



# THE NEIGHBORHOOD @ STATE AND HOPE

SHEET INDEX	
GENERAL	
G000	TITLE SHEET
G010	PROJECT STATISTICS
G020	SITE PHOTOS
G030	PLANNING EXHIBITS
LANDSCAPE ARCHITECTURE	
L001	OVERALL TREE DISPOSITION PLAN
L101	OVERALL SITE PLAN - GROUND LEVEL
L200	IRRIGATION SCHEDULE AND NOTES
L201	OVERALL IRRIGATION SITE PLAN - GROUND LEVEL
L202	OVERALL IRRIGATION SITE PLAN - UPPER LEVELS
L301	OVERALL PLANTING SITE PLAN - GROUND LEVEL
L302	OVERALL PLANTING SITE PLAN - UPPER LEVELS
L401	OVERALL LIGHTING SITE PLAN - GROUND LEVEL
L451	SPECIFICATION SHEET - LANDSCAPE AND ARCH. LIGHTING
L452	SPECIFICATION SHEET - ARCH. LIGHTING
L453	SPECIFICATION SHEET - ARCH. LIGHTING
ARCHITECTURE	
A100	SITE PLAN EXISTING
A110	SITE PLAN/1ST FLOOR PLAN PROPOSED
A200	RESIDENTIAL GARAGE FLOOR PLAN
A201	RESIDENTIAL GARAGE FLOOR PLAN
A202	FLOOR PLAN - LEVEL 2
A203	FLOOR PLAN - LEVEL 3
A204	FLOOR PLAN - LEVEL 4
A205	FLOOR PLAN - LEVEL 5
A206	FLOOR PLAN - LEVEL 6
A207	ROOF PLAN
A300	SITE ELEVATIONS
A301	SITE ELEVATIONS
A302A	BUILDING ELEVATIONS - BLDG A1 & A2
A302B	BUILDING ELEVATIONS - BLDG B
A302CD	BUILDING ELEVATIONS - BLDG C & D
A303A	BUILDING ELEVATIONS - BLDG A3
A310	SITE SECTIONS
A311	SITE SECTIONS
A320A	BUILDING SECTIONS
A320BCD	BUILDING SECTIONS
A330	CONCEPT 3D VIEWS
A331	CONCEPT 3D VIEWS
A332	CONCEPT 3D VIEWS
A333	CONCEPT 3D VIEWS
A334	CONCEPT 3D VIEWS
A341	CONCEPT 3D VIEWS - EXISTING/PROPOSED
A342	CONCEPT 3D VIEWS - EXISTING/PROPOSED
A350	CONCEPT 3D VIEWS - PUBLIC SCENIC VIEWS
A400	FRONTAGE IMPROVEMENT SECTIONS
A401	PLAZA AVE. AND STATE ST. INTERSECTION & BLDG A COMMERCIAL GARAGE PLAN
A500	OPEN YARD/OPEN SPACE PLANS
A501	SITE CIRCULATION DIAGRAMS
A502	FIRE ACCESS DIAGRAM
A503	WASTE MANAGEMENT PLAN
A504	AUTO TURN ANALYSIS
A600A	UNIT PLANS - BLDG A
A600A.1	UNIT PLANS - BLDG A
A600B	UNIT PLANS - BLDG B
A600C	UNIT PLANS - BLDG C
A600C.1	UNIT PLANS - BLDG C
A600D	UNIT PLANS - BLDG D
A620	ENLARGED PLANS BIKE ROOMS
A621	ENLARGED PLANS WASTE ROOMS
A622	ENLARGED PLAN TRANSIT STOP
A630A1	ENLARGED BUILDING PLAN - LEVEL 1 A1
A630A2	ENLARGED BUILDING PLAN - LEVEL 1 A2
A630A3	ENLARGED BUILDING PLAN - LEVEL 1 A3
A630B	ENLARGED BUILDING PLAN - LEVEL 1 B
A630C1	ENLARGED BUILDING PLAN - LEVEL 1 C1
A630C2	ENLARGED BUILDING PLAN - LEVEL 1 C2
A630D	ENLARGED BUILDING PLAN - LEVEL 1 D
CIVIL ENGINEERING	
C-1	TITLE SHEET
C-1	EXISTING SITE CONDITIONS
C-2	SITE PLAN
C-3	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-4	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-5	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-6	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-7	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-8	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-9	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-10	GRADING, DRAINAGE, AND SITE IMPROVEMENTS
C-11	VEHICLE RAMP PROFILES
C-12	COMPOSITE UTILITY PLAN
C-13	PRIVATE SEWER MAIN PLAN AND PROFIL
C-14	CUT FILL MAP EXHIBIT
SW-1	STORMWATER MANAGEMENT PLAN - EXISTING CONDITION
SW-2	STORMWATER MANAGEMENT PLAN - PROPOSED CONDITION
SW-3	SWMP - DMA AND BMP LOCATION MAP
SW-4	SWMP - DMA AND BMP TABLES AND CALCULATIONS
SW-5	SWMP - BMP CONSTRUCTION DETAILS
SW-6	RAINWATER HARVESTING - TYPICAL DETAILS
SW-7	RETENTION SYSTEM 1 - TYPICAL DETAILS
SW-8	RETENTION SYSTEM 2 - TYPICAL DETAILS
SW-9	RETENTION SYSTEM 3 - TYPICAL DETAILS
SW-10	RETENTION SYSTEM 4 - TYPICAL DETAILS
CD-1	SITE SECTIONS
CD-2	SITE SECTIONS
CD-3	CONSTRUCTION DETAILS
CD-4	AGENCY STANDARD DETAILS
CD-5	AGENCY STANDARD DETAILS
CD-6	AGENCY STANDARD DETAILS



PARKING		
<b>REQUIRED</b>		
<b>BIKE PARKING</b>		
REQUIRED:		
RESIDENTIAL REQUIRED:	1 SPACE/UNIT	
REQUIRED RESIDENTIAL:	684 SPACES	
<b>COMMERCIAL REQUIRED:</b>		
REQUIRED COMMERCIAL:	TABLE 30.175.040	
EATING & DRINKING ESTABLISHMENTS:	1:500 (25%/75%)	
RETAIL:	1:1,750 (25%/75%)	
NEIGHBORHOOD MARKET:	4 SHORT TERM	
<b>REQUIRED COMMERCIAL:</b>		
RESTAURANT, BAR, CAFE, FAST CASUAL:	05 SPACES	
14,962.79 SF/500:	30 SPACES	
RETAIL:	9,092.42/1,750:	(08 LONG/22 SHORT)
NEIGHBORHOOD MARKET:	(02 LONG/03 SHORT)	04 SHORT TERM
<b>PROPOSED:</b>		
RESIDENTIAL BIKE PARKING:	>684 SPACES	
(SEE SHEET A620, ENLARGED BIKE ROOMS, FOR TOTAL PROVIDED)		
<b>COMMERCIAL BIKE PARKING:</b>		
RESTAURANT, BAR, CAFE, FAST CASUAL:	30 SPACES	
RETAIL:	(08 LONG/22 SHORT)	
NEIGHBORHOOD MARKET:	05 SPACES	
	(02 LONG/03 SHORT)	04 SHORT TERM

PROPOSED RESIDENTIAL PARKING - BLDG A & B		
TYPE		Count
<b>RESIDENTIAL</b>		
<b>SUBTERRANEAN BUILDING A GARAGE</b>		
ACCESSIBLE STANDARD		5
ACCESSIBLE VAN		1
EV CHARGER		52
EV CHARGER ACCESSIBLE STANDARD		1
EV CHARGER ACCESSIBLE VAN		1
EV CHARGER VAN		3
EV RECEPTACLE		211
EV RECEPTACLE ACCESSIBLE STANDARD		4
EV RECEPTACLE ACCESSIBLE VAN		1
STANDARD		257
		<b>536</b>
<b>TANDEM</b>		
		50
		<b>586</b>
<b>TOTAL PARKING</b>		

PROPOSED RESIDENTIAL PARKING BUILDING C & D		
TYPE		COUNT
<b>RESIDENTIAL</b>		
ACCESSIBLE STANDARD		3
ACCESSIBLE VAN		5
EV CHARGER		26
EV CHARGER ACCESSIBLE VAN		3
EV RECEPTACLE		107
STANDARD		86
		<b>230</b>
<b>TANDEM</b>		
		40
		<b>270</b>
<b>TOTAL PARKING</b>		

PROPOSED RESIDENTIAL PARKING ENTIRE PROJECT		
Comments		COUNT
STANDARD		766
TANDEM		90
TOTAL PARKING		856
OVERALL SITE RATIO FOR RESIDENTIAL (STANDARD STALLS/TOTAL REQ'D):		1.09

PROPOSED COMMERCIAL PARKING - BLDG A & B		
TYPE		Count
<b>COMMERCIAL</b>		
<b>BLDG A GARAGE</b>		
ACCESSIBLE STANDARD		2
ACCESSIBLE VAN		1
EV CAPABLE		10
EVCS		2
EVCS ACCESSIBLE VAN		1
STANDARD		36
BLDG A GARAGE: 52		<b>52</b>
<b>BLDG B GARAGE</b>		
ACCESSIBLE STANDARD		1
ACCESSIBLE VAN		1
EV CAPABLE ACCESSIBLE STANDARD		1
EV CAPABLE		5
EVCS		1
EVCS ACCESSIBLE VAN		1
STANDARD		22
BLDG B GARAGE: 32		<b>32</b>
<b>SUBTERRANEAN BUILDING A GARAGE</b>		
ACCESSIBLE STANDARD		1
ACCESSIBLE VAN		1
EV CAPABLE		6
EVCS		1
EVCS ACCESSIBLE VAN		1
STANDARD		14
SUBTERRANEAN BUILDING A GARAGE: 24		<b>24</b>
TOTAL COMMERCIAL PARKING		<b>108</b>

PROPOSED SITE LOADING SPACES		
TYPE		Count
<b>COMMERCIAL</b>		
<b>BLDG A GARAGE</b>		
LOADING		
(SHORT TERM LOADING		2
<b>SITE</b>		
LOADING		
(SHORT TERM LOADING		9
COMMERCIAL		<b>11</b>
<b>RESIDENTIAL</b>		
<b>BUILDING C</b>		
GUEST		
(EV CHARGER ACCESSIBLE		1
(STANDARD		2
RESIDENTIAL		<b>3</b>

PARKING		
<b>REQUIRED</b>		
<b>VEHICLE PARKING</b>		
REQUIRED:		
COMMERCIAL REQUIRED:	1/250 SF	
RESTAURANT OUTDOOR:	0 SPACES	
(OUTDOOR SPACES < 50% OF THE INTERIOR RESTAURANT AREA)		
<b>RESIDENTIAL</b>		
REQUIRED (AUD):		
STUDIO/1&2 BEDROOM:	1 SPACE/UNIT	
3 BEDROOM:	2 SPACE/UNIT	
GUEST PARKING:	0 SPACES	

REQUIRED PARKING - RESIDENTIAL - A & B		
Unit Type		Req'd Parking
<b>Building A</b>		
1 Bedroom		169
1 Bedroom Jr		26
1 Bedroom Loft		17
2 Bedroom		99
3 Bedroom		26
Studio		58
		<b>395</b>
<b>Building B</b>		
1 Bedroom		56
1 Bedroom Jr		11
1 Bedroom/Den		4
2 Bedroom		34
3 Bedroom		8
Live/Work Loft		6
Studio		13
		<b>131</b>
<b>Building B</b>		
		<b>526</b>
<b>TOTAL PARKING</b>		

REQUIRED PARKING - RESIDENTIAL C & D		
Unit Type		Req'd Parking
<b>Building C</b>		
1 Bedroom		39
1 Bedroom Jr		3
1 Bedroom Loft		3
1 Bedroom Jr Den		15
2 Bedroom		25
3 Bedroom		99
1 Bedroom/Den		16
2 Bedroom		38
Studio		17
		<b>127</b>
<b>Building D</b>		
1 Bedroom		13
1 Bedroom Den Townhome		3
1 Bedroom Loft		3
3 Bedroom/Den		2
2 Bedroom		12
2 Bedroom Townhome		4
Studio		10
		<b>48</b>
<b>Building D</b>		
		<b>175</b>
<b>TOTAL PARKING</b>		

REQUIRED PARKING - RESIDENTIAL ENTIRE PROJECT		
		Req'd Parking
		<b>791</b>

REQUIRED PARKING - COMMERCIAL - BLDG A & B				
Unit Type	Parking Factor	Area	Req'd Parking	
<b>Building A</b>				
BAR	250	525.96 SF	2.10	
CAFE	250	716.12 SF	2.86	
FAST CASUAL	250	194.47 SF	0.78	
FAST CASUAL	250	1105.10 SF	4.42	
FAST CASUAL	250	605.26 SF	2.42	
R/R	0	70.45 SF		
R/R	0	70.88 SF		
R/R	0	41.32 SF		
R/R	0	41.67 SF		
R/R	0	41.68 SF		
R/R	0	41.99 SF		
RESTAURANT	250	1737.11 SF	6.95	
RESTAURANT	250	4457.46 SF	17.83	
RESTAURANT	250	2239.62 SF	8.96	
RETAIL	250	770.62 SF	3.08	
RETAIL	250	965.43 SF	3.84	
RETAIL	250	344.12 SF	1.38	
RETAIL	250	206.78 SF	0.83	
RETAIL	250	421.96 SF	1.69	
RETAIL	250	575.70 SF	2.30	
RETAIL	250	324.26 SF	1.30	
RETAIL	250	595.78 SF	2.38	
		16113.76 SF	63.22	
<b>Building B</b>				
CAFE	250	1244.96 SF	4.98	
Public R/R	0	439.35 SF		
Restaurant	250	1364.33 SF	5.46	
RETAIL	250	742.49 SF	2.97	
RETAIL	250	786.21 SF	3.14	
RETAIL	250	1283.10 SF	5.13	
RETAIL	250	1244.62 SF	4.96	
RETAIL	250	974.01 SF	3.90	
RETAIL (LIVE/WORK)	250	644.95 SF	2.58	
RETAIL (LIVE/WORK)	250	636.69 SF	2.55	
RETAIL (LIVE/WORK)	250	431.85 SF	1.73	
RETAIL (LIVE/WORK)	250	441.93 SF	1.77	
RETAIL (LIVE/WORK)	250	431.86 SF	1.73	
RETAIL (LIVE/WORK)	250	397.06 SF	1.59	
		11063.42 SF	42.50	
<b>Building D</b>				
Cafe	250	502.36 SF	2.01	
		502.36 SF	2.01	
TOTAL COMMERCIAL PARKING		27679.54 SF	107.73	

NOTE:  
THERE ARE 24 COMMERCIAL PARKING SPACES LOCATED IN THE SUBTERRANEAN BUILDING A GARAGE. THESE SPACES WILL BE DEDICATED TO COMMERCIAL EMPLOYEE PARKING.

PROJECT AREAS				
PLANNING NET BY USE		PLANNING GROSS BY USE		
Name	Area	Name	Area	
<b>Amenity</b>				
Bike Room	12683.42 SF	Bike Room	13187.29 SF	
Co-Working	1946.79 SF	Co-Working	2007.59 SF	
Common Area	13925.13 SF	Common Area	14663.01 SF	
Dog Spa	385.26 SF	Dog Spa	398.08 SF	
Fitness	6456.10 SF	Fitness	6705.96 SF	
Leasing Office	3641.06 SF	Leasing Office	3775.56 SF	
Lounge	2618.16 SF	Lounge	2708.40 SF	
Mail Room	2064.58 SF	Mail Room	2167.32 SF	
	<b>43720.49 SF</b>	<b>Amenity</b>	<b>45613.23 SF</b>	
<b>Circulation</b>				
Circulation	98138.98 SF	Circulation	98691.13 SF	
Elevator	1070.30 SF	Elevator	1102.16 SF	
Lobby	13633.20 SF	Lobby	14916.99 SF	
Stair	4823.65 SF	Stair	5007.71 SF	
	<b>117666.12 SF</b>	<b>Circulation</b>	<b>119177.99 SF</b>	
<b>Commercial</b>				
Bar	534.78 SF	Bar	580.63 SF	
Cafe	2550.78 SF	Cafe	2693.87 SF	
Fast Casual	1985.83 SF	Fast Casual	2046.14 SF	
Market	1044.17 SF	Market	1073.33 SF	
Restaurant	9891.40 SF	Restaurant	10163.17 SF	
Retail	9092.47 SF	Retail	9547.94 SF	
Retail Live/Work	3045.82 SF	Retail Live/Work	3229.32 SF	
	<b>28145.26 SF</b>	<b>Commercial</b>	<b>29434.39 SF</b>	
<b>Garage</b>				
Commercial Garage	32280.70 SF	Commercial Garage	32316.98 SF	
Residential Garage	116462.81 SF	Residential Garage	118470.12 SF	
Subterranean Building A Garage	232630.52 SF	Subterranean Building A Garage	237419.39 SF	
	<b>381374.03 SF</b>	<b>Garage</b>	<b>388206.49 SF</b>	
<b>Residential</b>				
Residential	552976.62 SF	Residential	570635.25 SF	
<b>Residential</b>				
<b>Utility</b>				
Elec Room	6711.37 SF	Elec Room	6883.81 SF	
Public Restrooms	466.21 SF	Public Restrooms	485.99 SF	
Storage	13262.75 SF	Storage	13504.22 SF	
Utility	20157.51 SF	Utility	20736.81 SF	
Waste Room	5966.00 SF	Waste Room	10206.81 SF	
	<b>50563.94 SF</b>	<b>Utility</b>	<b>51617.64 SF</b>	
Grand total	<b>1174446.37 SF</b>	<b>GROSS</b>	<b>1205425.00 SF</b>	

UNIT STATISTICS			
TOTAL UNIT TYPE BY BUILDING			
Unit Type	%	Count	
<b>Building A</b>			
1 Bedroom	44.24%	169	
1 Bedroom Jr	6.81%	26	
1 Bedroom Loft	4.45%	17	
2 Bedroom	25.92%	99	
3 Bedroom	3.40%	13	
Studio	15.18%	58	
	<b>100.00%</b>	<b>382</b>	
<b>Building B</b>			
1 Bedroom	43.31%	55	
1 Bedroom Jr	8.66%	11	
1 Bedroom/Den	3.15%	4	
2 Bedroom	26.77%	34	
3 Bedroom	3.15%	4	
Live/Work Loft	4.72%	6	
Studio	10.24%	13	
	<b>100.00%</b>	<b>127</b>	
<b>Building C</b>			
1 Bedroom	30.71%	39	
1 Bedroom Jr	11.81%	15	
1 Bedroom Jr Den	2.36%	3	
1 Bedroom/Den	11.81%	15	
2 Bedroom	29.92%	39	
Studio	13.39%	17	
	<b>100.00%</b>	<b>127</b>	
<b>Building D</b>			
1 Bedroom	27.08%	13	
1 Bedroom Den Townhome	6.25%	3	
1 Bedroom Loft	8.33%	4	
1 Bedroom/Den	4.17%	2	
2 Bedroom	25.00%	12	
2 Bedroom Townhome	8.33%	4	
Studio	20.83%	10	
	<b>100.00%</b>	<b>48</b>	

TOTAL UNIT COUNT BY TYPE			
Name	%	Count	CC
1 Bedroom			
1 Bedroom	39.62%	271	
1 Bedroom Den Townhome	0.44%	3	
1 Bedroom Jr	7.60%	52	
1 Bedroom Jr Den	0.44%	3	
1 Bedroom Loft	3.07%	21	
1 Bedroom/Den	3.07%	21	
Live/Work Loft	0.88%	6	
Studio	0.58%	4	
	55.70%	381	
2 Bedroom			
1 Bedroom	0.73%	5	
2 Bedroom	26.75%	183	
2 Bedroom Townhome	0.58%	4	
	28.07%	192	
3 Bedroom			
3 Bedroom	2.49%	17	
	2.49%	17	
Studio			
Studio	13.74%	94	
Studio	13.74%	94	
TOTAL UNITS	100.00%	684	





WESTERN PARKING LOT ADJACENT TO BRISTOL FARMS LOOKING NORTH



HOPE AVE MID BLOCK AT LOADING DOCK TO MACY'S



STATE ST AND HOPE AVE



WESTERN PARKING LOT ADJACENT TO ONE STORY SHOPPING STRIP LOOKING AT WEST PROPERTY



EASTERN PARKING LOT LOOKING AT THE EAST SIDE OF MACY'S AND ADJACENT SHOPPING MALL



STATE ST MID BLOCK



WESTERN PARKING LOT LOOKING EAST AT SITE AND ADJACENT LURE RESTAURANT



SEAR'S SITE LOOKING NORTH



STATE ST NORTHWEST CORNER ADJACENT TO GRACE VILLAGE APARTMENTS





# LEGEND

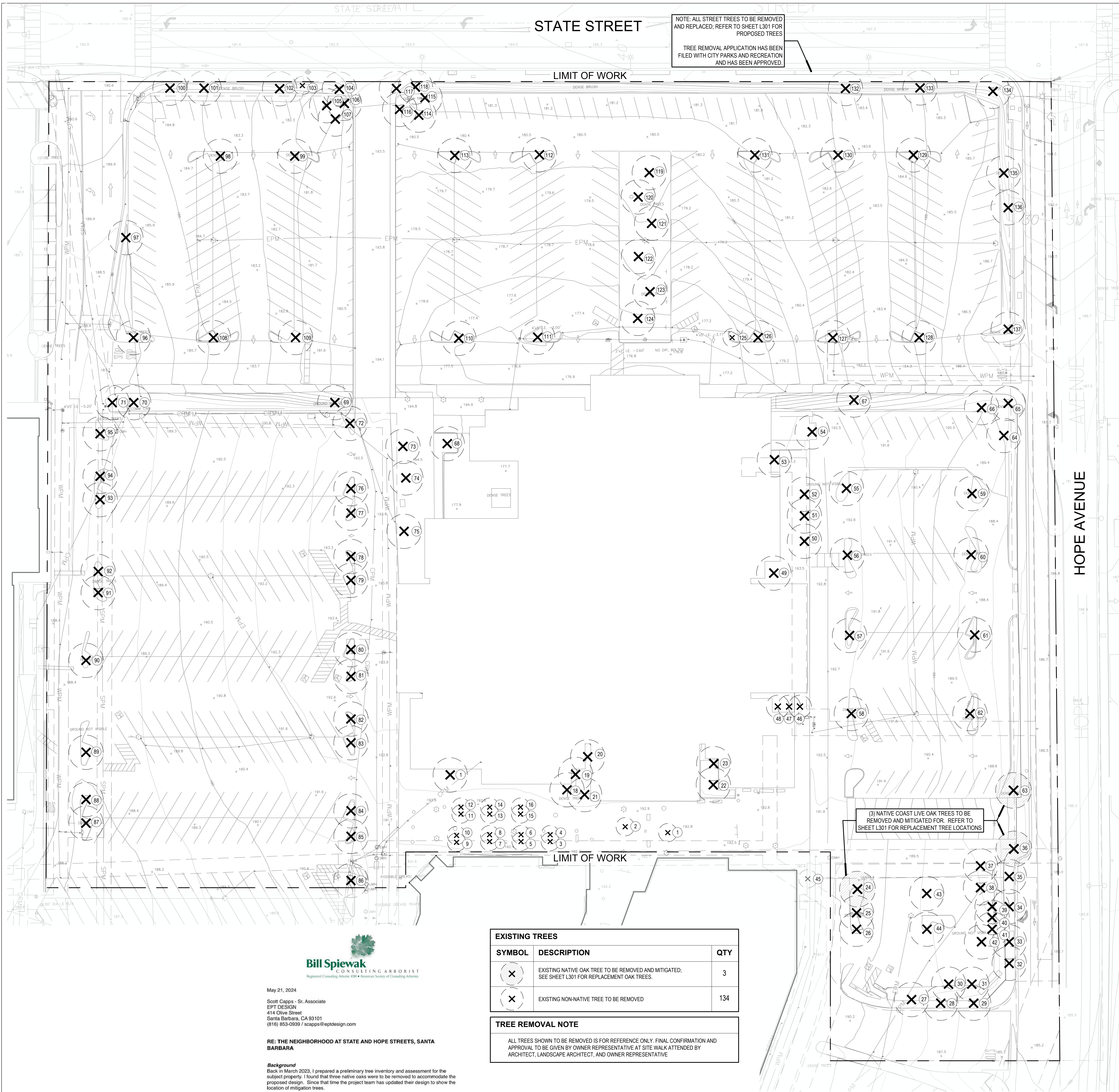
xx' - xx"  
Finish Grade

## NOTES

1. Finish grade at site perimeter is at or close to existing finish grade.
2. Finish grade internal to site are proposed grades.
3. Existing grade shown in gray tone as a part of the project survey.

① Grade Plane for Measuring Proposed Building Height  
1" = 30'-0"





EXISTING TREE INFORMATION

EXISTING TREE INFORMATION PREPARED BY CERTIFIED ARBORIST BILL SPIEWAK. FOR FURTHER INFORMATION REFER TO "PRELIMINARY TREE INVENTORY AND ASSESSMENT" DATED MARCH 21, 2023, PREPARED BY CERTIFIED ARBORIST BILL SPIEWAK.

#	Common Name	Genus and species	Dbh	Height	Health	Structure
1	Queen Palm	<i>Syagrus romanzoffiana</i>	9	M	G	
2	Queen Palm	<i>Syagrus romanzoffiana</i>	10	M	G	
3	Queen Palm	<i>Syagrus romanzoffiana</i>	10	M	G	
4	Queen Palm	<i>Syagrus romanzoffiana</i>	12	M	G	
5	Queen Palm	<i>Syagrus romanzoffiana</i>	10	M	G	
6	Queen Palm	<i>Syagrus romanzoffiana</i>	10	M	G	
7	Queen Palm	<i>Syagrus romanzoffiana</i>	11	M	G	
8	Queen Palm	<i>Syagrus romanzoffiana</i>	12	M	G	
9	Queen Palm	<i>Syagrus romanzoffiana</i>	10	M	G	
10	Queen Palm	<i>Syagrus romanzoffiana</i>	8	M	G	
11	Queen Palm	<i>Syagrus romanzoffiana</i>	12	M	G	
12	Queen Palm	<i>Syagrus romanzoffiana</i>	11	M	G	
13	Queen Palm	<i>Syagrus romanzoffiana</i>	10	M	G	
14	Queen Palm	<i>Syagrus romanzoffiana</i>	12	M	G	
15	Queen Palm	<i>Syagrus romanzoffiana</i>	12	M	G	
16	Queen Palm	<i>Syagrus romanzoffiana</i>	9	M	G	
17	African Fern Pine	<i>Afrocarpus falcatus</i>	16	L	G	G
18	African Fern Pine	<i>Afrocarpus falcatus</i>	24	L	G	G
19	African Fern Pine	<i>Afrocarpus falcatus</i>	15	L	G	G
20	African Fern Pine	<i>Afrocarpus falcatus</i>	15	L	G	G
21	African Fern Pine	<i>Afrocarpus falcatus</i>	4	S	G	G
22	European Olive	<i>Olea europaea</i>	6/6	M	G	G
23	Pigmy Date Palm	<i>Phoenix roebelenii</i>	4	S	G	G
24	California Live Oak	<i>Quercus agrifolia</i>	26	M	G	G
25	Tipu Tree	<i>Tipuana tipu</i>	18	M	G	G
26	Tipu Tree	<i>Tipuana tipu</i>	13	M	G	G
27	Lemon Scented Gum	<i>Corymbia citriodora</i>	13	L	G	F
28	Peppermint Leaf Eucalyptus	<i>Eucalyptus nicholii</i>	28	L	G	F
29	Peppermint Leaf Eucalyptus	<i>Eucalyptus nicholii</i>	18	L	G	F
30	Tipu Tree	<i>Tipuana tipu</i>	9	S	G	F
31	Tipu Tree	<i>Tipuana tipu</i>	17	M	G	G
32	Queen Palm	<i>Syagrus romanzoffiana</i>	12	M	G	
33	Queen Palm	<i>Syagrus romanzoffiana</i>	11	M	G	
34	Queen Palm	<i>Syagrus romanzoffiana</i>	13	M	G	
35	Queen Palm	<i>Syagrus romanzoffiana</i>	10	M	G	
36	California Live Oak	<i>Quercus agrifolia</i>	8	S	G	F
37	Tipu Tree	<i>Tipuana tipu</i>	22	M	G	G
38	Tipu Tree	<i>Tipuana tipu</i>	19	M	G	F
39	Mexican Fan Palm	<i>Washingtonia robusta</i>	10	S	G	
40	Mexican Fan Palm	<i>Washingtonia robusta</i>	8	S	G	
41	Mexican Fan Palm	<i>Washingtonia robusta</i>	14	M	G	
42	Mexican Fan Palm	<i>Washingtonia robusta</i>	12/12	M	G	
43	Tipu Tree	<i>Tipuana tipu</i>	10	M	G	F
44	Tipu Tree	<i>Tipuana tipu</i>	14	M	G	F
45	King Palm	<i>Archontophoenix cunninghamiana</i>	5	S	G	
46	Tipidanthus	<i>Heptapleurum calyptrotum</i>	7	S	G	F
47	Tipidanthus	<i>Heptapleurum calyptrotum</i>	9/12	M	G	F
48	Tipidanthus	<i>Heptapleurum calyptrotum</i>	5/4	S	G	F
49	African Fern Pine	<i>Afrocarpus falcatus</i>	18	L	G	P
50	Brazilian Pepper	<i>Schinus terebinthifolius</i>	15	M	Dead	
51	Brazilian Pepper	<i>Schinus terebinthifolius</i>	16	M	G	F
52	Brazilian Pepper	<i>Schinus terebinthifolius</i>	20	M	G	F
53	Tipidanthus	<i>Heptapleurum calyptrotum</i>	10/6/4	S	G	F
54	Montezuma Pine	<i>Pinus radiata</i>	10	M	P	P
55	European Olive	<i>Olea europaea</i>	11/14	M	F	F
56	European Olive	<i>Olea europaea</i>	24	M	F	F
57	European Olive	<i>Olea europaea</i>	24	M	P	F
58	European Olive	<i>Olea europaea</i>	30	M	P	F
59	European Olive	<i>Olea europaea</i>	25	M	F	F
60	European Olive	<i>Olea europaea</i>	15/22	M	F	F
61	European Olive	<i>Olea europaea</i>	15/13	M	P	P
62	European Olive	<i>Olea europaea</i>	12/11/10	M	F	F
63	California Live Oak	<i>Quercus agrifolia</i>	9	M	G	F
64	American Sweet Gum	<i>Liquidambar styraciflua</i>	16	M	G	F
65	American Sweet Gum	<i>Liquidambar styraciflua</i>	12	M	G	F
66	American Sweet Gum	<i>Liquidambar styraciflua</i>	11	M	G	F
67	American Sweet Gum	<i>Liquidambar styraciflua</i>	13	M	G	F
68	African Fern Pine	<i>Afrocarpus falcatus</i>	14	M	G	F
69	American Sweet Gum	<i>Liquidambar styraciflua</i>	18	M	G	F
70	American Sweet Gum	<i>Liquidambar styraciflua</i>	15	M	G	F
71	American Sweet Gum	<i>Liquidambar styraciflua</i>	13	M	G	F
72	European Olive	<i>Olea europaea</i>	24	M	G	F
73	Unknown		8	S	P	P
74	Unknown		10	S	F	F
75	Unknown		8	S	P	P
76	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	F	F
77	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	F	F
78	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	F	F
79	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	F	F
80	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	F	F
81	Southern Magnolia	<i>Magnolia grandiflora</i>	4	S	P	P
82	Southern Magnolia	<i>Magnolia grandiflora</i>	4	S	F	F
83	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	P	P
84	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	P	P
85	Southern Magnolia	<i>Magnolia grandiflora</i>	4	S	P	P
86	Southern Magnolia	<i>Magnolia grandiflora</i>	5	S	F	F
87	Tipu Tree	<i>Tipuana tipu</i>	10	M	G	G
88	Tipu Tree	<i>Tipuana tipu</i>	8	M	G	G
89	Tipu Tree	<i>Tipuana tipu</i>	20	M	G	G
90	Tipu Tree	<i>Tipuana tipu</i>	12	M	G	G
91	Tipu Tree	<i>Tipuana tipu</i>	11	M	G	G
92	Tipu Tree	<i>Tipuana tipu</i>	17	M	G	G
93	Tipu Tree	<i>Tipuana tipu</i>	11	M	G	G
94	Tipu Tree	<i>Tipuana tipu</i>	11	M	G	G
95	Tipu Tree	<i>Tipuana tipu</i>	12	M	G	P
96	European Olive	<i>Olea europaea</i>	20	M	G	G
97	Chinese Flame Tree	<i>Koelreuteria bipinnata</i>	10	S	P	P
98	Southern Magnolia	<i>Magnolia grandiflora</i>	11	S	G	G
99	Southern Magnolia	<i>Magnolia grandiflora</i>	9	M	P	P
100	European Olive	<i>Olea europaea</i>	12	M	F	F
101	Brisbane Box	<i>Lophostemon confertus</i>	8	M	G	G
102	Brisbane Box	<i>Lophostemon confertus</i>	13	M	G	G
103	Mexican Fan Palm	<i>Washingtonia robusta</i>	10	S	G	
104	European Olive	<i>Olea europaea</i>	18	M	G	G
105	American Sweet Gum	<i>Liquidambar styraciflua</i>	10	M	F	P
106	American Sweet Gum	<i>Liquidambar styraciflua</i>	8	M	F	P
107	American Sweet Gum	<i>Liquidambar styraciflua</i>	8	M	F	P
108	Southern Magnolia	<i>Magnolia grandiflora</i>	7	S	P	F
109	Southern Magnolia	<i>Magnolia grandiflora</i>	10	S	F	F
110	Southern Magnolia	<i>Magnolia grandiflora</i>	8	S	F	F
111	Southern Magnolia	<i>Magnolia grandiflora</i>	7	S	F	F
112	Southern Magnolia	<i>Magnolia grandiflora</i>	8	S	P	P
113	Southern Magnolia	<i>Magnolia grandiflora</i>	9	S	F	F
114	American Sweet Gum	<i>Liquidambar styraciflua</i>	10	M	P	P
115	American Sweet Gum	<i>Liquidambar styraciflua</i>	5	M	P	P
116	American Sweet Gum	<i>Liquidambar styraciflua</i>	8	M	F	F
117	African Fern Pine	<i>Afrocarpus falcatus</i>	4	S	G	P
118	European Olive	<i>Olea europaea</i>	15	M	G	G
119	Chinese Flame Tree	<i>Koelreuteria bipinnata</i>	15/17	M	G	F
120	Chinese Flame Tree	<i>Koelreuteria bipinnata</i>	14/15	M	G	F
121	Chinese Flame Tree	<i>Koelreuteria bipinnata</i>	17/12	M	G	F
122	Chinese Flame Tree	<i>Koelreuteria bipinnata</i>	16/11	M	G	F
123	Chinese Flame Tree	<i>Koelreuteria bipinnata</i>	13/19	M	G	F
124	Chinese Flame Tree	<i>Koelreuteria bipinnata</i>	17/18	M	G	F
125	Washingtonia robusta	<i>Washingtonia robusta</i>	16	L	G	P
126	Southern Magnolia	<i>Magnolia grandiflora</i>	6	S	P	P
127	Southern Magnolia	<i>Magnolia grandiflora</i>	7	S	F	F
128	Southern Magnolia	<i>Magnolia grandiflora</i>	7	S	F	F
129	Southern Magnolia	<i>Magnolia grandiflora</i>	8	S	F	F
130	Southern Magnolia	<i>Magnolia grandiflora</i>	10	S	F	F
131	Southern Magnolia	<i>Magnolia grandiflora</i>	9	S	F	F
132	Brisbane Box	<i>Lophostemon confertus</i>	6/3	M	G	G
133	Brisbane Box	<i>Lophostemon confertus</i>	10	M	G	G
134	European Olive	<i>Olea europaea</i>	12/8	M	G	G
135	Brisbane Box	<i>Lophostemon confertus</i>	10	M	G	F
136	Brisbane Box	<i>Lophostemon confertus</i>	8	M	G	G
137	European Olive	<i>Olea europaea</i>	21	M	G	G

EPTDESIGN

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THE  
NEIGHBORHOOD  
AT STATE AND  
HOPE

APN  
051-010-013

CITY OF SANTA BARBARA,  
CALIFORNIA

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JOB NUMBER  
22-048

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MILESTONES / SUBMITTALS

DESCRIPTION	DATE
PLN SUBMITTAL	05/31/2024
PLN SUBMITTAL	08/30/2024

REVISIONS

NO.	DESCRIPTION	DATE

OVERALL TREE  
DISPOSITION PLAN

L001

SCALE: REFER TO PLAN DATE:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)





- Legend
- 1

Central Plaza (Public)  
Iconic Specimen Tree as Landmark  
Raised Community Lawn  
Open, Flexible, Event Space  
Variety of Seating  
Enhanced Paving
- 2

Community Plaza (Public)  
Specimen Trees  
Raised Seating Platforms  
Community Gathering Space  
Variety of Seating  
Enhanced Paving
- 3

Pedestrian Paseos (Public)  
Network of Paseos  
Gateway Trees  
Raised Planters  
Variety of Seating  
Enhanced Paving
- 4

Pedestrian Corridors (Public)  
Retractable Bollards for Fire Access  
Gateway Trees  
Moveable Furniture  
Enhanced Paving
- 5

Resident Courts (Private)  
Resident Amenities  
Shade Trees  
Variety of Seating  
Secured Fencing and Gates
- 6

Open Space  
Shade Trees  
Variety of Seating  
Passive Recreation  
Community Connections
- 7

Street Tree
- 8

Sidewalk
- 9

Bike Lane
- 10

Bike Parking  
Residential: >684 spaces  
Commercial:  
Long Term Provided: 10 spaces  
Short Term Provided: 29 spaces  
Refer to Sheet A620 for more information

- Trees, such as:
- Iconic Specimen  
Western Sycamore  
(Platanus racemosa)

Gateway / Entry  
Jacaranda (Jacaranda mimosifolia)

State Street Tree  
Per City of Santa Barbara Master  
Street Tree Plan:  
Strawberry Tree (Arbutus 'Marina')



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MILESTONES / SUBMITTALS	
DESCRIPTION	DATE
PLN SUBMITTAL	05/31/2024
PLN SUBMITTAL	08/30/2024


