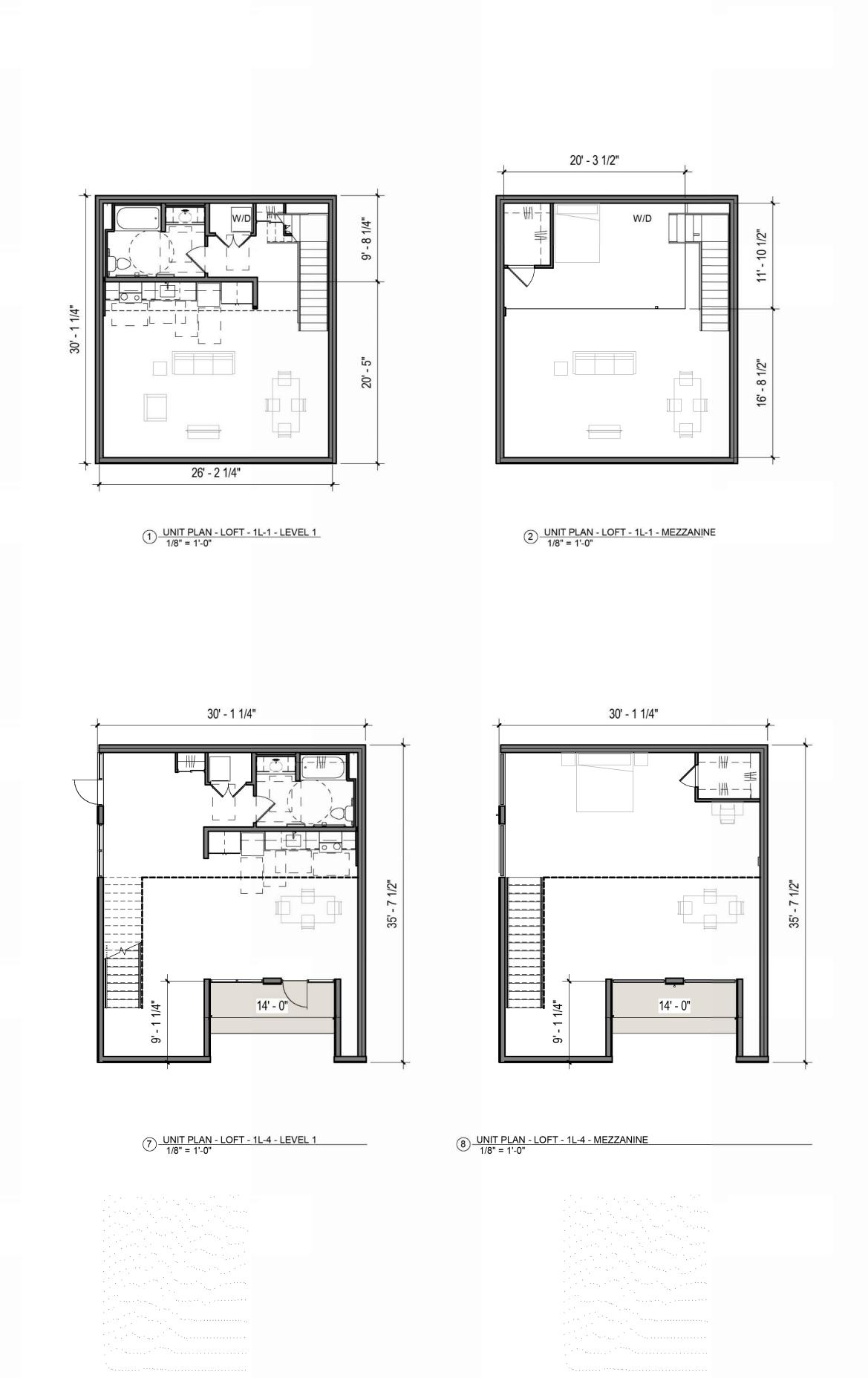


41' - 4 1/8"

Average Unit Types Building A



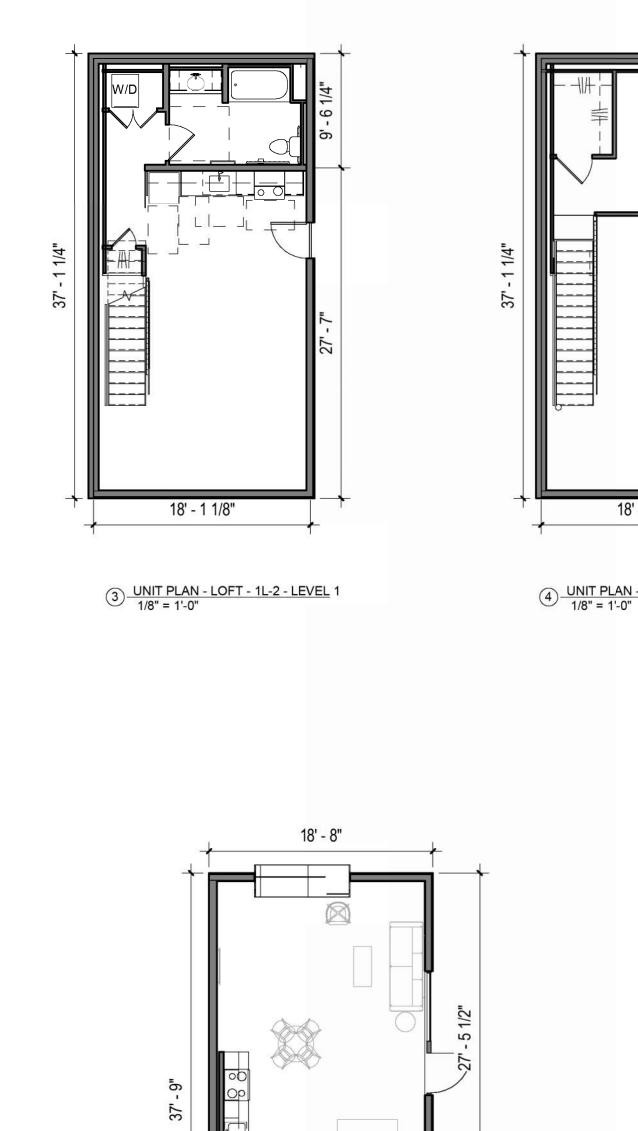




47' - 5 1/4"

12 UNIT PLAN - 3 BEDROOM - 3A 1/8" = 1'-0"

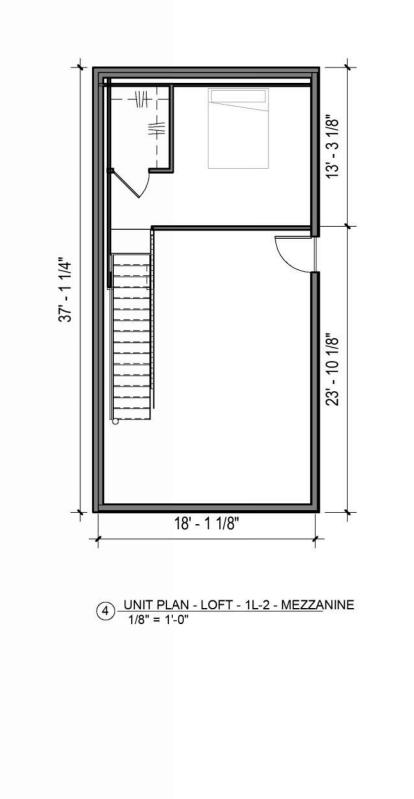
11' - 6 1/2"



43' - 10 7/8"

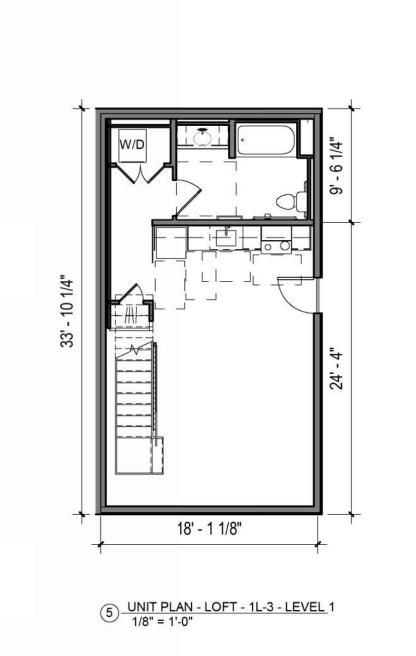
1/8" = 1'-0"

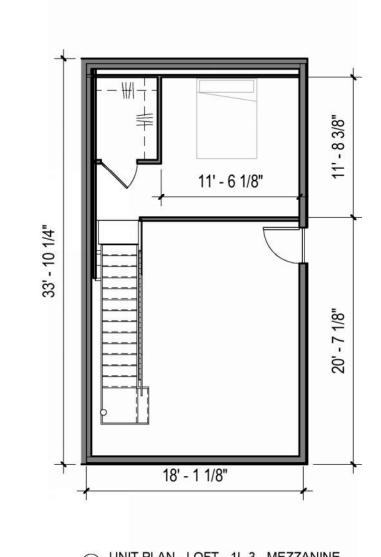
20' - 2 1/8"



42' - 5 3/4"

10 UNIT PLAN - 3 BEDROOM - 3C

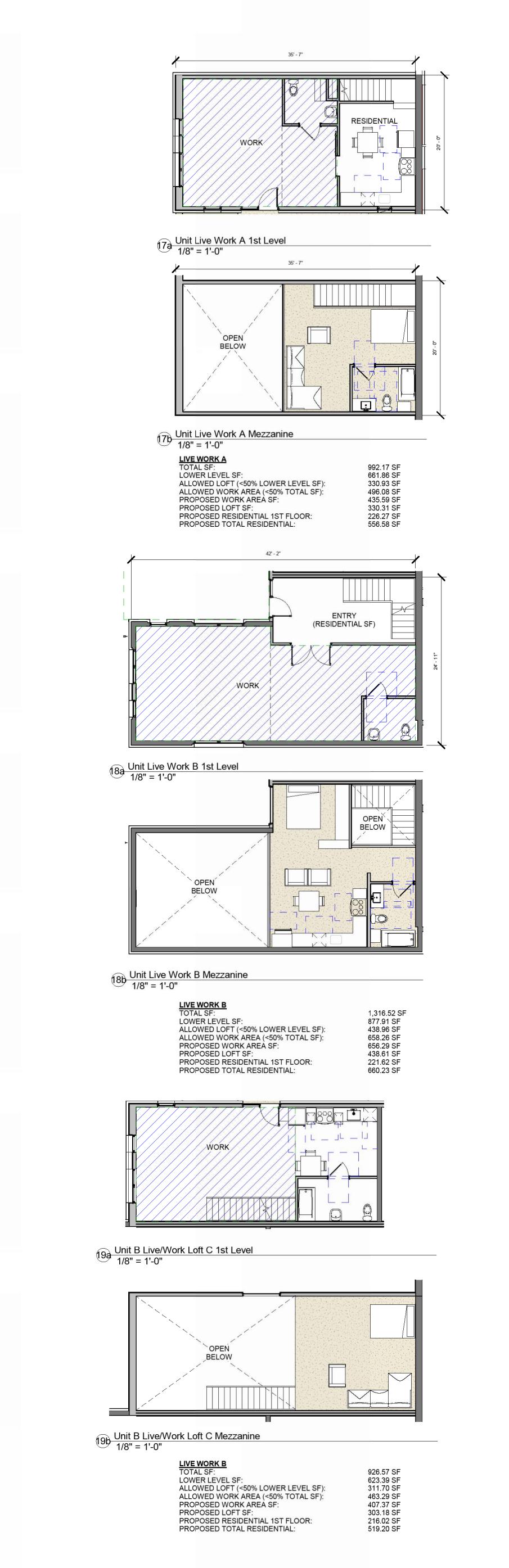


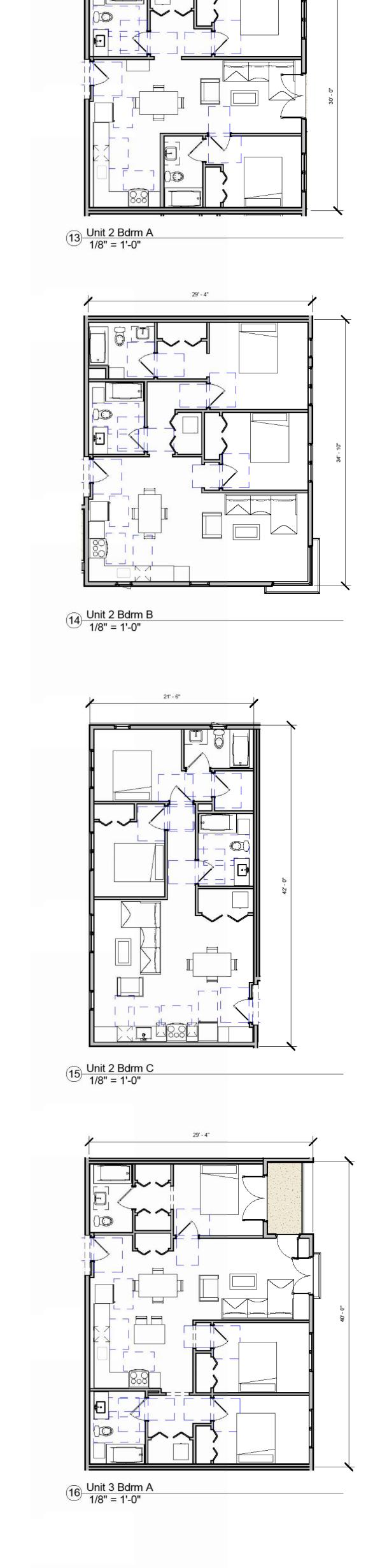


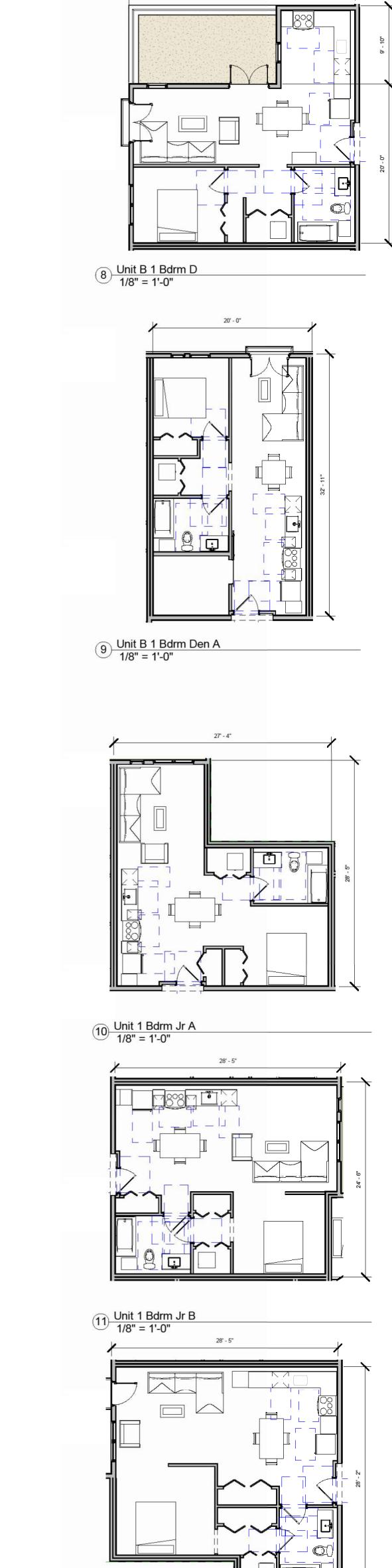
11' - 6 1/8"	11' - 8 3/8"	
	20' - 7 1/8"	
18' - 1 1/8"	_	
6 UNIT PLAN - LOFT - 1L-3 - MEZZA 1/8" = 1'-0"	ĀNINE	

Averag	e Unit Types Bւ	uilding A	
Area Unit Name	Area Count	Average	9
1 Bedroom			
1A	121	703.23	31.68%
1B	16	588.89	4.19%
1C	10	985.47	2.62%
1D-S	10	753.05	2.62%
1E-S	10	828.17	2.62%
1F-S	2	752.31	0.52%
1J-1	16	556.06	4.19%
1J-2	10	681.59	2.62%
1L-1	8	1024.84	2.09%
1L-2	3	884.81	0.79%
1L-3	2	827.39	0.52%
1L-4	3	1177.47	0.79%
1L-5	1	641.89	0.26%
1 Bedroom	212	'	55.50%
2 Bedroom			
	22	1017.90	5.76%
2A	22 53	1017.90 976.04	
2A 2B			13.87%
2A 2B 2C	53	976.04	13.87% 3.66%
2A 2B 2C	53 14	976.04 1002.48	13.87% 3.66% 2.62%
2A 2B 2C 2D 2 Bedroom	53 14 10	976.04 1002.48	13.87% 3.66% 2.62%
2A 2B 2C 2D 2 Bedroom	53 14 10	976.04 1002.48	13.87% 3.66% 2.62%
2A 2B 2C 2D 2 Bedroom	53 14 10	976.04 1002.48	13.87% 3.66% 2.62% 25.92%
2A 2B 2C 2D 2 Bedroom	53 14 10 99	976.04 1002.48 990.92	13.87% 3.66% 2.62% 25.92% 0.79% 1.31%
2A 2B 2C 2D 2 Bedroom 3 Bedroom	53 14 10 99	976.04 1002.48 990.92	5.76% 13.87% 3.66% 2.62% 25.92% 0.79% 1.31%
2A 2B 2C 2D 2 Bedroom 3 Bedroom 3A 3B	53 14 10 99	976.04 1002.48 990.92 1645.30 1274.96	13.87% 3.66% 2.62% 25.92% 0.79% 1.31%
2A 2B 2C 2D 2 Bedroom 3 Bedroom 3A 3B 3C 3 Bedroom	53 14 10 99 3 5 5	976.04 1002.48 990.92 1645.30 1274.96	13.87% 3.66% 2.62% 25.92% 0.79% 1.31%
2A 2B 2C 2D 2 Bedroom 3 Bedroom 3A 3B 3C 3 Bedroom	53 14 10 99 3 5 5 13	976.04 1002.48 990.92 1645.30 1274.96 1319.52	13.87% 3.66% 2.62% 25.92% 0.79% 1.31% 1.31% 3.40%
2A 2B 2C 2D 2 Bedroom 3 Bedroom 3A 3B 3C 3 Bedroom Studio S1	53 14 10 99 3 5 5	976.04 1002.48 990.92 1645.30 1274.96 1319.52	13.87% 3.66% 2.62% 25.92% 0.79% 1.31% 3.40%
2A 2B 2C 2D 2 Bedroom 3 Bedroom 3A 3B 3C 3 Bedroom	53 14 10 99 3 5 5 13	976.04 1002.48 990.92 1645.30 1274.96 1319.52	13.87% 3.66% 2.62% 25.92% 0.79% 1.31% 1.31% 3.40%

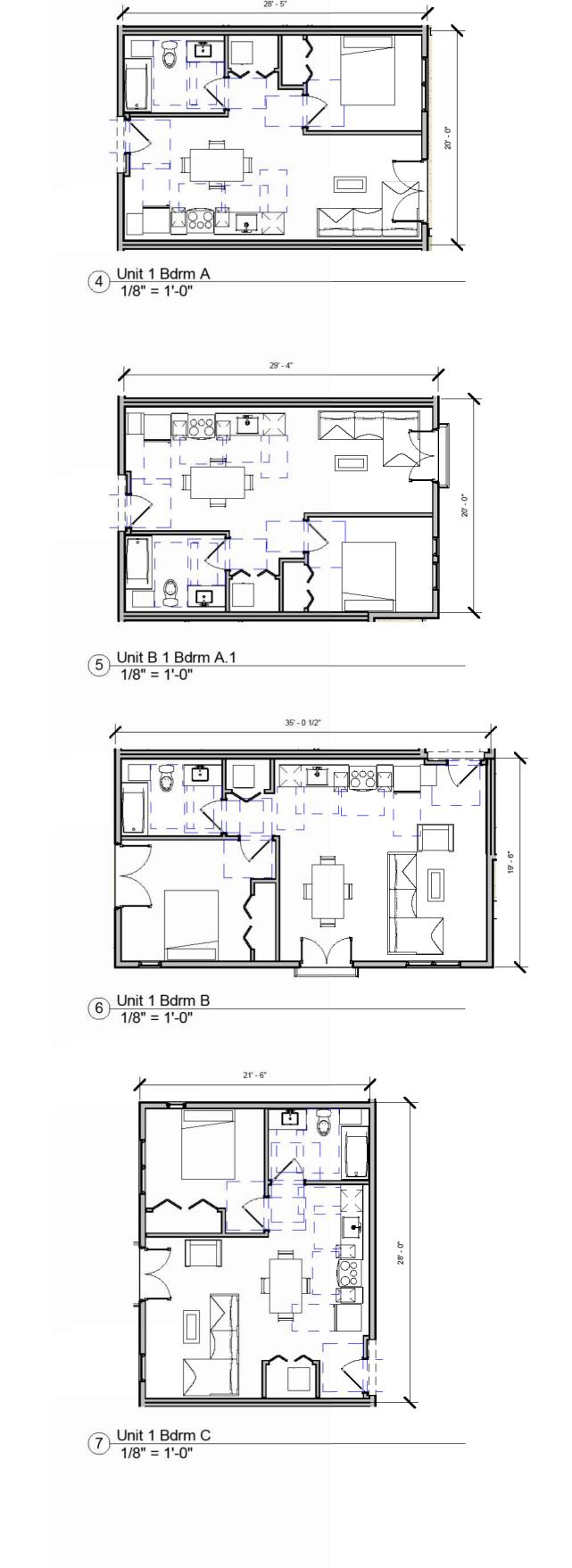
BLDG A TOTAL UNITS







12 Unit B 1 Bdrm Jr C 1/8" = 1'-0"



Area Unit Types Building B					
Area Unit Name	Area Count	Corrected Avg	%		
Building B					
1 Bedroom					
Unit B 1 Bdrm A	37	562.51	29.13%		
Unit B 1 Bdrm A.1	8	577.89	6.30%		
Unit B 1 Bdrm B	3	660.48	2.36%		
Unit B 1 Bdrm C	6	578.98	4.72%		
Unit B 1 Bdrm D	1	634.08	0.79%		
Unit B 1 Bdrm Den A	4	651.01	3.15%		
Unit B 1 Bdrm Jr A	4	606.82	3.15%		
Unit B 1 Bdrm Jr B	4	677.64	3.15%		
Unit B 1 Bdrm Jr C	3	739.38	2.36%		
Unit B Live/Work Loft A	3	556.58	2.36%		
Unit B Live/Work Loft B	2	660.33	1.57%		
Unit B Live/Work Loft C	1	519.20	0.79%		
1 Bedroom	76	•	59.84%		
2 Bedroom					
Unit B 2 Bdrm A	27	838.30	21.26%		
Unit B 2 Bdrm B	4	991.69	3.15%		
Unit B 2 Bdrm C	3	869.45	2.36%		
2 Bedroom	34		26.77%		
3 Bedroom	20				
Unit B 3 Bdrm A	4	1122.43	3.15%		
3 Bedroom	4		3.15%		
Studio					
Unit B Studio A	9	402.37	7.09%		
Unit B Studio B	3	476.95	2.36%		
Unit B Studio C	1	570.32	0.799		
Studio	13		10.24%		
BLDG C TOTAL UNITS	127		100.00%		

Unit average area for Live/Work units reflect the residential portion only. Retail area is shown on Sheet G010 under Commercial Area.