REVISIONS		
NO.	DESCRIPTION	DATE

OVERALL SITE PLAN  
- GROUND LEVEL



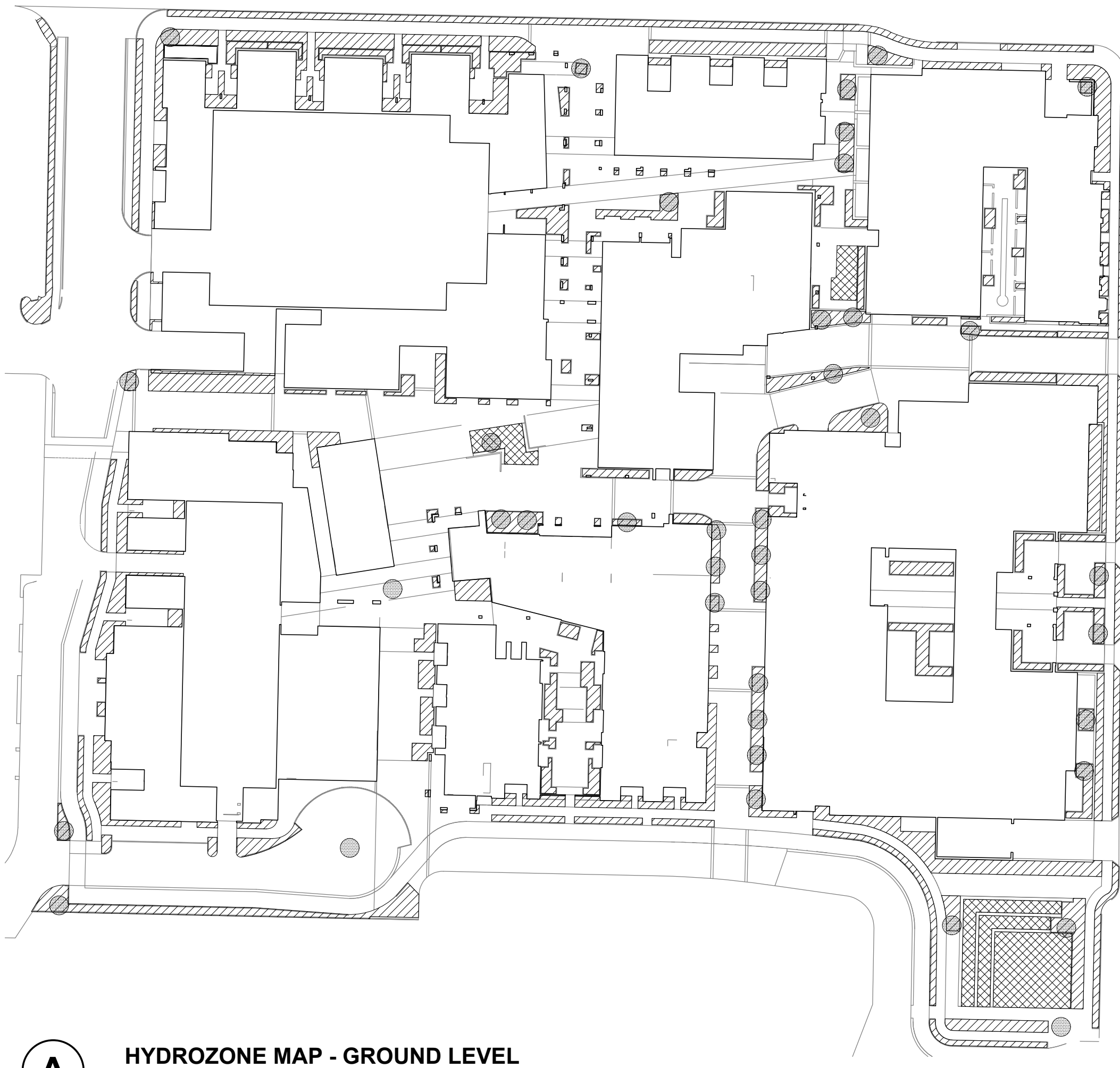
PENETRATION IRRIGATION LEGEND	
	PODIUM SIDE WALL PENETRATION FOR PRESSURE MAINLINE, CONTROL WIRE CONDUIT OR NON-PRESSURE LATERAL LINE. TRANSITION FROM PVC TO COPPER PIPE AT PODIUM SIDE WALL PENETRATION. IRRIGATION CONTRACTOR SHALL CONNECT TO COPPER PIPE BELOW FINISH GRADE IN PERIMETER LANDSCAPE PLANTER.
	PRESSURIZED MAINLINE POINT OF CONNECTION TO FLOOR BELOW OR FLOOR ABOVE. DIRECTION OF CONTINUING MAINLINE TO PENETRATE CEILING ABOVE OR FLOOR BELOW PER PLANS.
	PRESSURE MAINLINE PLUMBING P.O.C. CONNECT PRESSURE MAINLINE PIPING TO PLUMBING SUB-OUT PROVIDED BY PLUMBING CONTRACTOR (TYPICAL). VERIFY LOCATION IN FIELD. EXACT LOCATION TO BE NOTED ON AS-BUILT RECORD DRAWINGS. IRRIGATION PIPING SHALL BE SECURED TO STRUCTURE WITH STRUCTURE PENETRATION TO LANDSCAPE PLANTER ABOVE. COPPER PIPE, COPPER FITTINGS, AND PENETRATION BY PLUMBING CONTRACTOR. PENETRATION SHOWN FOR DESIGN CLARIFICATION ONLY. PLUMBING CONTRACTOR TO DESIGN/BUILD IRRIGATION PLUMBING BASED ON THE IRRIGATION DESIGN PLANS. ALL INSTALLATION BY PLUMBING CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. COORDINATE ALL WORK WITH GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL WATER PROOF ALL STRUCTURE PENETRATIONS. SIZE NOTED.
	NON-PRESSURE LATERAL PLUMBING P.O.C. CONNECT NON-PRESSURE LATERAL PIPING TO PLUMBING SUB-OUT PROVIDED BY PLUMBING CONTRACTOR (TYPICAL). VERIFY LOCATION IN FIELD. EXACT LOCATION TO BE NOTED ON AS-BUILT RECORD DRAWINGS. IRRIGATION PIPING SHALL BE SECURED TO STRUCTURE WITH STRUCTURE PENETRATION TO LANDSCAPE PLANTER ABOVE. COPPER PIPE, COPPER FITTINGS, AND PENETRATION BY PLUMBING CONTRACTOR. PENETRATION SHOWN FOR DESIGN CLARIFICATION ONLY. PLUMBING CONTRACTOR TO DESIGN/BUILD IRRIGATION PLUMBING BASED ON THE IRRIGATION DESIGN PLANS. ALL INSTALLATION BY PLUMBING CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. COORDINATE ALL WORK WITH GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL WATER PROOF ALL STRUCTURE PENETRATIONS. SIZE NOTED.
	IRRIGATION CONTROL WIRE CONDUIT. IRRIGATION CONTROL WIRE CONDUIT FROM AUTOMATIC CONTROLLER TO PLANTERS. ALL CONDUIT, "J"-BOXES, SWEEP ELLS, ETC. REQUIRED TO INSTALL IRRIGATION CONTROL WIRE SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. VERIFY LOCATION IN FIELD. IRRIGATION CONTROL WIRE FROM THE AUTOMATIC CONTROLLER TO ELECTRIC CONTROL VALVES SHALL BE PROVIDED AND INSTALLED BY THE IRRIGATION CONTRACTOR. VALVES SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR. PENETRATION SHOWN FOR DESIGN CLARIFICATION ONLY. ELECTRICAL CONTRACTOR TO DESIGN/BUILD IRRIGATION CONTROL WIRE CONDUITS BASED ON THE IRRIGATION DESIGN PLANS. ALL INSTALLATION BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. COORDINATE ALL WORK WITH GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL WATER PROOF ALL STRUCTURE PENETRATIONS. SIZE NOTED.

WATER DEMAND STUDY									
Reference Evapotranspiration (ETo)			40.6 Santa Barbara		Project ETAF		0.55		
Valve #	Hydrozone # /Planting Descriptions*	Plant Factor (PF)	Irrigation Method <sup>2</sup>	Irrigation Efficiency (IE) <sup>3</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>4</sup>	
Regular Landscape Areas									
Ground	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	38,247	14,165.56	356,575.36	
Ground	Trees	0.5	Drip	0.81	0.62	900	555.56	13,984.44	
2nd Lvl	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	12,109	4,484.96	112,895.30	
3rd Lvl	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	305	112.96	2,843.50	
4th Lvl	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	890	329.63	8,297.44	
5th Lvl	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	16,960	6,281.48	158,117.45	
6th Lvl	Trees, Shrubs, GC	0.3	Drip	0.81	0.37	3247	1,202.59	30,271.66	

Landscape Compliance Checklist	
<b>LANDSCAPE COMPLIANCE CHECKLIST</b> V23	
The person who prepared the landscape plan must complete and sign this checklist and include it on the landscape plans. Read each checked line and add sheet references to verify compliance, or indicate N/A if "not applicable".	
1) Limit Your Lawn	Sheet #
✓ No turfgrass or high water using plants in parkways, medians, or areas with dimension of < 6 feet	L301
✓ No turfgrass or high-water using plants located on slopes of 20% or greater	L301
2) Plant Water-Wise	Sheet #
✓ Nonresidential projects are designed with 100% water-wise plants, or City WELS Worksheet shows ETAF of 0.37 or less and is reproduced on plans	L301/L302
✓ Residential projects are designed with 80% water-wise plants, or City WELS Worksheet shows ETAF of 0.5 or less and is reproduced on plans	N/A
✓ Plant list includes botanical name, common name, and WUCOLS classification	L301/L302
✓ Plans show total square feet of all new/revised landscaping and provide total sub-areas of irrigated water-wise, moderate, high water use plants	L301/L302
3) Mulch, Mulch, Mulch	Sheet #
✓ All appropriate landscaped areas will be covered with at least 3" mulch, organic is preferred	L301/L302
✓ Compost incorporated into soil of landscaped area, if soil is <6% organic matter in top 6"	N/A
4) Irrigate Efficiently	Sheet #
✓ A weather-based irrigation controller with a rain shutoff sensor is provided	L200
✓ Drip irrigation, with emitters with < 2 GPH, is provided on at least 25% of the landscaped area	L200
✓ If required, plans show private irrigation sub-meter or City issued dedicated irrigation meter	L200
✓ Pressure regulators are provided for mainline, if necessary; inline regulators at each valve	L200
✓ Manual shut-off valve close to point of connection provided	L201
✓ For projects > 5,000 square feet, flow sensor and master shut-off valve is provided	L200
✓ Hydrozones clearly demonstrated on plans and valves show hydrozones separated based on plant water needs. Hydrozones do not mix low, moderate and high water using plants	L200
✓ Irrigation systems are designed to avoid overspray and runoff	L201/L202
✓ Areas less than 8' are irrigated with bubblers, pop-up rotating nozzle, sub-surface, or drip	L200
✓ Overhead irrigation at least 24" setback of any non-permeable surface	N/A
✓ Sprinklers have matched precipitation rates within each valve and circuit	L200
✓ Sprinklers have uniform distribution, head-to-head spacing, and setbacks from paved areas	L200
5) Certify	
I certify that the foregoing is true and correct and that verification will be necessary upon final inspection.	
Signature	Scott Capps
	6896 04/30/2025
	License # and Exp. Date

GENERAL IRRIGATION NOTES	
1.	ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
2.	CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE BEGINNING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3.	CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE COMMENCING WORK.
4.	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
5.	IRRIGATION AS SHOWN IS A REPRESENTATIVE SYSTEM DIAGRAM. ALL EQUIPMENT SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
6.	CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
7.	INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH APPLICABLE JURISDICTIONAL REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
8.	ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE IRRIGATION LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
9.	CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. IT IS RECOMMENDED TO MEASURE FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
10.	THESE PLANS ARE DIAGRAMMATIC, THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES. TYPICAL TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.
11.	ACTUAL LOCATIONS FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND AUTOMATIC CONTROLLER(S) ARE TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT.
12.	CONTRACTOR SHALL INSTALL ADDITIONAL CHECK VALVES TO IRRIGATION HEADS AND LATERALS AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
13.	CONTRACTOR SHALL PROVIDE AN ADDITIONAL PILOT WIRE FROM EACH CONTROLLER ALONG THE ENTIRETY OF THE MAINLINE ROUTE TO THE LAST REMOTE CONTROL VALVE ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRE AT BOTH ENDS.
14.	MAINLINE AND LATERAL LINE PIPING WITHIN BUILDINGS OR STRUCTURES SHALL BE TYPE K COPPER AND IS SHOWN FOR CLARITY ONLY. ACTUAL DESIGN AND ROUTING SHALL BE COMPLETED BY THE PLUMBING ENGINEER AND INSTALLED BY THE PLUMBING CONTRACTOR. EACH SUB-OUT WITHIN EACH PLANTER SHALL HAVE A COPPER FEMALE ADAPTER FOR THE LANDSCAPE CONTRACTOR CONNECTION. ALL PIPING THROUGH BUILDING TO EXTERIOR AND THROUGH BUILDING TO UPPER FLOOR SHALL BE PROVIDED BY PLUMBER.
15.	ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN, AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED ACCORDINGLY TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES, HARDSCAPE, ETC. THIS INCLUDES BUT IS NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS, AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
16.	THE PREPARATION OF IRRIGATION SYSTEM AS-BUILT DRAWINGS ARE A CONDITION OF THE CONTRACT. THESE DOCUMENTS SERVE AS WORK PROGRESS SHEETS. CONTRACTOR SHALL PROVIDE DAILY UPDATES TO THESE PLANS BY NEATLY AND LEGIBLY NOTATING CHANGES FROM THE CONTRACT DRAWINGS ON THE LOCATION(S), SIZE(S) AND/OR TYPES OF MATERIALS OR EQUIPMENT AS INSTALLATION OCCURS. ANY GRAPHIC CHANGES SHOULD MATCH THE SYMBOL NOMENCLATURE AS ILLUSTRATED WITHIN THE CONTRACT DRAWINGS. AS-BUILT SHALL BE AVAILABLE AT ALL TIMES FOR REVIEW BY THE OWNER'S AUTHORIZED REPRESENTATIVE OR LANDSCAPE ARCHITECT.

OBSERVATION SCHEDULING	
THE LANDSCAPE CONTRACTOR SHALL BE SCHEDULE AN IRRIGATION SITE OBSERVATION BY THE IRRIGATION DESIGNER, AND/OR THE OWNER'S REPRESENTATIVE, WHICH SHALL NOT OCCUR WITHOUT AT LEAST 48 HOURS PRIOR NOTIFICATION. THE FOLLOWING ITEMS SHALL BE REVIEWED:	
1.	PRE-JOB/KICK-OFF MEETING WITH CONTRACTOR, GENERAL CONTRACTOR, AND IRRIGATION DESIGNER.
2.	MAINLINE, BASKET STRAINERS, MASTER VALVES, FLOW SENSORS, BOOSTER PUMP INSTALLATION AND OPERATION, INSTALLATION REVIEW PRIOR TO BACKFILLING TRENCHES, IRRIGATION MAINLINE PRESSURE TEST, ETC.
3.	FINALIZING THE LOCATION FOR THE CONTROLLER ASSEMBLIES - LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION DESIGNER TO VERIFY CONNECTION OF FLOW SENSORS AND ASSOCIATED EQUIPMENT TO EACH CONTROLLER ASSEMBLY AND FOR CERTIFICATION/WARRANTY OF EQUIPMENT.
4.	IRRIGATION COVERAGE TEST - A DYNAMIC PRESSURE TEST SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR AND SHALL BE OBSERVED BY THE OWNER (OR THE OWNER'S REPRESENTATIVE) AND THE IRRIGATION DESIGNER FOR EACH VALVE DURING THE IRRIGATION COVERAGE TEST.



A HYDROZONE MAP - GROUND LEVEL  
Scale: NTS

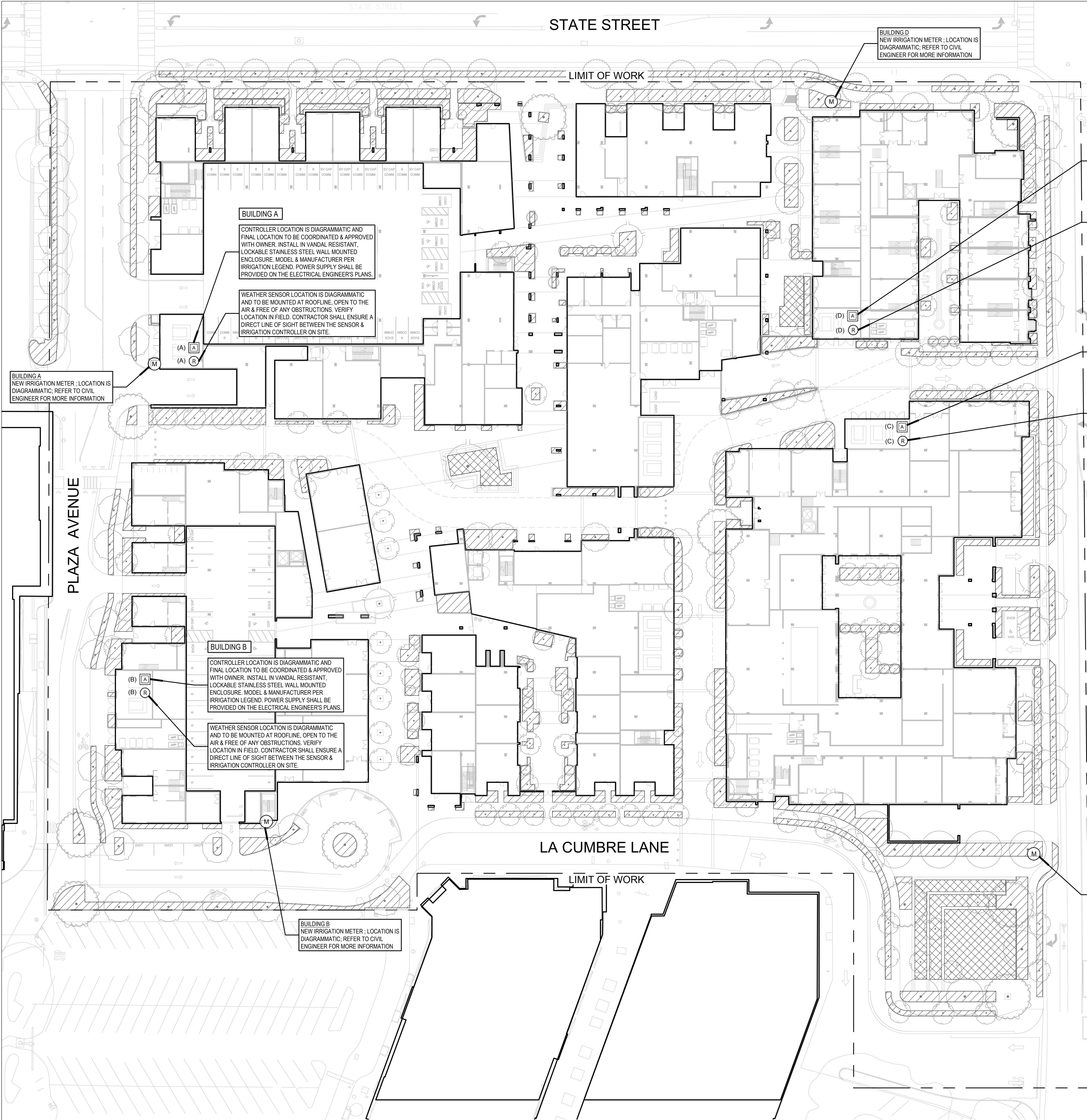
IRRIGATION CONSTRUCTION NOTES	
1	POC NOTE
THE LANDSCAPE CONTRACTOR SHALL PURCHASE AND INSTALL FOUR (4) DOMESTIC WATER METER LOCATED PER THE CIVIL ENGINEERS SEWER & WATER PLAN AND AS SHOWN ON THE IRRIGATION PLAN. VERIFY THAT THE STATIC PRESSURE IS .80 PSI PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH AND INSTALL MAINLINE TO THE FLANGED GATE VALVES, BACKFLOW, QUICK COUPLER, MASTER VALVE, AND FLOW SENSOR PER THE IRRIGATION LEGEND AND DETAILS. REFER TO THE IRRIGATION PLANS FOR SIZING. REFER TO IRRIGATION LEGEND AND IRRIGATION CONSTRUCTION NOTES FOR MODEL NUMBERS. INSTALL THE FLOW SENSOR PER THE MANUFACTURER'S RECOMMENDATIONS AND DETAILS. CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR TO EXECUTE AND INSTALL THE IRRIGATION SYSTEM PER THE IRRIGATION PLANS.	
INSTALL THE GATE VALVES, BACKFLOW, QUICK COUPLER, MASTER VALVES, AND FLOW SENSORS WITHIN THE SHRUB PLANTING AREAS ONLY.	
THE FLOW SENSOR WIRE SHALL BE MANUFACTURED BY "RAIN MASTER", MODEL REV-CAB-SEN. NO FIELD SPLICES ALLOWED BETWEEN FLOW SENSOR AND CONTROLLER. ALL FLOW SENSOR WIRES SHALL BE INSTALLED WITHIN A GRAY 1-1/2" DIA. SCH. 40 PVC CONDUIT. EACH CONDUIT SHALL HAVE A SEPARATE FLOW SENSOR CABLE INSTALLED WITHIN IT BASED ON THE CORRESPONDING CONTROLLER ASSEMBLY. JOHN DEERE GREEN TECH SHALL MAKE THE FINAL CONNECTIONS FROM THE FLOW SENSOR TO THE CONTROLLER ASSEMBLIES.	
MAINLINE SHOWN IN HARDSCAPE AREAS IS DIAGRAMMATIC. MAINLINES ARE INTENDED TO BE INSTALLED WITHIN THE SHRUB AREAS ONLY. ANY MAINLINE, LATERAL, OR CONTROL WIRES THAT RUN UNDER HARDSCAPE AREAS SHALL BE INSTALLED IN SCH. 40 PVC SLEEVES WHICH SHALL BE SIZED A MINIMUM OF TWICE THE DIAMETER OF THE ACTUAL PIPE DIAMETER. REFER TO IRRIGATION DETAILS FOR INSTALLATION AND DEPTHS OF SLEEVING.	

CONTROLLER INFORMATION	
2	CONTROLLER NOTE
MANUFACTURER: RAIN BIRD	
TYPE: ESP SERIES	
ASSEMBLED BY: ITS	
CONTROLLER IDENTIFICATION	CONTROLLER PART NUMBER
A	ESP-LXME-FS-MP
B	ESP-TM2-4-120V
INTERNET REQUIRED: ETHERNET REQUIRED	
FLOW SENSOR CABLE: EV-CAB-SEN	
INSTALL FLOW SENSOR CABLE IN A 1 1/2" U.L. PVC SCH. 40 GRAY CONDUIT.	
THE 120 VOLT POWER SUPPLY CONNECTION TO THE IRRIGATION CONTROLLER ASSEMBLY SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. FINAL LOCATION OF THE IRRIGATION CONTROLLER ASSEMBLY SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. ALL SPRINKLER HEADS SHALL BE FIELD ADJUSTED TO PREVENT OVER SPRAY ONTO THE IRRIGATION CONTROLLER ASSEMBLY ENCLOSURE.	
THE SYSTEM IS DESIGNED FOR THE OPERATION OF ONE VALVE AT A TIME PER CONTROLLER. THE SYSTEM HAS BEEN DESIGNED FOR ONE VALVE OPERATION AND ONE VALVE CLOSING.	
THE CONTROLLER SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE OWNERS AUTHORIZED REPRESENTATIVE.	
CONTRACTOR TO DETERMINE BEST WAY TO PROVIDE INTERNET CONNECTIVITY FOR CONTROLLER IN PRIORITIZED ORDER PER SITE CONDITIONS. ETHERNET CABLE, WIFI, CELLULAR. COMPONENTS IN CONTROLLER TO PROVIDE INTERNET CONNECTIVITY WILL VARY.	

IRRIGATION LEGEND			
SYMBOL	RAD.	MANF.	MODEL NO. WITH NOZZLE SIZE & TYPE
	-	RAIN BIRD	RWS-B-C-1402 (50 GPM)
	-	RAIN BIRD	1402 ON 1802 WI PA-80
	-	-	MODEL PER POT LEGEND, SHEET L3.00
	-	RAIN BIRD (SHRUB)	SPRAY IRRIGATION - VAN SERIES NOZZLES
	-	RAIN BIRD (SHRUB)	IRRIGATION DRIPLINE - XFS-CV-06-12
	-	RAIN BIRD	TREE DRIP RINGS
	-	RAIN BIRD	AIR RELIEF VALVE
	-	NETAFIM	TLSOV - MANUAL FLUSH VALVE
	-	RAIN BIRD	DRIP SYSTEM OPERATION INDICATOR
	-	-	DRIP TRANSITION POINT
	-	-	WATER METER PER CIVL
	-	WILKINS	975XL - 1 1/2" BACKFLOW PREVENTER
	-	NIBCO	T-111 GATE VALVE - LINE SIZE 2 1/2" AND SMALLER
	-	SUPERIOR	3300 - 2" NORMALLY OPEN MASTER VALVE
	-	FLOMEC	QS-200 - ULTRASONIC FLOW SENSOR
	-	MUNRO	MUNRO COMPLETE PRO II
	-	RAIN BIRD	33-DLRC - 3/4" QUICK COUPLER VALVE
	-	RAIN BIRD	EFB-CP-PRS-D
	-	RAIN BIRD	075-ASVF
	-	RAIN BIRD	XCZ-PR8-100-COM 0.3-20 GPM XCZ-150-LCS 15-62 GPM
	-	King Bros.	LINE SIZE CHECK VALVE
	-	RAIN BIRD	RSD-BEX - RAIN SENSOR
	-	RAIN BIRD	ESP-LXME-FS-MP
	-	RAIN BIRD	ESP-TM2-4-120V
	-	-	SPARE WIRE PULL BOX
	-	-	EXISTING MAINLINE
	-	-	MAINLINE
	-	-	LATERAL LINE
	-	-	PVC Sleeves
IRRIGATION VALVE CALLOUT:			
STATION NO. GPM PLANT TYPE VALVE SIZE			
LATERAL LINE SIZING CHART			
NOTE: THE LATERAL SIZE BETWEEN TWO TYPICAL FLOW MARKERS SHALL BE THE SAME. MINIMUM PIPE SIZE IS 3/4"			
3/4" 1" 1 1/4" 1 1/2" 2" 2 1/2" 3"			
DOMESTIC WATER POINT OF CONNECTION			
EQUIPMENT SIZES:			
PLANT TYPE:			
P.O.C.# WM BF MV FS			
XX XX XX XX			
CONTROL LEX			
TR Trees			
PT Pots			
PVC = WATER METER WM = WATER METER BF = BASKET STRAINER MV = MASTER VALVE FS = FLOW SENSOR			







IRRIGATION LEGEND			
SYMBOL	RAD.	MANF.	MODEL NO. WITH NOZZLE SIZE & TYPE
●	-	RAIN BIRD	RWS-B-C-1402 (50 GPM)
○	-	RAIN BIRD	1402 ON 1802 W/PA-80
■	-	-	MODEL PER POT LEGEND, SHEET L3.00
	-	RAIN BIRD (SHRUB)	SPRAY IRRIGATION - VAN SERIES NOZZLES
	-	RAIN BIRD (SHRUB)	IRRIGATION DRIPLINE - XFS-CV-06-12
	-	RAIN BIRD	TREE DRIP RINGS
	-	RAIN BIRD	AIR RELIEF VALVE
	-	NETAFIM	TL50V - MANUAL FLUSH VALVE
	-	RAIN BIRD	DRIP SYSTEM OPERATION INDICATOR
	-	-	DRIP TRANSITION POINT
	-	-	WATER METER PER CIVIL
	-	WILKINS	975XL - 1 1/2" BACKFLOW PREVENTER
	-	NIBCO	T-111 GATE VALVE - LINE SIZE 2 1/2" AND SMALLER
	-	SUPERIOR	3300 - 2" NORMALLY OPEN MASTER VALVE
	-	FLOMEC	QS-200 - ULTRASONIC FLOW SENSOR
	-	MUNRO	MUNRO COMPLETE PRO II
	-	RAIN BIRD	33-DLRC - 3/4" QUICK COUPLER VALVE
	-	RAIN BIRD	EFB-CP-PRS-D
	-	RAIN BIRD	075-ASVF
	-	RAIN BIRD	XCZ-FRB-100-COM 0.3-20 GPM XCZ-150-LCS 15-62 GPM
	-	King Bros.	LINE SIZE CHECK VALVE
	-	RAIN BIRD	RSD-BEX - RAIN SENSOR
	-	RAIN BIRD	ESP-LXME-FS-MP
	-	RAIN BIRD	ESP-TM2-4-120V
	-	-	SPARE WIRE PULL BOX
	-	-	EXISTING MAINLINE
	-	-	MAINLINE
	-	-	LATERAL LINE
	-	-	PVC Sleeves
IRRIGATION VALVE CALLOUT:			
	STATION NO.	GPM	PLANT TYPE
	VALVE SIZE		
LATERAL LINE SIZING CHART			
NOTE: THE LATERAL SIZE BETWEEN TWO HORIZONTAL TICS MARKS SHALL BE THE SAME. MINIMUM PIPE SIZE IS 3/4"			
1" 3/4"			
1 1/4" 1 1/2"			
2" 2 1/2"			
3"			

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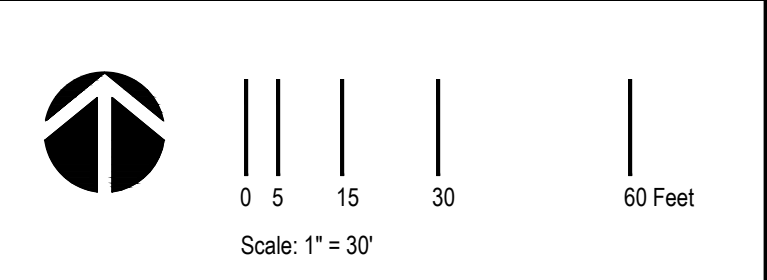
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MILESTONES / SUBMITTALS		DATE
DESCRIPTION		
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PLN SUBMITTAL		08/30/2024

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NO.	DESCRIPTION	DATE

OVERALL  
IRRIGATION SITE  
PLAN - GROUND  
LEVEL  
L201

SCALE: REFER TO PLAN DATE:

































(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)





LEGEND: BUILDING LEVELS	
SYMBOL	NAME
[Purple Box]	LEVEL 2
[Light Blue Box]	LEVEL 3
[Light Green Box]	LEVEL 4
[Yellow Box]	LEVEL 5
[Pink Box]	LEVEL 6

IRRIGATION LEGEND											
SYMBOL	RAD.	MANF.	MODEL NO. WITH NOZZLE SIZE & TYPE								
	-	RAIN BIRD	RWS-B-C-1402 (50 GPM)								
	-	RAIN BIRD	1402 ON 1802 W/ PA-80								
	-	-	MODEL PER POT LEGEND, SHEET L3.00								
	-	RAIN BIRD (SHRUB)	SPRAY IRRIGATION - VAN SERIES NOZZLES								
	-	RAIN BIRD (SHRUB)	IRRIGATION DRIPLINE - XFS-CV-06-12								
	-	RAIN BIRD	TREE DRIP RINGS								
	-	RAIN BIRD	AIR RELIEF VALVE								
	-	NETAFIM	TL50V - MANUAL FLUSH VALVE								
	-	RAIN BIRD	DRIP SYSTEM OPERATION INDICATOR								
	-	-	DRIP TRANSITION POINT								
	-	-	WATER METER PER CIVIL								
	-	WILKINS	97SKL - 1 1/2" BACKFLOW PREVENTER								
	-	NIBCO	T-111 GATE VALVE - LINE SIZE 2 1/2" AND SMALLER								
	-	SUPERIOR	3300 - 2" NORMALLY OPEN MASTER VALVE								
	-	FLOMEC	QS-200 - ULTRASONIC FLOW SENSOR								
	-	MUNRO	MUNRO COMPLETE PRO II								
	-	RAIN BIRD	33-DLRC - 3/4" QUICK COUPLER VALVE								
	-	RAIN BIRD	EFB-CP-PRS-D								
	-	RAIN BIRD	075-ASVF								
	-	RAIN BIRD	XCZ-FRB-100-COM 0.3-20 GPM XCZ-150-LCS 15-62 GPM								
	-	King Bros.	LINE SIZE CHECK VALVE								
	-	RAIN BIRD	RSD-BEX - RAIN SENSOR								
	-	RAIN BIRD	ESP-LXME-FS-MP								
	-	RAIN BIRD	ESP-TM2-4-120V								
	-	-	SPARE WIRE PULL BOX								
	-	-	EXISTING MAINLINE								
	-	-	MAINLINE								
	-	-	LATERAL LINE								
	-	-	PVC Sleeves								
IRRIGATION VALVE CALLOUT:		LATERAL LINE SIZING CHART									
		<table><tr><td>3/4"</td><td rowspan="6">NOTE: THE LATERAL SIZE BETWEEN TWO IDENTICAL TICS MARKS SHALL BE THE SAME. MINIMUM PIPE SIZE IS 3/4".</td></tr><tr><td>1"</td></tr><tr><td>1 1/4"</td></tr><tr><td>1 1/2"</td></tr><tr><td>2"</td></tr><tr><td>2 1/2"</td></tr><tr><td>3"</td></tr></table>		3/4"	NOTE: THE LATERAL SIZE BETWEEN TWO IDENTICAL TICS MARKS SHALL BE THE SAME. MINIMUM PIPE SIZE IS 3/4".	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"
3/4"	NOTE: THE LATERAL SIZE BETWEEN TWO IDENTICAL TICS MARKS SHALL BE THE SAME. MINIMUM PIPE SIZE IS 3/4".										
1"											
1 1/4"											
1 1/2"											
2"											
2 1/2"											
3"											

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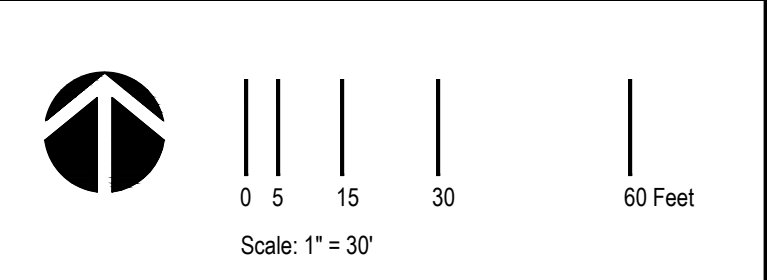
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PLN SUBMITTAL 08/30/2024

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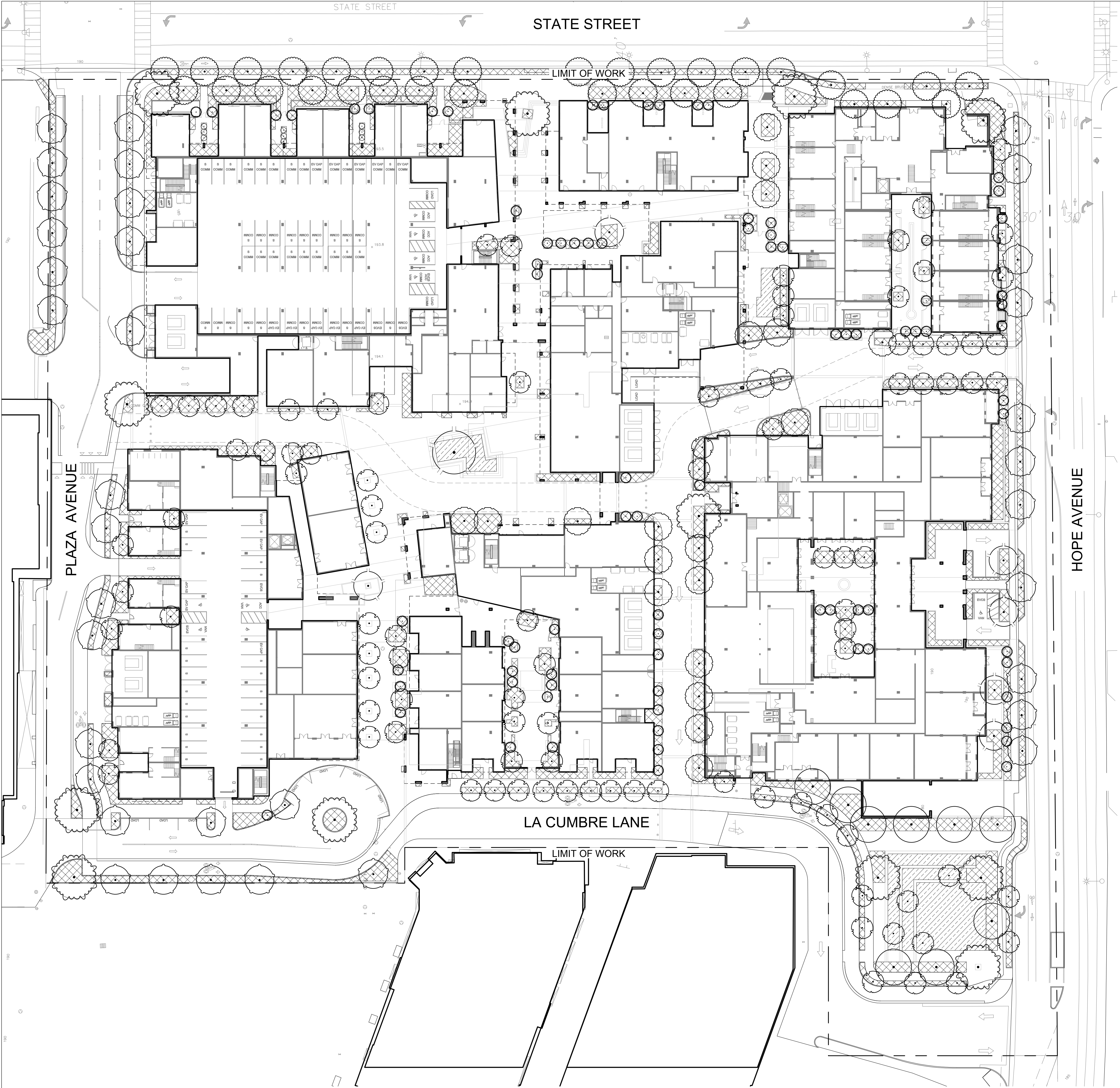
OVERALL  
IRRIGATION SITE  
PLAN - UPPER  
LEVELS  
L202

SCALE: REFER TO PLAN DATE:



(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)





PLANTING LEGEND: Trees, such as:				
SYMBOL	NAME	WATER REQ.*	SIZE	QTY
	MITIGATION TREE (REFER TO ARBORIST REPORT FOR MORE INFORMATION); QUERCUS AGRIFOLIA COAST LIVE OAK	LOW	15 GALL. MIN.	9
	STREET TREE PER CITY OF SANTA BARBARA MASTER STREET TREE PLAN: ARBUTUS MENZIESII STRAWBERRY TREE	LOW	24" BOX	32
	ACCENT TREE: CERCIS OCCIDENTALIS WESTERN REDBUD	LOW	24" BOX	83
	SHADE TREE: GEUERA PARVIFOLIA AUSTRALIAN WILLOW	LOW	24" BOX	97
	GATEWAY TREE: JACARANDA MIMOSIFOLIA JACARANDA	MED	60" BOX	12
	SPECIMEN TREE: PLATANUS RACEMOSA CALIFORNIA SYCAMORE	MED	48" BOX	7
	SHADE TREE: PODOCARPUS GRACILIOR YEW PINE	MED	24" BOX	17
	STREET TREE: TO BE DETERMINED IN COORDINATION WITH THE CITY OF SANTA BARBARA	LOW	36" BOX	36

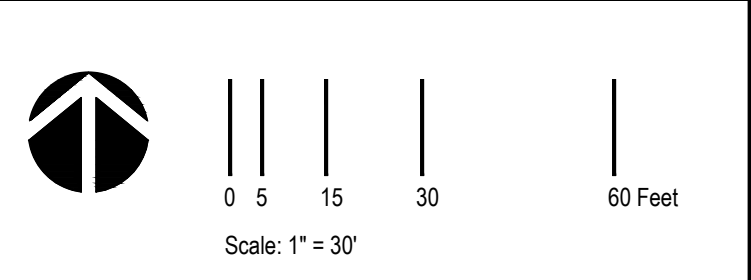
PLANTING LEGEND: Shrubs & Groundcover, such as:				
SYMBOL	NAME	WATER REQ.*	SIZE	QTY
	ACHILLEA 'MOONSHINE' YARROW	LOW	50% 15 GALL. @ 48" OC	38,247 SF
	ARCTOSTAPHYLOS 'PACIFIC MIST' PACIFIC MIST MANZANITA	LOW	35% 5 GALL. @ 30" OC	
	ARCTOSTAPHYLOS H. 'MONTEREY CARPET' MONTEREY CARPET MANZANITA	LOW	15% 1 GALL. @ 18" OC	
	BACCHARIS 'CENTENNIAL' COYOTE BRUSH	LOW		
	BERBERIS REPENS CREEPING MAHONIA	LOW		
	CAREX DIVULA BERKELEY SEDGE	LOW		
	DIANELLA 'LITTLE REV' LITTLE REV FLAX LILY	LOW		
	ERIOGONUM GRANDE 'RUBESCENS' BUCKWHEAT	LOW		
	GREVILLEA 'MOONLIGHT' GREVILLEA	LOW		
	GREVILLEA 'WATTLEBIRD YELLOW' GREVILLEA	LOW		
	HEPERALOE PARVIFOLIA 'YELLOW' YELLOW YUCCA	LOW		5,160 SF
	JUNCUS PATENS 'ELK BLUE' CALIFORNIA GRAY RUSH	LOW		
	LOMANERA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	LOW		
	MUHLENBERGIA C. 'WHITE CLOUD' WHITE MUHLY	LOW		
	PHLOMIS FRUTICOSA 'GRANDE VERDE' JERUSALEM SAGE	LOW		
	PHLOMIS RUSSELLIANA TURKISH SAGE	LOW		

LAWN LEGEND: such as:				
SYMBOL	NAME	WATER REQ.*	SIZE	QTY
	MARATHON II	LOW	SOD	5,160 SF
	N/A	LOW	SOD	

\*WATER REQUIREMENT PLANT FACTOR IS BASED ON WUCOLS DATABASE AND CAN BE FOUND ONLINE AT: <http://ucanr.edu/edu/sites/WUCOLS/>

PLANT WATER REQUIREMENTS		
1. All Plant Water Requirement information is specific to Santa Barbara, and sourced per WUCOLS, and/or the City of Santa Barbara Addendum to the WUCOLS Plant list dated 4-8-2019.		
2. The landscape uses a minimum of 80% water wise plants. See table below, and Street L200 Water Use Calculations.		
Water Wise (Low to Very Low)	71,758 SF	93%
Medium Water Use	900 SF	1%
High Water Use	5,160 SF	6%
Total Landscape Area	77,818 SF	100%

MULCH NOTE:  
IN ALL SHRUB AND GROUNDCOVER AREAS  
APPLY 3" MIN. LAYER OF MULCH.  
CONTRACTOR SHALL SUBMIT SAMPLE TO  
LANDSCAPE ARCHITECT FOR APPROVAL.  
DO NOT INSTALL MULCH IN AREAS OF  
GROUNDCOVER THAT ARE LESS THAN 3"  
TALL AT MATURITY.



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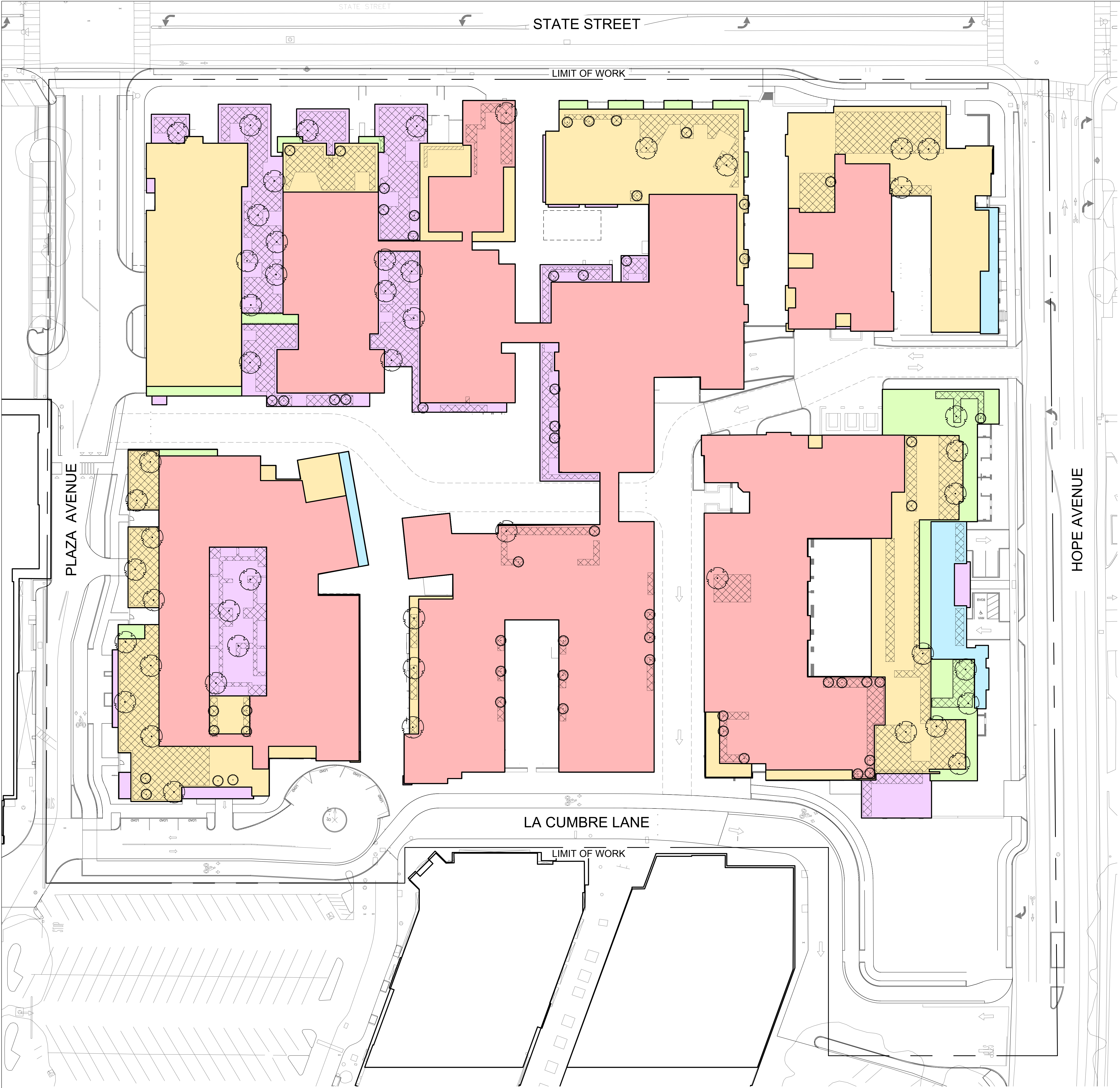
OVERALL PLANTING  
SITE PLAN -  
GROUND LEVEL

L301

SCALE: REFER TO PLAN DATE:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)





LEGEND: BUILDING LEVELS	
SYMBOL	NAME
	LEVEL 2
	LEVEL 3
	LEVEL 4
	LEVEL 5
	LEVEL 6

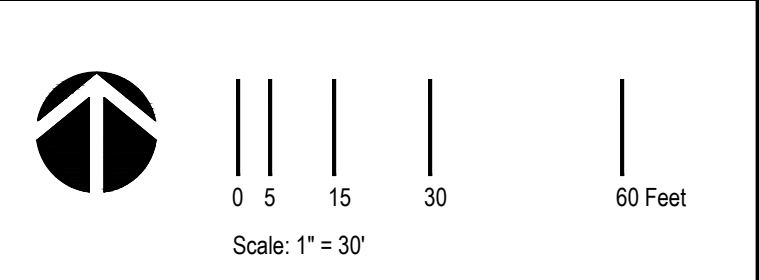
PLANTING LEGEND: Trees, such as:				
SYMBOL	NAME	WATER REQ.*	SIZE	QTY
	ACCENT TREE: CERCIS OCCIDENTALIS WESTERN REDBUD	LOW	24" BOX	58
	SHADE TREE: GEIJERA PARVIFOLIA AUSTRALIAN WILLOW	LOW	36" BOX	50

PLANTING LEGEND: Shrubs & Groundcover, such as:				
SYMBOL	NAME	WATER REQ.*	SIZE	QTY
	ACHILLEA 'MOONSHINE' YARROW	LOW	50% 15 GAL @ 48" OC	33,511 SF
	CAREX DIVULA BERKELEY SEDGE	LOW	35% 5 GAL, 30" OC	
	DIANELLA 'LITTLE REV' LITTLE REV FLAX LILY	LOW	15% 1 GAL @ 18" OC	
	GREVILLEA 'MOONLIGHT' GREVILLEA	LOW		
	GREVILLEA 'WATTLEBIRD YELLOW' GREVILLEA	LOW		
	HESPERALOE PARVIFOLIA 'YELLOW' YELLOW YUCCA	LOW		
	LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	LOW		
	MUHLENBERGIA 'C. WHITE CLOUD' WHITE MUHLY	LOW		
	PHLOMIS FRUTICOSA 'GRANDE VERDE' JERUSALEM SAGE	LOW		
	PHLOMIS RUSSELLIANA TURKISH SAGE	LOW		

\*WATER REQUIREMENT PLANT FACTOR IS BASED ON WUCOLS DATABASE AND CAN BE FOUND ONLINE AT: <http://ucanr.edu/edu/sites/WUCOLS/>

PLANT WATER REQUIREMENTS		
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CONTRACTOR SHALL SUBMIT SAMPLE TO  
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PLN SUBMITTAL	08/30/2024

REVISIONS		
NO.	DESCRIPTION	DATE

OVERALL PLANTING  
SITE PLAN - UPPER  
LEVELS

L302

SCALE: REFER TO PLAN DATE:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)





SITE LIGHTING LEGEND			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	FIXTURE, SUCH AS:
	A. RECESSED WALL - FINAL SELECTION TBD	18" - 24"	FIXTURE: RECESSED WALL LUMINAIRE MANUF: BEGA
	B. PATH LIGHT - FINAL SELECTION TBD	18" - 24"	FIXTURE: PM PATH LIGHT MANUF: FX LUMINAIRE
	C. FESTOON LIGHTING - KORE-EXS LED DIRECT CABLE MOUNTED MODULE	10'-0"	FIXTURE: EXTON POWERSPAN CABLE SYSTEM MANUF: TEGAN LIGHTING
	D. TREE MOUNTED DOWNLIGHT - FINAL SELECTION TBD	TBD	FIXTURE: DELTA STAR LED MANUF: B-K LIGHTING
	E. LED STRIP LIGHT - FINAL SELECTION TBD	18"	FIXTURE: WHITE STRIP LIGHT MANUF: FX LUMINAIRE

ARCHITECTURAL LIGHTING LEGEND			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	FIXTURE, SUCH AS:
	F. WALL LUMINAIRE - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: LED WALL LUMINAIRES MANUF: BEGA
	G. THIN WALL LUMINAIRES W/ DIRECT LIGHT	TBD PER ARCHITECT	FIXTURE: WALL LUMINAIRE MANUF: BEGA
	H. LEDGE SQUARE - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: LEDGE SQUARE MANUF: RBW
	I. DOWNLIGHT - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: RECESSED CEILING DOWN LIGHT MANUF: BEGA
	J. LINEAR ILLUMINATION SYSTEM - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: KENDO M WET MANUF: LIGHTING SYSTEMS
	K. OUTDOOR WALL LIGHTING AT NORTH-EAST BUILDING - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: 36" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 23" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO
	L. OUTDOOR WALL LIGHTING AT SOUTH-EAST BUILDING - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: 24" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 13" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO
	M. OUTDOOR WALL LIGHTING AT SOUTH-WEST BUILDING - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT MANUF: JOHN TIMBERLAND VANCE OR FIXTURE: CAL BLACK MODERN LED OUTDOOR WALL LIGHT MANUF: MINKA GROUP

OFF SITE STREET LIGHTING	
REFER TO CIVIL ENGINEER DRAWINGS FOR STREET LIGHT LOCATIONS.	

CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINE - GENERAL NOTE	
<div>1. FINAL LIGHT FIXTURE SELECTIONS ARE 'TO BE DETERMINED', FINAL SELECTIONS TO COMPLY WITH THE CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINES. EXTERIOR LIGHTING FIXTURES TO USE THE MINIMUM INTENSITY REQUIRED FOR THE INTENDED PURPOSE.</div> <div>2. RECESSED SOFFIT LIGHTING AND LANDSCAPE LIGHTING TO BE CONCEALED OR DESIGNED IN A MANNER APPROPRIATE FOR ADJACENT ARCHITECTURE.</div> <div>3. ALL EXTERIOR BUILDING LIGHTING, SITE LIGHTING, AND STREETLIGHTS TO CONFORM TO THE CITY OF SANTA BARBARA'S OUTDOOR LIGHTING ORDINANCE (MUNICIPAL CODE CHAPTER 22.75) AND THE OUTDOOR LIGHTING &amp; STREETLIGHT DESIGN GUIDELINES.</div>	

DARK SKY COMPLIANCE	
<div>1. LIGHTING SHALL BE DESIGNED TO CONTROL GLARE, MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES, MINIMIZE DIRECT UPWARD LIGHT EMISSION, PROMOTE EFFECTIVE SECURITY, AND AVOID INTERFERENCE WITH THE SAFE OPERATION OF MOTOR VEHICLES. THE MINIMUM INTENSITY NEEDED FOR THE INTENDED PURPOSE SHOULD BE USED.</div>	

OUTDOOR LIGHTING COMPLIANCE STATEMENT		
<div><div>Outdoor Lighting Compliance Statement</div><div>As preparer of these plans for outdoor lighting, I certify that this lighting design meets the City of Santa Barbara Outdoor Lighting Ordinance and Outdoor Lighting Design Guidelines.</div><div><div>SCOTT CAPPS, PLA, EPTDESIGN</div><div>Principal Lighting Designer Name</div><div></div><div>Signature</div><div>08-30-2024</div><div>Date</div></div></div>		

EPTDESIGN

414 OLIVE STREET  
SANTA BARBARA, CA 93101  
626.795.2008  
EPTDESIGN.COM

THE  
NEIGHBORHOOD  
AT STATE AND  
HOPE

APN  
051-010-013

CITY OF SANTA BARBARA,  
CALIFORNIA

NOT FOR CONSTRUCTION  
REFERENCE ONLY

JOB NUMBER  
22-048

PIC PA PM TEAM  
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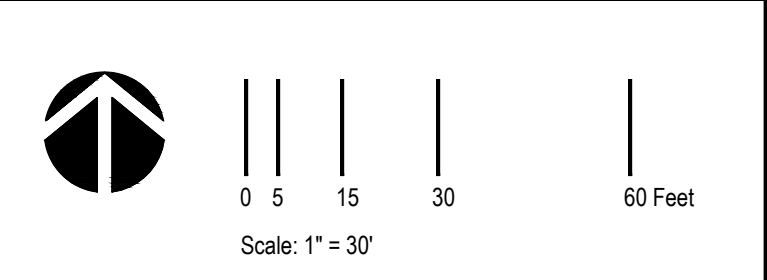
MILESTONES / SUBMITTALS	
DESCRIPTION	DATE
PLN SUBMITTAL	05/31/2024
PLN SUBMITTAL	08/30/2024

REVISIONS		
NO.	DESCRIPTION	DATE

OVERALL LIGHTING  
SITE PLAN -  
GROUND LEVEL


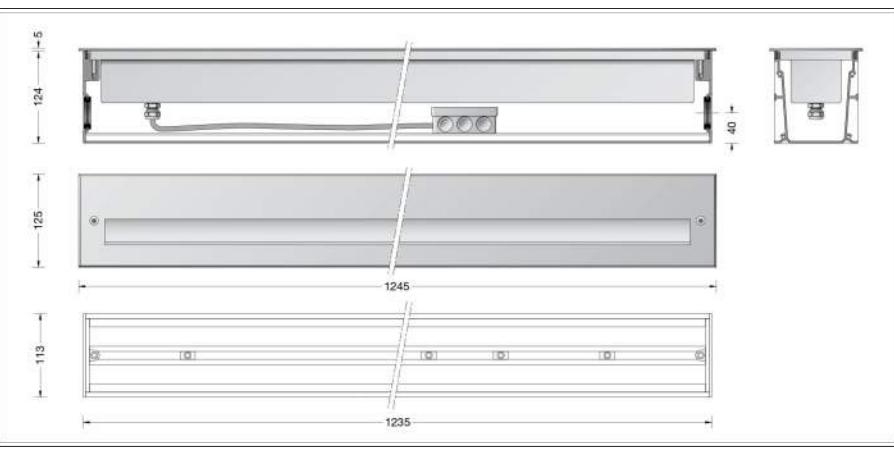
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SCALE: REFER TO PLAN DATE:



(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)

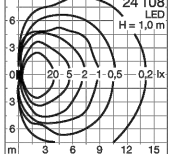


23.1.7 - Technical amendments reserved	
<b>BEGA</b>	<b>24 108</b>
Recessed wall luminaire	IP 67/65
Project - Reference number	Date
	

Product data sheet

<b>Application</b> LED wall luminaire with asymmetrical light distribution. For glare-free illumination of surfaces from low mounting height. <b>Lamp</b> Module connected wattage 27 W Luminaire connected wattage 31 W Rated temperature $t_{\text{max}} = 35^{\circ}\text{C}$ Ambient temperature	<b>Product description</b> Luminaire made of aluminum and stainless steel Front plate made of stainless steel Steel grade no. 1.4301 Clear safety glass Silicone gasket Recess housing made of aluminum, with 2 opposite insertions for installation conduits of up to a 30 mm 2 sliding rods M6 suitable for the anchored threaded rods for an additional fixation of the recess housing during installation Centre-plate made of hot-dip galvanised steel with 4 fixing holes ø 4 mm and 2 holes ø 6,5 mm It supports centering and positioning of the recess housing on the sheathing and also protects it during building activity against soiling Connection box with terminal 4" for through-wiring of main supply cable max. 5 x 2.5" LED power supply unit 200-240 V ~ 50/60 Hz DALI controllable A basic isolation exists between power cable and control line Safety class I <b>Luminaire housing:</b> Protection class IP 67 Dust tight and protected against water jets Impact strength IK10 Protection against mechanical impacts < 20 joule <b>CE</b> - Conformity mark Weight: 5.0 kg	<b>Inrush current</b> Inrush current: 53 A / 200 µs Maximum number of luminaires of this type per miniature circuit breaker: B 10 A 8 luminaires B 16 A 13 luminaires <b>Article No. 24 108</b> LED colour temperature optionally 3000 K or 4000 K 3000 K - Article number 4000 K - Article number - <b>K4</b>
<b>24 108</b> Module designation 2x LED-0769/030 Colour temperature 3000 K Colour rendering index $R_a > 80$ Module luminous flux 5010 lm Luminaire luminous flux 2300 lm Luminaire luminous efficiency 77.2 lm/W		
<b>24 108 K4</b> Module designation 2x LED-0769/040 Colour temperature 4000 K Colour rendering index $R_a > 80$ Module luminous flux 5210 lm Luminaire luminous flux 2480 lm Luminaire luminous efficiency 80.3 lm/W		
<b>Lifetime of the LED</b> Ambient temperature $T_a = 15^{\circ}\text{C}$ - at 50,000 h: L 90 B 10 - at > 500,000 h: L 70 B 50 Ambient temperature $T_a = 25^{\circ}\text{C}$ - at 50,000 h: L 90 B 10 - at > 287,000 h: L 70 B 50 max. ambient temperature $T_a = 35^{\circ}\text{C}$ - at 50,000 h: L 90 B 50 - at 157,000 h: L 70 B 50		

Light distribution



BEGA Genterleink Leuchten KG - Postfach 31 00 - 59059 Menden - info@bega.com - www.bega.com

**A** RECESSED WALL  
Scale: NTS

DELTA STAR LED			IP66 RATED
DATE:	PROJECT:	TYPE:	
CATALOG NUMBER LOGIC:			

<b>CATALOG NUMBER LOGIC</b> Example: B - DS - LED - e64 - SP - A7 - B2P - 12 - 11 - A - 360SL	
<b>MATERIAL</b> (Blank) - Aluminum - B - Brass - S - Stainless Steel	
<b>SERIES</b> DS - Delta Star	
<b>SOURCE</b> LED - with Integral Dimming Driver (25W min. load when dimmed)*	
<b>LED TYPE</b> e64 - 7W LED/2700K e79 - 7W LED/2700K 90CRI e65 - 7W LED/3000K e80 - 7W LED/3000K 90CRI e66 - 7W LED/4000K e81 - 7W LED/3000K 80CRI e64 - 7W LED/Amber	
<b>OPTICS</b> NSP - Narrow Spot (13°) MFL - Medium Flood (23°) SP - Spot (18°) WFL - Wide Flood (37°)	
<b>ADJUST-E-LUME® OUTPUT INTENSITY**</b> As Standard, AL A1, A6, A8, A9, A10, A12, A14 <b>FINISH (See page 2 for full-color swatches)</b> Standard Finishes (B2P, B2W, BLP, BLW, WHR, WHW, SAP, VER) Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRM, HUG, NBP, OCP, RCM, SDS, SMG, VFC, WCP, WVR) Also available in RAL Finishes Brass Finishes (MAC, POL, MIT) Stainless Steel Finishes (MAC, POL)	
<b>LENS TYPE</b> 12 - Soft Focus 13 - Rectilinear	
<b>SHIELDING</b> 11 - Honeycomb Baffle	
<b>CAP STYLE</b> A - 45° B - 90° C - Flush Lens D - 45° Lens Wedgehole (Interior use only) E - 90° Lens Wedgehole (Interior use only) F - 90° with Flush Lens	
<b>OPTION</b> 360SL - Knockie Mounting System***	
<b>MOD-OPTIONS</b> 6 - 5 Ft Leads 28 - 25 Ft Leads	

<b>B-K LIGHTING</b>	<b>MADE IN THE USA</b>	555.438.5800   INFO@BKLIGHTING.COM   BKLIGHTING.COM
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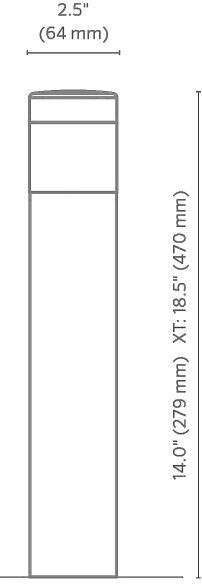
FXLuminaire.



PM Path Light DESIGNER PLUS

Modern bollard produces 360° spread without glare. Aluminum construction. RGBW capable with Luxor® system.

- Quick Facts
- Machined and extruded aluminum
  - Durable TGIC powder coat finish
  - Crete® integrated LEDs
  - Tamper-resistant features
  - Color temperature filters
  - Compatible with Luxor technology
  - Phase and PWM dimmable
  - Input voltage: 10-15V



LANDSCAPE LIGHTING

**B** PATH LIGHT  
Scale: NTS



The innovative construction of SRP Strip Lights vastly simplifies installation — even if you've never done it before.

Key Benefits

- Extruded silicone body reduces hot spots, produces soft light distribution, and protects against harsh environments
- Silicone-encased LEDs deliver a soft, diffused light distribution for top performance in a range of applications
- A high IP65 rating ensures dust-proof and water-resistant performance



SRP WHITE Strip Light

Highly versatile SRP Strip Lights make it easier than ever to illuminate stair ledges, outdoor patios, hardscape elements, and more.

- Features
- 12 VAC power ensures compatibility with any low-voltage lighting transformer
  - Two color temperature options offer a warm (2,700K) or soft (3,000K) look
  - 10' (3.1 m) and 40' (12.2 m) lengths
  - Preinstalled 10' (3.1 m) power feed
  - Compatible with Luxor® Low-Voltage CUBE (LCM-LV) for zoning and dimming capabilities



**E** LED STRIP LIGHT  
Scale: NTS

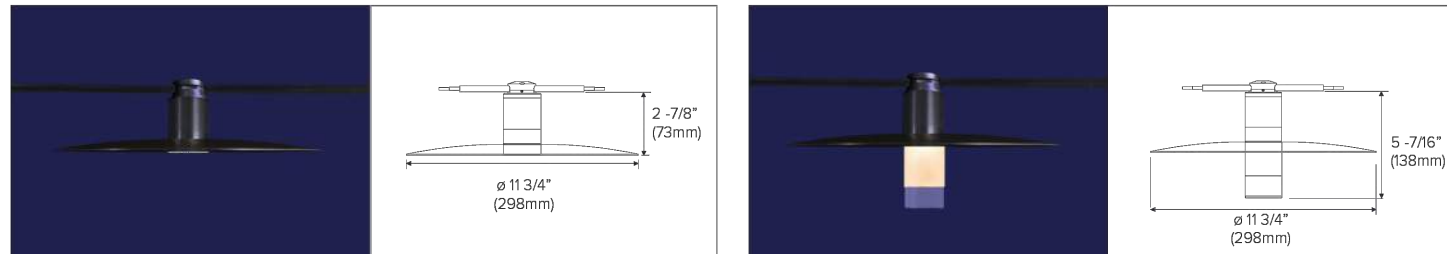
Tegan LIGHTING

EXTON POWERSPAN CABLE SYSTEM

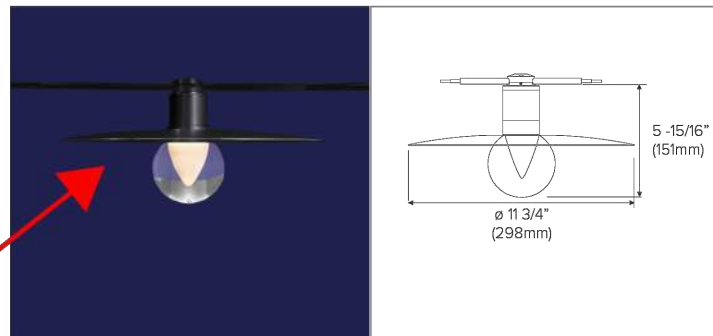
CATALOG NUMBER LOGIC	
EX5 - K - C - FG - BLK - DS - AL	
EXTON 5-WATT	KORE-LED MODULE 2700K
CABLE MOUNT	FLAT GEM BLACK FINISH
FG	DISK SHADE
BLK	ALUMINUM FINISH
DS	
AL	

DISK SHADE & GEM MODULES  
Kore EX5 IP65, Direct Cable Mount  
Tensioned/Draped Systems  
24VDC Remote Power, 0-10V Dimming

EXTON - KORE EX5 LED 24VDC DIRECT CABLE MOUNT MODULE WITH DISK SHADE & GEM - COMBINATIONS



Kore-EX5 LED Direct Cable Mount Module, Flat Gem, Aluminum or Black Finish, Disk Shade, Black Finish (BS-K-FG-AL/BLK-GS-BLK)



Kore-EX5 LED Direct Cable Mount Module, Frosted Sphere Gem, Aluminum or Black Finish, Disk Shade, Black Finish (BS-K-FG-AL/BLK-GS-BLK)

Kore-EX5 LED Disk Shade with Flat, Sphere and Cylinder Gem Modules feature a 27W, 5W LED source with an integral current controller for 24V DC operation. Anodized Aluminum (AL) or Black (BLK) finish. System and Remote Power Supply(s) ordered separately to create a complete System.


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teganlighting.com | info@teganlighting.com | 415-504-3035

1

1022 - 04/20/2024

**C** FESTOON LIGHTING  
Scale: NTS

	Project Name: HUNTERS VIEW BLDG 17 Manufacturer: BEGA Model Number: 22256-STD FINISH-K3 Notes: CONFIRM STANDARD FINISH.	Type: L9
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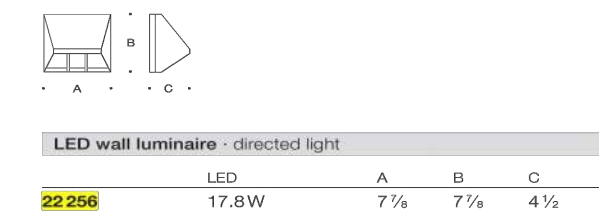
LED wall luminaire - directed light

BEGA

**Application**  
This LED wall mounted luminaire has directed light distribution and is designed for the general illumination of pathways, walkways, and plazas.  
**Materials**  
Luminaire housing constructed of die-cast marine grade, copper free (50-30 copper content) A306 aluminum alloy  
Wired safety glass  
Reflector made of pure anodized aluminum  
Silicone applied robotically to casting, plasma treated for increased adhesion  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 4.0 lbs  
**Electrical**  
Operating voltage 120-277VAC  
Minimum start temperature -30°C  
LED module wattage 17.8 W  
21 W  
0-10V, TRAC, and ELV dimmable  
System wattage  
Controllability  
Color rendering index  $R_a > 80$   
Luminaire lumens 1950 lumens (3000K)  
Lifetime at  $T_a = 15^{\circ}\text{C}$  >500,000 h (L70)  
Lifetime at  $T_a = 45^{\circ}\text{C}$  110,000 h (L70)  
**LED color temperature**  
4000K - Product number - **K4**  
3000K - Product number - **K30**  
3000K - Product number - **K27**  
2700K - Product number - **K27**  
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Type: BEGA Product:  
Project:  
Modified:

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with **powdercoat** finish.  
Available colors: Black (BLK) White (WT) Silver (SLV) Bronze (BRZ) RAL: CUS:  
CONFIRM STANDARD FINISH



LED wall luminaire - directed light	A	B	C
LED	17.8 W	7 1/2"	7 1/2" 4 1/2"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-usa.com  
Data for the purpose of lighting projects and for technical information. Luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-usa.com  
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March 16, 2023









Prepared By: Independent Electric Supply - San Leandro, CA

279

Index 9

**F** WALL LUMINAIRES  
Scale: NTS

SITE LIGHTING LEGEND			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	FIXTURE, SUCH AS:
	A. RECESSED WALL - FINAL SELECTION TBD	18' - 24'	FIXTURE: RECESSED WALL LUMINAIRE MANUF: BEGA
	B. PATH LIGHT - FINAL SELECTION TBD	18" - 24"	FIXTURE: PM PATH LIGHT MANUF: FX LUMINAIRE
	C. FESTOON LIGHTING - KORE-EX5 LED DIRECT CABLE MOUNTED MODULE	10'-0"	FIXTURE: EXTON POWERSPAN CABLE SYSTEM MANUF: TEGAN LIGHTING
	D. TREE MOUNTED DOWNLIGHT - FINAL SELECTION TBD	TBD	FIXTURE: DELTA STAR LED MANUF: B-K LIGHTING
	E. LED STRIP LIGHT - FINAL SELECTION TBD	18"	FIXTURE: WHITE STRIP LIGHT MANUF: FX LUMINAIRE

ARCHITECTURAL LIGHTING LEGEND			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	FIXTURE, SUCH AS:
	F. WALL LUMINAIRE - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: LED WALL LUMINAIRES MANUF: BEGA
	G. THIN WALL LUMINAIRES W/ DIRECT LIGHT	TBD PER ARCHITECT	FIXTURE: WALL LUMINAIRE MANUF: BEGA
	H. LEDGE SQUARE - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: LEDGE SQUARE MANUF: RGBW
	I. DOWNLIGHT - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: RECESSED CEILING DOWN LIGHT MANUF: BEGA
	J. LINEAR ILLUMINATION SYSTEM - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: KENDO M WET MANUF: LIGHTING SYSTEMS
	K. OUTDOOR WALL LIGHTING AT NORTH-EAST BUILDING - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: 36" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 23" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO
	L. OUTDOOR WALL LIGHTING AT SOUTH-EAST BUILDING - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: 24" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 13" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO
	M. OUTDOOR WALL LIGHTING AT SOUTH-WEST BUILDING - FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT MANUF: JOHN TIMBERLAND VANCE OR FIXTURE: CAL BLACK MODERN LED OUTDOOR WALL LIGHT MANUF: MINKA GROUP

OFF SITE STREET LIGHTING

REFER TO CIVIL ENGINEER DRAWINGS FOR STREET LIGHT LOCATIONS.

CITY OF SANTA BARBARA OUTDOOR LIGHTING AND STREETLIGHT DESIGN GUIDELINE - GENERAL NOTE	
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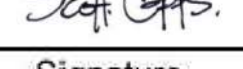
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OUTDOOR LIGHTING COMPLIANCE STATEMENT

Outdoor Lighting Compliance Statement

As preparer of these plans for outdoor lighting, I certify that this lighting design meets the City of Santa Barbara Outdoor Lighting Ordinance and Outdoor Lighting Design Guidelines.

SCOTT CAPPS, PLA, EPTDESIGN		08-30-2024
Principal Lighting Designer Name	Signature	Date

JOB NUMBER  
22-048

PIC PA PM TEAM  
EPT

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MILESTONES / SUBMITTALS

DESCRIPTION	DATE
PLN SUBMITTAL	05/31/2024
PLN SUBMITTAL	08/30/2024

REVISIONS

NO.	DESCRIPTION	DATE
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SPECIFICATION SHEET - LANDSCAPE AND ARCH. LIGHTING  
**L451**

SCALE: REFER TO PLAN DATE:

(SCALE NOTED AS FOR 30x42 FULL-SIZE DRAWINGS)

**EPTDESIGN**  
414 OLIVE STREET  
SANTA BARBARA, CA 93101  
626.795.2008  
EPTDESIGN.COM

THE  
NEIGHBORHOOD  
AT STATE AND  
HOPE

APN  
051-010-013

CITY OF SANTA BARBARA,  
CALIFORNIA

NOT FOR CONSTRUCTION  
REFERENCE ONLY







SHSTUDIOS

Product Cut Sheet Specifications

- Width: 8"
- Height: 24"
- Projection: 13
- Canopy Size: 5" x 14"
- Max Wattage: E-26 60w
- Weight: 6 lbs.
- POA to Top: 17"
- POA to Bottom: 7"
- Sockets: 1
- Weather Location: Wet

Contact Info:

sales@lightingshs.com  
(mailto:sales@lightingshs.com)  
(805) 962 - 5119  
(tel:+18059625119)

SHSTUDIOS

Product Cut Sheet Specifications

- Width: 5"
- Height: 13"
- Projection: 10
- Canopy Size: 4.5" x 11"
- Max Wattage: E-26 60w
- Weight: 6.5 lbs.
- POA to Top: 3"
- POA to Bottom: 10"
- Sockets: 1
- Weather Location: Wet

Contact Info:

sales@lightingshs.com  
(mailto:sales@lightingshs.com)  
(805) 962 - 5119  
(tel:+18059625119)

L

OUTDOOR WALL LIGHTING AT SOUTH-EAST BUILDING

Scale: NTS

JOHN TIMBERLAND VANCE

8" BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT

WIDTH: 6"  
HEIGHT: 8"  
PROJECTION: 10.75"  
WEIGHT: 1.34 LBS.  
13 W BUILT IN LED ARRAY  
1,150 LUMENS, 3,000K

MINKA LAVERY

CITY STREETS 10" WIDE SAND OAL BLACK MODERN LED OUTDOOR WALL LIGHT

WIDTH: 10"  
HEIGHT: 7.5"  
WEIGHT: 1.19 LBS.  
PROJECTION: 11.25"  
8 W BUILT IN LED MODULE  
657 LUMENS, 3,000K

M

OUTDOOR WALL LIGHTING AT SOUTH-WEST BUILDING

Scale: NTS

SITE LIGHTING LEGEND			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	FIXTURE, SUCH AS:
	A. RECESSED WALL - FINAL SELECTION TBD	18' - 24"	FIXTURE: RECESSED WALL LUMINAIRE MANUF: BEGA
	B. PATH LIGHT FINAL SELECTION TBD	18' - 24"	FIXTURE: PM PATH LIGHT MANUF: FX LUMINAIRE
	C. FESTOON LIGHTING KORE-EXS LED DIRECT CABLE MOUNTED MODULE	10'-0"	FIXTURE: EXTON POWERSPAN CABLE SYSTEM MANUF: TEGAN LIGHTING
	D. TREE MOUNTED DOWNLIGHT - FINAL SELECTION TBD	TBD	FIXTURE: DELTA STAR LED MANUF: B-K LIGHTING
	E. LED STRIP LIGHT - FINAL SELECTION TBD	18"	FIXTURE: WHITE STRIP LIGHT MANUF: FX LUMINAIRE

ARCHITECTURAL LIGHTING LEGEND			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	FIXTURE, SUCH AS:
	F. WALL LUMINAIRE FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: LED WALL LUMINAIRES MANUF: BEGA
	G. THIN WALL LUMINAIRES W/ DIRECT LIGHT	TBD PER ARCHITECT	FIXTURE: WALL LUMINAIRE MANUF: BEGA
	H. LEDGE SQUARE FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: LEDGE SQUARE MANUF: RBW
	I. DOWNLIGHT FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: RECESSED CEILING DOWN LIGHT MANUF: BEGA
	J. LINEAR ILLUMINATION SYSTEM FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: KENDO M WET MANUF: LIGHTING SYSTEMS
	K. OUTDOOR WALL LIGHTING AT NORTH-EAST BUILDING FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: 36" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 23" OURDOOR WALL LIGHTING MANUF: S   H STUDIO
	L. OUTDOOR WALL LIGHTING AT SOUTH-EAST BUILDING FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: 24" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO OR FIXTURE: 13" OUTDOOR WALL LIGHTING MANUF: S   H STUDIO
	M. OUTDOOR WALL LIGHTING AT SOUTH-WEST BUILDING FINAL SELECTION TBD	TBD PER ARCHITECT	FIXTURE: BLACK LED SWIVEL MODERN OUTDOOR WALL LIGHT MANUF: JOHN TIMBERLAND VANCE OR FIXTURE: OAL BLACK MODERN LED OUTDOOR WALL LIGHT MANUF: MINKA GROUP

OFF SITE STREET LIGHTING	
REFER TO CIVIL ENGINEER DRAWINGS FOR STREET LIGHT LOCATIONS.	