1 Unit B Studio A 1/8" = 1'-0"
26'-2"
2 Unit B Studio B 1/8" = 1'-0"
28' - 5"
3 Unit B Studio C 1/8" = 1'-0"









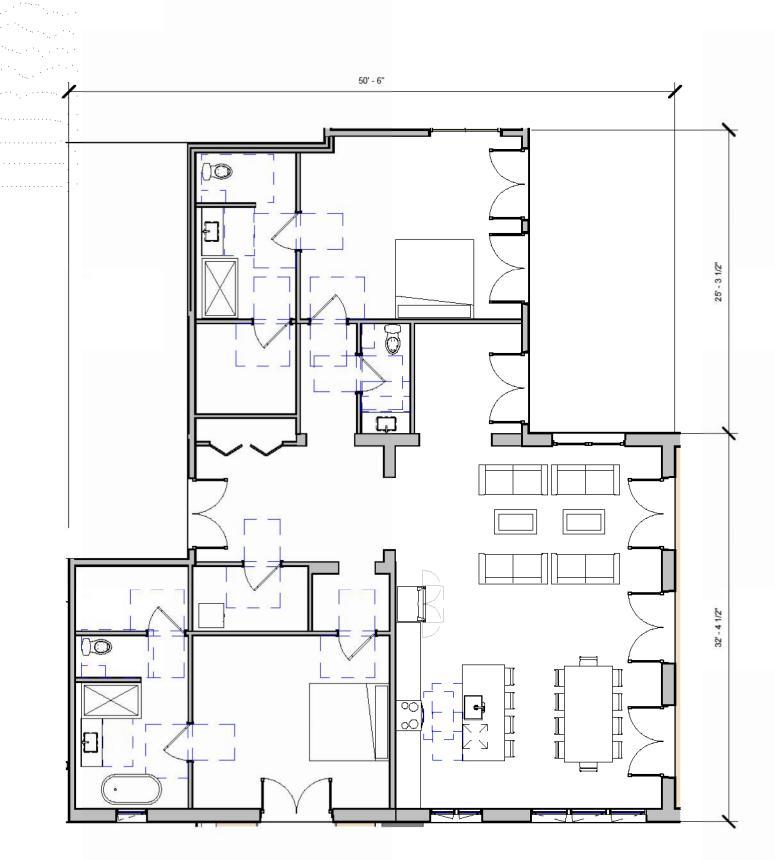
Studio
Unit C Studio A
Unit C Studio B
Unit C Studio C
Unit CD Studio A
Studio
BLDG C TOTAL UNITS

13.39% 100.00%

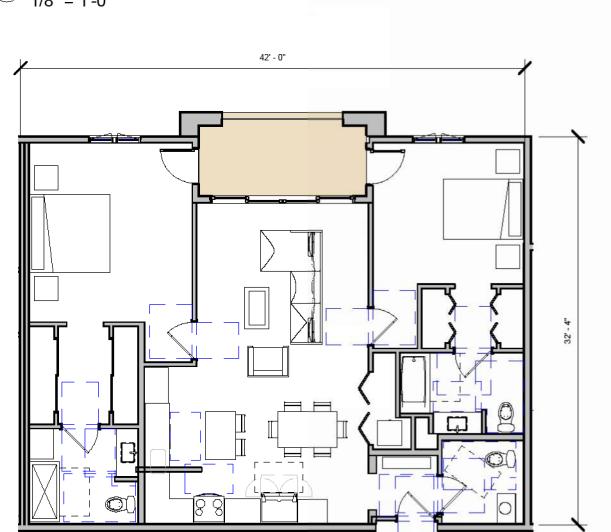
11 Unit C 2 Bdrm Den B 1/8" = 1'-0"



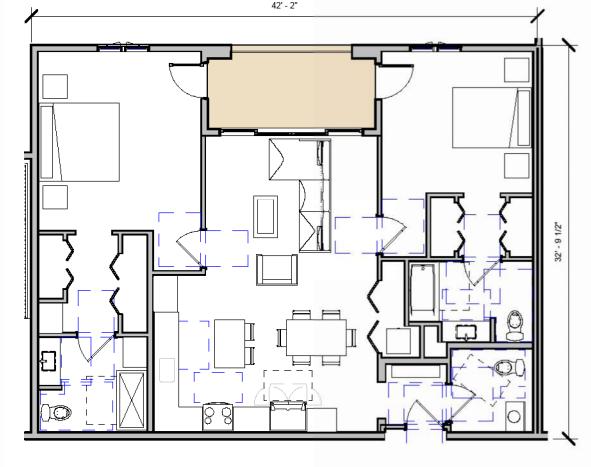
10 Unit C 2 Bdrm Den A 1/8" = 1'-0"



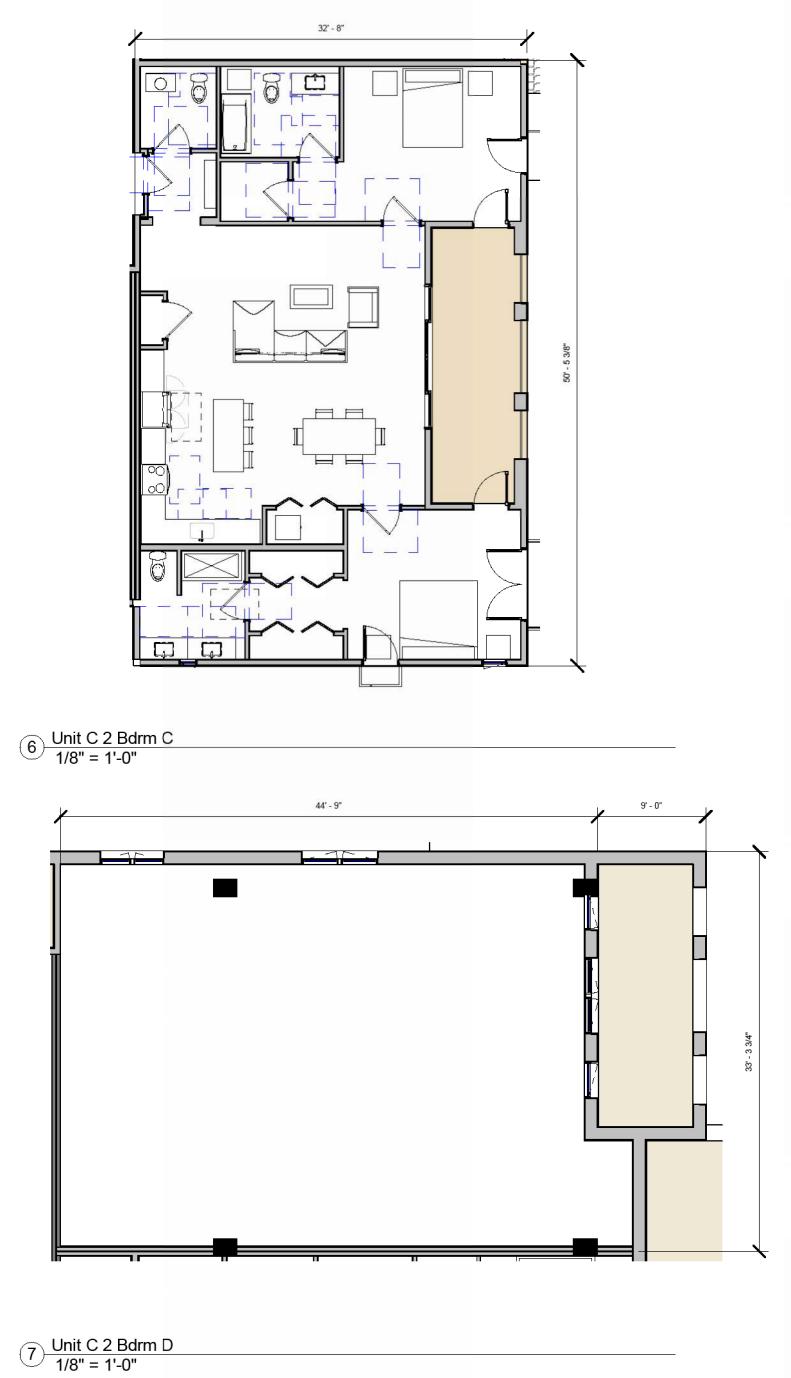
9 Unit CD 2 Bdrm A.1 (C) 1/8" = 1'-0"