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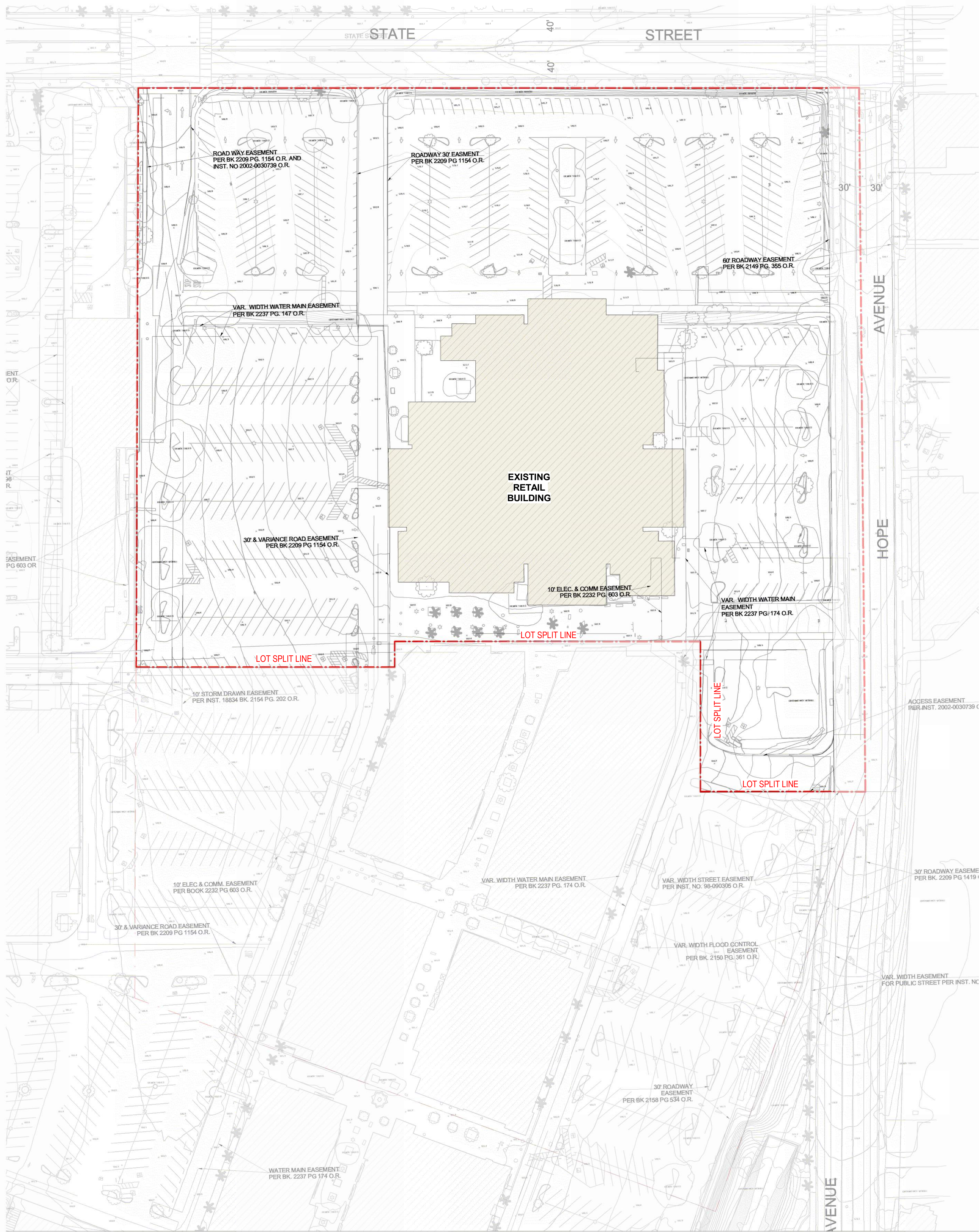
DARK SKY COMPLIANCE	
<div>1. LIGHTING SHALL BE DESIGNED TO CONTROL GLARE, MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES, MINIMIZE DIRECT UPWARD LIGHT EMISSION, PROMOTE EFFECTIVE SECURITY, AND AVOID INTERFERENCE WITH THE SAFE OPERATION OF MOTOR VEHICLES. THE MINIMUM INTENSITY NEEDED FOR THE INTENDED PURPOSE SHOULD BE USED.</div>	

OUTDOOR LIGHTING COMPLIANCE STATEMENT		
<div>Outdoor Lighting Compliance Statement</div> <div>As preparer of these plans for outdoor lighting, I certify that this lighting design meets the City of Santa Barbara Outdoor Lighting Ordinance and Outdoor Lighting Design Guidelines.</div> <div><div>SCOTT CAPPS, PLA, EPTDESIGN</div><div>Principal Lighting Designer Name</div><div></div><div>Signature</div><div>08-30-2024</div><div>Date</div></div>		

MILESTONES / SUBMITTALS	
DESCRIPTION	DATE
PLN SUBMITTAL	05/31/2024
PLN SUBMITTAL	08/30/2024

REVISIONS		
NO.	DESCRIPTION	DATE





① Level Site Existing  
1" = 50'-0"



STATE AND HOPE



A100  
SITE PLAN EXISTING





NOTE:  
SEE ENLARGED PLANS SHEETS A620 AND A621  
FOR DETAILED WASTE ROOMS AND BIKE ROOMS.

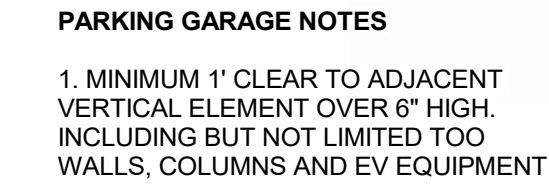
LOAD: LOADING SPACE

AREA USE LEGEND

- Amenity
- Circulation
- Commercial
- Garage
- Residential
- Utility

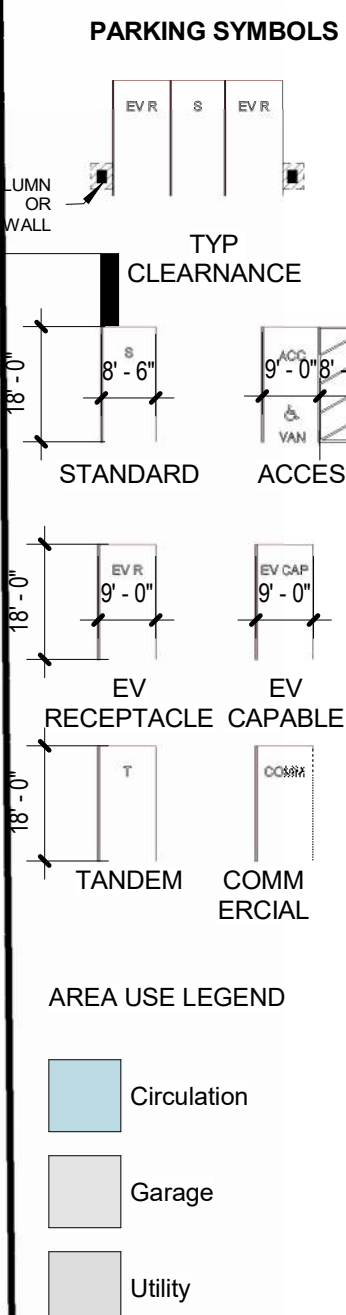
1 Level Site  
1" = 30'-0"





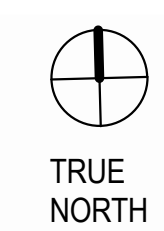


1 LEVEL 0 SUBTERRANEAN MAIN RESIDENTIAL GARAGE  
1" = 30'-0"



**PARKING GARAGE NOTES**

1. MINIMUM 1' CLEAR TO ADJACENT VERTICAL ELEMENT OVER 6" HIGH, INCLUDING BUT NOT LIMITED TO WALLS, COLUMNS AND EV EQUIPMENT.



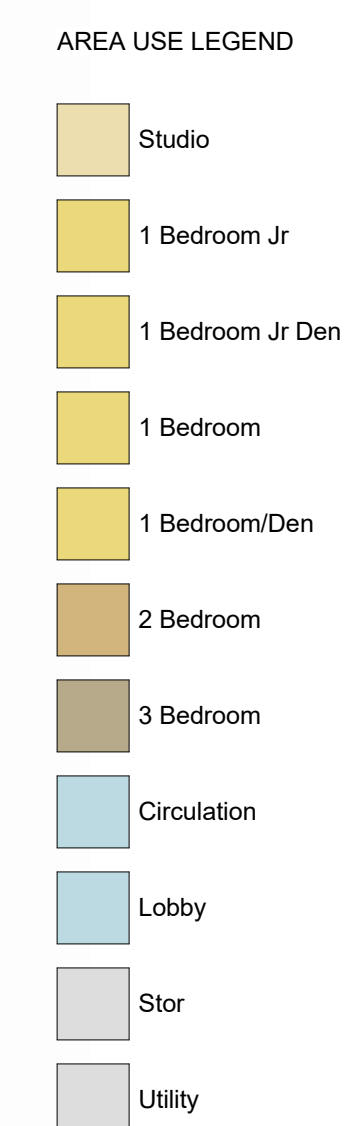




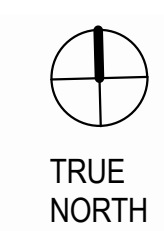




















1 Roof Plan  
1" = 30'-0"

**BUILDING A**

**PROPOSED TOTAL PANELS (estimated):**  
721 PANELS @ 585 W EACH  
721 X 585 = 421,785 W (422 kW)

**REQUIRED:**  
COMMERCIAL: 5 W PER EACH NEW NET SF  
COMMERCIAL AREA: 16,509 SF  
REQUIRED: 82,545 W (83 kW)

**RESIDENTIAL:** MIN 2 kW SYSTEM PER UNIT IF PHYSICALLY FEASIBLE  
UNITS: 382 UNITS  
REQ'D (IF FEASIBLE): 764 kW

**PROPOSED (ESTIMATED):**  
COMMERCIAL: 83 kW  
RESIDENTIAL: 339 kW

**BUILDING B**

**PROPOSED TOTAL PANELS (estimated):**  
194 PANELS @ 585 W EACH  
194 X 585 = 113,490 W (113 kW)

**REQUIRED:**  
COMMERCIAL: 5 W PER EACH NEW NET SF  
COMMERCIAL AREA: 11,116 SF  
REQUIRED: 55,580 W (55 kW)

**RESIDENTIAL:** MIN 2 kW SYSTEM PER UNIT IF PHYSICALLY FEASIBLE  
UNITS: 127 UNITS  
REQ'D (IF FEASIBLE): 254 kW

**PROPOSED (ESTIMATED):**  
COMMERCIAL: 55 kW  
RESIDENTIAL: 58 kW

**BUILDING C**

**PROPOSED TOTAL PANELS (estimated):**  
163 PANELS @ 585 W EACH  
163 X 585 = 95,355 W (95 kW)

**REQUIRED:**  
COMMERCIAL: 5 W PER EACH NEW NET SF  
COMMERCIAL AREA: 0 SF  
REQUIRED: 0

**RESIDENTIAL:** MIN 2 kW SYSTEM PER UNIT IF PHYSICALLY FEASIBLE  
UNITS: 127 UNITS  
REQ'D (IF FEASIBLE): 254 kW

**PROPOSED (ESTIMATED):**  
COMMERCIAL: 0 kW  
RESIDENTIAL: 95 kW

**BUILDING D**

**PROPOSED TOTAL PANELS (estimated):**  
99 PANELS @ 585 W EACH  
99 X 585 = 57,915 W (58 kW)

**REQUIRED:**  
COMMERCIAL: 5 W PER EACH NEW NET SF  
COMMERCIAL AREA: 519 SF  
REQUIRED: 2,595 W (2.6 kW)

**RESIDENTIAL:** MIN 2 kW SYSTEM PER UNIT IF PHYSICALLY FEASIBLE  
UNITS: 48 UNITS  
REQ'D (IF FEASIBLE): 96 kW

**PROPOSED (ESTIMATED):**  
COMMERCIAL: 2.6 kW  
RESIDENTIAL: 55.4 kW

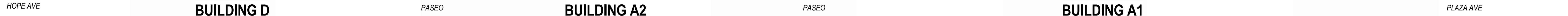
**NOTES:**

1. WATTS AND KILOWATTS PROVIDED ARE ESTIMATED ONLY BASED ON RECENT PROJECTS AND/OR SOLAR PANEL MANUFACTURER'S GUIDELINES.

2. DETERMINATION OF THE REQUIRED COMMERCIAL WATTS USING EITHER 5 W PER NEW NET OR SF OR 30% OF THE AVERAGE PROJECTED ENERGY DEMAND, WHICHEVER IS LOWER, WILL BE MADE WITH THE CONSTRUCTION DOCUMENTATION AND SOLAR PANEL CONSULTANT DESIGN.






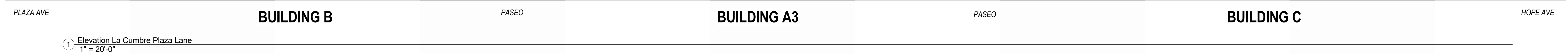


② Elevation Hope Ave  
1" = 20'-0"

② Elevation Hope Ave  
1" = 20'-0"







TRUE  
NORTH





PLAZA AVE

BUILDING A1

PASEO

① Elevation A1 South  
1" = 20'-0"



CENTRAL PLAZA

BUILDING A1

STATE STREET

② Elevation A1 East  
1" = 20'-0"



STATE STREET

BUILDING A2

FIRE LANE

③ Elevation A2 West  
1" = 20'-0"



FIRE LANE

BUILDING A2

STATE STREET

④ Elevation A2 East  
1" = 20'-0"



PASEO

BUILDING A2

PASEO

⑤ Elevation A2 South  
1" = 20'-0"

TYPICAL MATERIALS

BUILDING A1 & A2

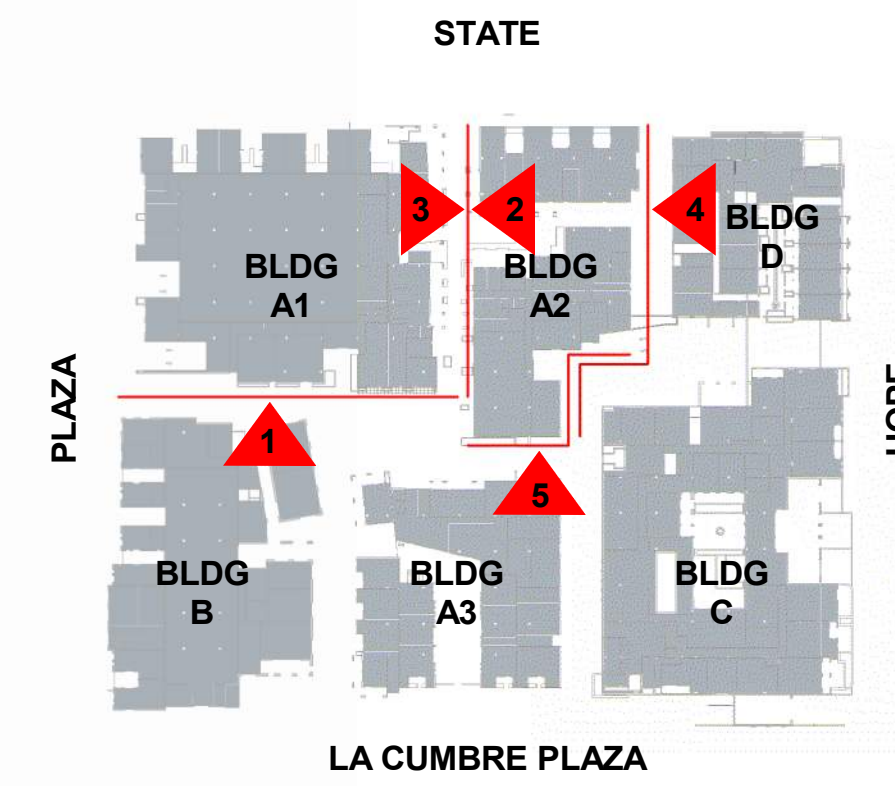
WALLS:  
3 COAT STEEL TROWEL PLASTER, WHITE  
LOW FIRED CLAY TILE, TERRACOTTA  
GLAZED BRICK TILE, DARK COLOR TONAL MIX  
KEBONY MODIFIED WOOD SIDING ACCENTS  
MURAL AT BUILDING A1 SOUTH

ROOF:  
FLAT ROOFS, PVC

WINDOWS/DOORS:  
RESIDENTIAL: ALUMINUM CLAD, COLOR TBD  
COMMERCIAL: WOOD STOREFRONT

METAL WORK:  
STEEL RAILINGS, COLOR TBD  
STEEL AND WOOD SLAT SCREENS AT LOBBY STAIR ENCLOSURES  
DENVER DOWNSPOUTS: GSM, PAINTED

NOTE: EXISTING BUILDING HEIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.



TRUE NORTH

STATE AND HOPE







① Elevation B North  
1" = 20'-0"



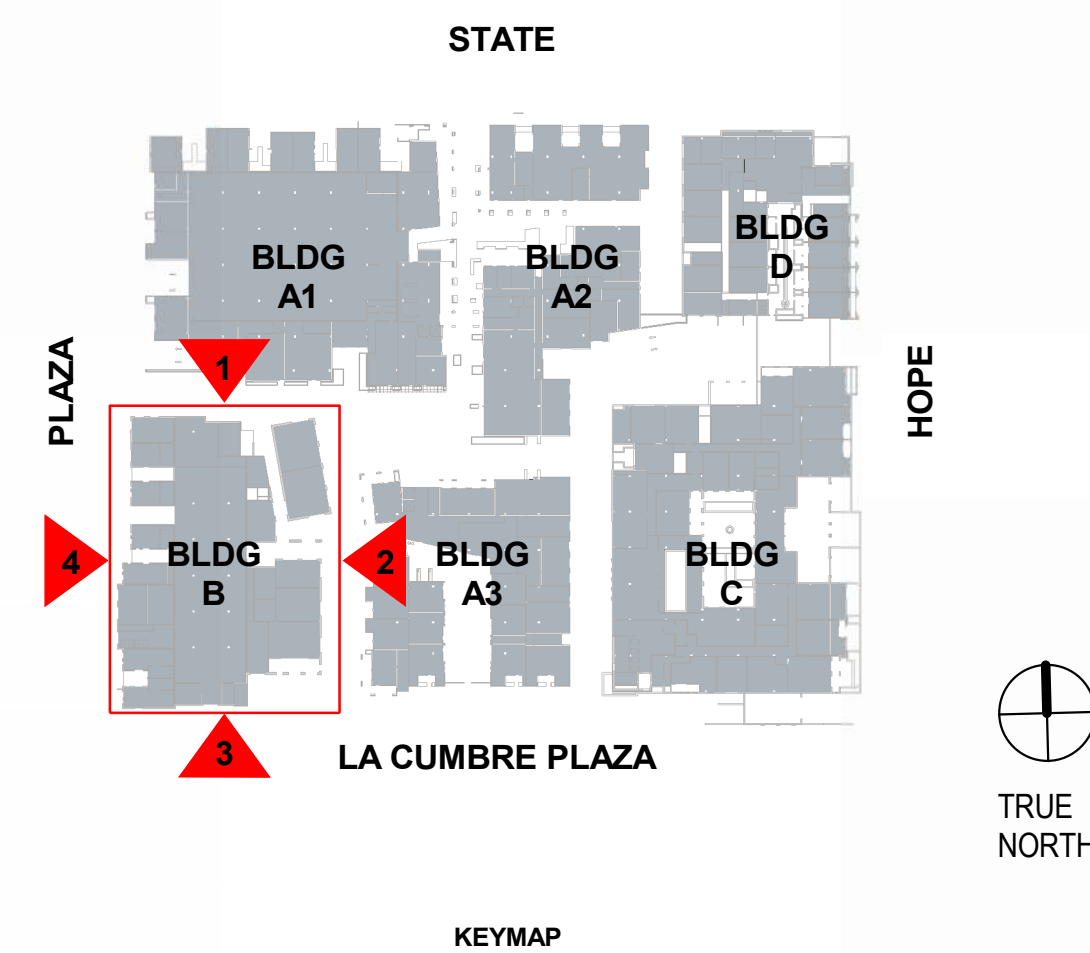
② Elevation B East  
1" = 20'-0"



③ Elevation B South  
1" = 20'-0"



④ Elevation B West  
1" = 20'-0"



NOTE: EXISTING BUILDING HEIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.

**TYPICAL MATERIALS**

**BUILDING B**

WALLS:  
3 COAT STEEL TROWEL PLASTER, WHITE  
SANTA BARBARA SANDSTONE, ASHLAR RUNNING BOND CUT

ROOF:  
FLAT ROOFS, PVC

WINDOWS/DOORS:  
RESIDENTIAL: ALUMINUM CLAD, COLOR TBD  
COMMERCIAL: ALUMINUM STOREFRONT

METAL WORK:  
METAL RAILINGS, COLOR TBD  
LASER CUT METAL SCREEN AT STAIR ENCLOSURES, COLOR TBD  
GUTTERS/DOWNSPOUTS: GSM, PAINTED

**BUILDING C AND D**

WALLS:  
3 COAT STEEL TROWEL PLASTER, COLORS TBD

ROOF:  
FLAT ROOFS: PVC  
SLOPED ROOFS: 2 PIECE MISSION TILE

WINDOWS/DOORS:  
RESIDENTIAL: ALUMINUM CLAD, COLOR TBD  
COMMERCIAL: ALUMINUM STOREFRONT

METAL WORK:  
METAL RAILINGS, SOLID STOCK, COLOR TBD  
GUTTERS/DOWNSPOUTS: COPPER

EXPOSED WOOD:  
SOLID BODY STAIN, COLOR TBD





5 Elevation D East  
1" = 20'-0"



6 Elevation D North  
1" = 20'-0"



7 Elevation D South  
1" = 20'-0"



8 Elevation D West  
1" = 20'-0"



1 Elevation C East  
1" = 20'-0"



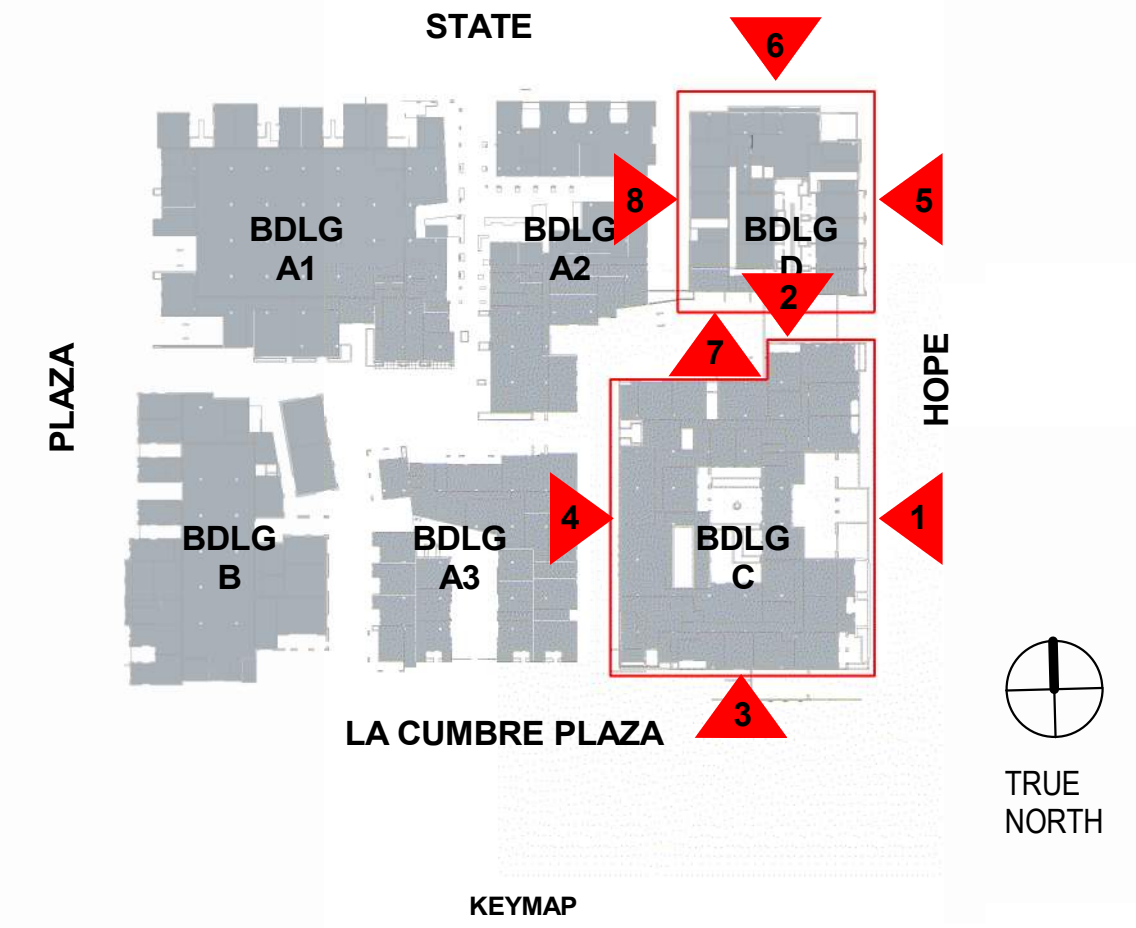
2 Elevation C North  
1" = 20'-0"



3 Elevation C South  
1" = 20'-0"



4 Elevation C West  
1" = 20'-0"



NOTE: EXISTING BUILDING HEIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.

#### TYPICAL MATERIALS

- BUILDING B**
- WALLS:**
- 3 COAT STEEL TROWEL PLASTER, WHITE
  - SANTA BARBARA SANDSTONE, ASHLAR RUNNING BOND CUT
- ROOF:**
- FLAT ROOFS, PVC
- WINDOWS/DOORS:**
- RESIDENTIAL: ALUMINUM CLAD, COLOR TBD
  - COMMERCIAL: ALUMINUM STOREFRONT
- METAL WORK:**
- METAL RAILINGS, COLOR TBD
  - LASER CUT METAL SCREEN AT STAIR ENCLOSURES, COLOR TBD
  - GUTTERS/DOWNSPOUTS: GSM, PAINTED
- BUILDING C AND D**
- WALLS:**
- 3 COAT STEEL TROWEL PLASTER, COLORS TBD
- ROOF:**
- FLAT ROOFS: PVC
  - SLOPED ROOFS: 2 PIECE MISSION TILE
- WINDOWS/DOORS:**
- RESIDENTIAL: ALUMINUM CLAD, COLOR TBD
  - COMMERCIAL: ALUMINUM STOREFRONT
- METAL WORK:**
- METAL RAILINGS, SOLID STOCK, COLOR TBD
  - GUTTERS/DOWNSPOUTS: COPPER
- EXPOSED WOOD:**
- SOLID BODY STAIN, COLOR TBD





PASEO

**BUILDING A3**

FIRE LANE

① Elevation A3 North  
1" = 20'-0"



LA CUMBRE PLAZA LANE

**BUILDING A3**

PASEO

② Elevation A3 East  
1" = 20'-0"



CENTRAL PLAZA

**BUILDING A3**

LA CUMBRE PLAZA LANE

③ Elevation A3 West  
1" = 20'-0"

**TYPICAL MATERIALS**

**BUILDING A3**

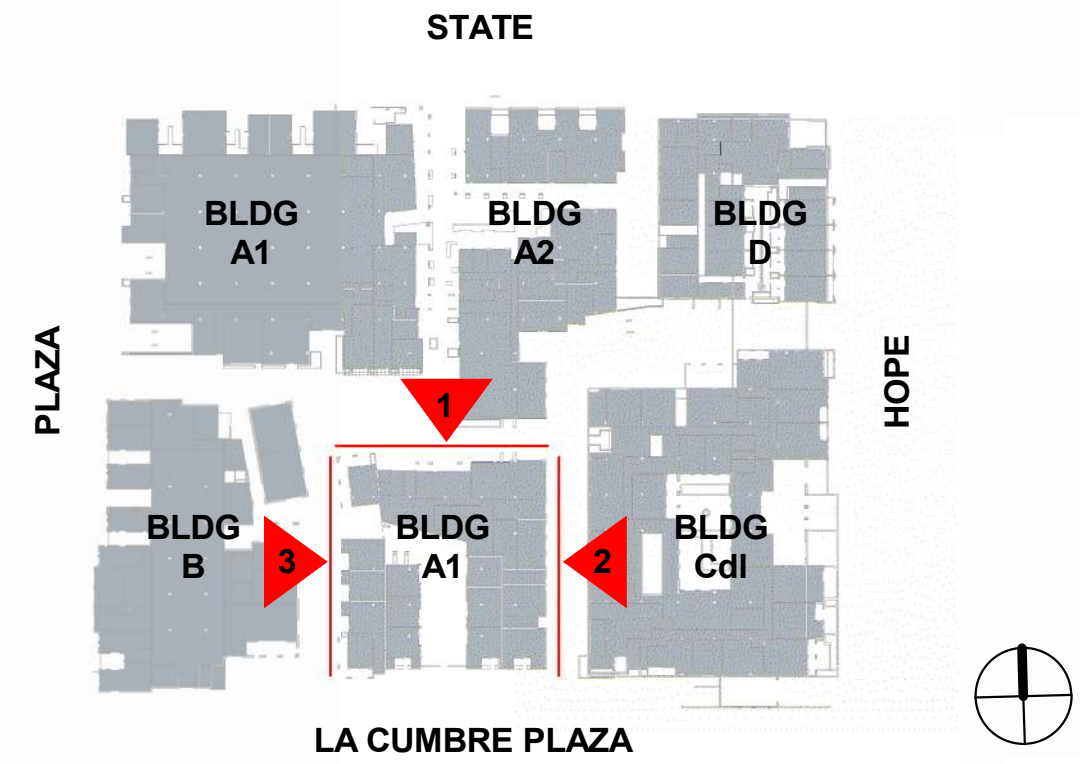
WALLS:  
3 COAT STEEL TROWEL PLASTER, WHITE  
STEEL PANEL ACCENTS  
GLAZED BRICK TILE, BLUE  
MURAL AT BUILDING A3 NORTH

ROOF:  
FLAT ROOFS, PVC

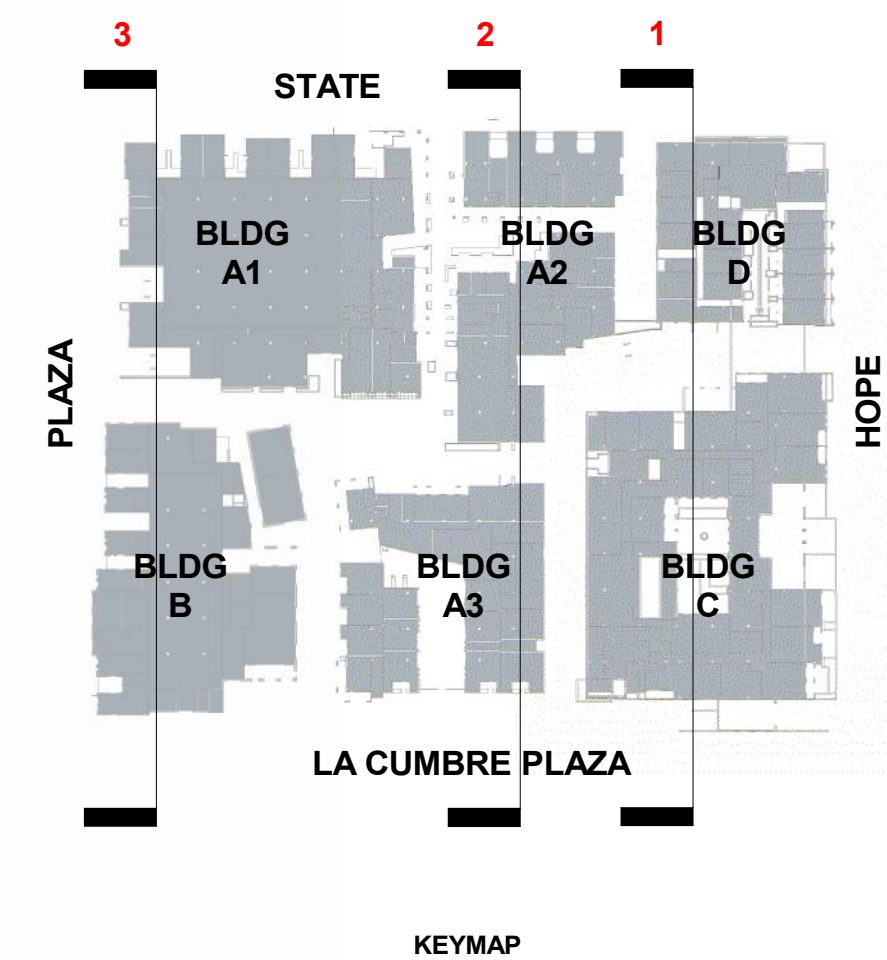
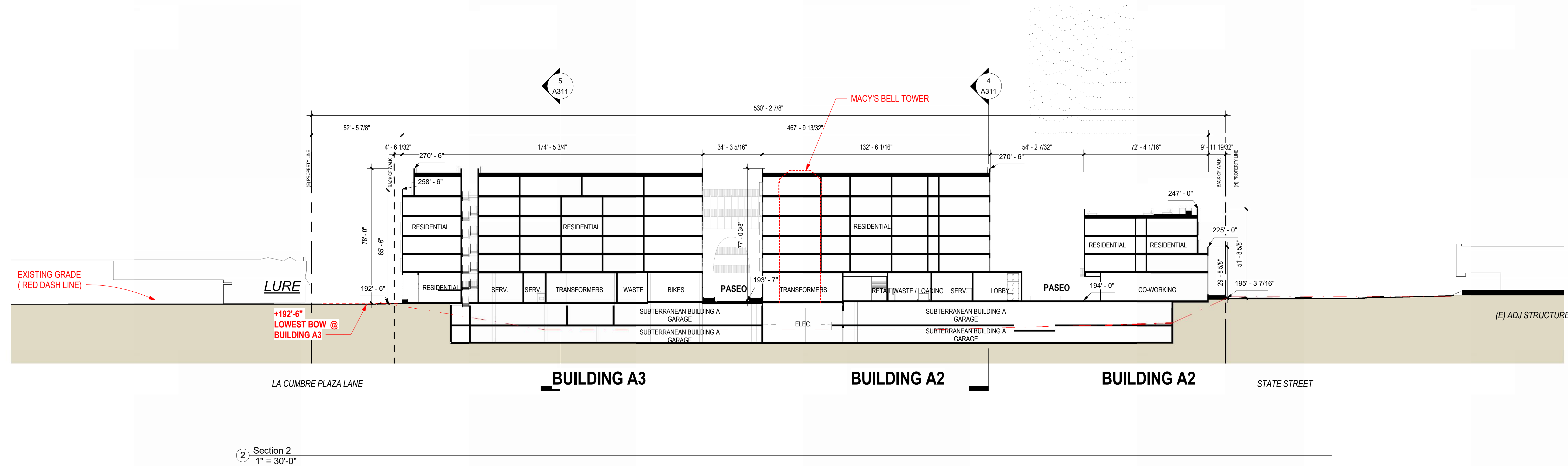
WINDOWS/DOORS:  
RESIDENTIAL: ALUMINUM CLAD, COLOR TBD  
COMMERCIAL: WOOD STOREFRONT

METAL WORK:  
STEEL RAILINGS, COLOR TBD  
STEEL AND WOOD SLAT SCREENS AT LOBBY STAIR ENCLOSURES  
DENVER DOWNSPOUTS: GSM, PAINTED

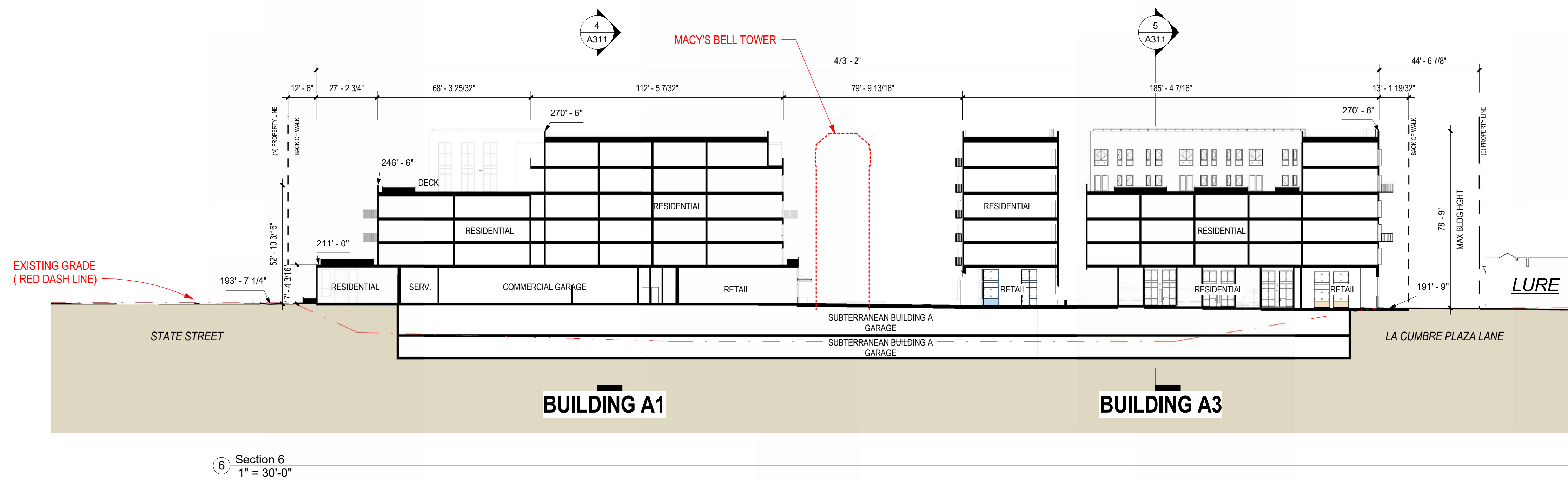
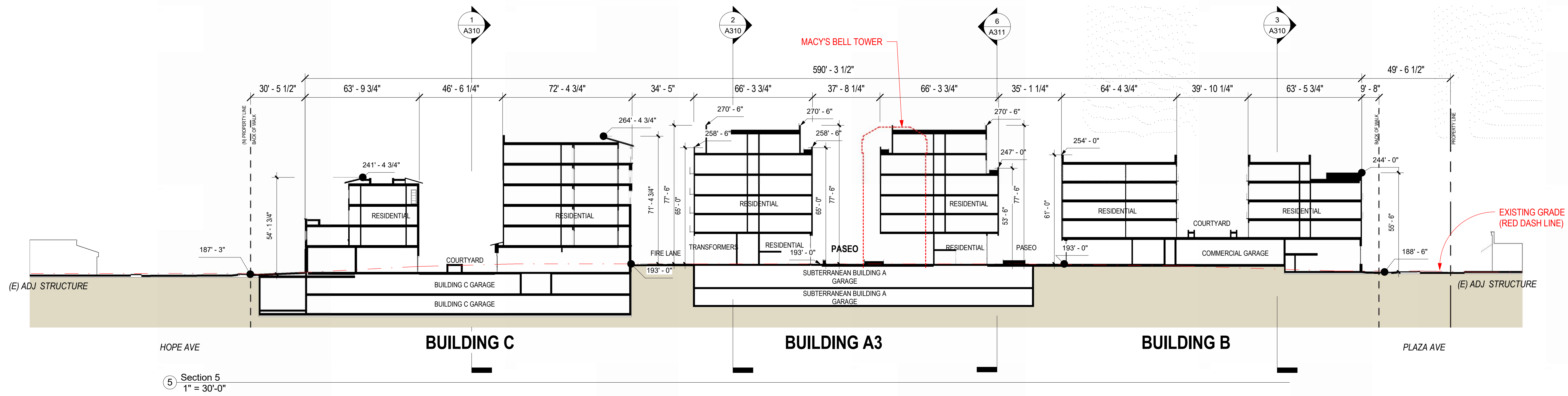
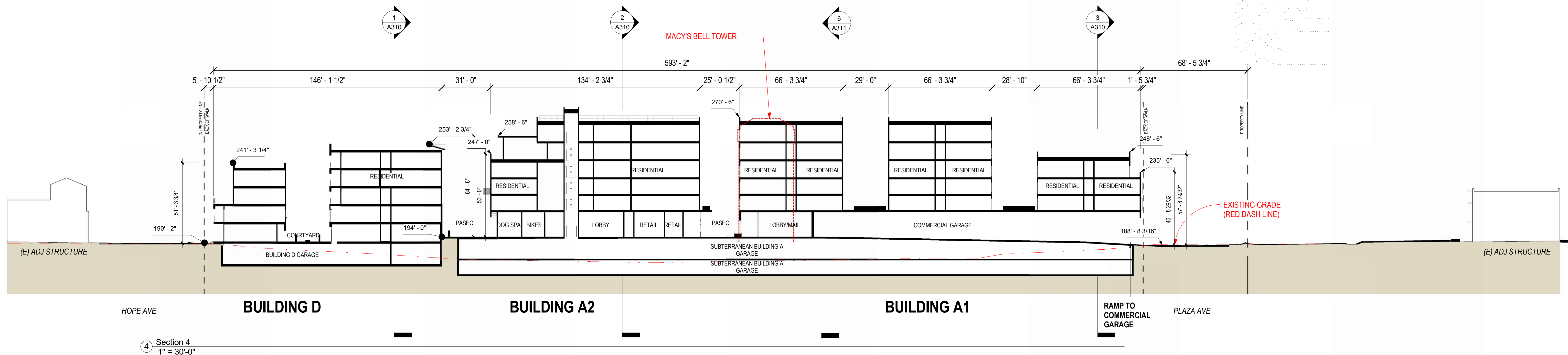
NOTE: EXISTING BUILDING HEIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.



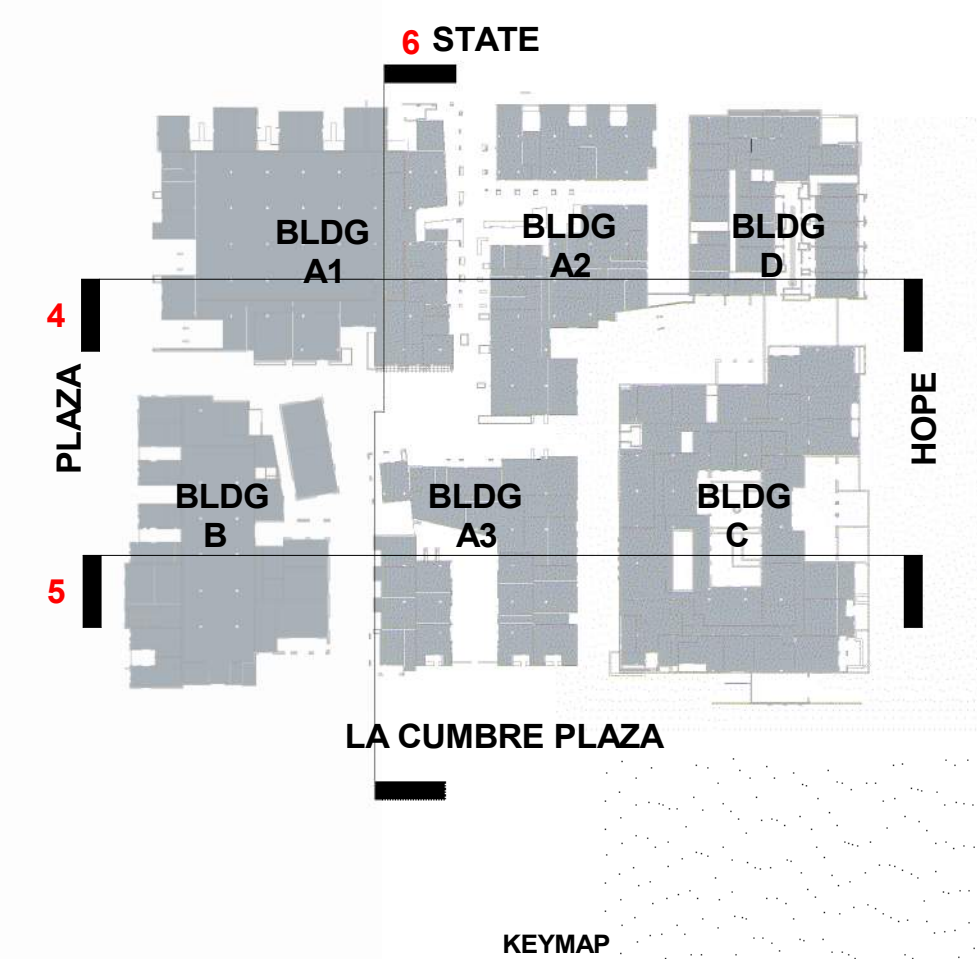








NOTE: EXISTING BUILDING HEIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.

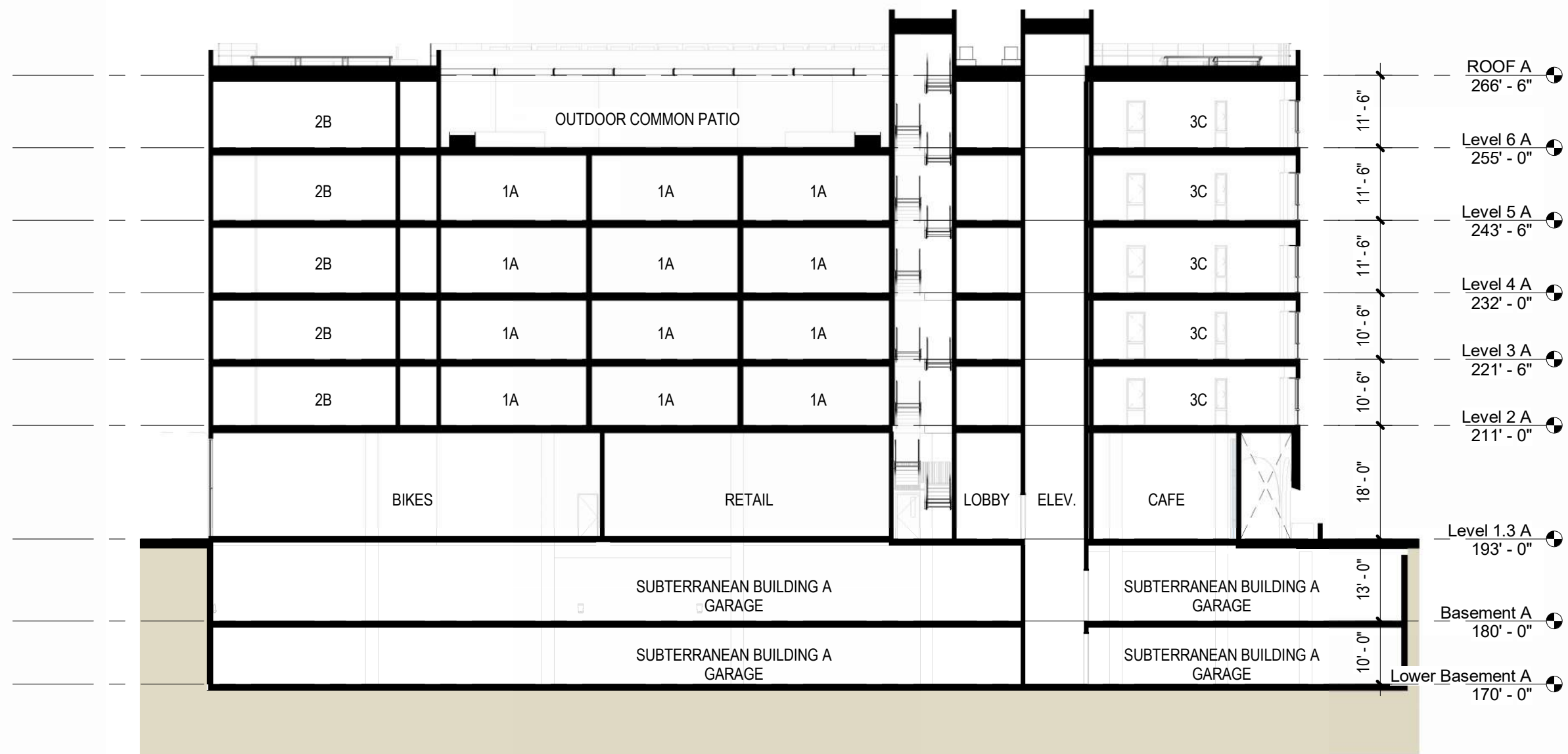


STATE AND HOPE

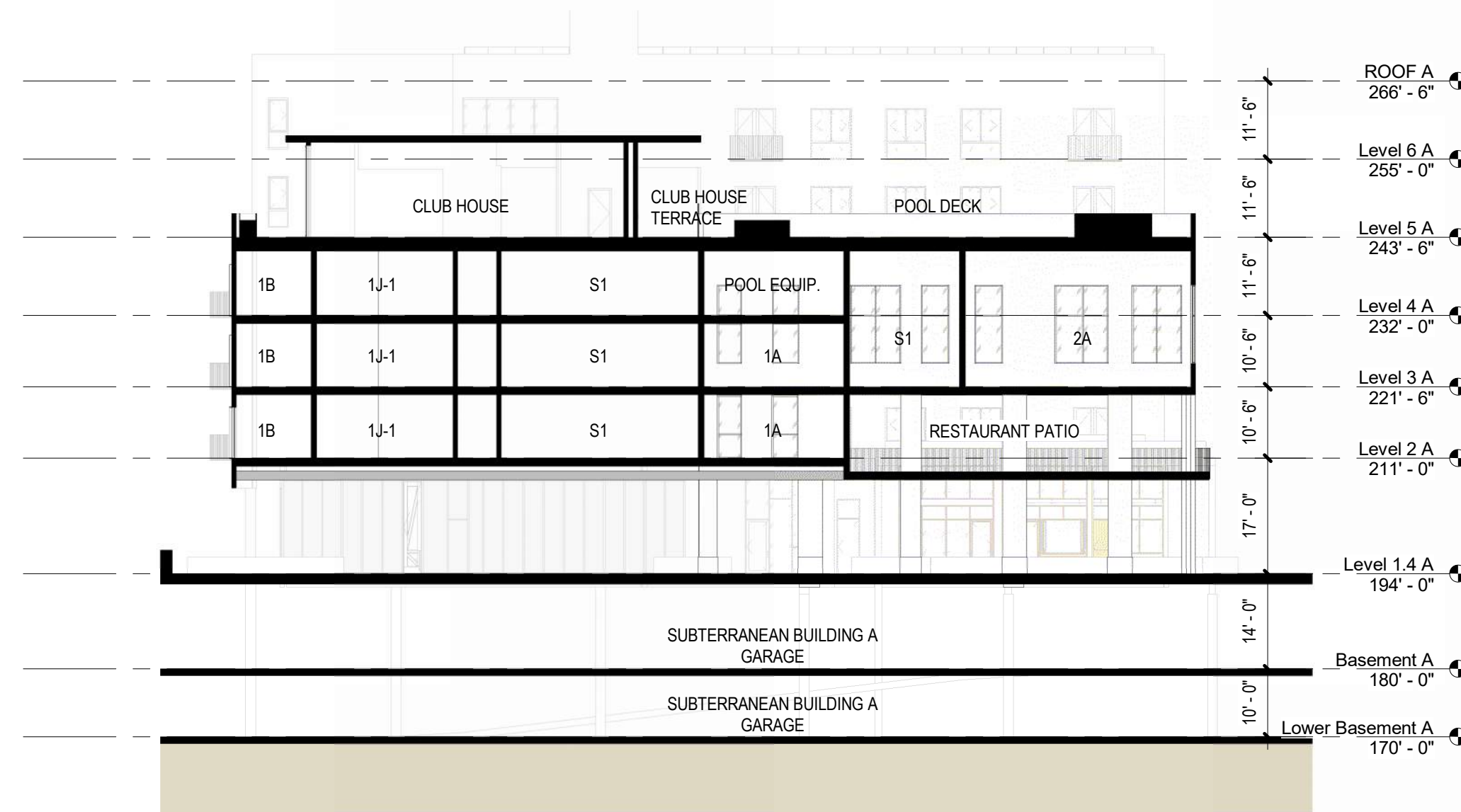


A311  
SITE SECTIONS

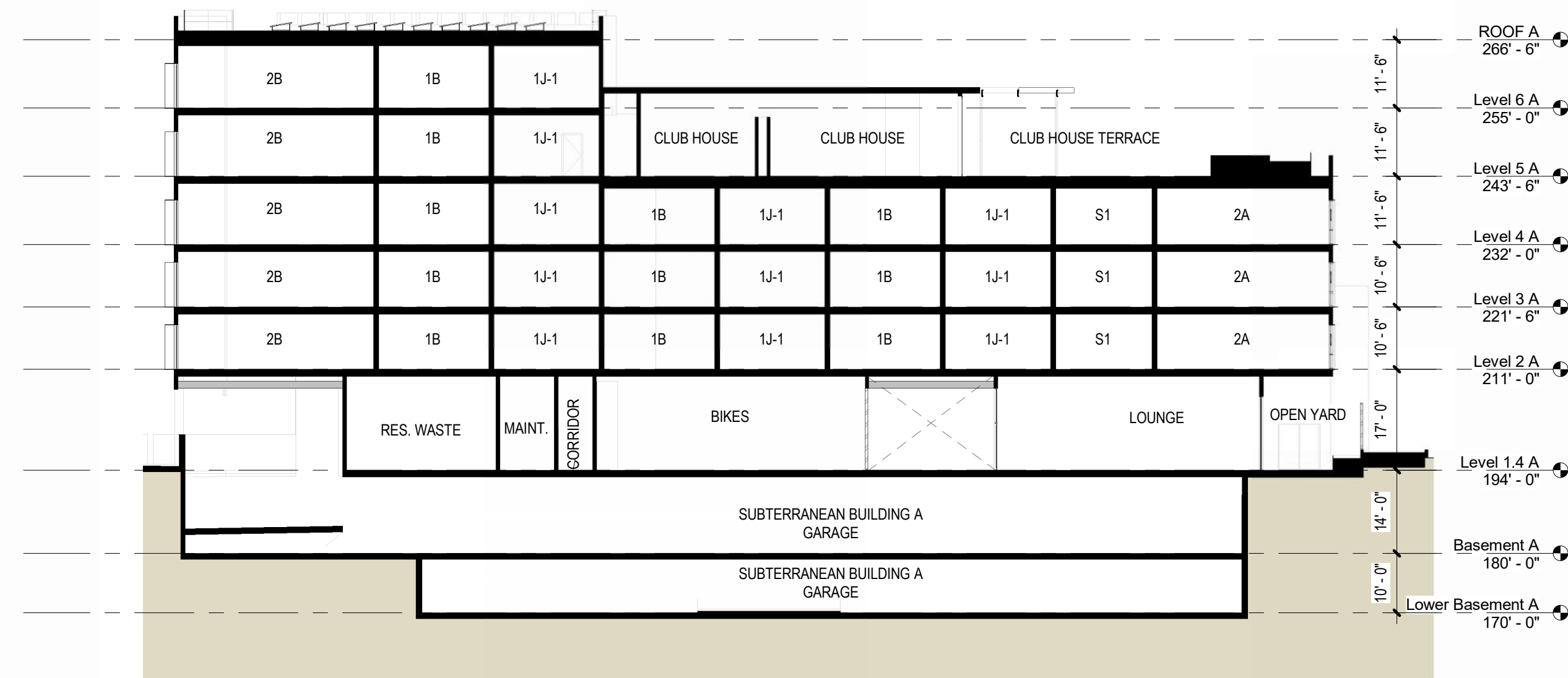




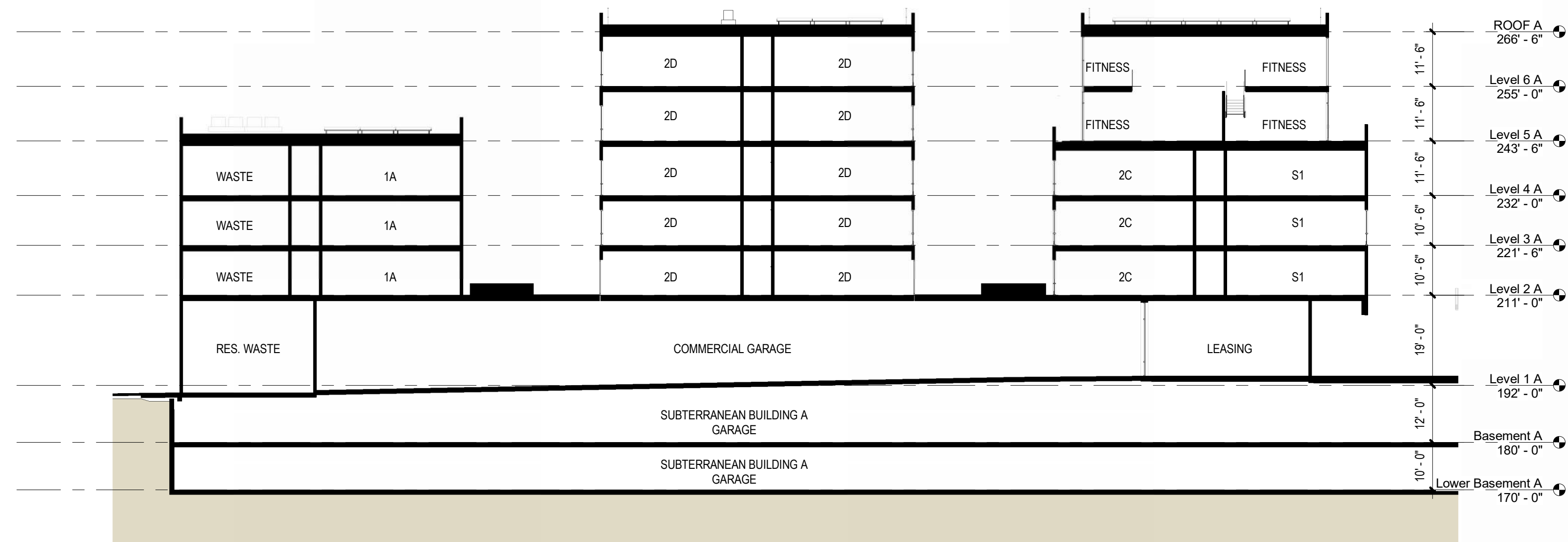
6 Building Section - Building A3  
1" = 20'-0"



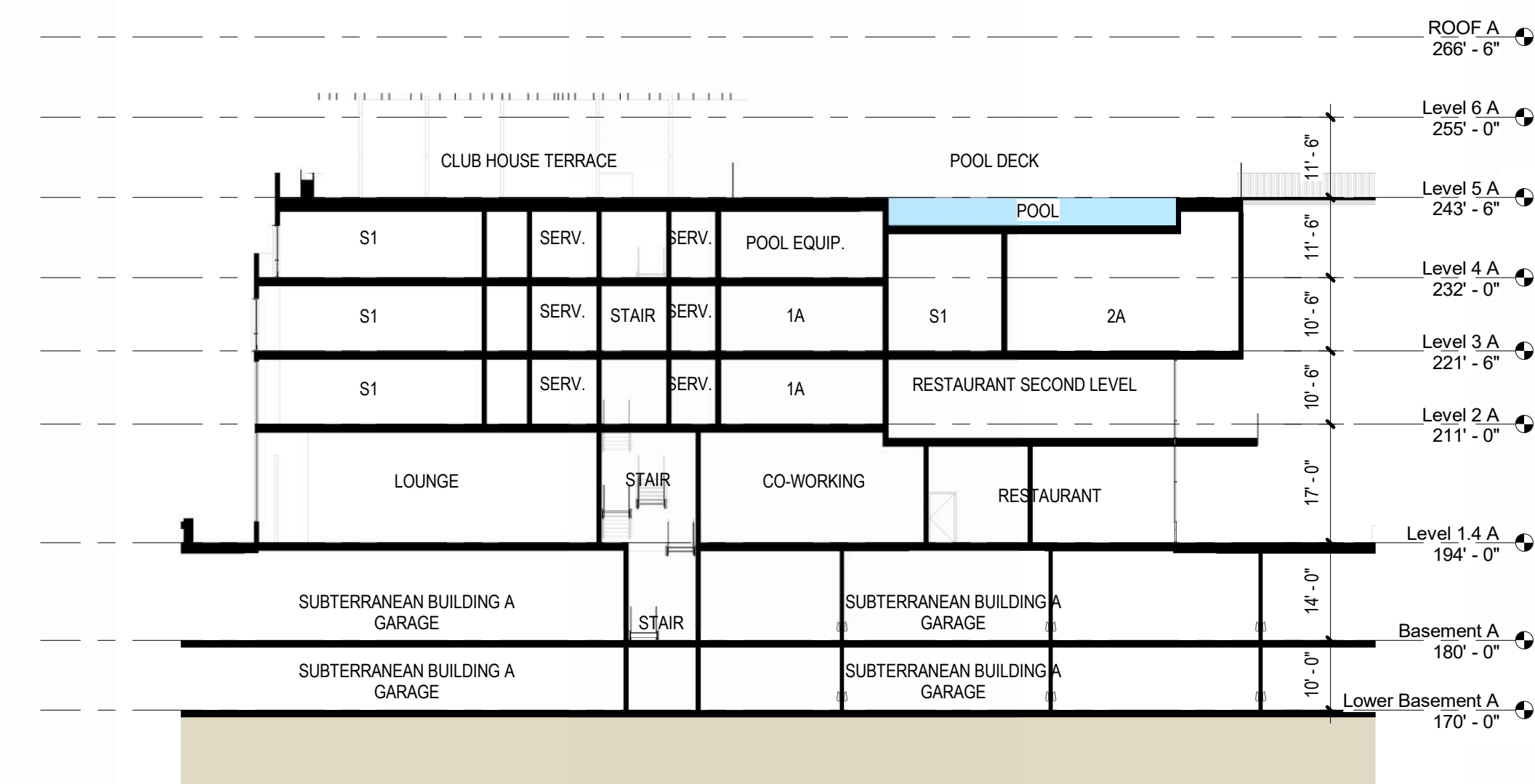
3 Building Section - Building A2.1  
1" = 20'-0"



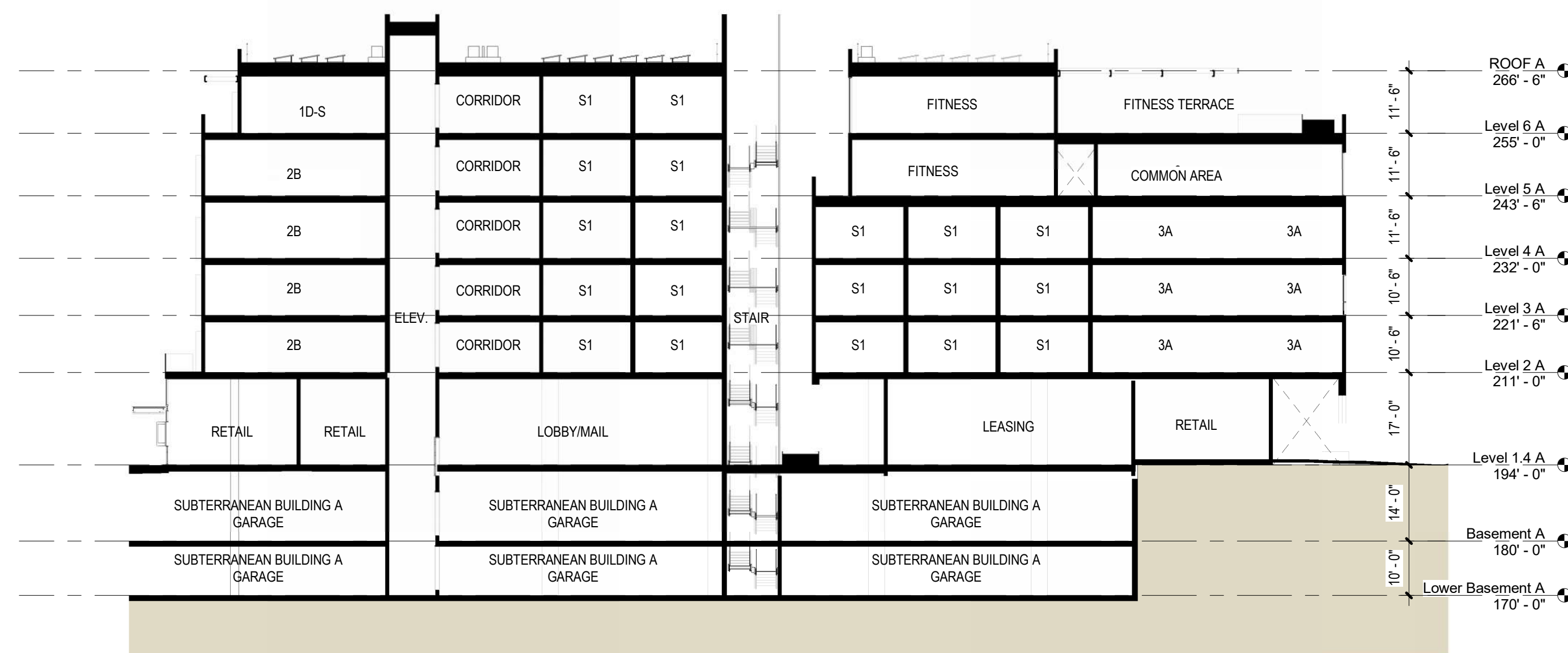
5 Building Section - Building A2.3  
1" = 20'-0"



2 Building Section - Building A1.2  
1" = 20'-0"

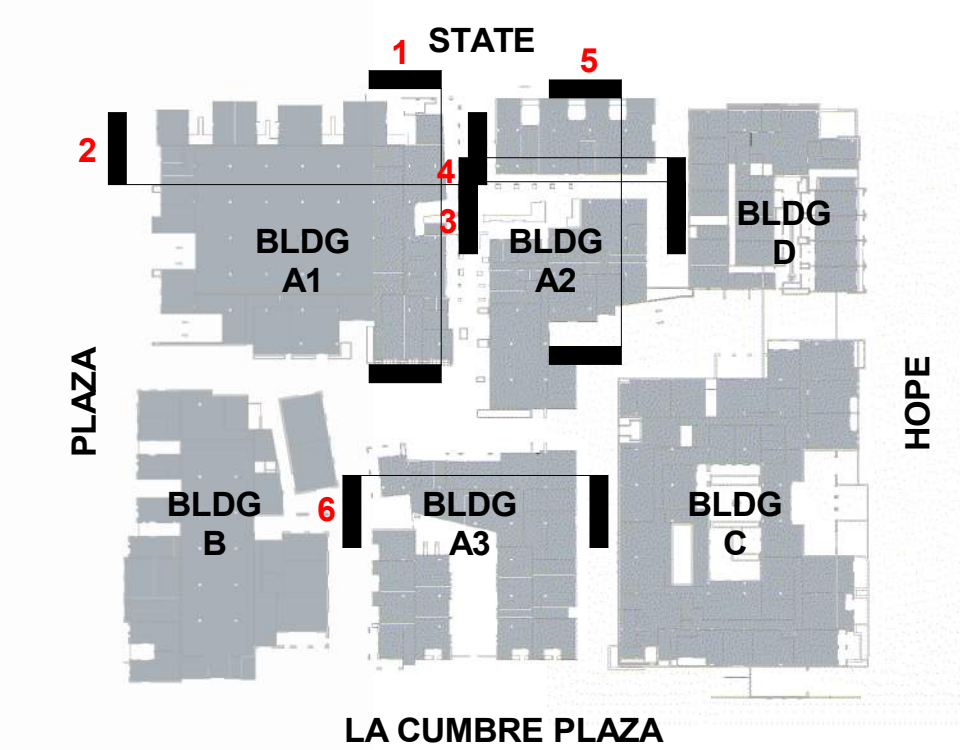


4 Building Section - Building A2.2  
1" = 20'-0"



1 Building Section - Building A1.1  
1" = 20'-0"

NOTE: EXISTING BUILDING HEIGHTS SHOWN HAVE BEEN ESTIMATED FROM GOOGLE EARTH.



KEYMAP

STATE AND HOPE

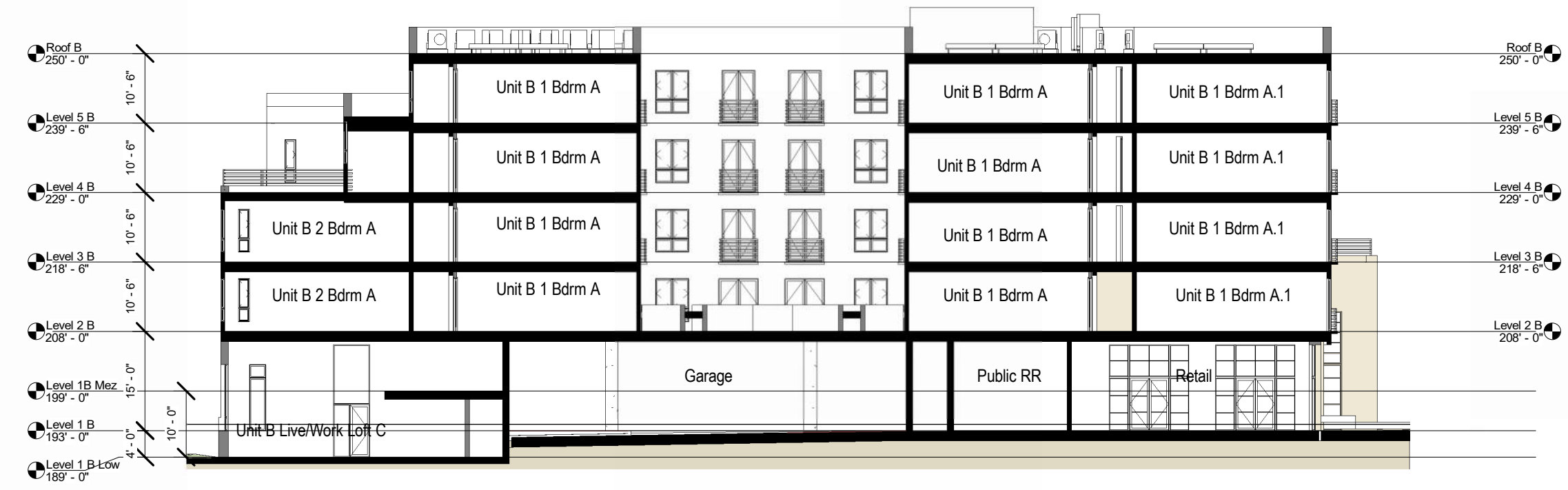


A320A  
BUILDING SECTIONS

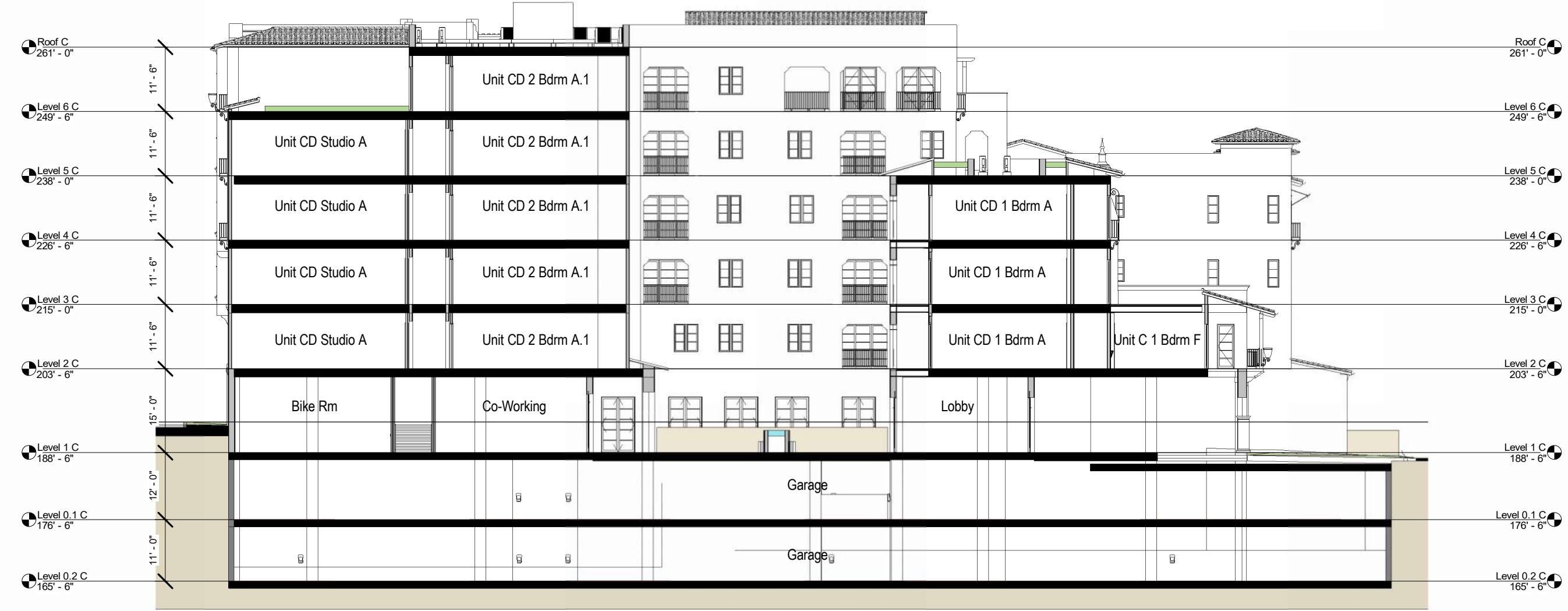
PLN 2ND 08-30-2024

THE OFFICE OF ARCHITECTURE, LLP & David S. Baker Architects  
Project # 21000  
Issue Date 02/20/2024 10:00 AM

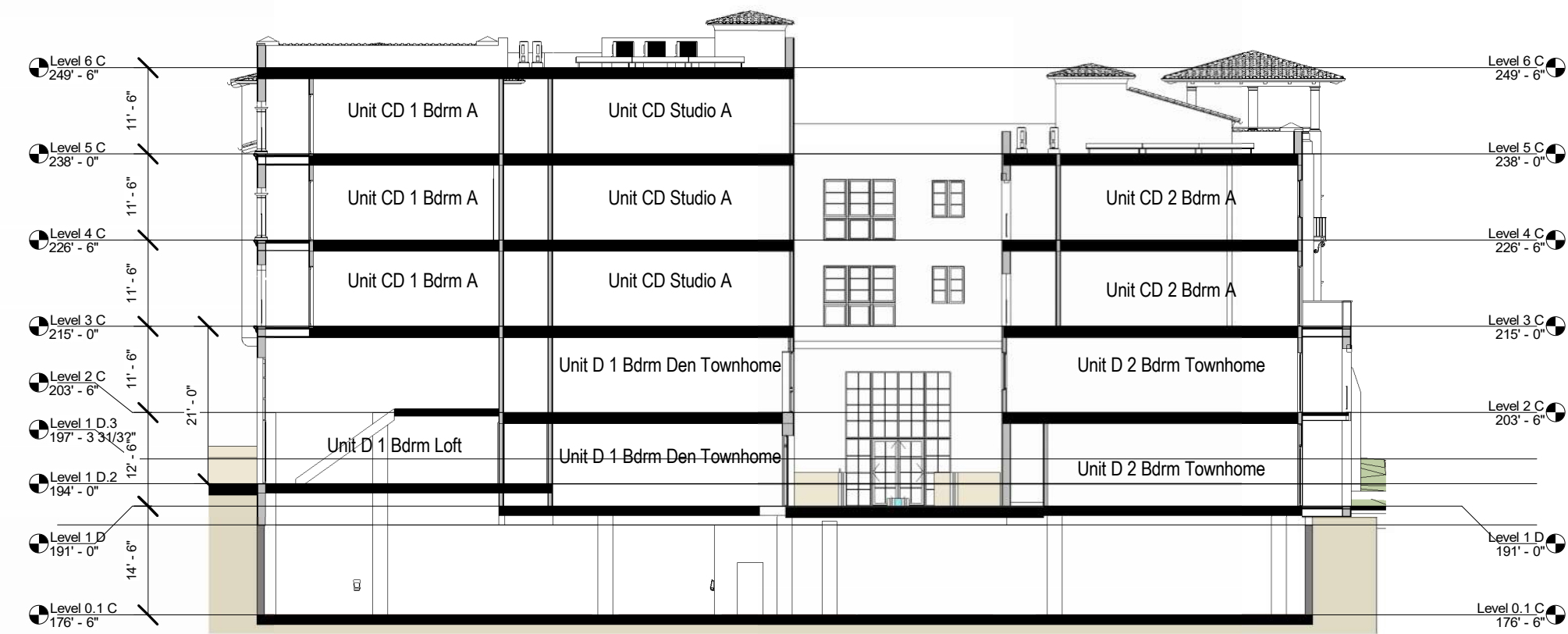




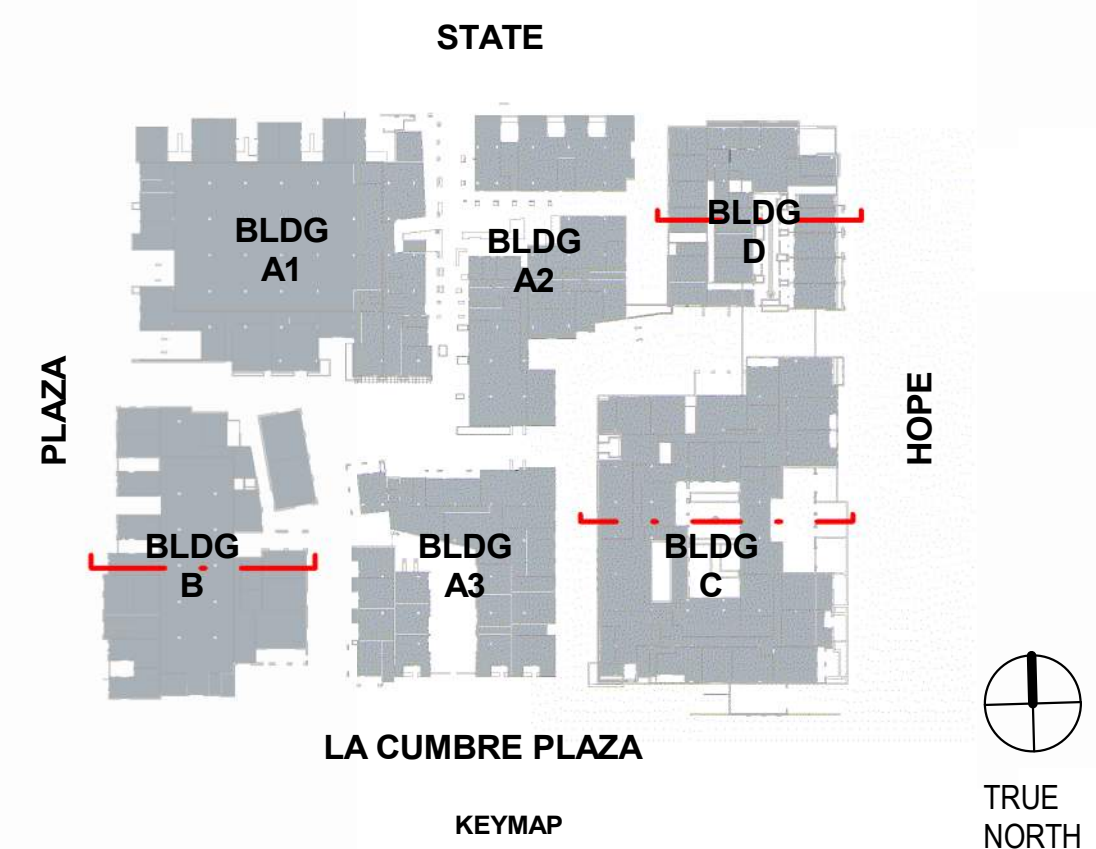
B Building Section - Building B  
1" = 20'-0"



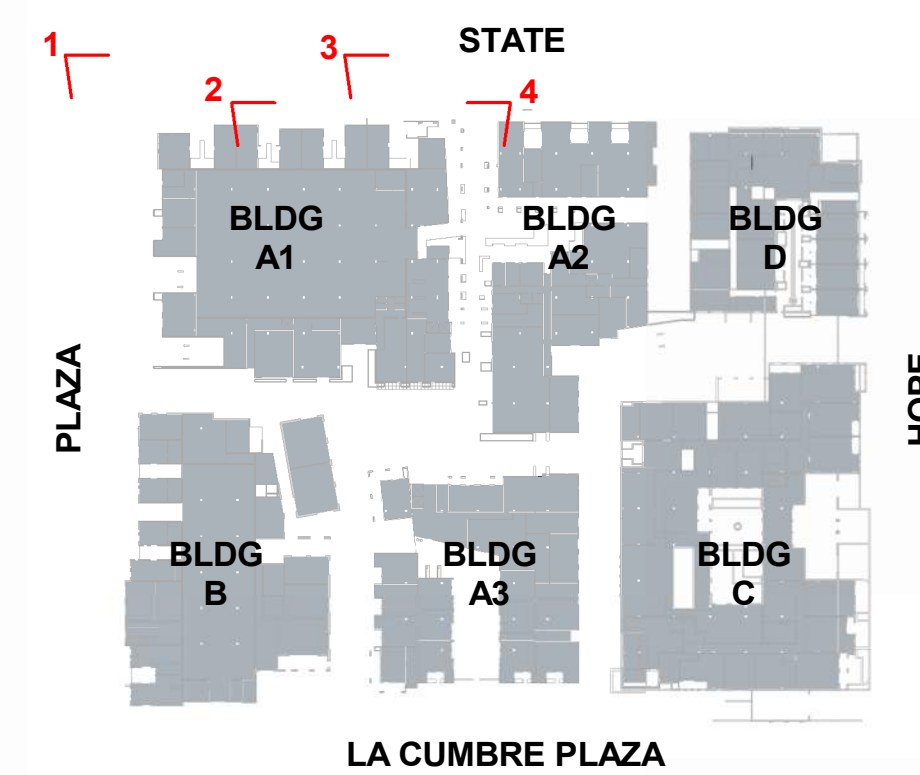
C Building Section - Building C  
1" = 20'-0"