8 Unit CD 2 Bdrm A (C) 1/8" = 1'-0"



4 Unit C 2 Bdrm A 1/8" = 1'-0"

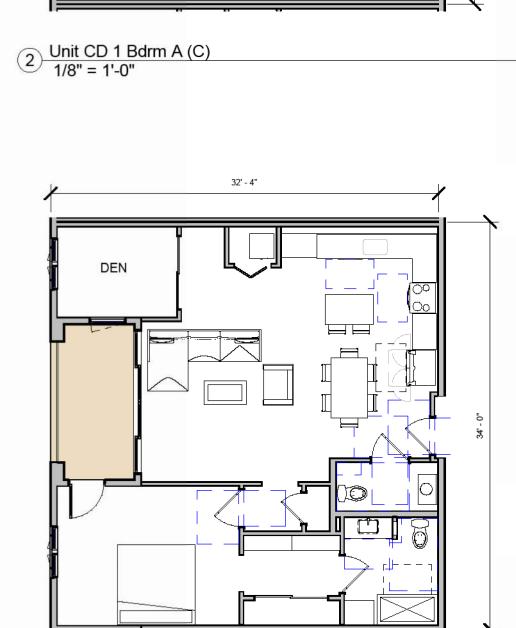


5 Unit C 2 Bdrm B 1/8" = 1'-0"





1 Unit C 1 Bdrm Jr Den 1/8" = 1'-0"

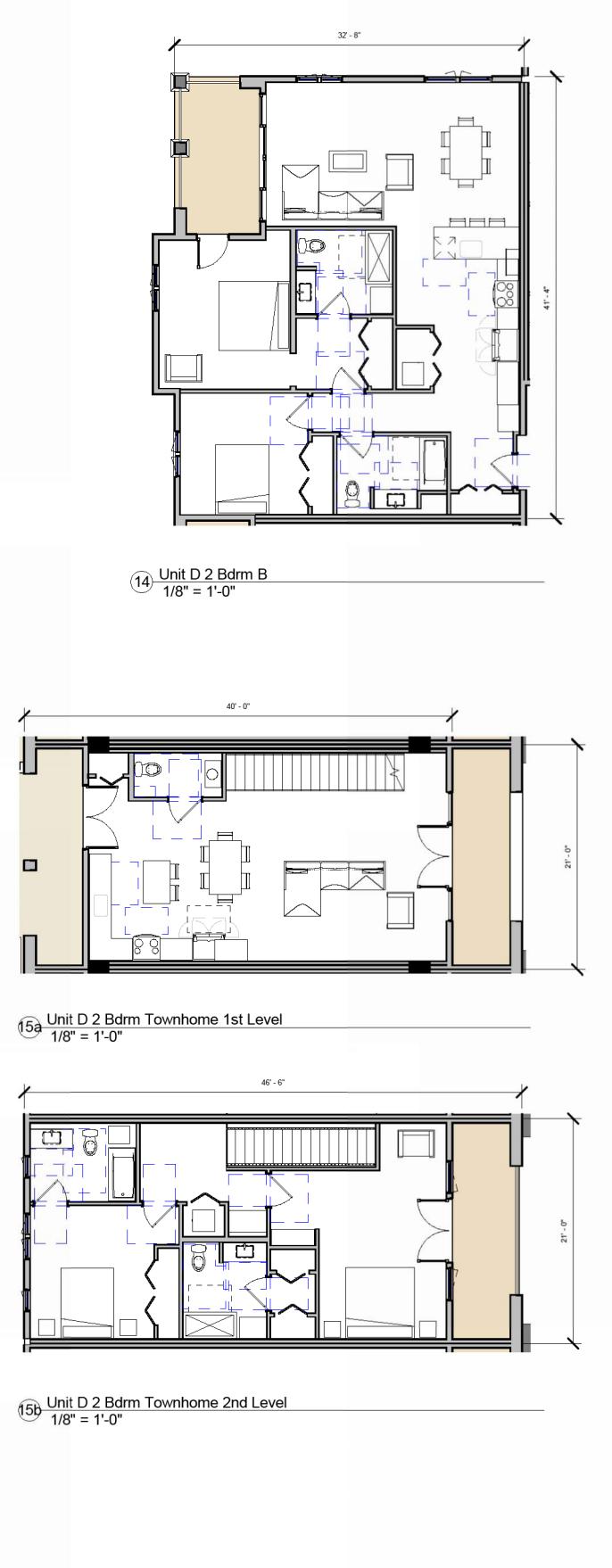


3 Unit CD One Bdrm Den (C)

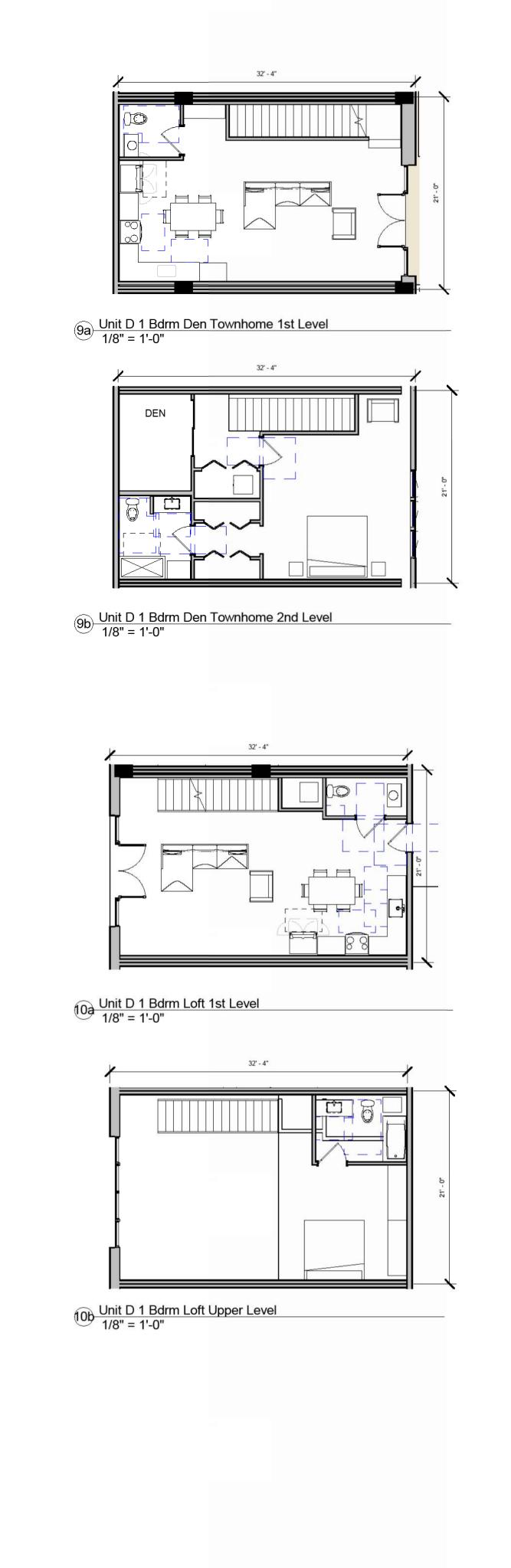
Aron I	Init Types Bu	ilding C	
50.000	Jnit Types Bu		
Area Unit Name	Area Count	Corrected Avg	%
Building C			
1 Bedroom			
Unit C 1 Bdrm A	1	825.59	0.79%
Unit C 1 Bdrm B	6	936.01	4.72%
Unit C 1 Bdrm C	3	877.37	2.36%
Unit C 1 Bdrm D	4	820.19	3.15%
Unit C 1 Bdrm Den A	2	1137.64	1.57%
Unit C 1 Bdrm Den A.1	1	1059.91	0.79%
Unit C 1 Bdrm Den B	1	1089.02	0.79%
Unit C 1 Bdrm E	1	838.91	0.79%
Unit C 1 Bdrm F	3	908.78	2.36%
Unit C 1 Bdrm G	1	874.90	0.79%
Unit C 1 Bdrm Jr A	8	724.49	6.30%
Unit C 1 Bdrm Jr B	7	688.55	5.51%
Unit C 1 Bdrm Jr Den A	3	829.65	2.36%
Unit CD 1 Bdrm A	20	797.11	15.75%
Unit CD 1 Bdrm Den A	11	989.74	8.66%
1 Bedroom	72		56.69%

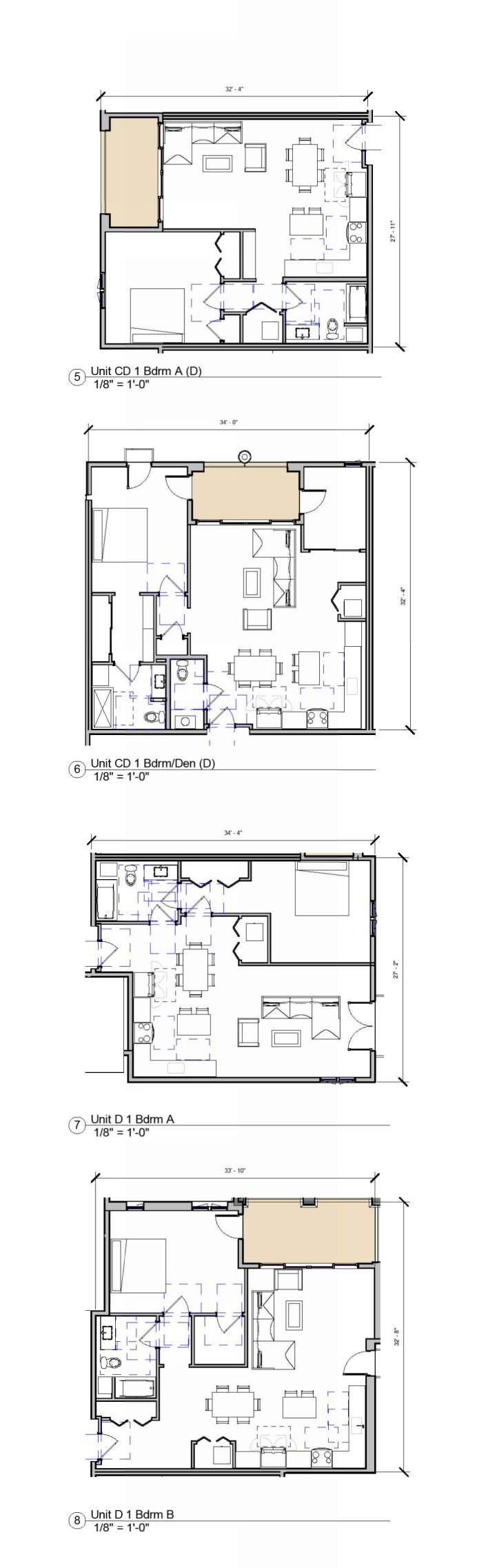
int o i baini L	' '	000.01	0.7070
nit C 1 Bdrm F	3	908.78	2.36%
nit C 1 Bdrm G	1	874.90	0.79%
nit C 1 Bdrm Jr A	8	724.49	6.30%
nit C 1 Bdrm Jr B	7	688.55	5.51%
nit C 1 Bdrm Jr Den A	3	829.65	2.36%
nit CD 1 Bdrm A	20	797.11	15.75%
nit CD 1 Bdrm Den A	11	989.74	8.66%
Bedroom	72		56.69%
Bedroom			
nit C 2 Bdrm A	4	1390.17	3.15%
nit C 2 Bdrm B	4	1289.37	3.15%
nit C 2 Bdrm C	3	1398.03	2.36%
nit C 2 Bdrm D	1	1452.27	0.79%
nit C 2 Bdrm Den A	1	2072.61	0.79%
nit C 2 Bdrm Den B	1	2104.78	0.79%
nit CD 2 Bdrm A	6	1228.36	4.72%
nit CD 2 Bdrm A.1	18	1262.26	14.17%
Bedroom	38		29.92%
tudio			
nit C Studio A	4	522.70	3.15%
nit C Ctudia D	2	COT 00	4 570/

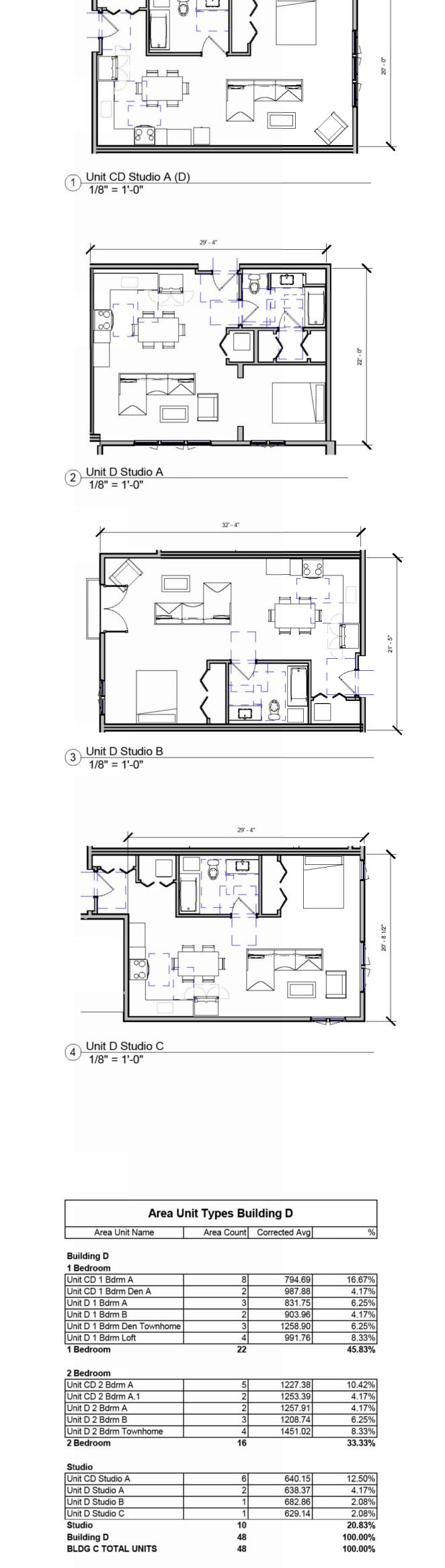
Unit C Studio A
Unit C Studio C
Unit CD Studio A
Studio
BLDG C TOTAL UNITS





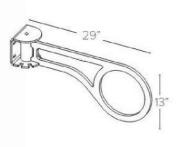






### CARGO BIKE WALL MOUNT LOCK BRACKET

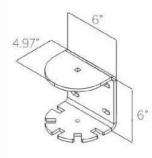




CAPACITY	2 Bikes
MATERIALS	$2^* \times 2^* \times 3/16^*$ square tube - mild steel $2^* \times 2^* \times 11g$ square tube - stainless steel
FINISHES	PVC DIp Black PVC

Wall mount bracket features four anchor holes for 3/8" bolts. Tamper-resistant fasteners are included.

**Submittal Sheet** 

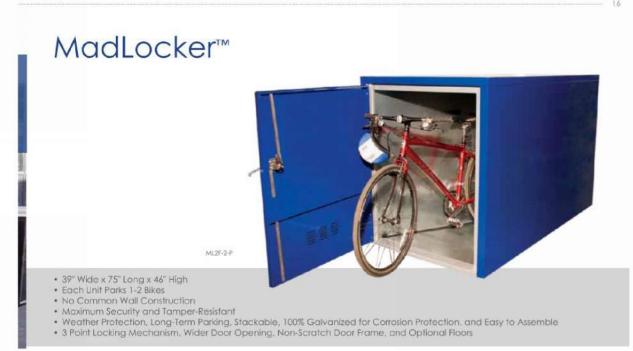


# **COMMERCIAL PARKING - SHORT TERM**



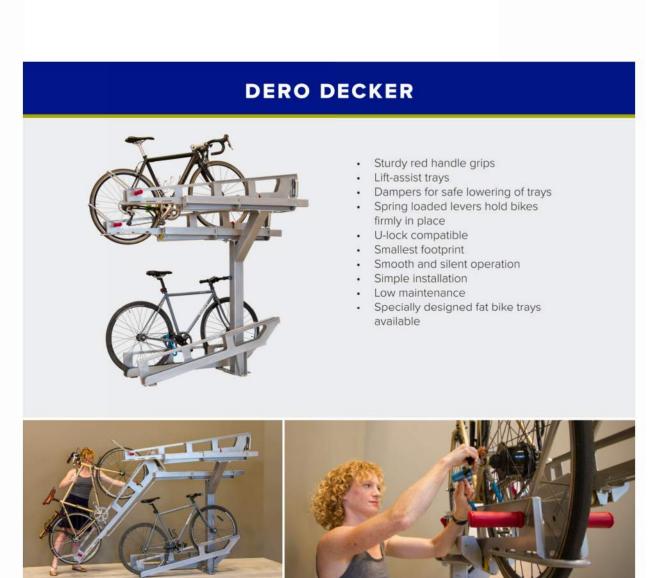


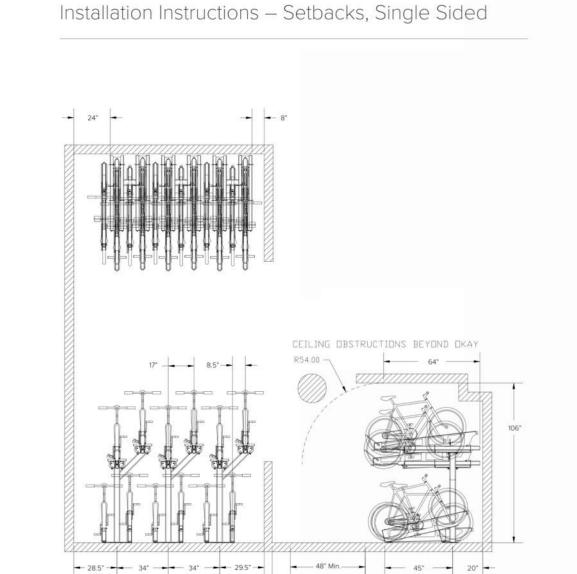
# COMMERCIAL PARKING - LONG TERM LOCKERS









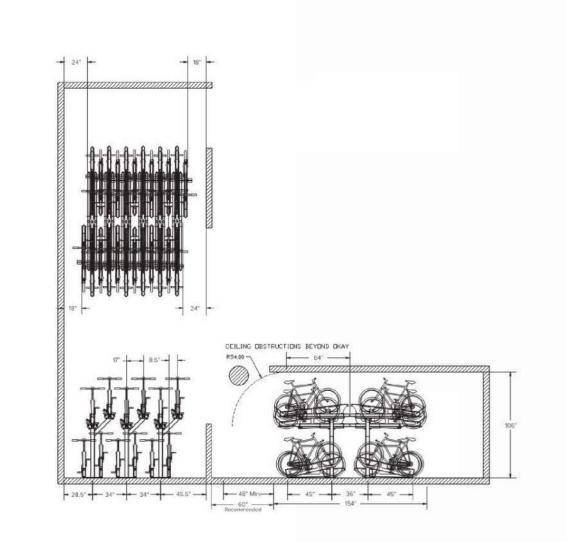


**DERO DECKER** 

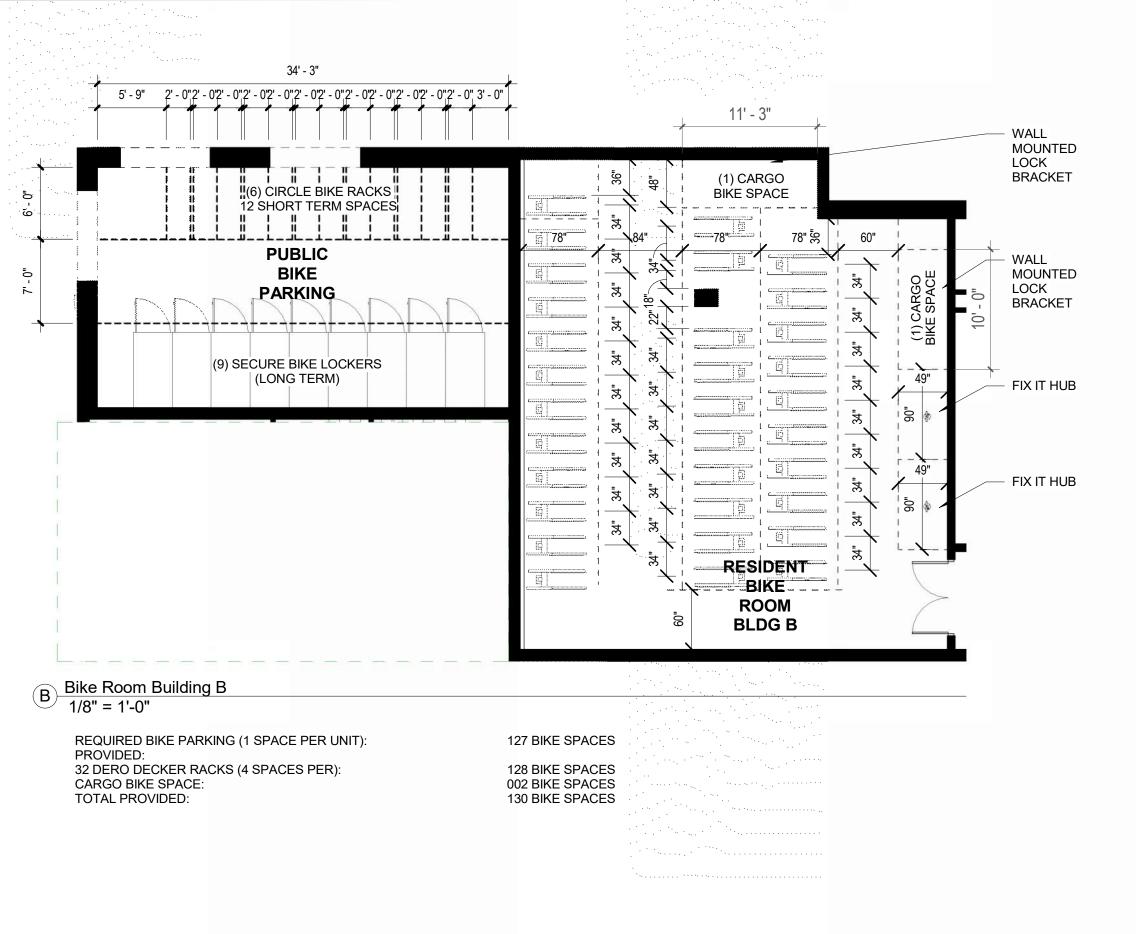


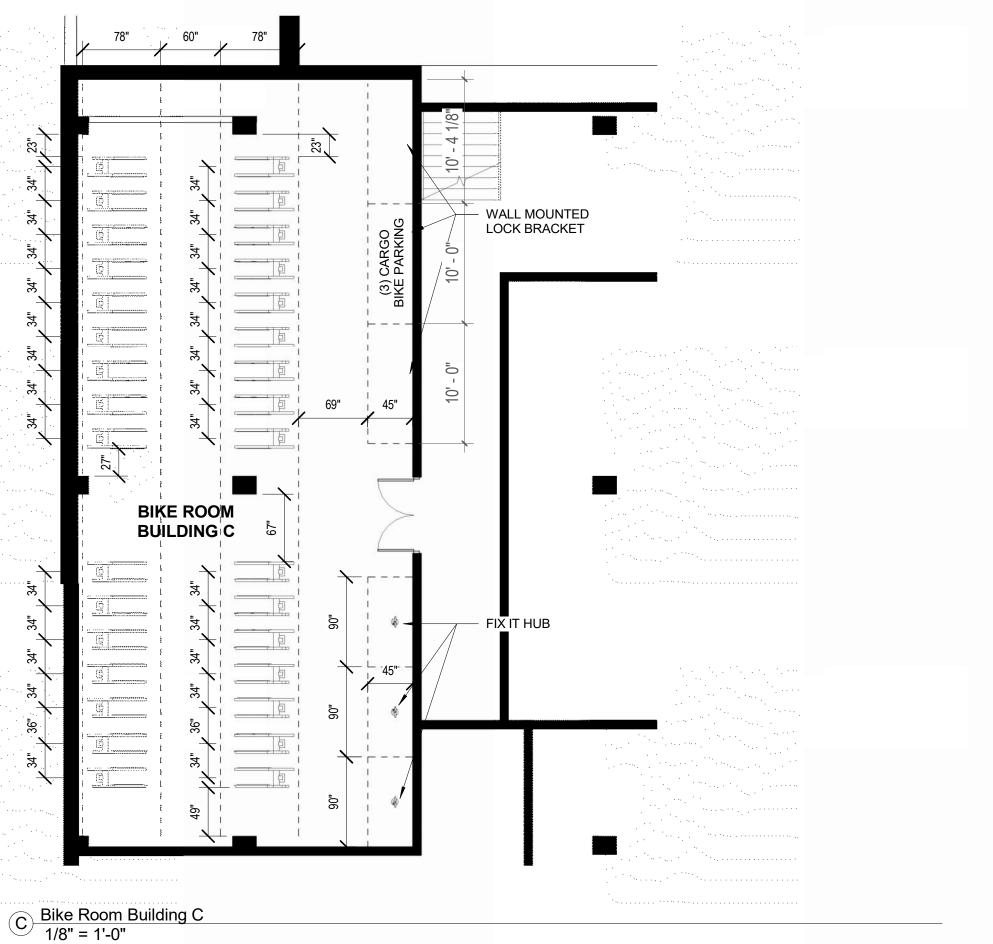
#### **DERO DECKER** Installation Instructions – Setbacks, Double Sided

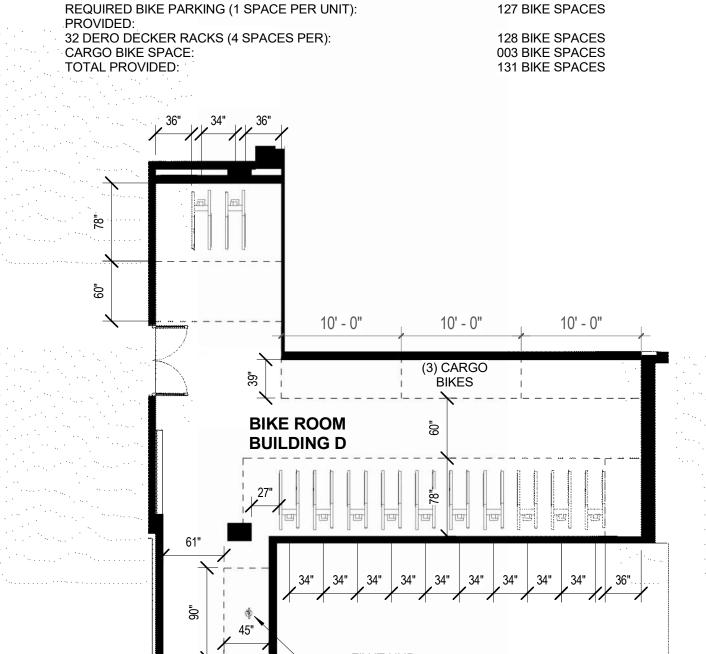
60" 78"

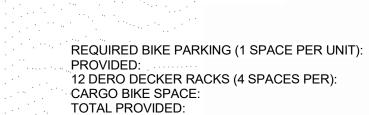






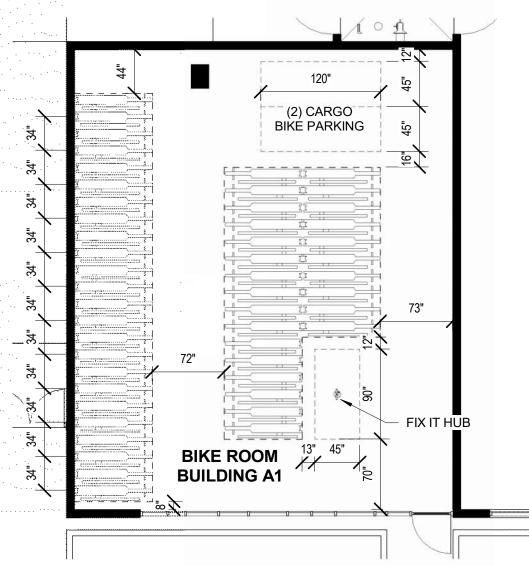


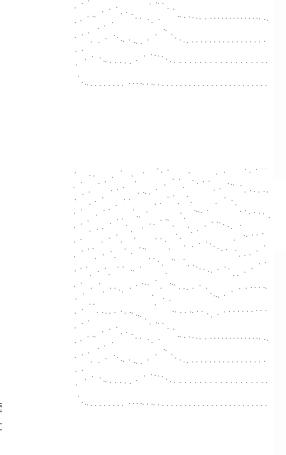




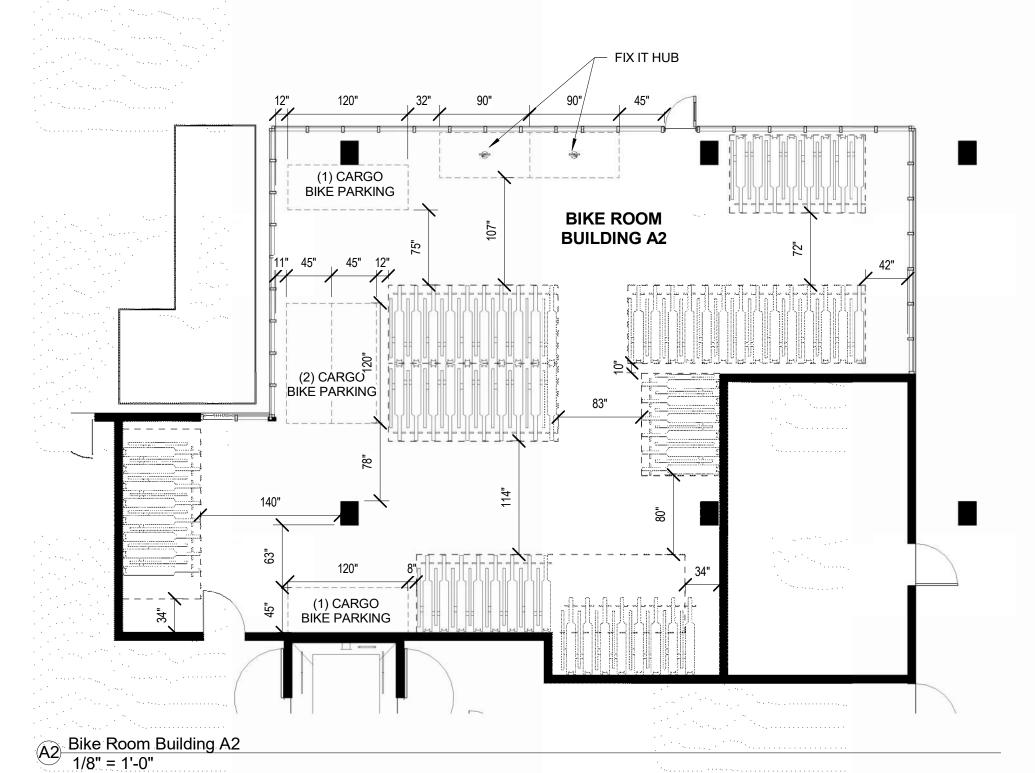
D Bike Room Building D
1/8" = 1'-0"