D Building Section - Building D  
1" = 20'-0"



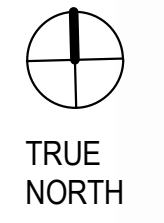
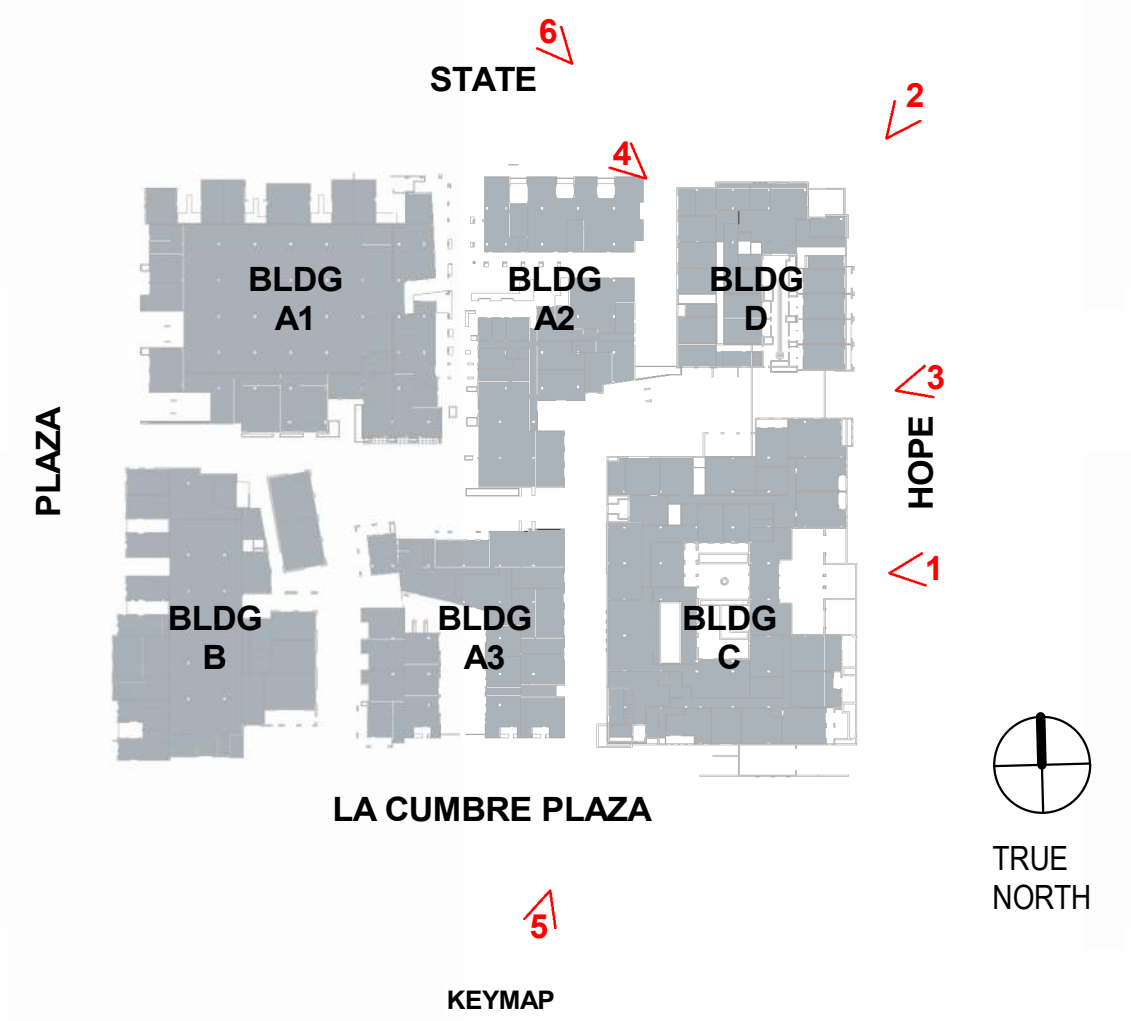




STATE AND HOPE  
TRUE NORTH



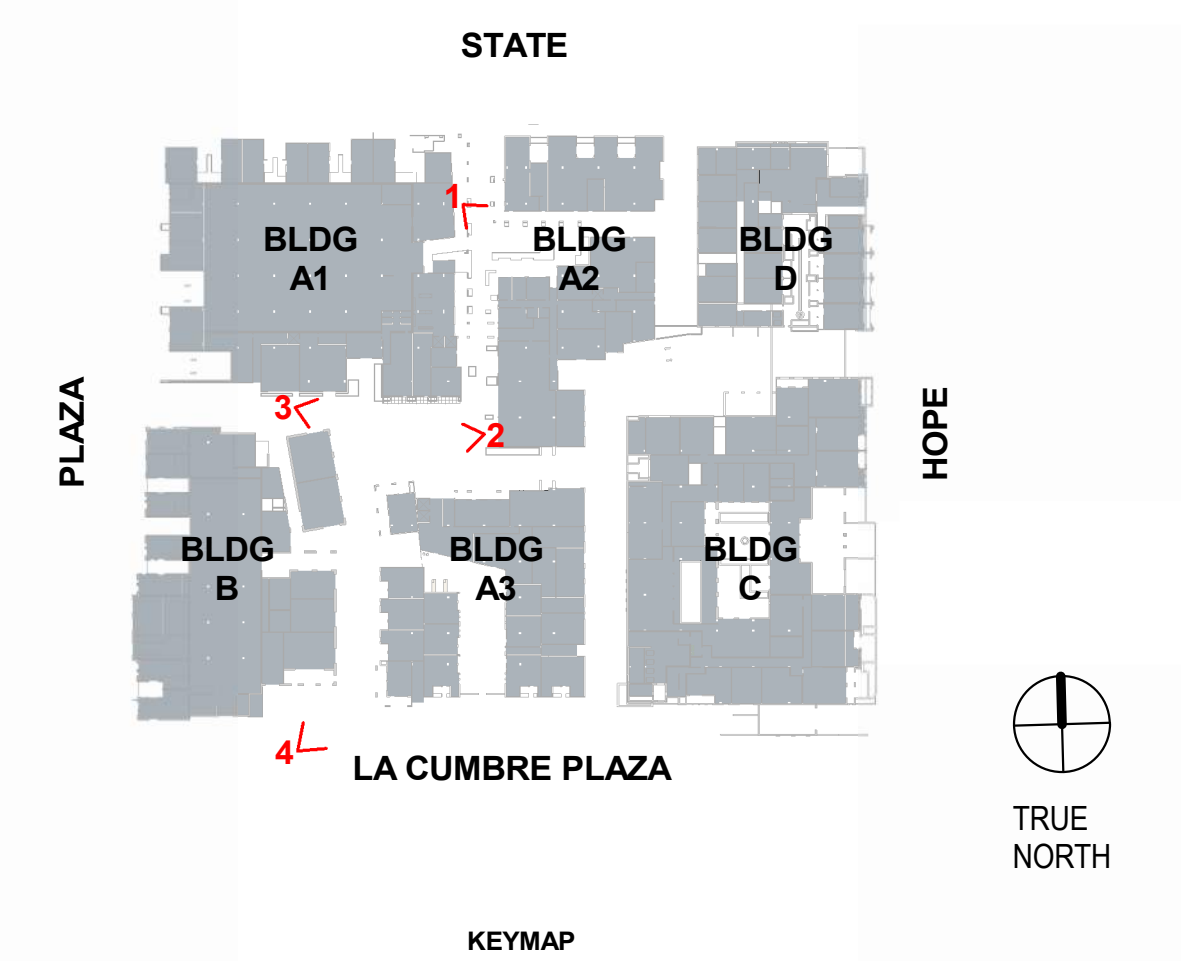




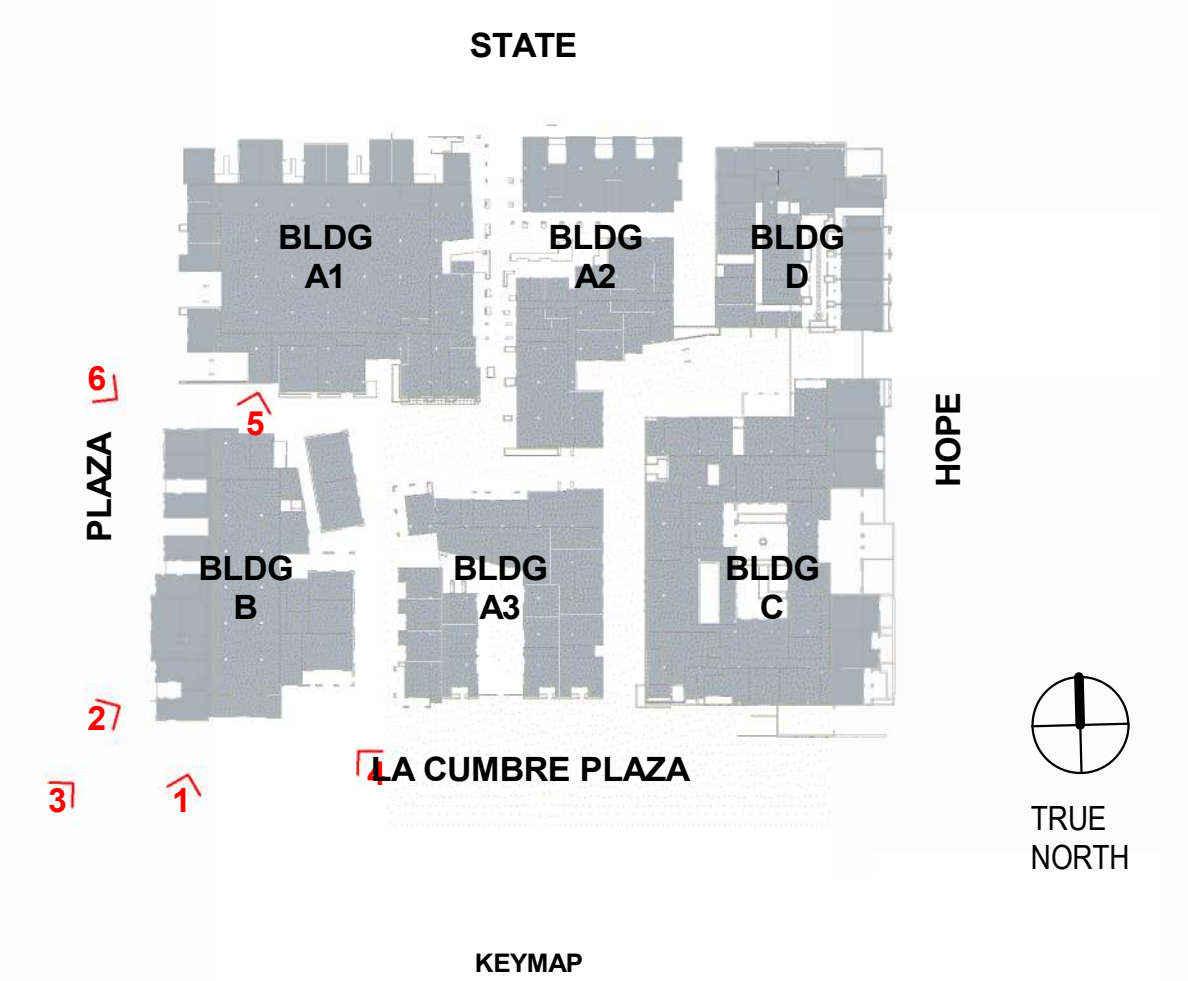
STATE AND HOPE











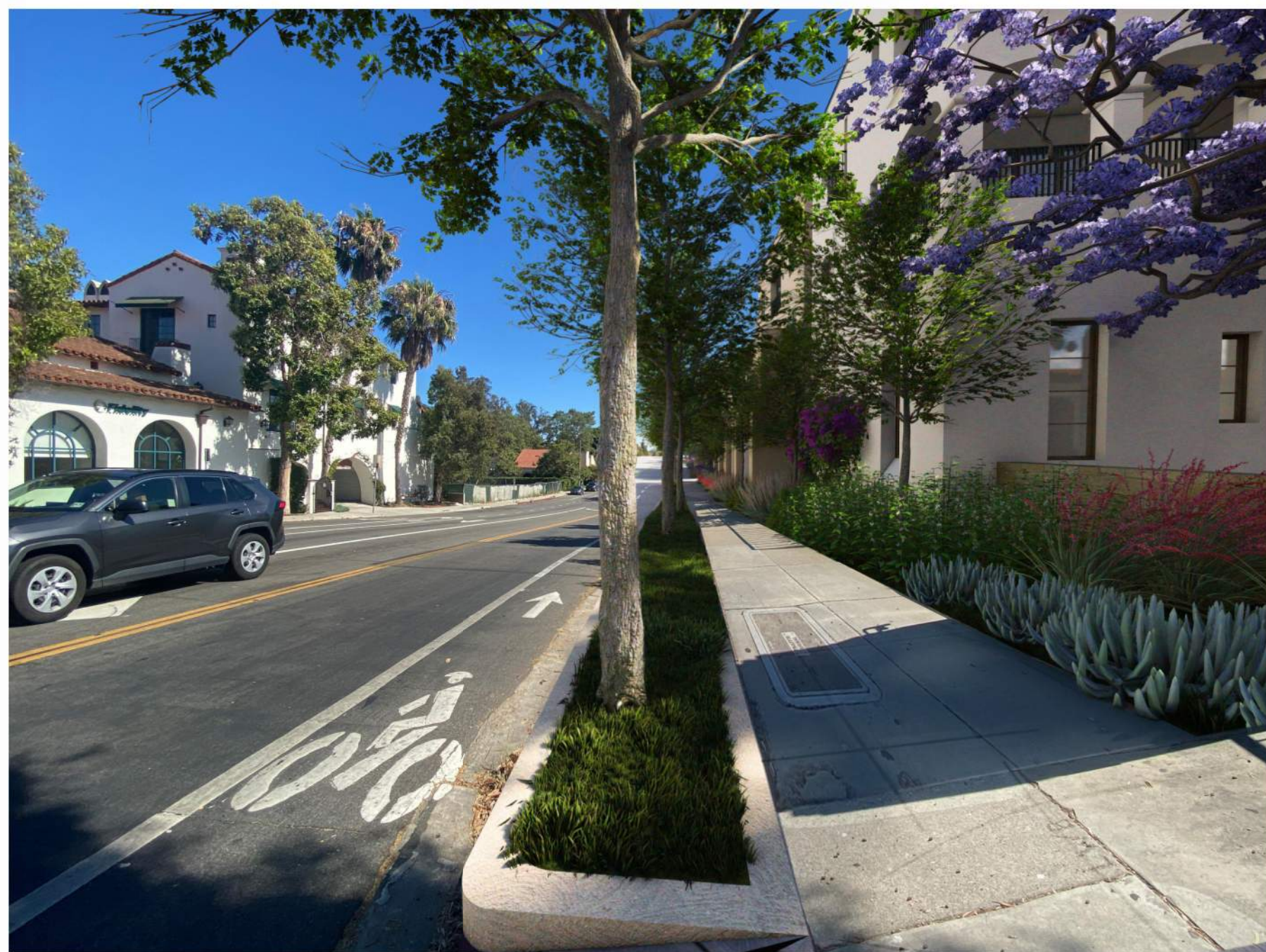




B. LA CUMBRE PLAZA LANE ADJACENT TO LURE LOOKING EAST



A. HOPE AVENUE LOOKING SOUTH EXISTING



A. HOPE AVENUE LOOKING SOUTH PROPOSED





A. STATE STREET PROPSOED



B. STATE STREET PROPOSED



C. STATE ST LOOKING DOWN PLAZA AVE PROPOSED



A. STATE STREET EXISTING



B. STATE STREET EXISTING



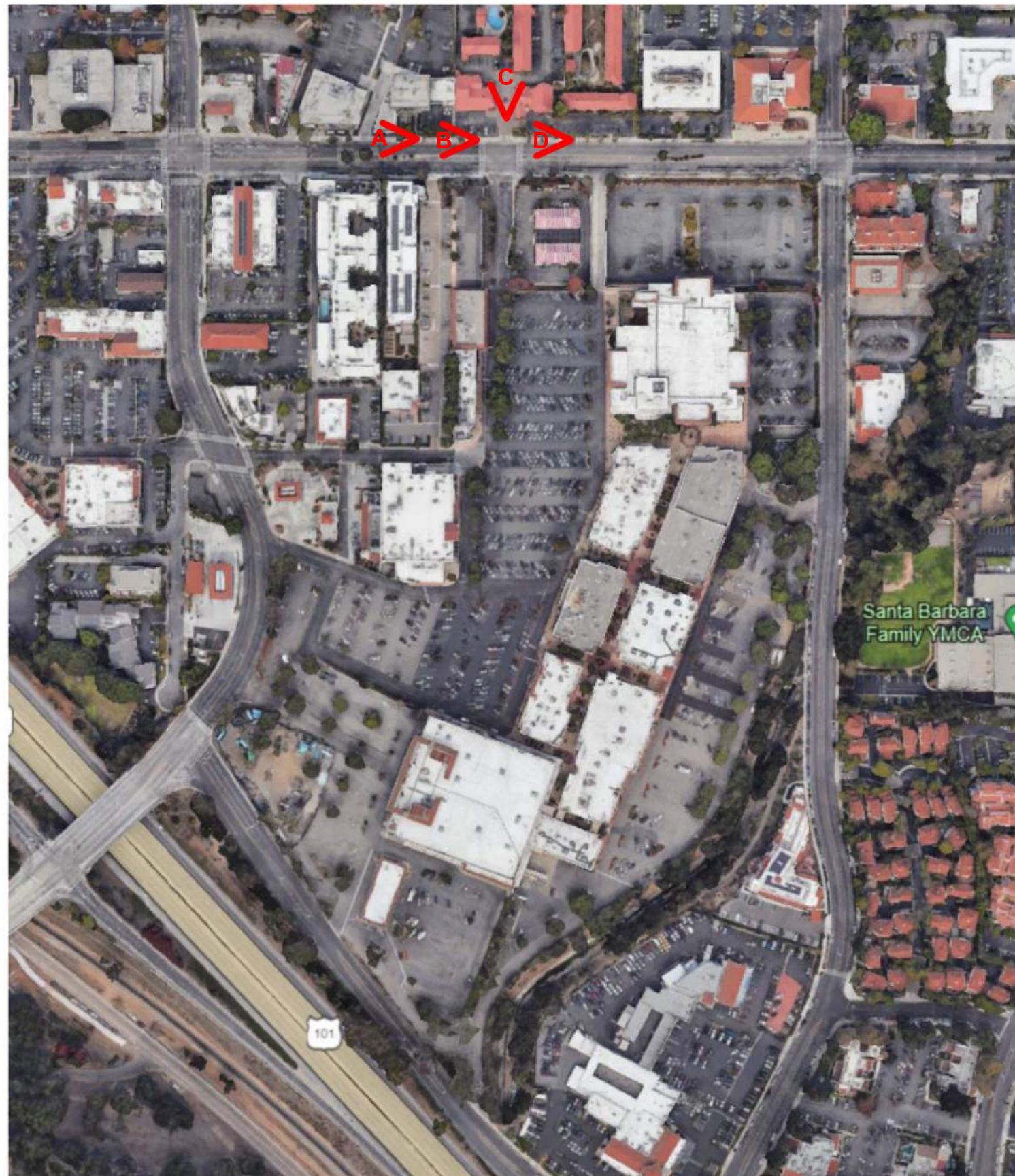
C. STATE ST LOOKING DOWN PLAZA AVE EXISTING



D. STATE STREET PROPOSED



D. STATE STREET EXISTING



KEY PLAN





A. PLAZA AVE EXISTING



B. STATE STREET EXISTING



C. N HOPE AVENUE EXISTING



A. PLAZA AVE PROPOSED



B. STATE STREET PROPOSED



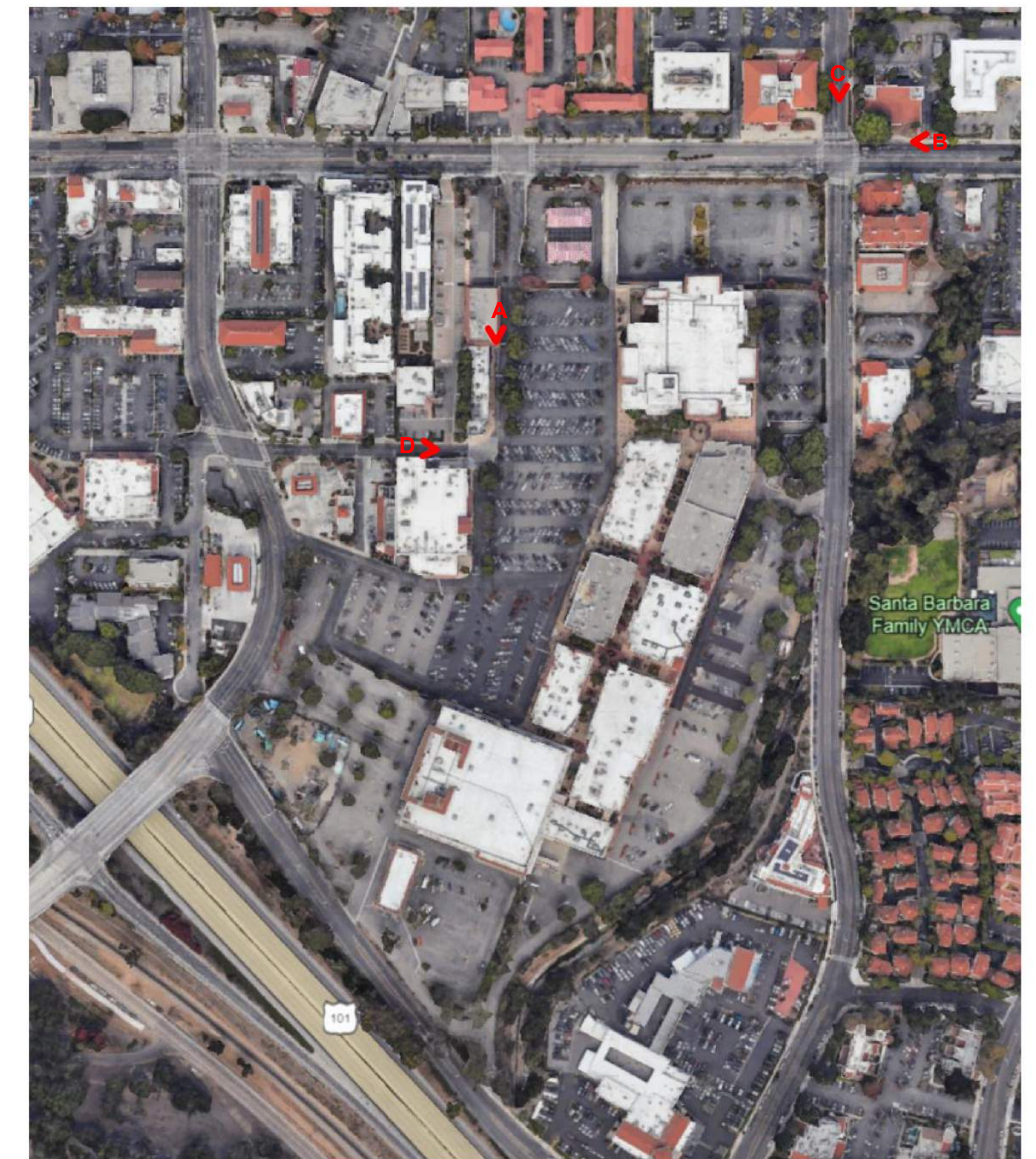
C. N HOPE AVENUE PROPOSED



D. LA CUMBRE PLAZA LANE EXISTING



D. LA CUMBRE PLAZA LANE PROPOSED



KEY PLAN





C. S LA CUMBRE ROAD EXISTING



B. S LA CUMBRE ROAD EXISTING



A. S LA CUMBRE ROAD EXISTING



C. S LA CUMBRE ROAD PROPOSED



B. S LA CUMBRE ROAD PROPOSED



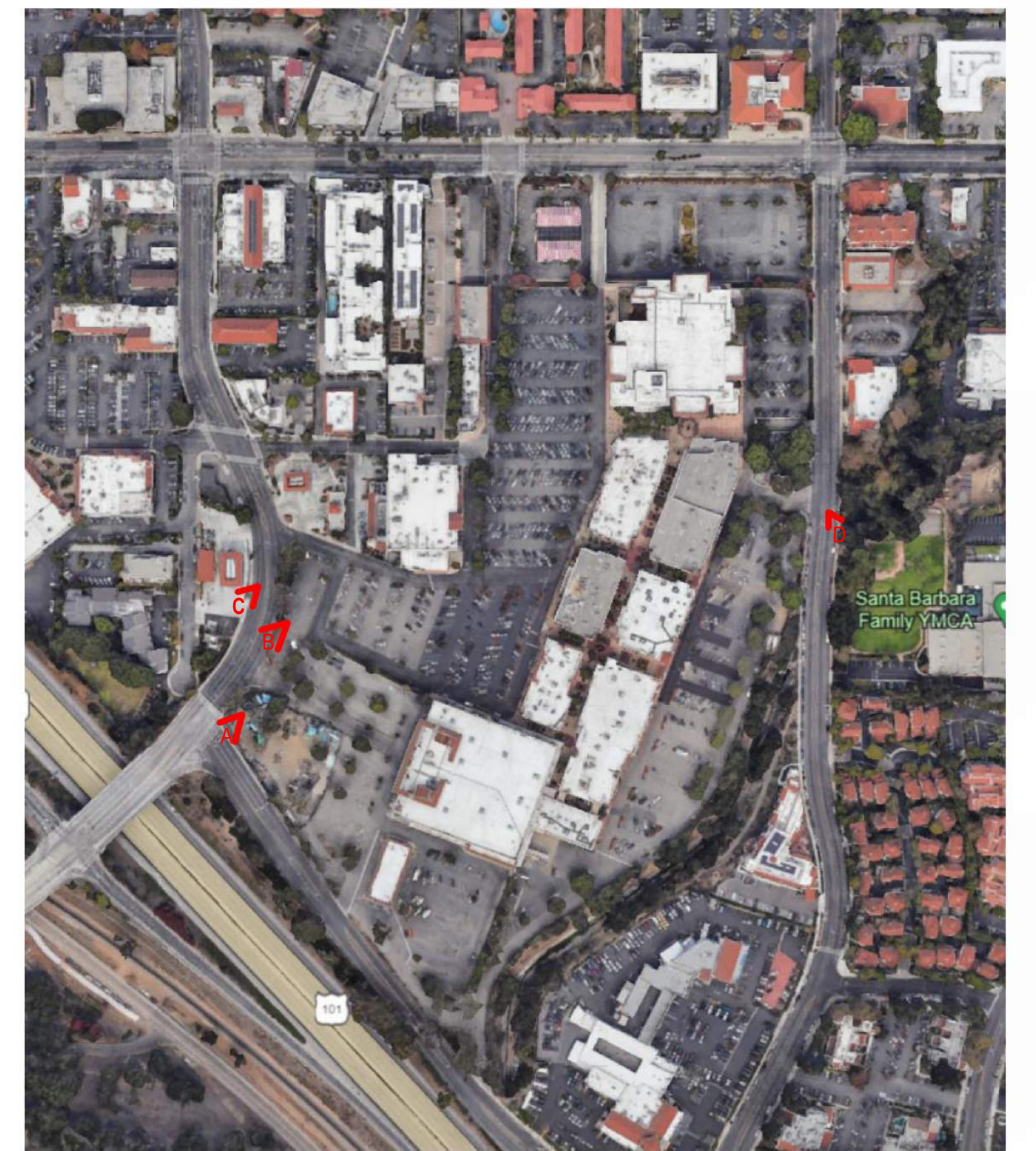
A. S LA CUMBRE ROAD PROPOSED



D. S HOPE AVENUE EXISTING

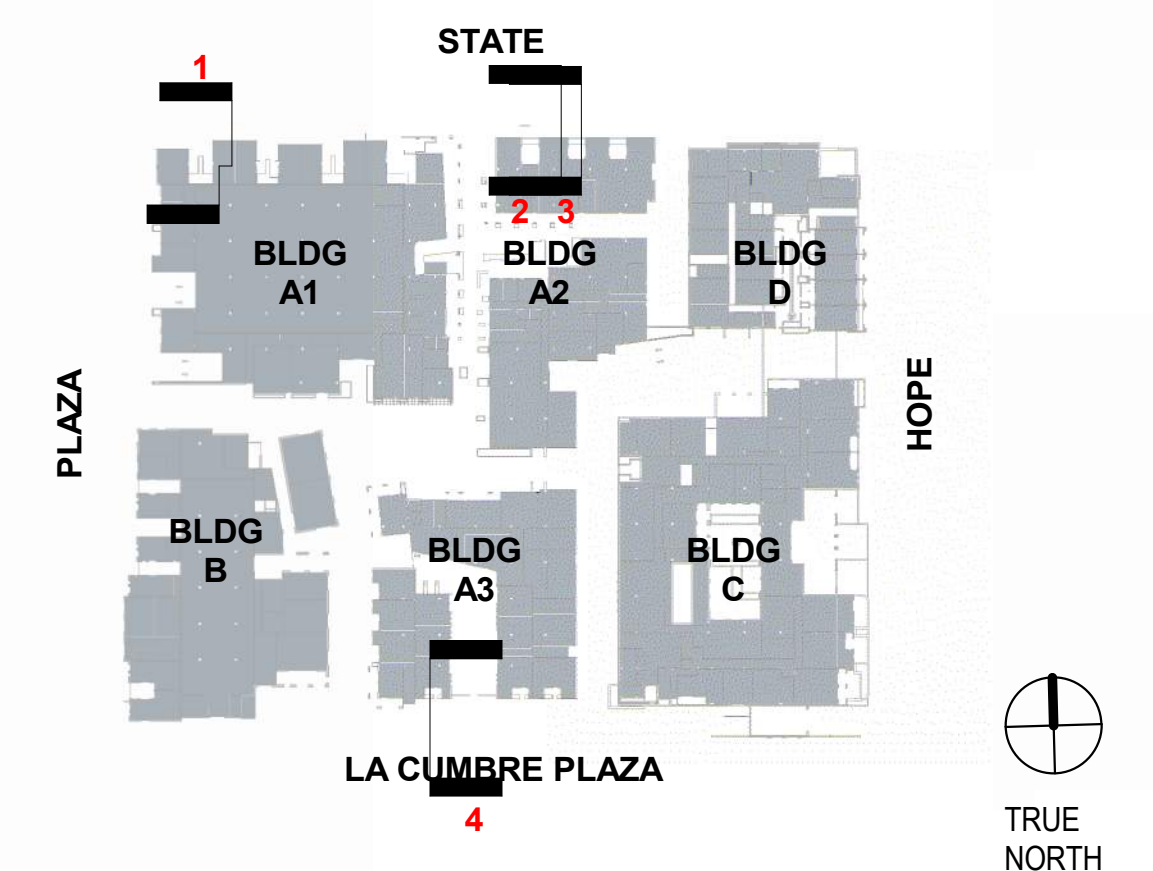
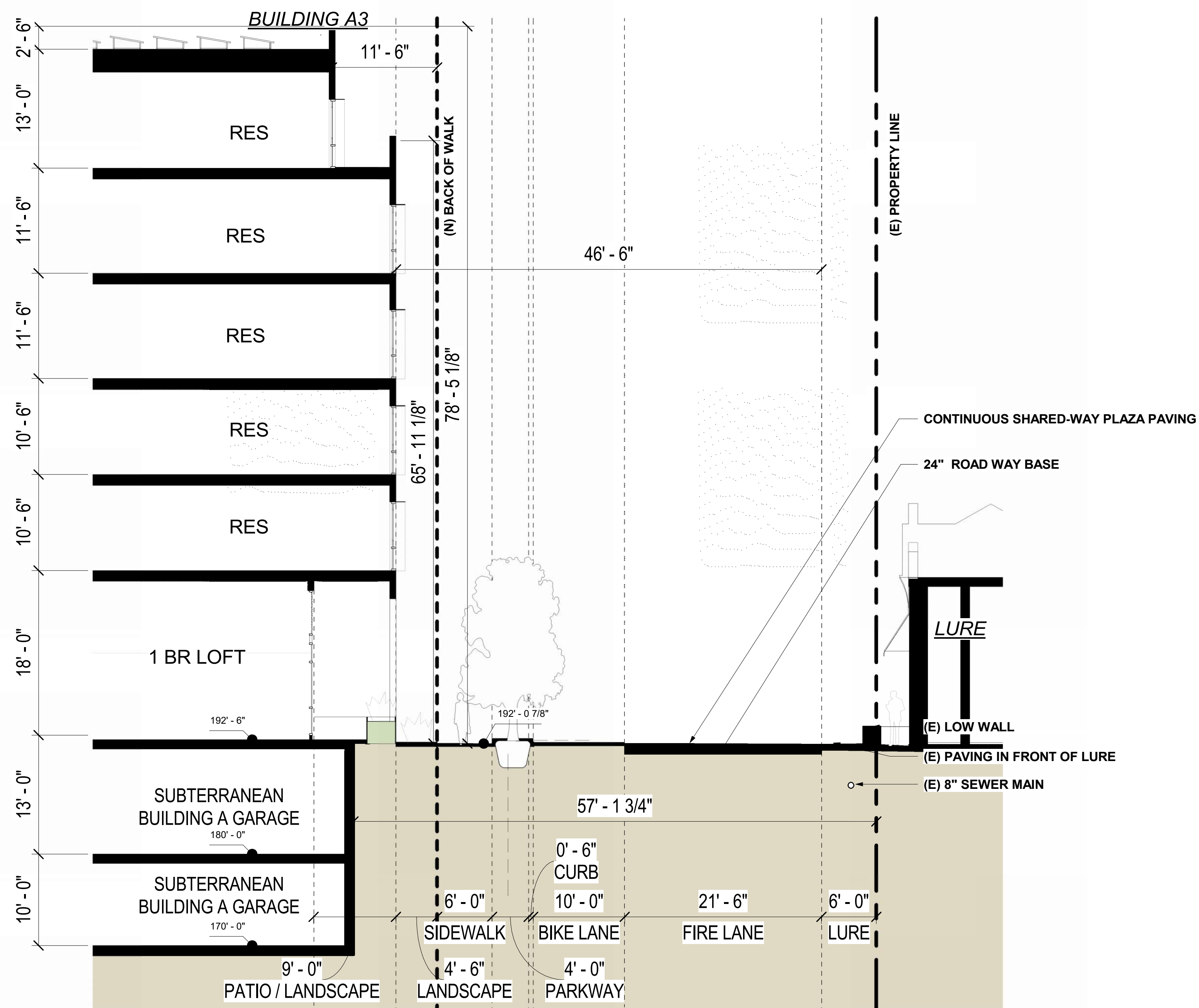
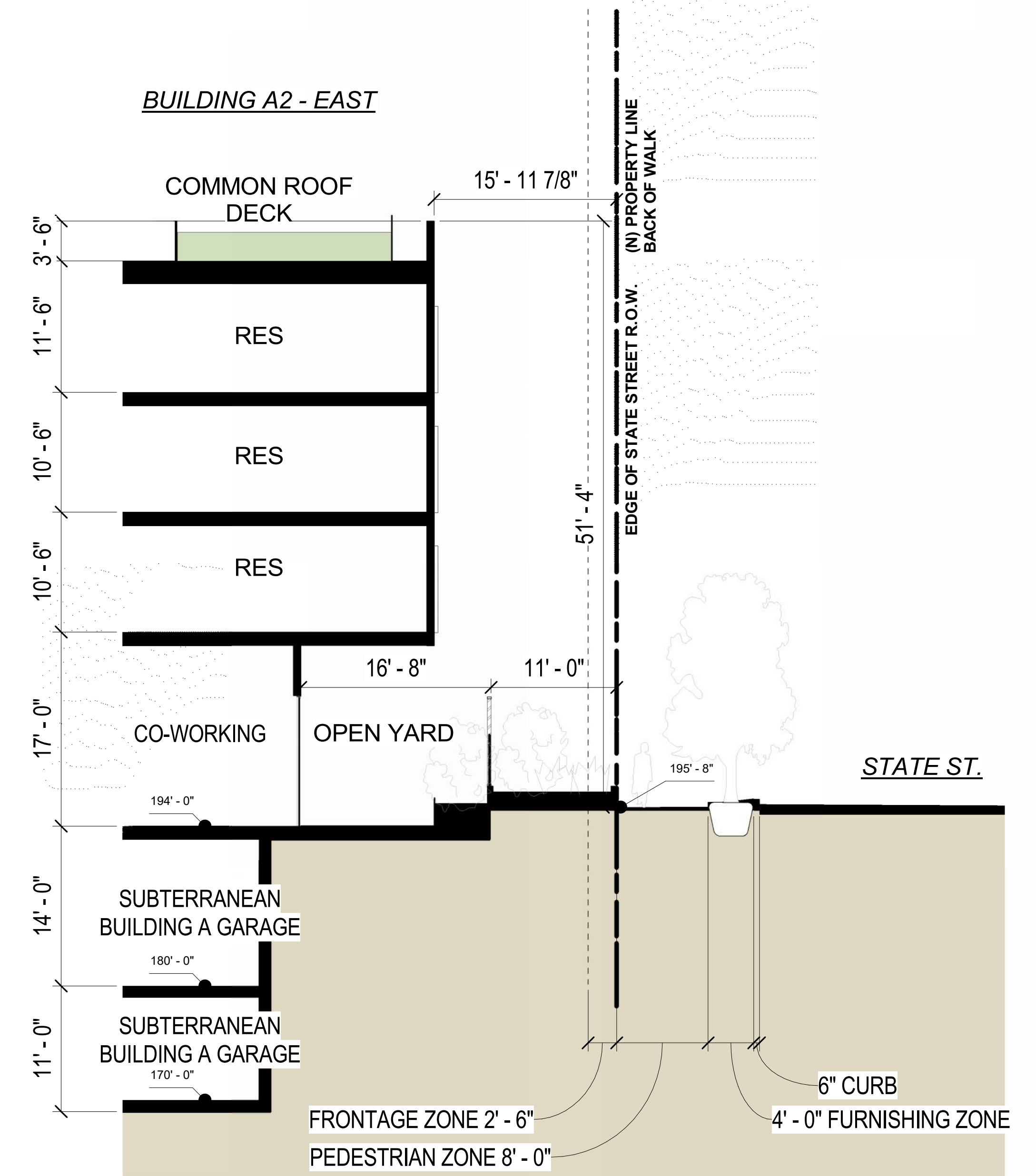
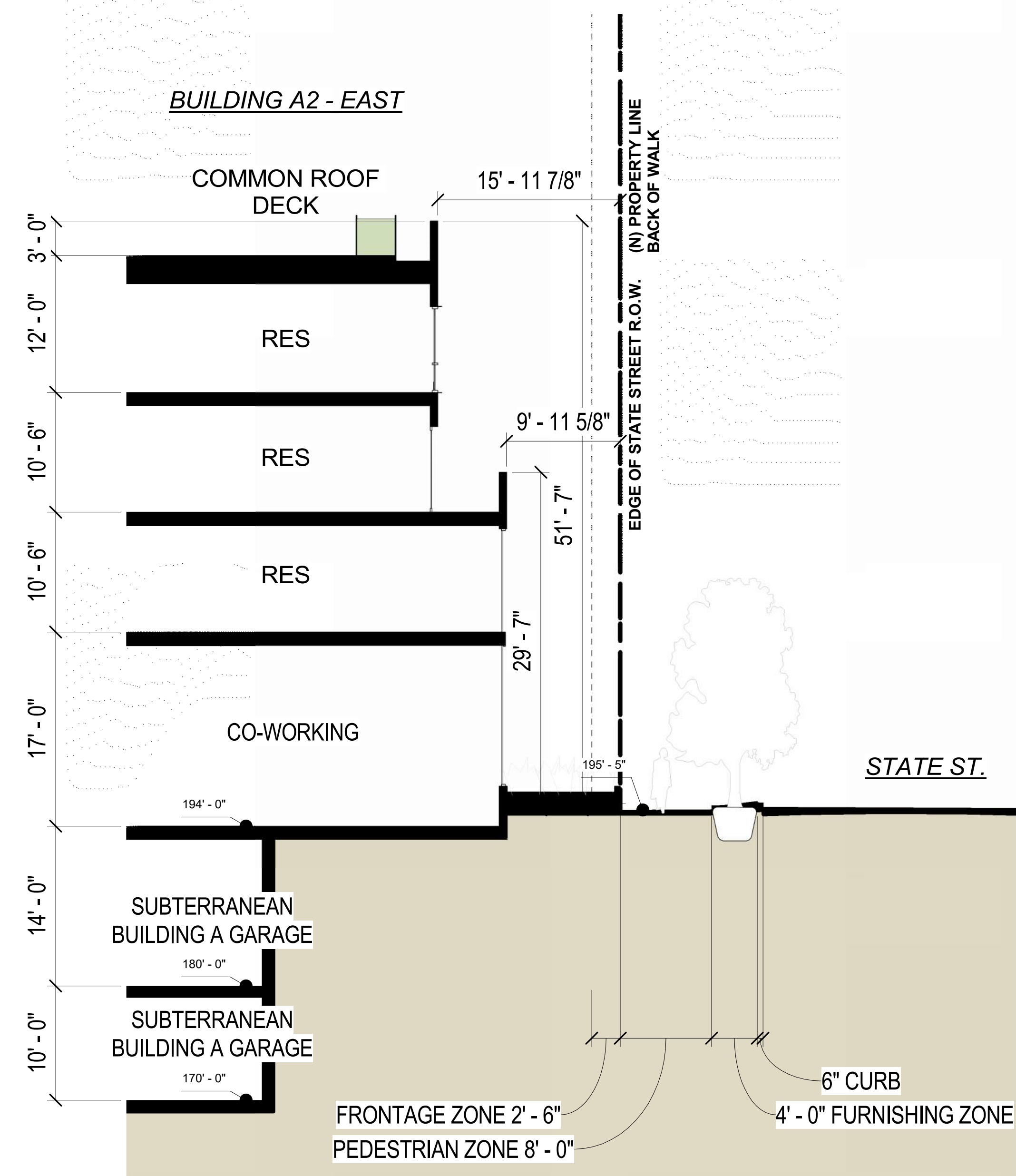
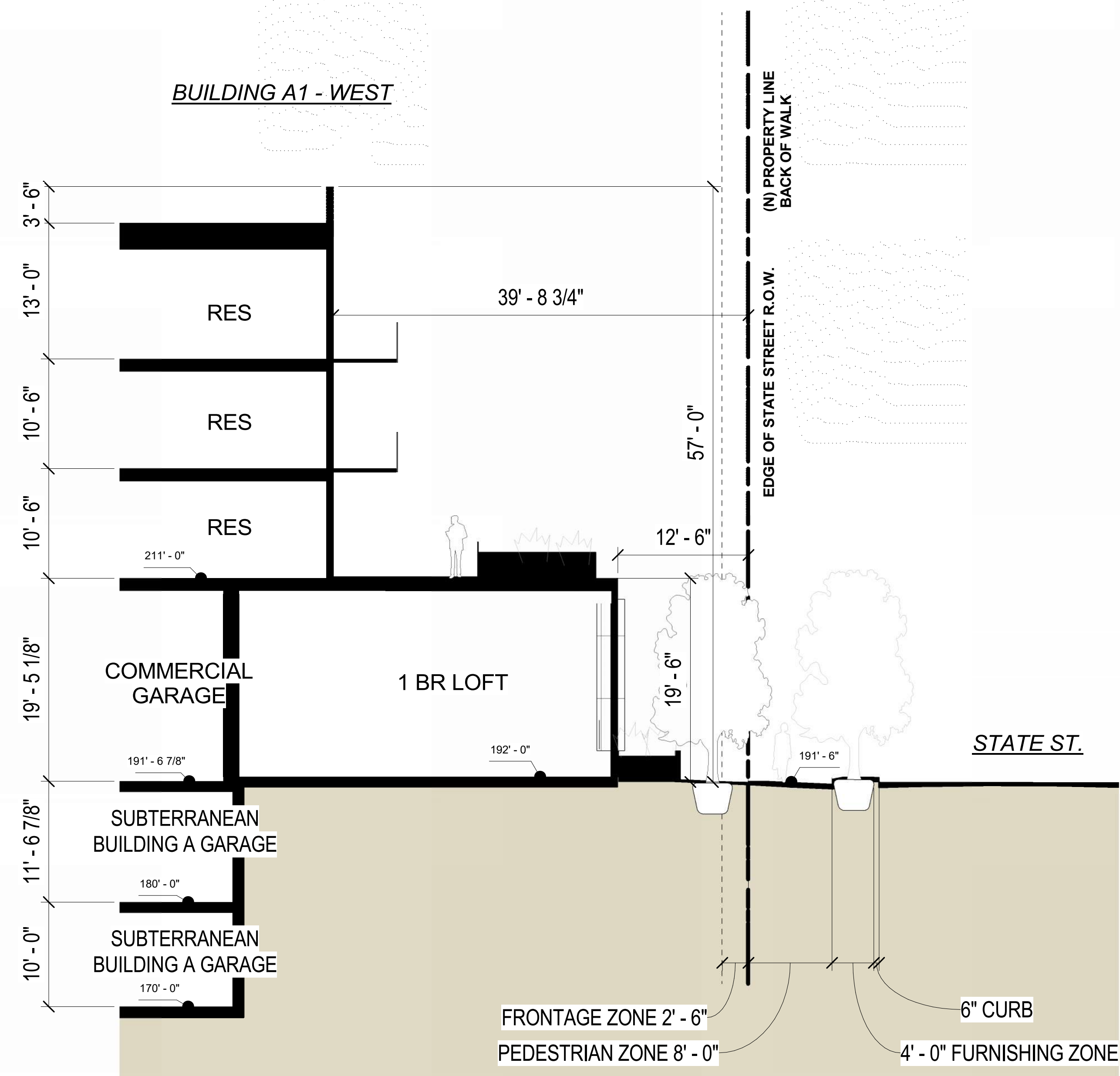


D. S HOPE AVENUE PROPOSED



KEY PLAN

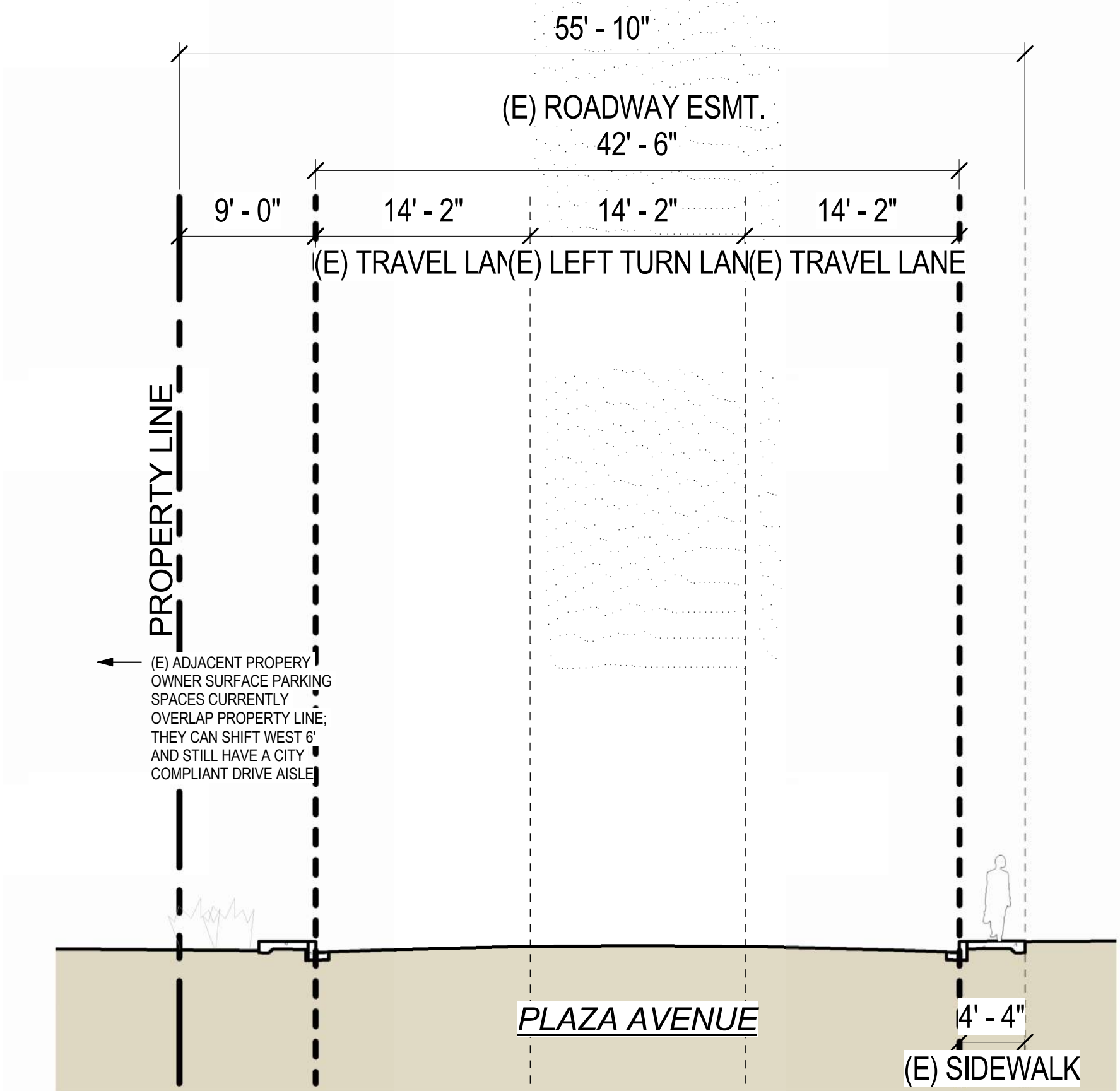




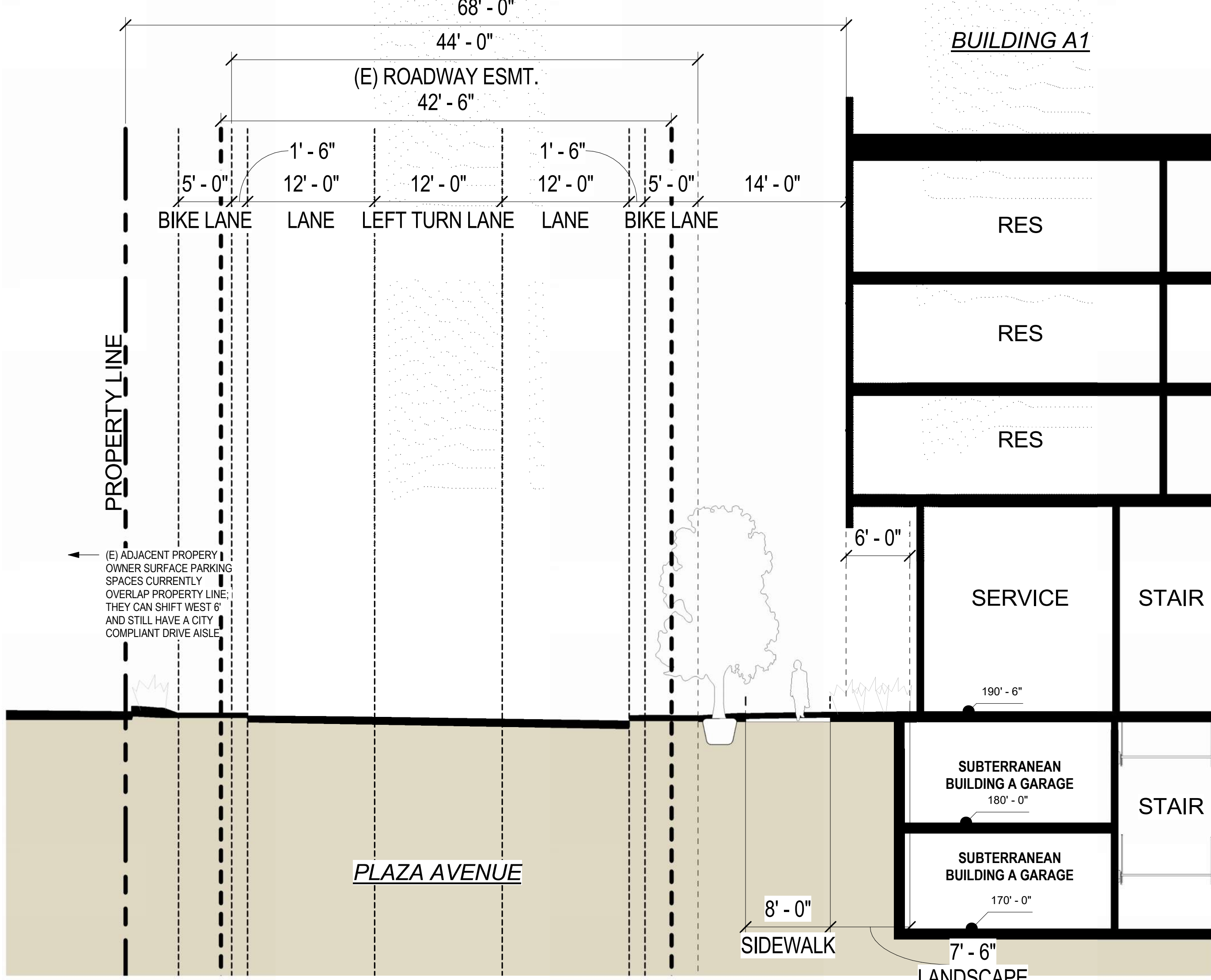




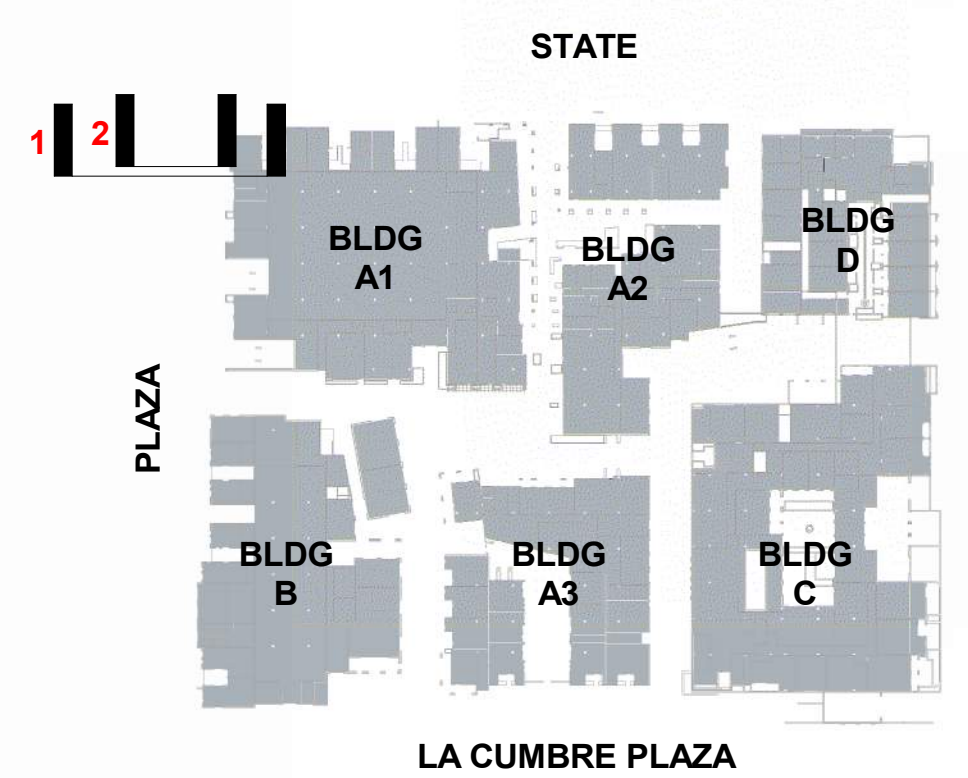
④ BUILDING A COMMERCIAL GARAGE AND PLAZA AVE.  
1/16" = 1'-0"



③ CURB SECTION - PLAZA AVENUE EXISTING  
1/8" = 1'-0"



② PROPOSED PLAZA AVENUE SECTION  
1/8" = 1'-0"



TRUE NORTH

STATE AND HOPE



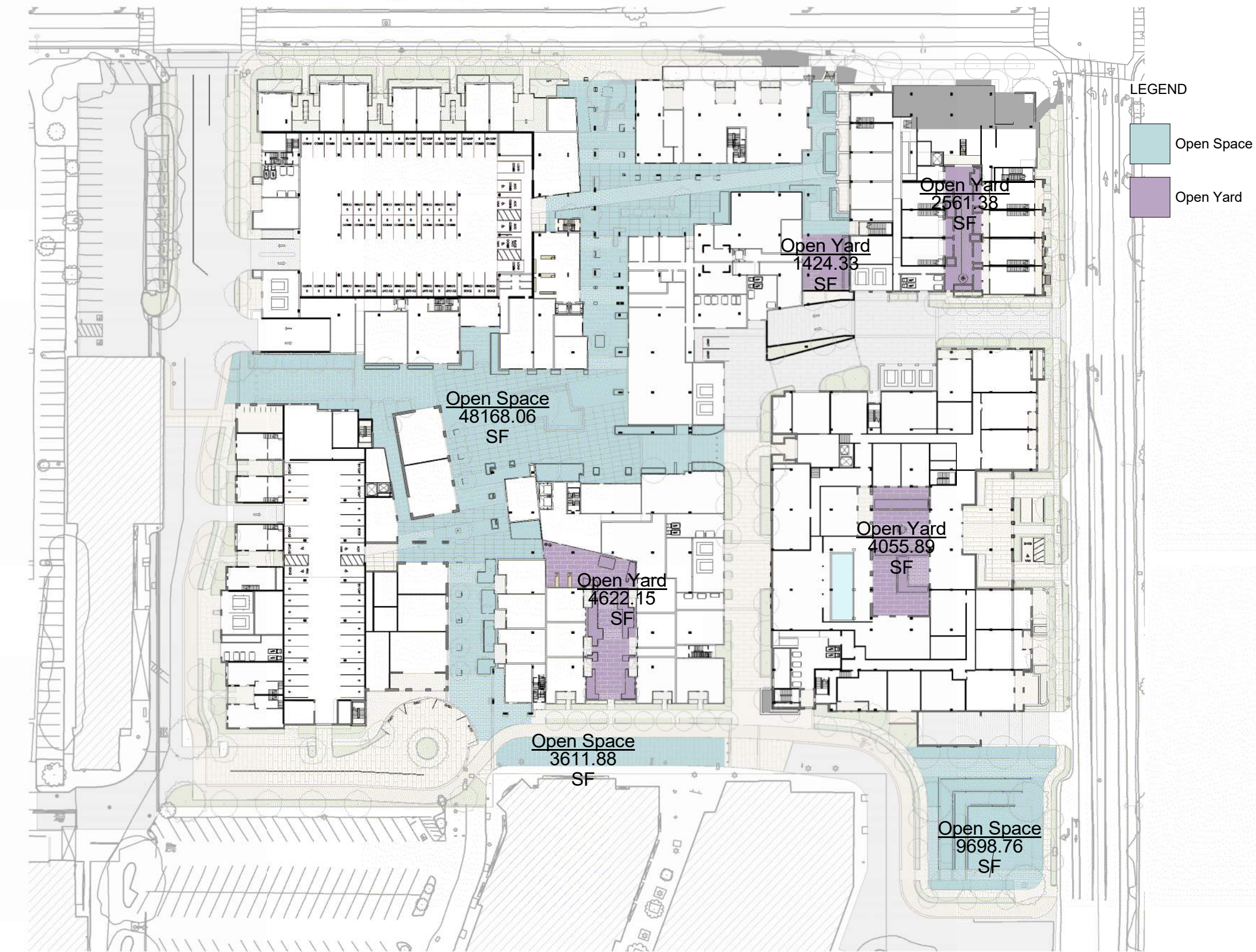




③ LEVEL 3 OPEN YARD  
1" = 80'-0"



② LEVEL 2 OPEN YARD  
1" = 80'-0"



① LEVEL 1 OPEN YARD  
1" = 80'-0"



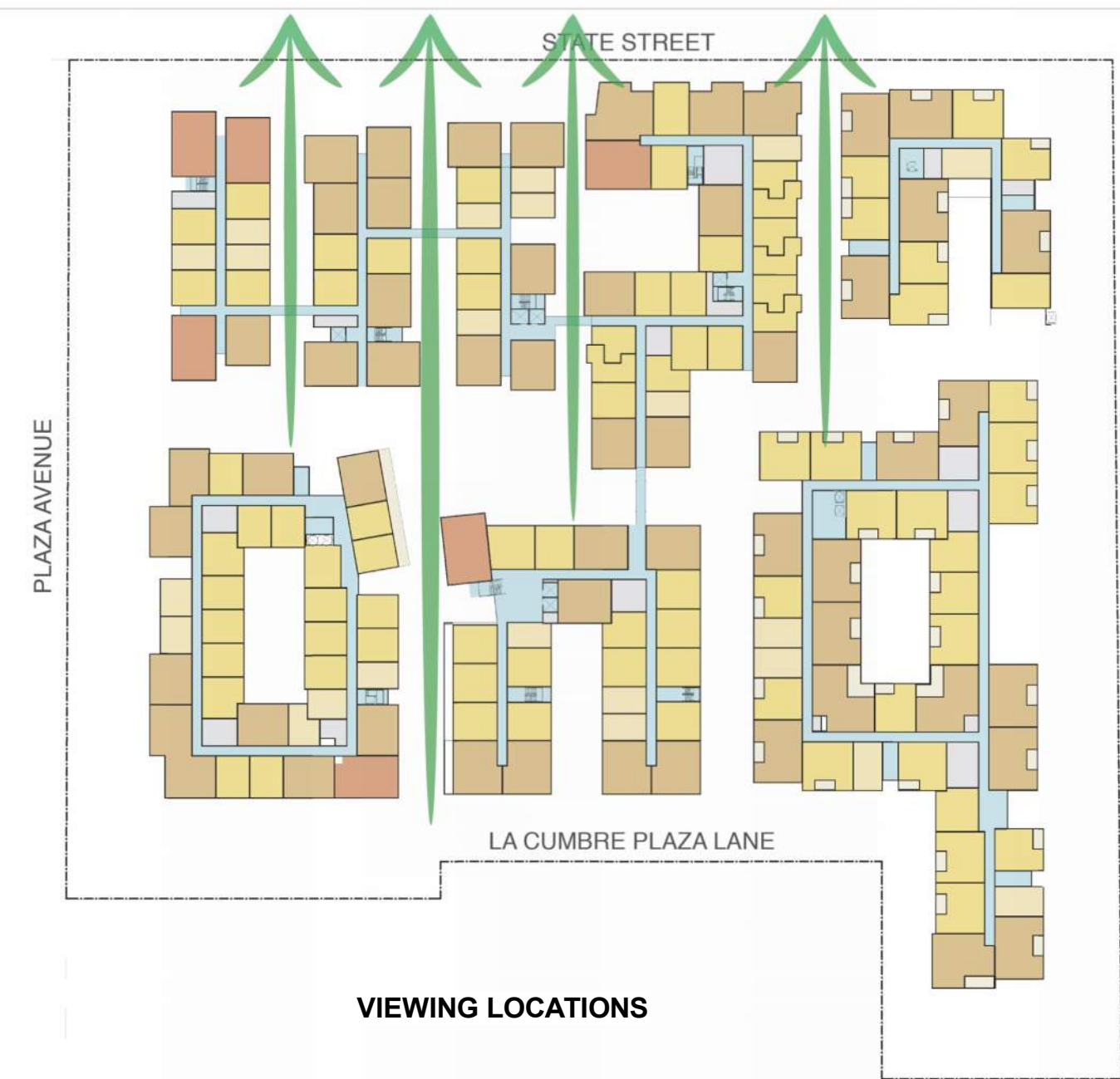
⑥ Level 6  
1" = 80'-0"



⑤ LEVEL 5 OPEN YARD  
1" = 80'-0"

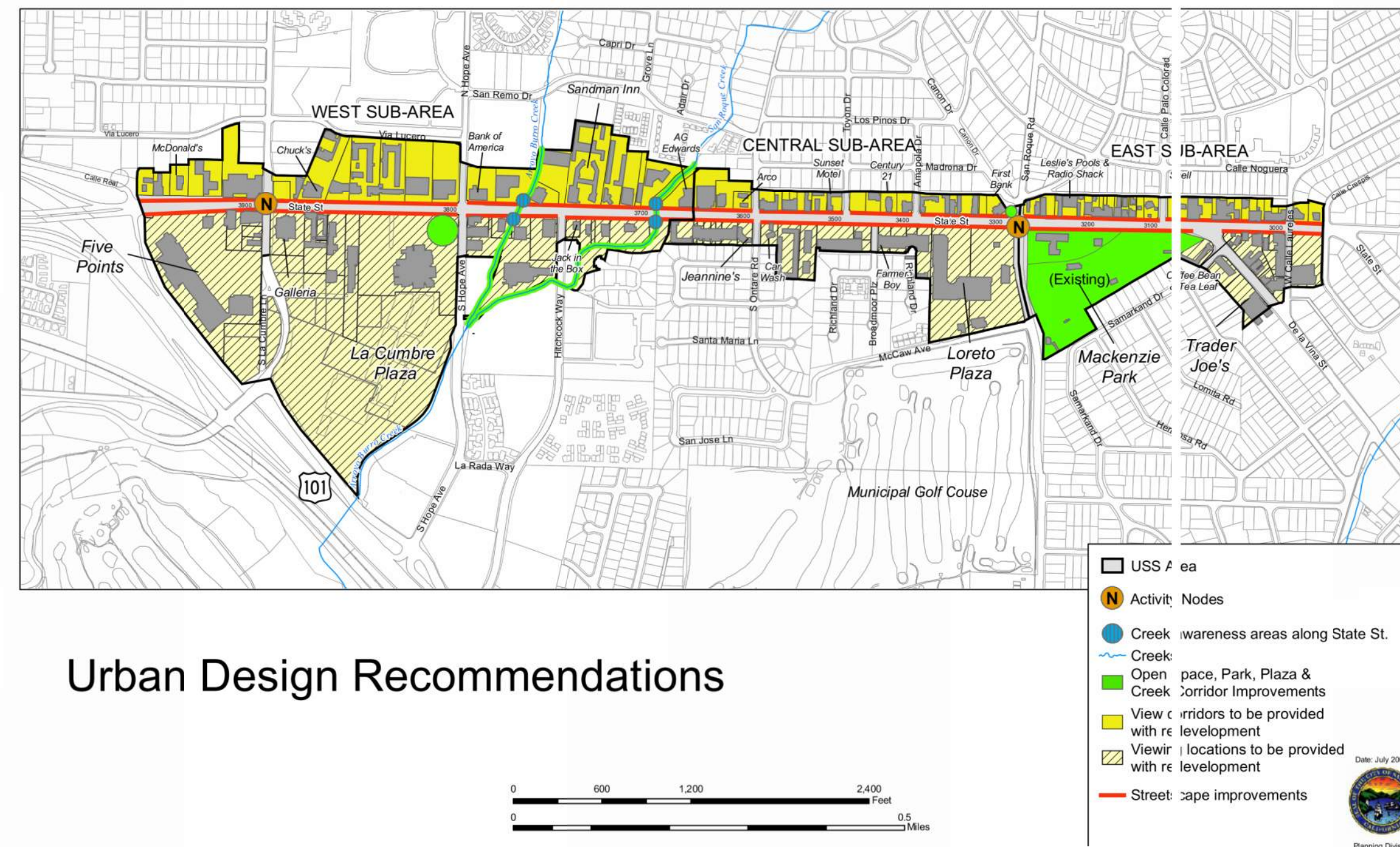


④ LEVEL 4 OPEN YARD  
1" = 80'-0"



VIEWING LOCATIONS

### Upper State Street Guidelines



### Urban Design Recommendations

### Urban Design Recon mendations

### USS GUIDELINES OPEN SPACE

#### UPPER STATE STREET GUIDELINES URBAN DESIGN RECOMMENDATIONS

OPEN SPACE PROVIDED IN ADDITION TO AND EXCLUSIVE OF THE  
REQUIRED AND OPEN YARD  
OPEN SPACE, PARK, AND PLAZAS PROVIDED

SITE AREA: 378,972 SF  
PROPOSED 61,478 SF  
61,478 SF/378,972 SF = 16% OF LOT AREA PROVIDED AS OPEN SPACE

PROPOSED OPEN SPACE (USS GUIDELINES)	
Level	Area
Level 1	9698.76 SF
Level 2	48168.06 SF
Level 1	3611.88 SF
TOTAL OPEN SPACE	61478.69 SF

#### UPPER STATE STREET GUIDELINES DESIGN ELEMENTS OPEN AREAS

GUIDELINES:  
30. OPEN SPACE AND PARKS. Project provides private and public open spaces.  
31. RELATIONSHIP TO NEARBY USES. Open spaces are located in relationship to compatible land uses such as retail and entertainment venues.  
32. UNDERGROUND PARKING AND OPEN SPACE OPPORTUNITIES. Project utilizes underground parking to create more opportunity for ground level open space.  
33. PLAZA ELEMENTS. Project creates plazas and a network of paseos for public use.  
34. SEATING. Project provides a variety of public seating opportunities.  
35. PEDESTRIAN MOBILITY. Project site planning creates pedestrian focused plazas and paseos.

### REQUIRED OPEN YARD

#### ALTERNATIVE OPEN YARD DESIGN PROPOSED SBMC SECTION 30.140.140.F

NET LOT AREA: 8.7 ACRES/378,972 SF  
15% OF NET LOT AREA: 56,846 SF  
MIN 10'X10'  
(1) 20'X20' AREA MIN  
PRIVATE AREAS MAY OVERLAP 15% COMMON ON THE GROUND LEVEL  
ALL AREAS SHOWN ARE OPEN TO THE SKY ABOVE.

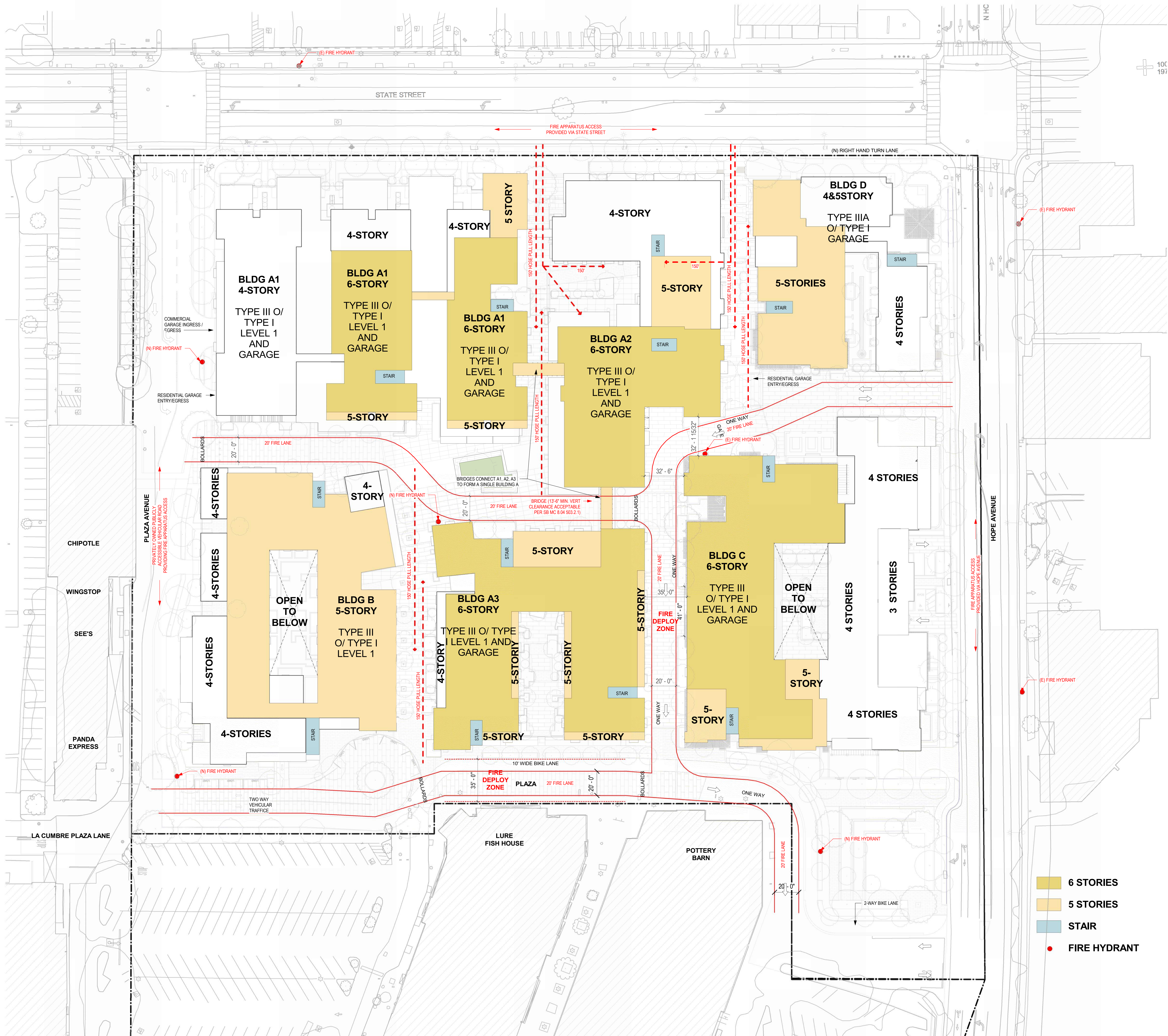
STATE DENSITY BONUS WAIVER UTILIZED

PROPOSED OPEN YARD	
Level	Area
Level 1	12663.75 SF
Level 2	5475.52 SF
Level 3	1813.61 SF
Level 4	1058.41 SF
Level 5	13187.23 SF
Level 6	4426.15 SF
TOTAL OPEN YARD	38624.67 SF









NOTES:

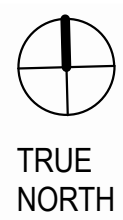
SBMC 8.04 503.2.1 Where Required  
Required within 150' of all parts of building; fire code official is authorized to increase the dimension of 150 feet for fully sprinklered building

SBMC 8.04 503.2.1 Dimensions.  
Fire apparatus access roads shall have an unobstructed width of not less than 20 feet except for approved security gates in accordance with Section 503.5 and an unobstructed vertical clearance of not less than 13 feet 6 inches. If a fire apparatus access road serves three or fewer single-family residential units, the required width may be reduced to not less than 16 feet (4,879 mm) upon the approval of the fire code official.

SBMC 503.2.4 Turning radius.  
The turning radius of roadways shall be no less than 70 feet in diameter measured from outer edge to outer edge.