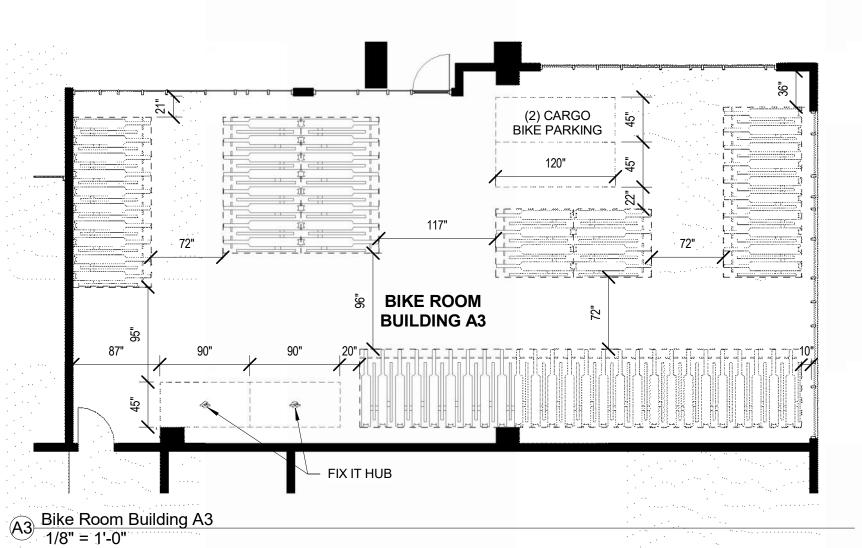
48 BIKE SPACES 48 BIKE SPACES 03 BIKE SPACES 51 BIKE SPACES





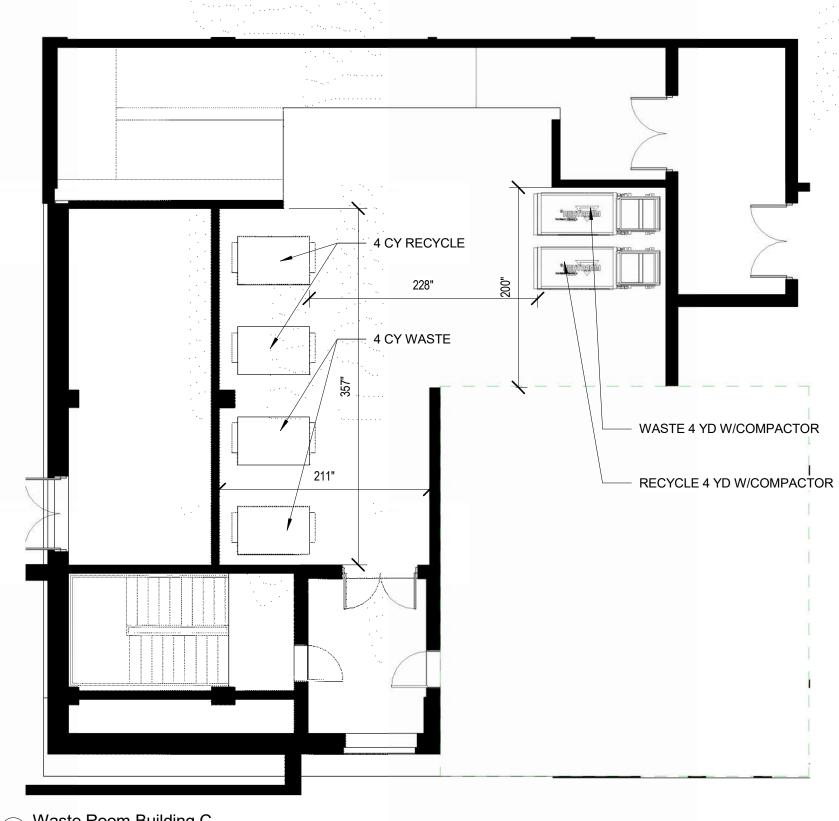
Bike Room Building A1
1/8" = 1'-0"

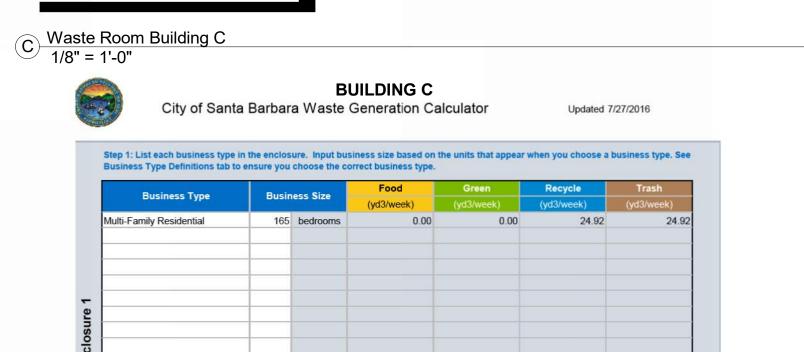




BUILDING A REQUIRED BIKE PARKING (1 SPACE PER UNIT): PROVIDED: 96 DERO DECKER RACKS (4 SPACES PER): CARGO BIKE SPACE: TOTAL PROVIDED:

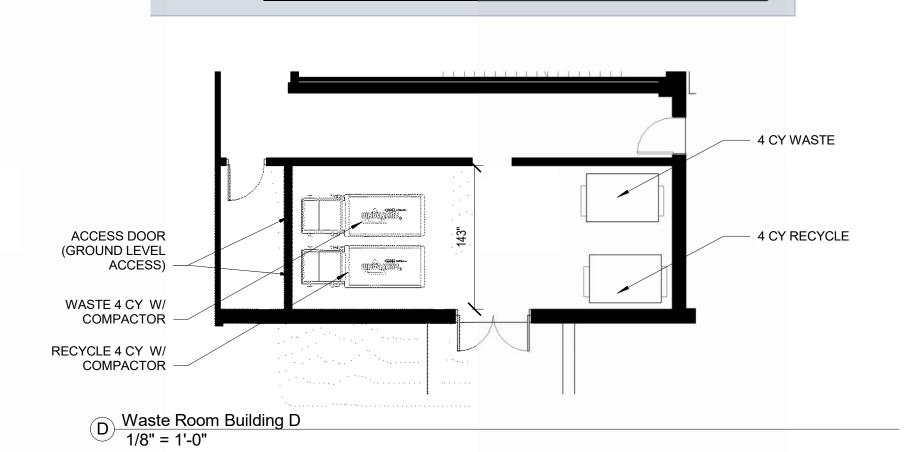
382 BIKE SPACES 384 BIKE SPACES 08 BIKE SPACES 392 BIKE SPACES

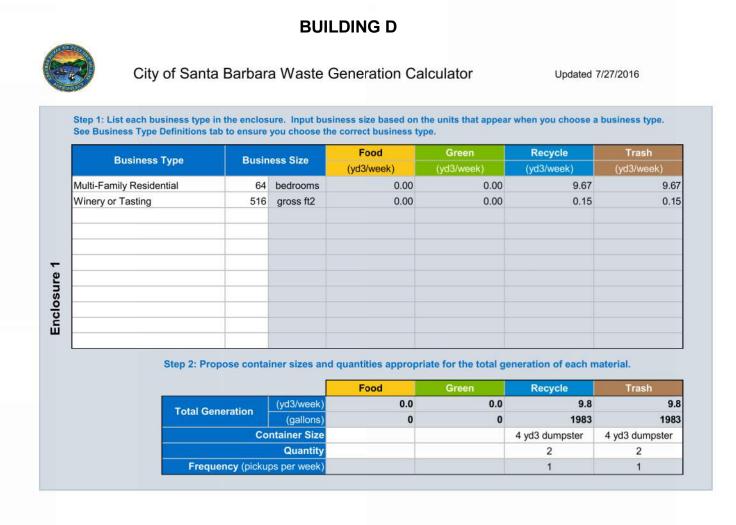


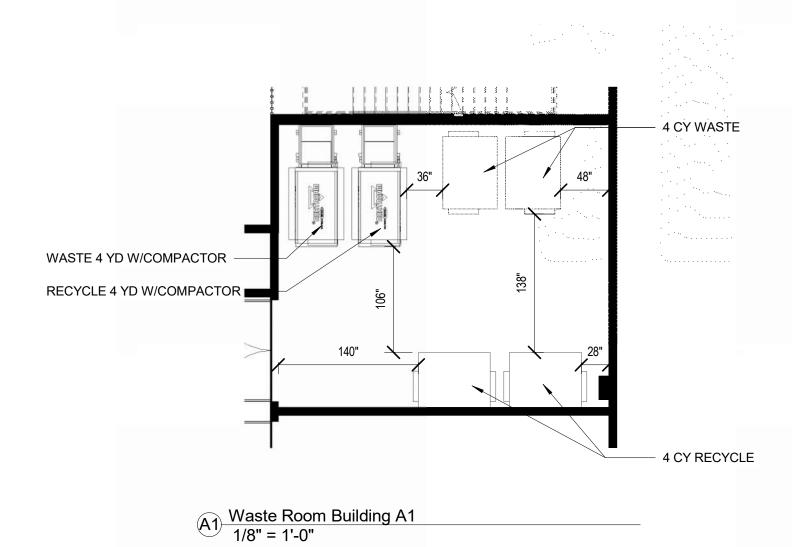


Step 2: Propose container sizes and quantities appropriate for the total generation of each material.

2 yd3 dumpster

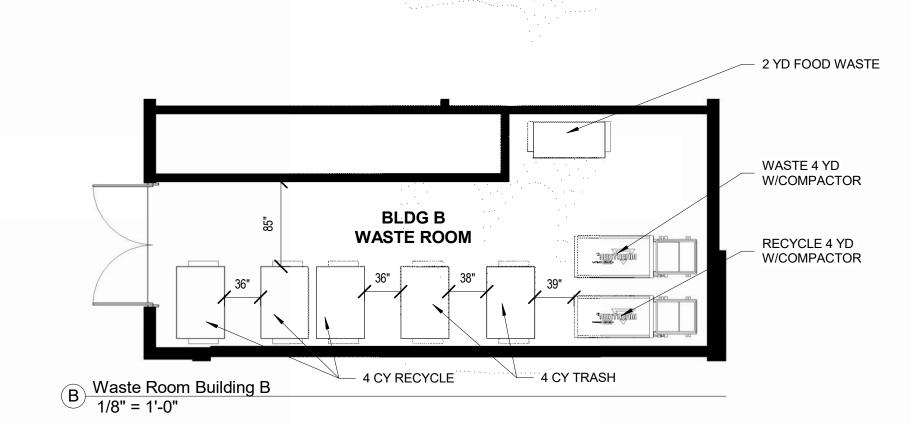




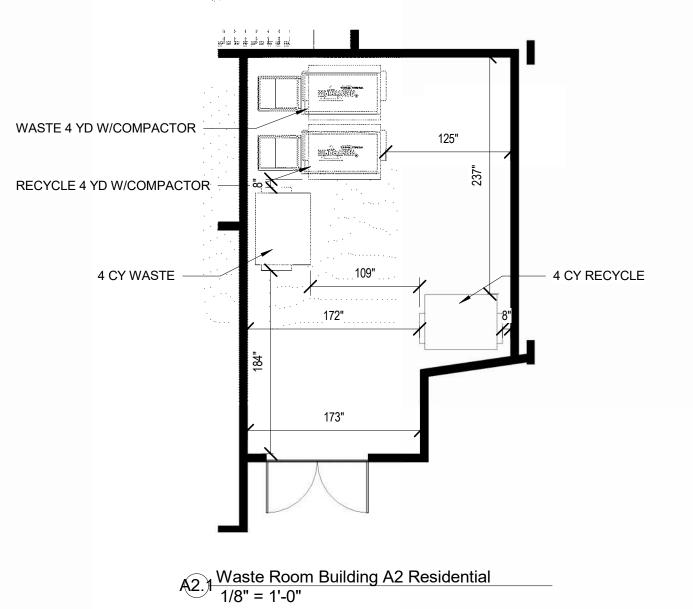


Business Ty	vne Busi	ness Size	Food	Green	Recycle	Trash
Dusiness 1	,,,,	1000 0120	(yd3/week)	(yd3/week)	(yd3/week)	(yd3/week)
Multi-Family Resider	ntial 200	bedrooms	0.00	0.00	30.21	30.2
· ·	Step 2: Propose cor	*	Food	Green	Recycle	Trash
· ·		(yd3/week)	•			Trash
	Step 2: Propose cor	*	Food	Green	Recycle	No. 12
5	Total Generation	(yd3/week)	Food 0.0	Green 0.0	Recycle 30.2	Trash 30.:
5	Total Generation	(yd3/week) (gallons)	Food 0.0	Green 0.0	Recycle 30.2 6102	Trash 30.:

**BUILDING A1** 

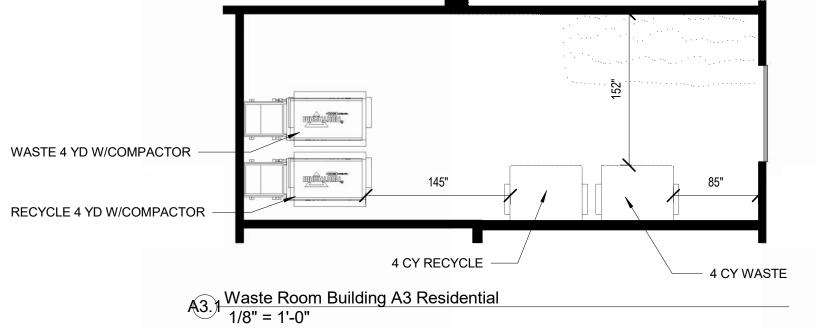


	City of Santa E					Updated 7	A CONTROL OF THE CONT
	Business Type Definitions tab to en	sure you	choose the co		Green	Recycle	Trash
	Business Type	Busin	ess Size	(yd3/week)	(yd3/week)	(yd3/week)	(yd3/week)
	Multi-Family Residential	169	bedrooms	0.00	0.00	25.53	25.5
	Retail	4338	gross ft2	0.00	0.00	2.60	2.6
	Restaurant, full service	1381	gross ft2	0.99	0.00	1.99	1.9
	Coffee Shop	1306	gross ft2	0.99	0.00	4.96	3.9
_	Convenience Store or Gas Station	1044	gross ft2	0.00	0.00	1.51	1.5
Enclosure							
	Step 2: Propos	se conta	iner sizes an	d quantities appropr	riate for the total g	generation of each r	naterial. Trash
	Total Gener	ation	(yd3/week)	2.0	0.0	36.6	35.
	Total Celler	ation	(gallons)	400	0	7390	719
		Co	ntainer Size	2 yd3 dumpster		4 yd3 dumpster	4 yd3 dumpster
			Quantity	1		3	3
	Frequenc	y (picku	os per week)	1		3	3



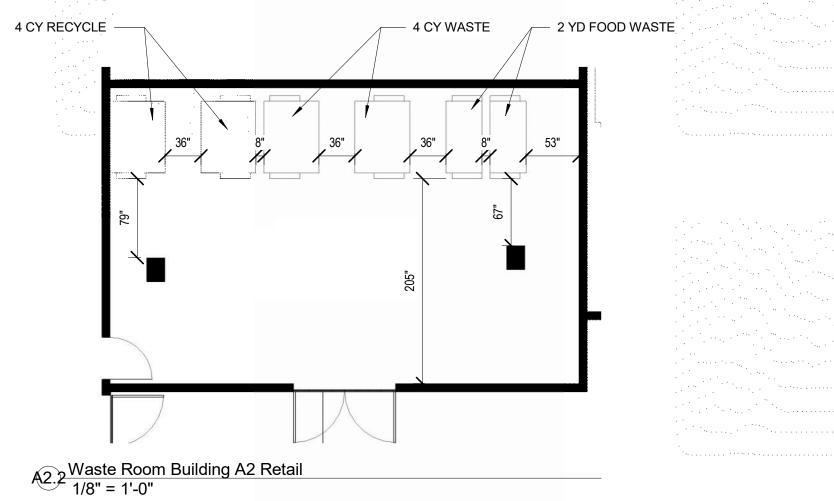
**BUILDING A2 RESIDENTIAL** 

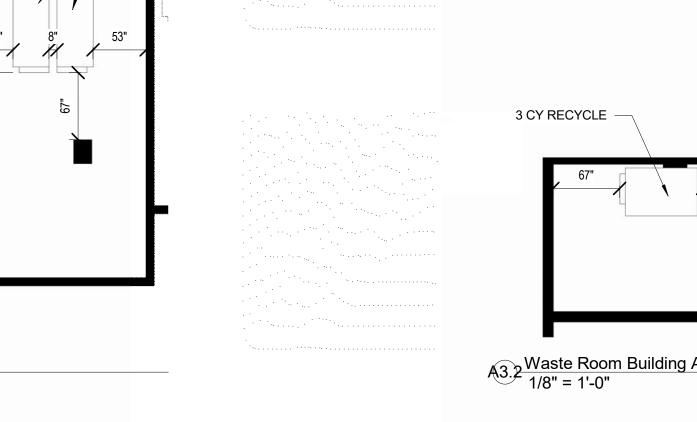
Resi	Business Type	Busir	ness Size	Food (yd3/week)	Green (yd3/week)	Recycle (yd3/week)	Trash (yd3/week)
Room	Multi-Family Residential	138	bedrooms	0.00	0.00	20.84	20.8
r R				Food	Green	Recycle	Trash
Trash	Total	Seneration	(yd3/week)	0.0	0.0	20.8	20.
	Total C	eneration	(gallons)	0	0	4209	420
A2		Col	ntainer Size			4 yd3 dumpster	4 yd3 dumpster
Bldg		ř.	Quantity			2	2
풇	Frequ	ency (pickup	s per week)			3	3

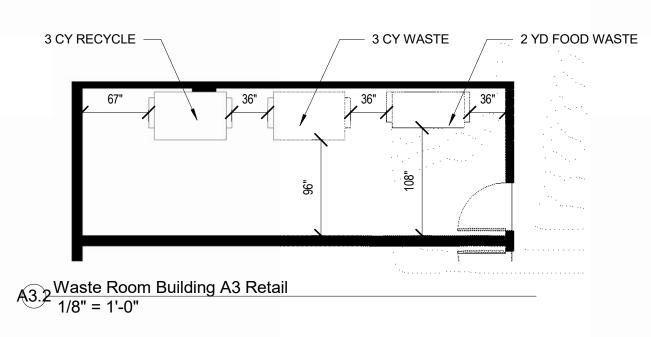


		0:	Food	Green	Recycle	Trash
siness Type	Busir	ness Size	(yd3/week)	(yd3/week)	(yd3/week)	(yd3/week)
ly Residential	169	bedrooms	0.00	0,00	25,53	25.5
			Food	Green	Recycle	Trash
T. (	1.0	(yd3/week)	0.0	0.0	25.5	25.
lota	al Generation	(gallons)	0	0	5156	515
	Con	stainer Cire			4 vd2 dumpeter	4 vd2 dumpeter

**BUILDING A3 RESIDENTIAL** 



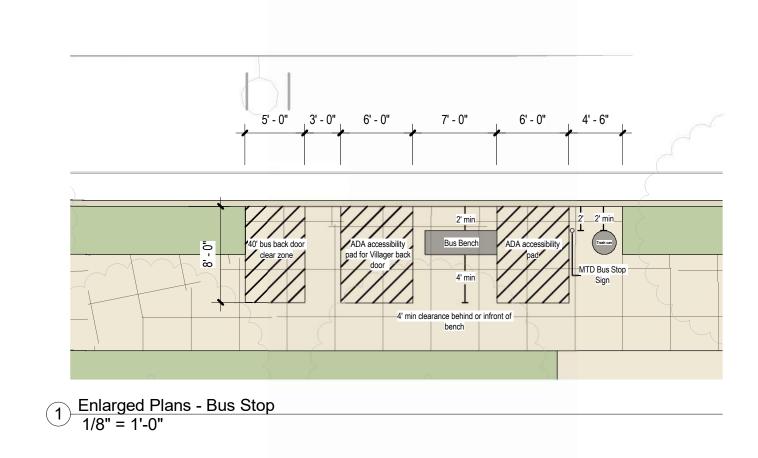


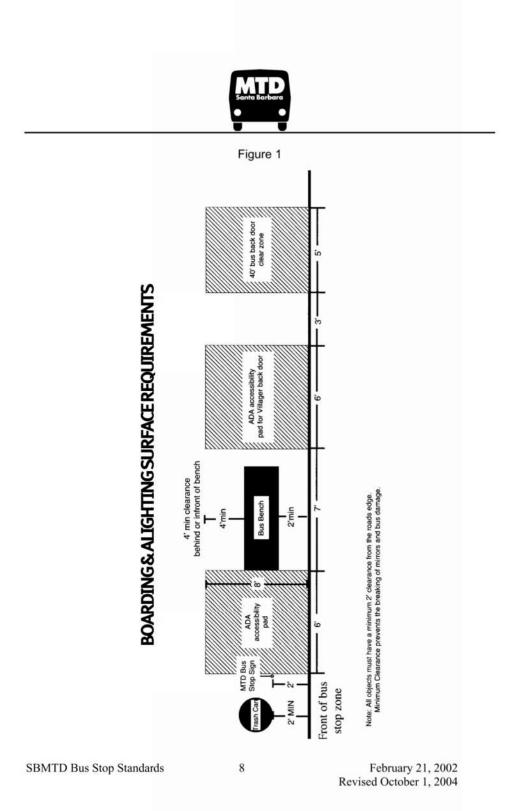


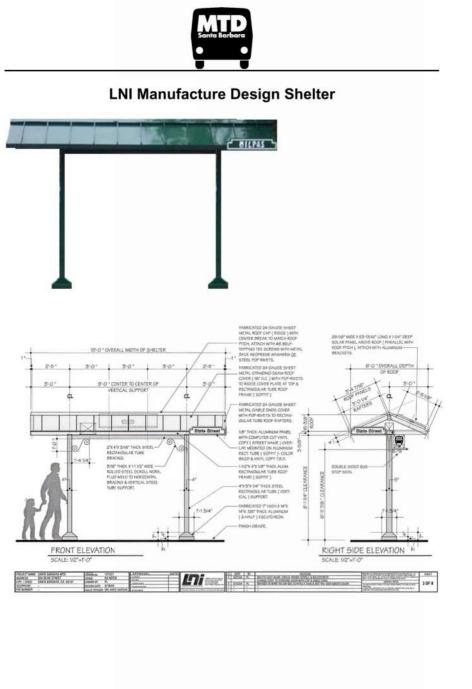
			BU	ILD	ING A2 RETA	AIL		
Retail	Business	Туре В	siness Siz	e.	Food (yd3/week)	Green (yd3/week)	Recycle (yd3/week)	Trash (yd3/week)
ď	Retail	31	47 gross	ft2	0.00	0.00	1.89	1.89
Ε	Coffee Shop		gross	ft2	0.00	0.00	0.00	0.00
8	Bar		35 gross	ft2	0.00	0.00	0.48	0.48
Room	Restaurant, full se	ervice 104	96 gross	ft2	7.56	0.00	15.11	15.11
Trash					Food	Green	Recycle	Trash
Ë			(yd3/w	eek)	7.6	0.0	17.5	17.5
A2		Total Generation	(gall	ons)	1527	0	3531	3531
4			Container	Size	2 yd3 dumpster		4 yd3 dumpster	4 yd3 dumpster
Bldg		100 100 100	Quai	ntity	2		2	2
m		Frequency (pic	kups per w	eek)	2		2	2

Business	Type Bus	iness Size	Food	Green	Recycle	Trash
Deteil	160	7 execute #2	(yd3/week)	(yd3/week)	(yd3/week)	(yd3/week) 0.96
Retail	160		0.00	0.00	0.96	
Coffee Shop	72	5 gross ft2	0.55	0.00	2.76	2.20
			Food	Green	Recycle	Trash
	Table Committee	(yd3/week)	Food 0.6	Green 0.0	Recycle 3.7	Trash 3.2
	Total Generation	(yd3/week) (gallons)	A CONTRACTOR OF THE PARTY OF TH			3.2
	Comment of the Commen	A CONTRACTOR OF THE PARTY OF TH	0.6	0.0	3.7	3.2 638 3 yd3 dumpster
	Comment of the Commen	(gallons)	0.6 111	0.0	3.7 751	3.2 638

**BUILDING A3 RETAIL** 







February 21, 2002 Revised October 1, 2004

SBMTD Bus Stop Standards



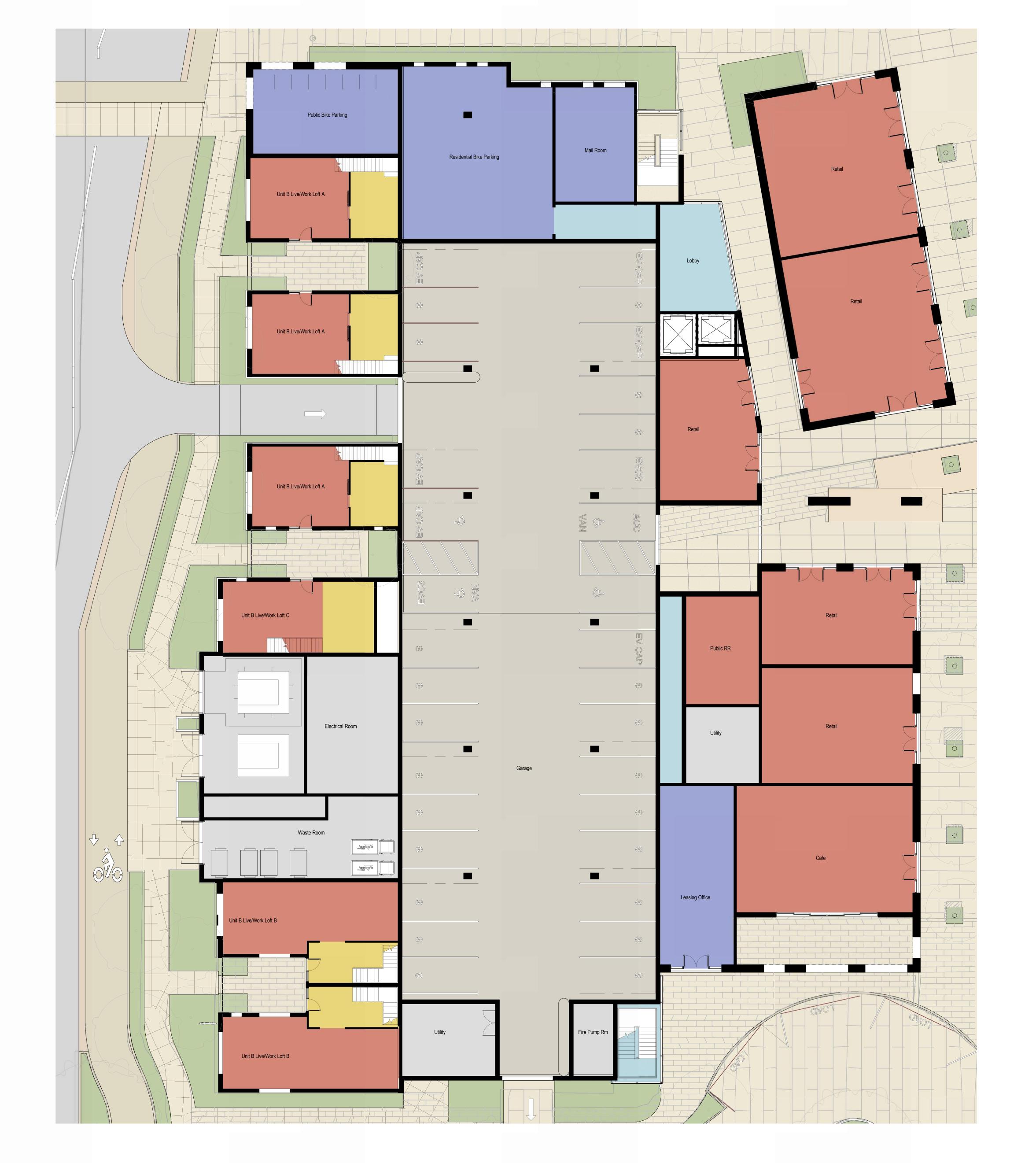
1" = 10'-0"



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A630A2 ENLARGED BUILDING PLAN - LEVEL 1 A2

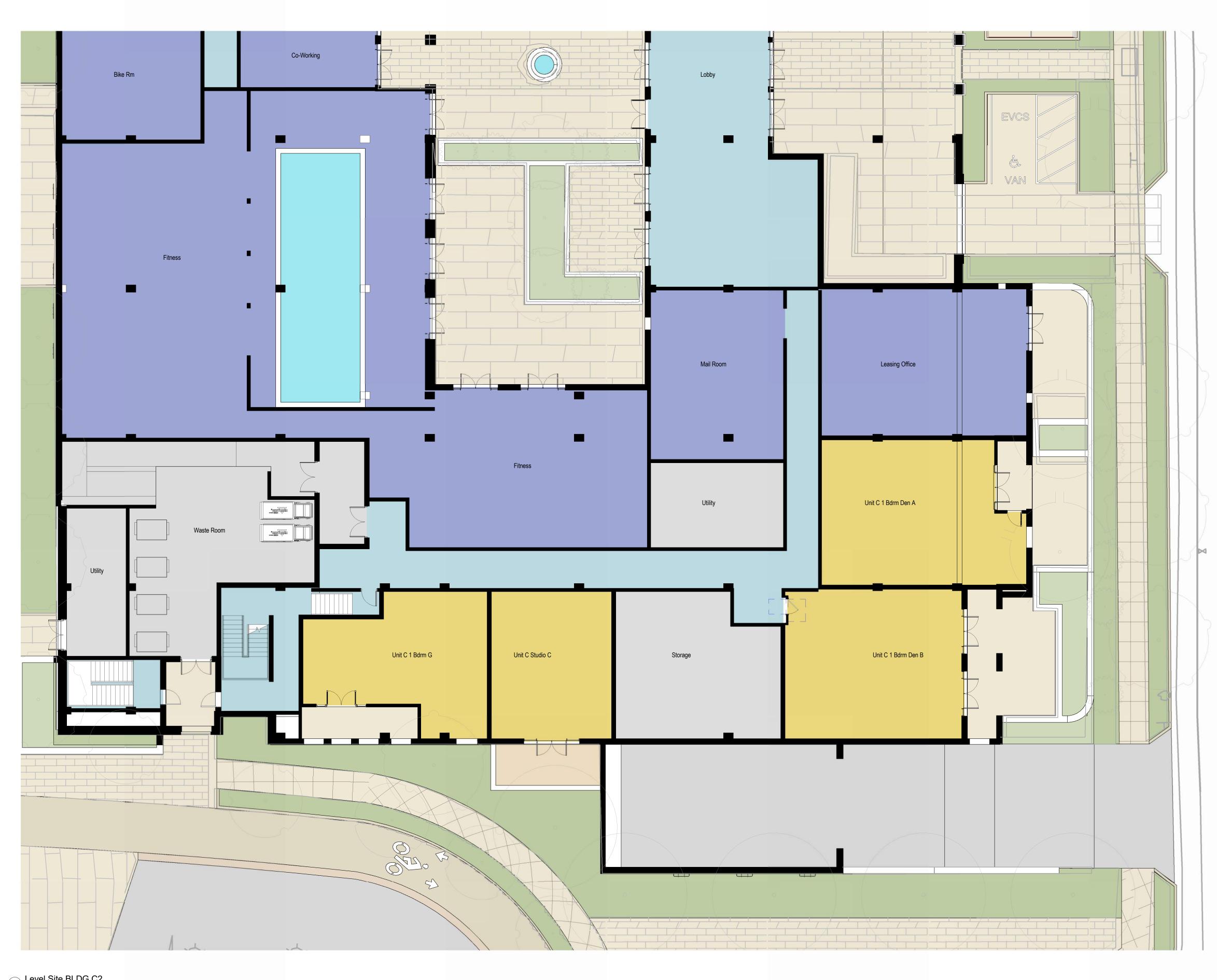
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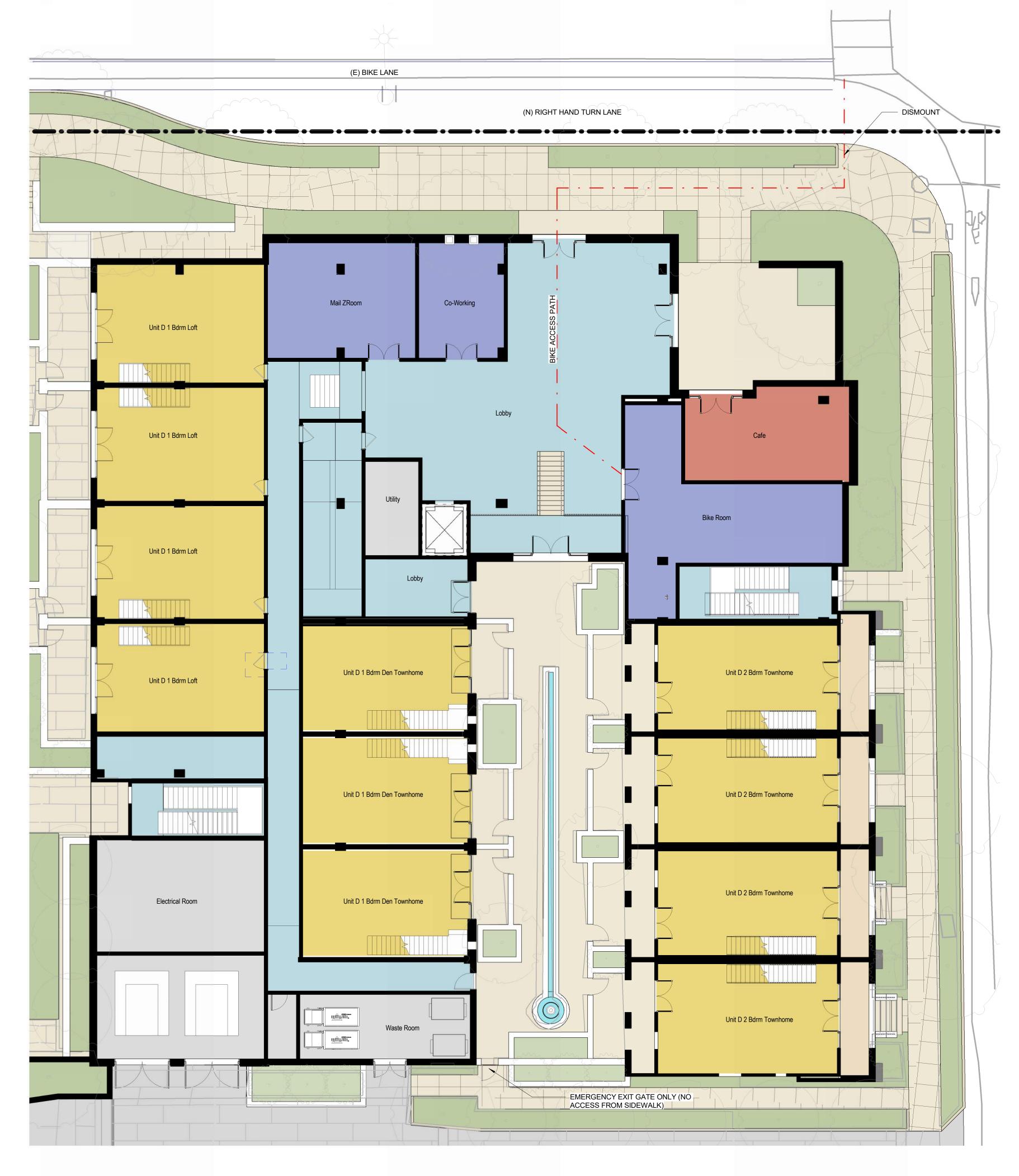


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1 Level Site BLDG D 1" = 10'-0"