- 6 STORIES
- 5 STORIES
- STAIR
- FIRE HYDRANT

1 FIRE ACCESS DIAGRAM  
1" = 30'-0"

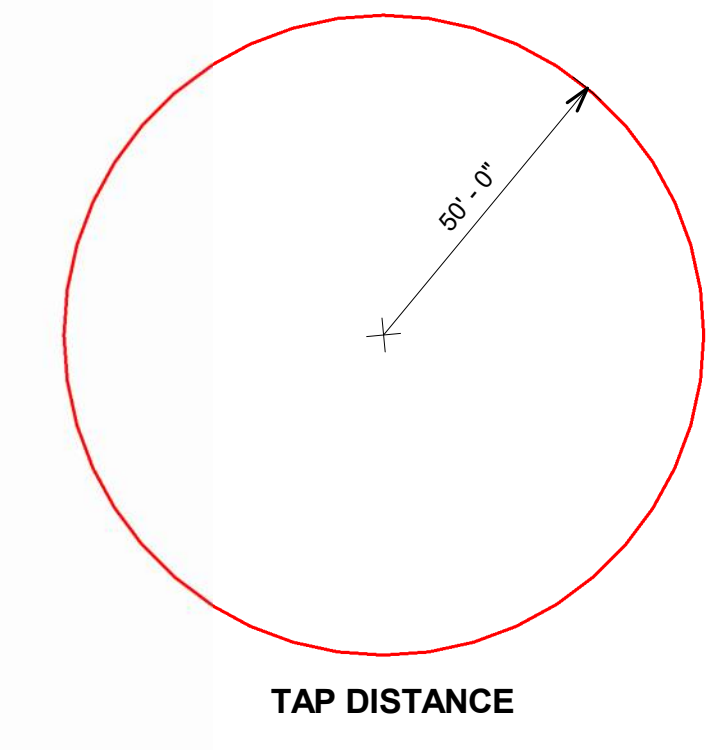






SEE SHEET A621 FOR WASTE CALCULATORS AND WASTE ROOMS PER BUILDING.  
SEE SHEET A504 FOR AUTOTURN DIAGRAMS

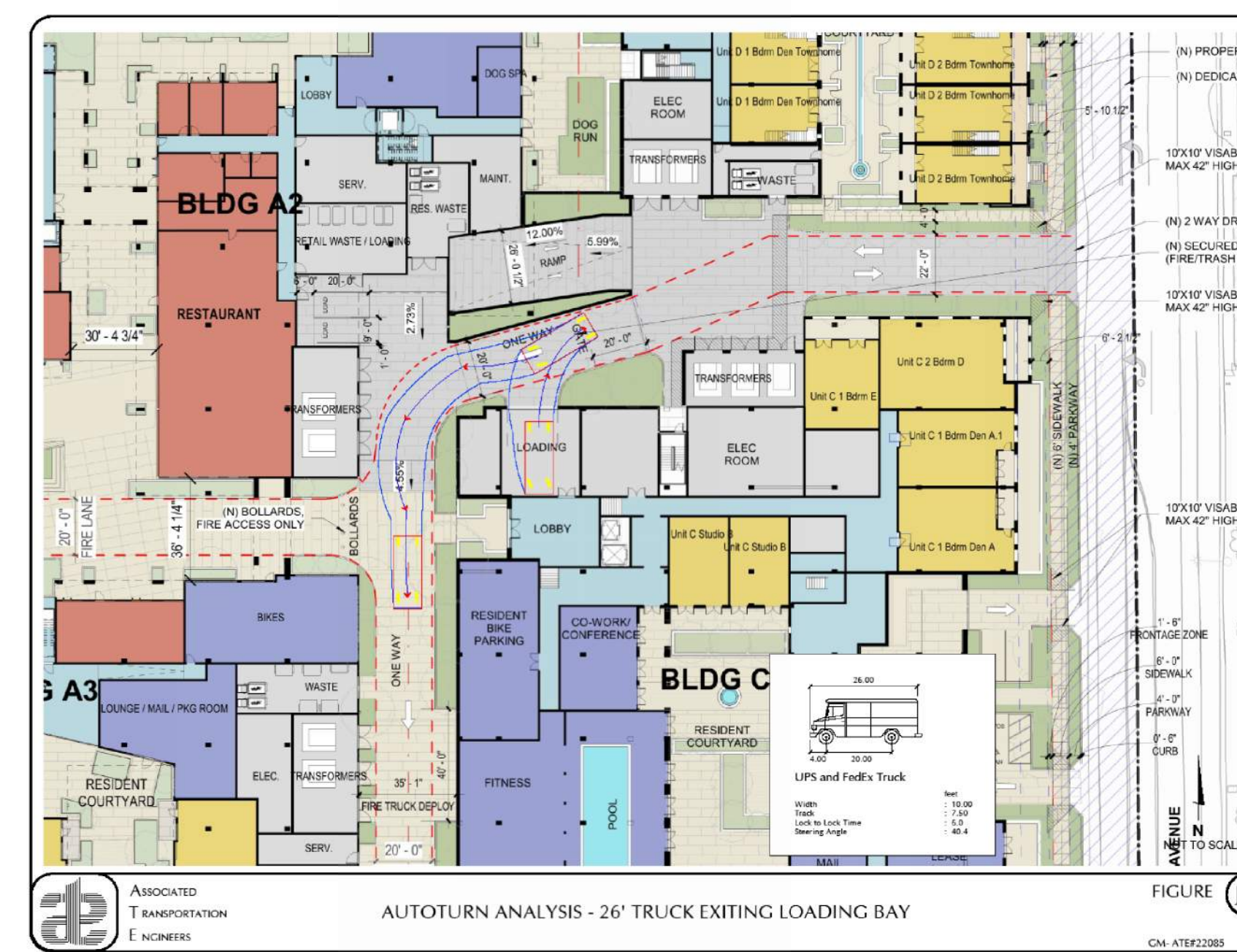
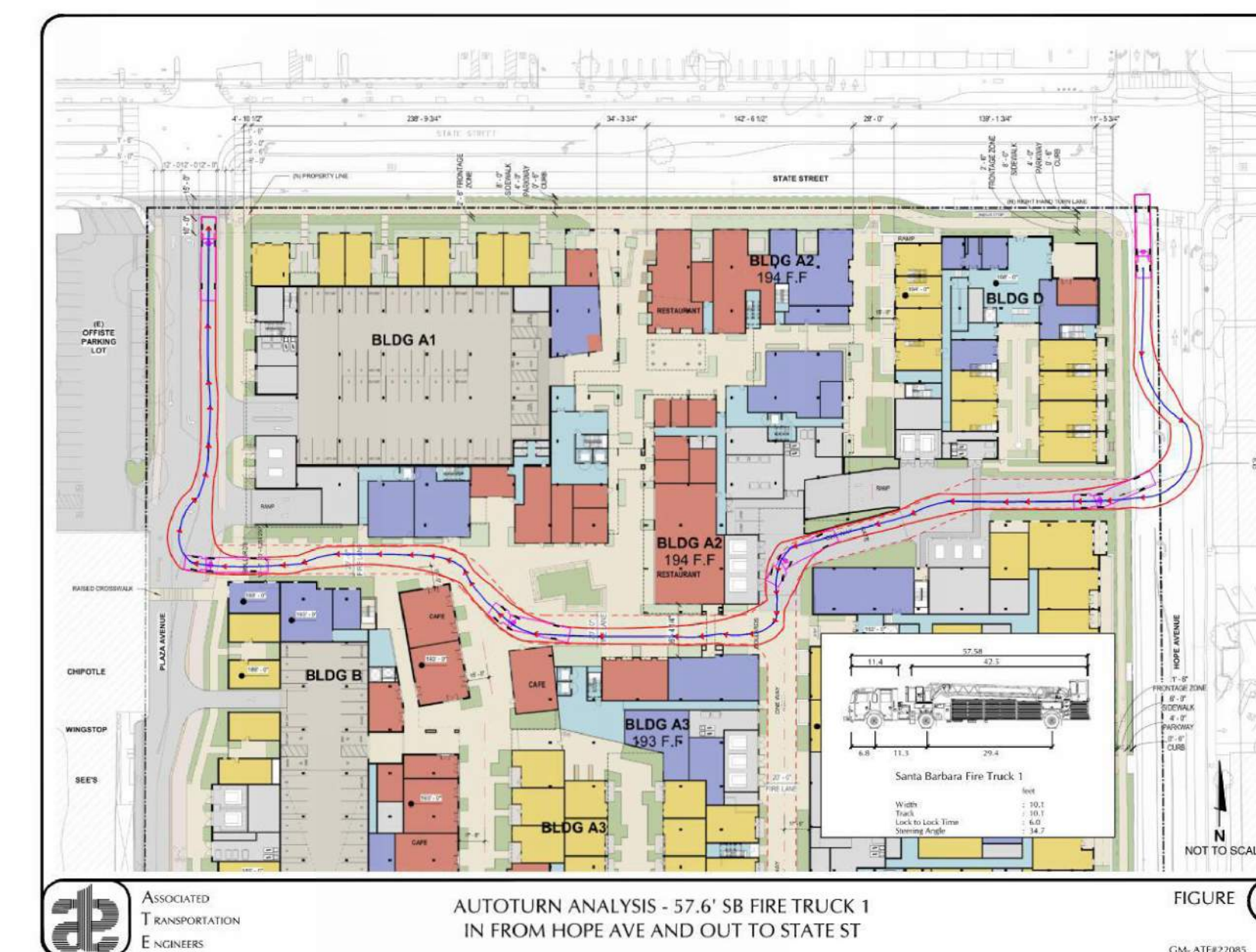
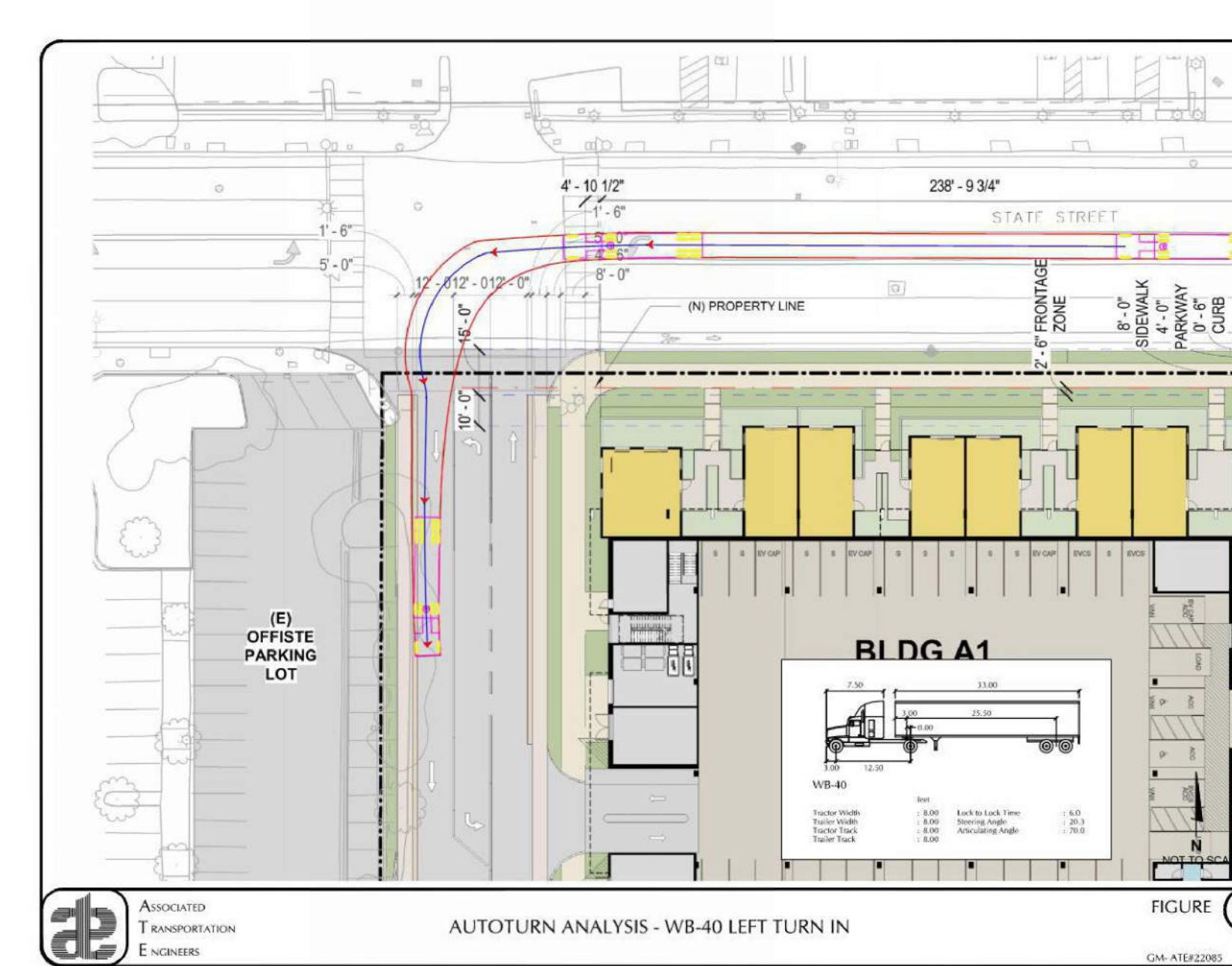
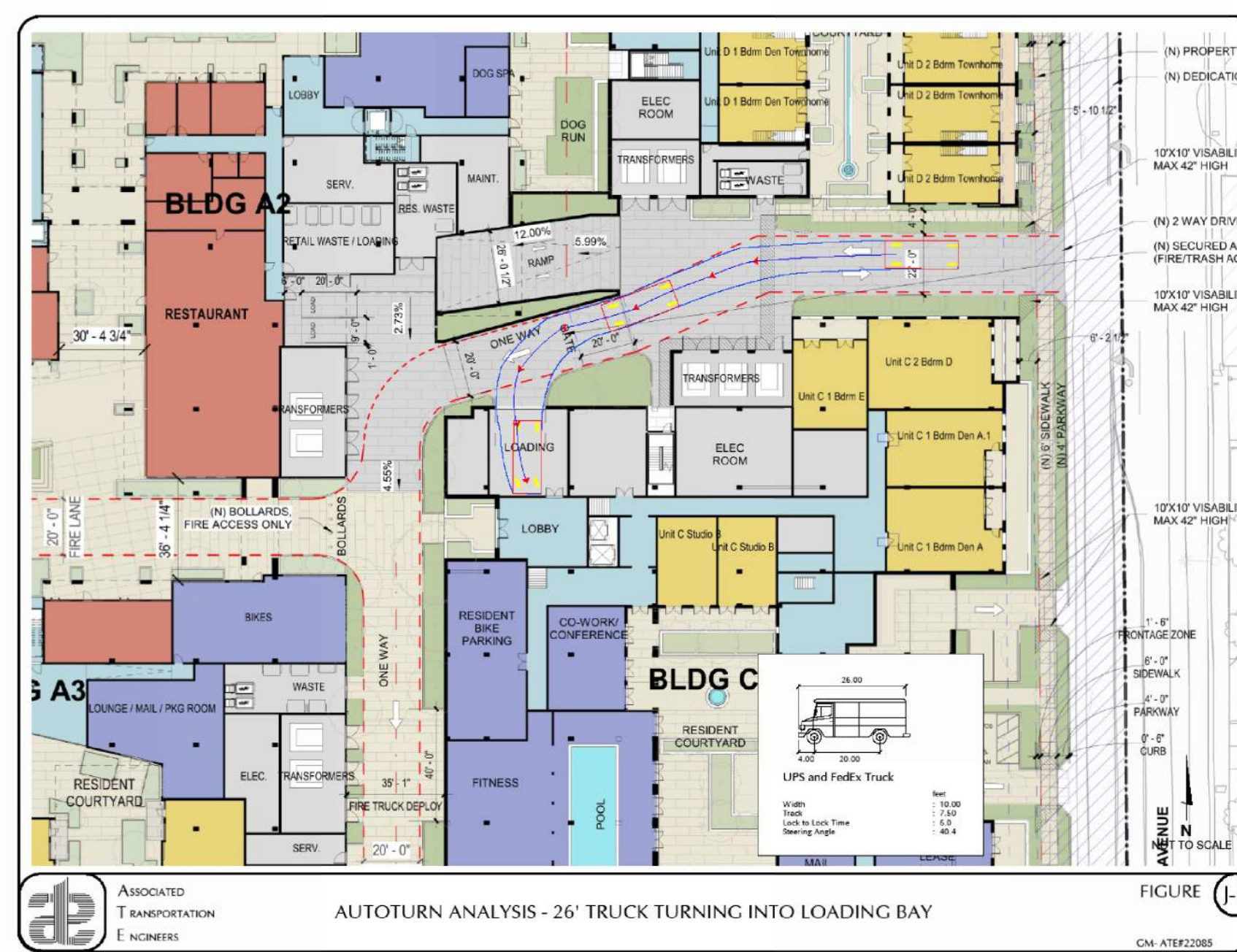
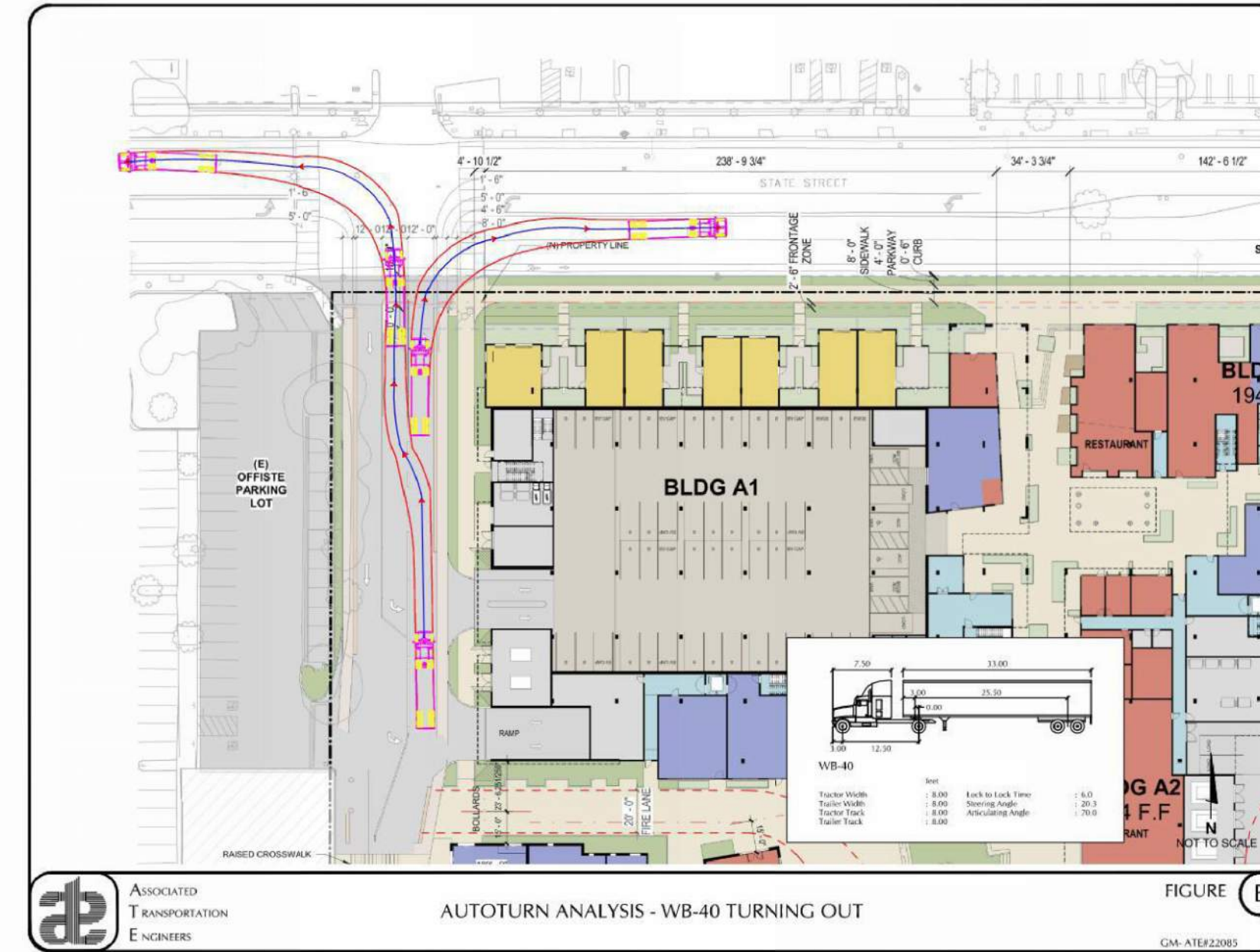
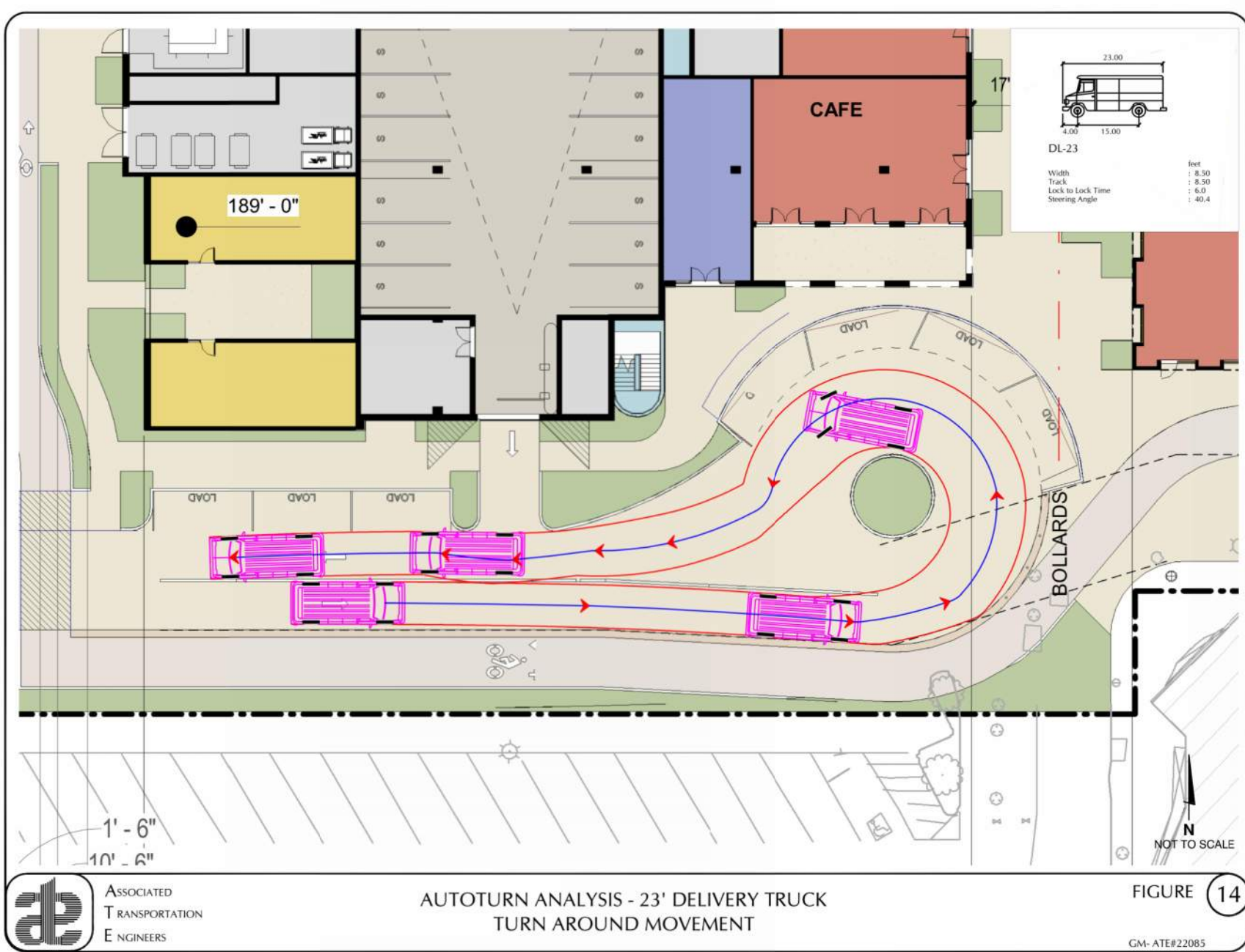
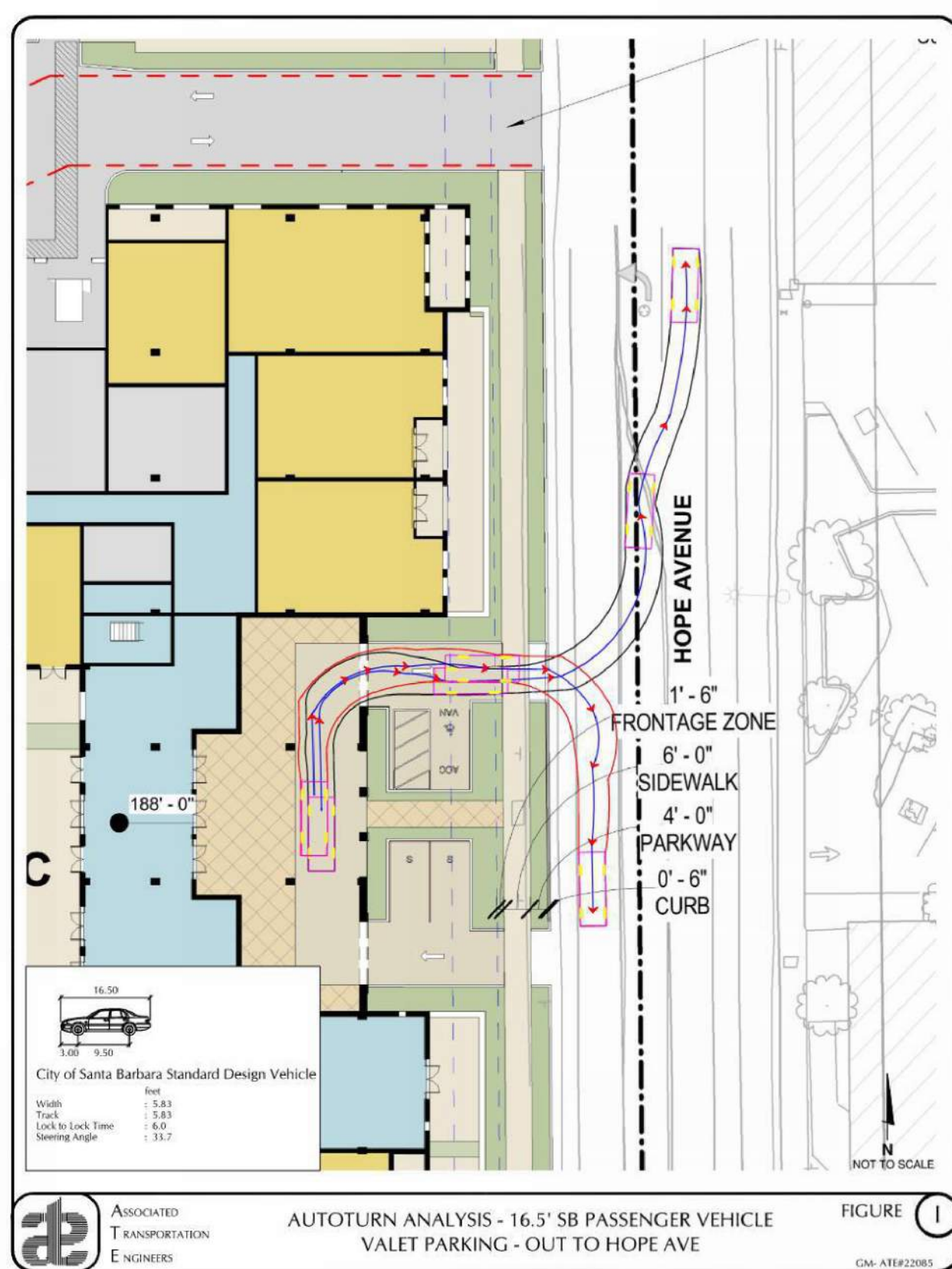
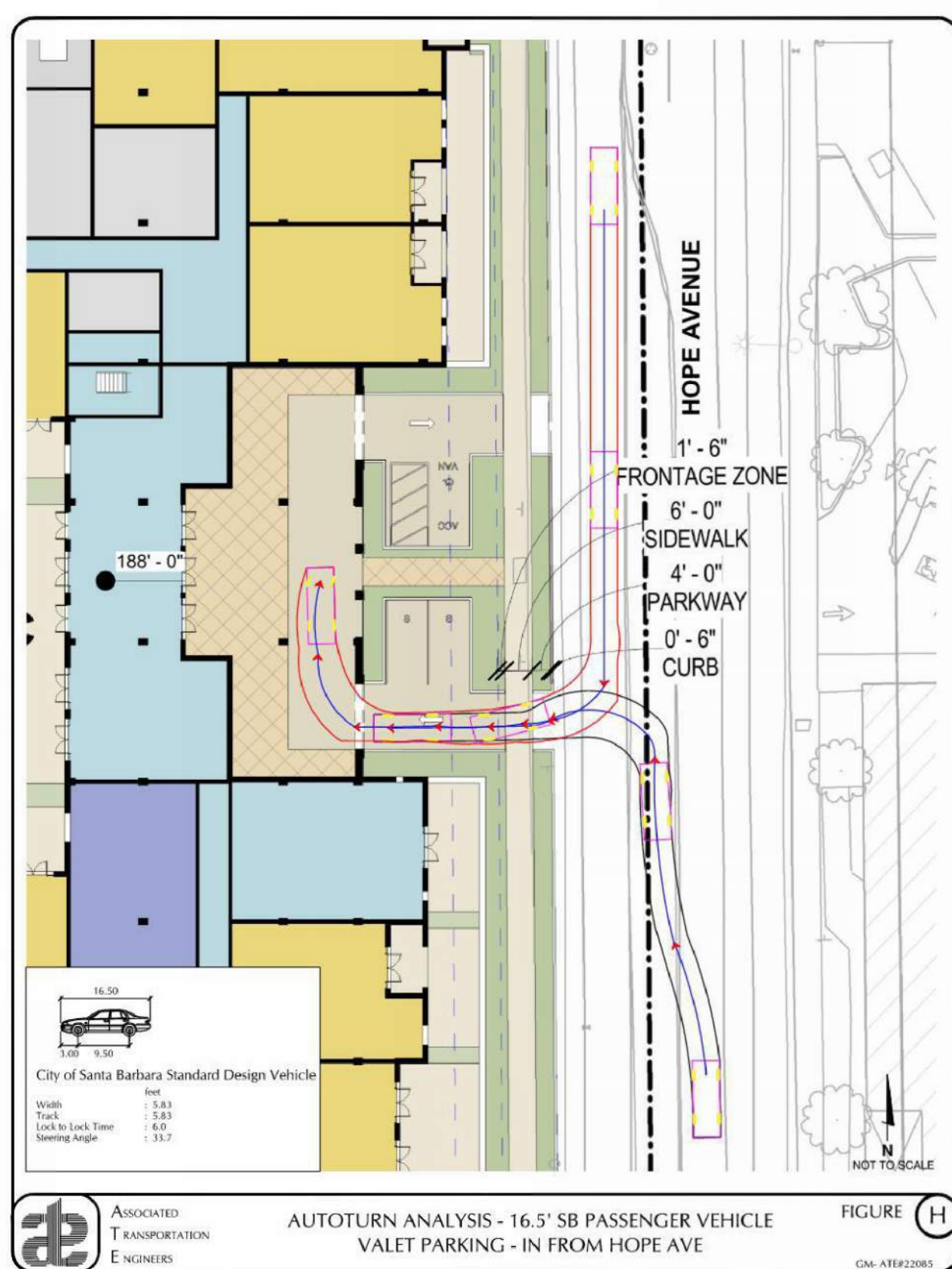
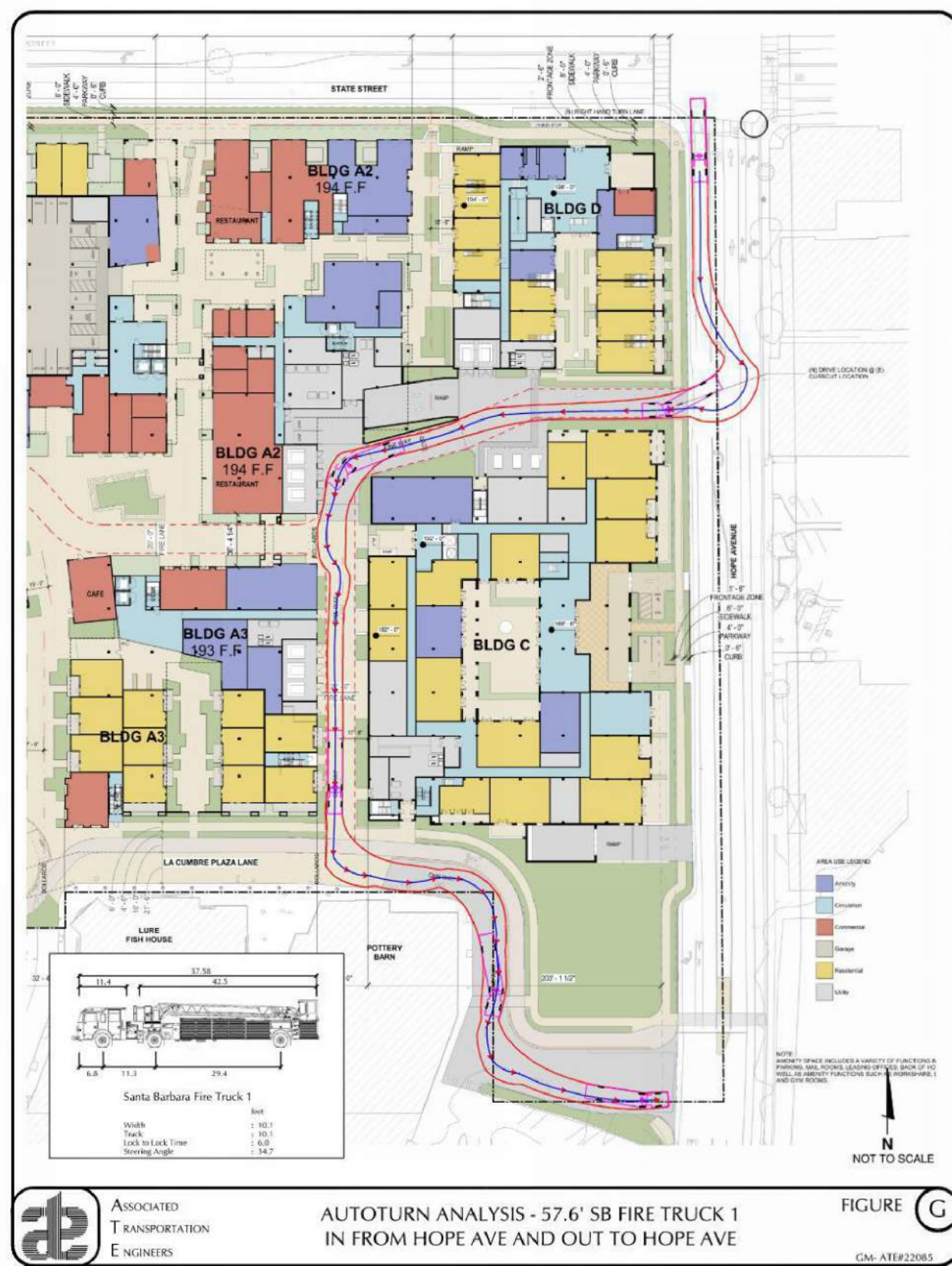
**WASTE MGMT. LEGEND**



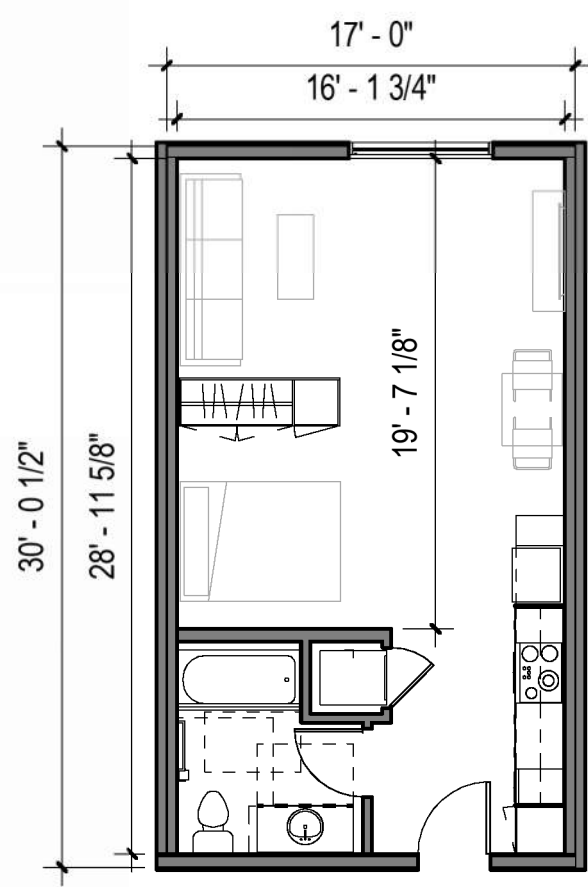
- RESIDENTIAL TRASH ROOM
- RETAIL TRASH ROOM
- DUAL TRASH ROOM
- 12' WIDE TRUCK ACCESS, TYP.
- COMPACTOR
- BIN, 3 TO 4 YD., SEE A621 ENLARGED TRASH ROOMS

1 Waste Management Diagram  
1" = 30'-0"

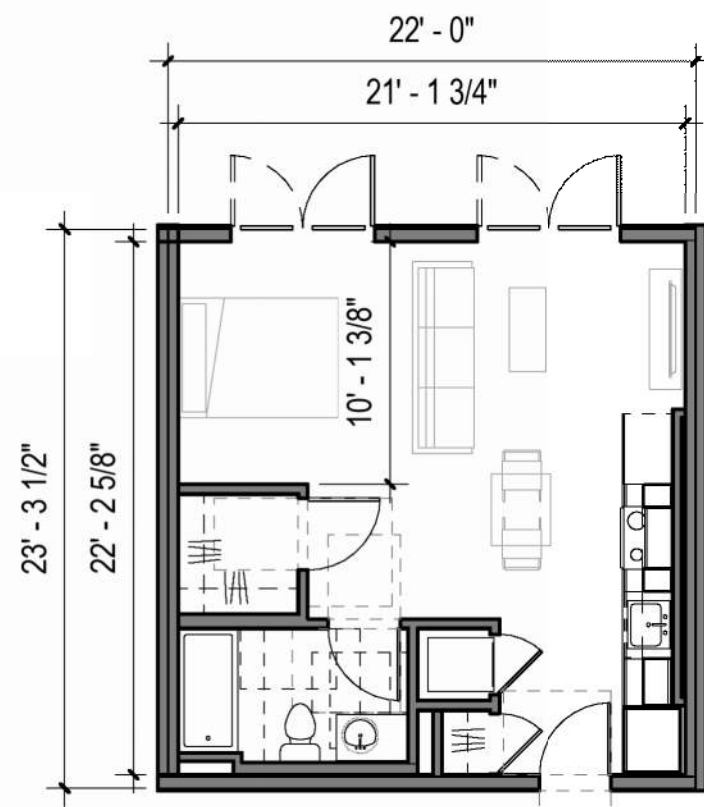




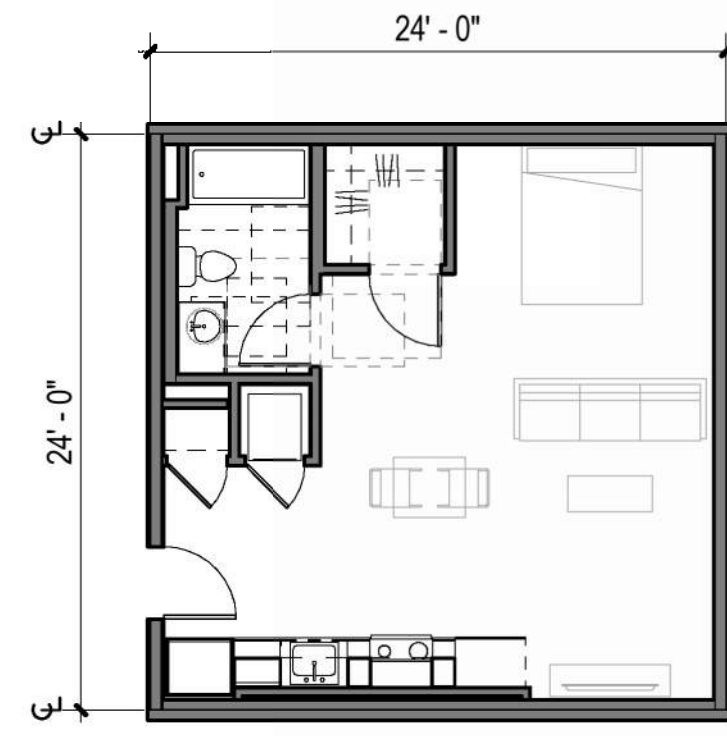




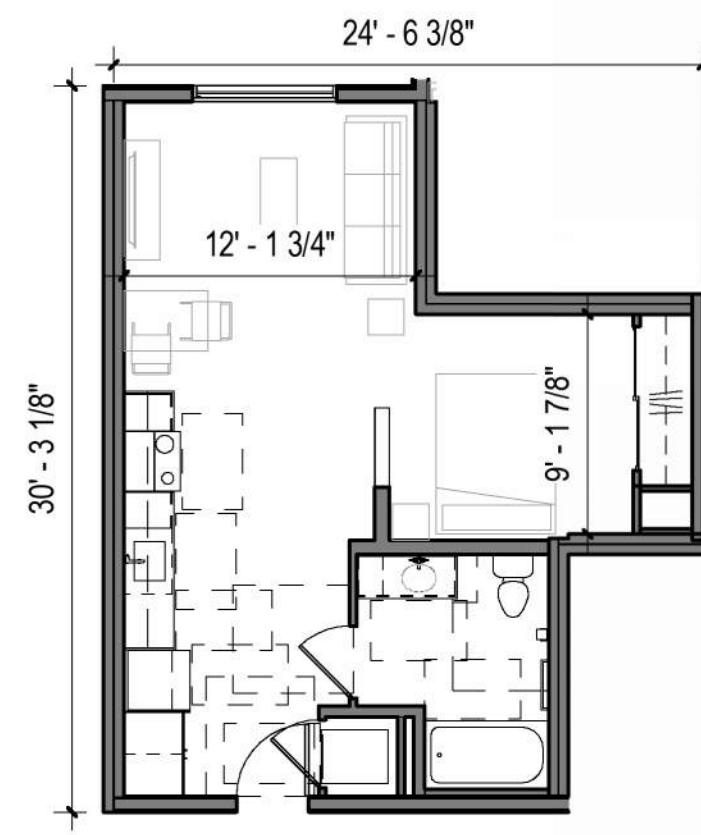
① UNIT PLAN - STUDIO - S1  
1/8" = 1'-0"



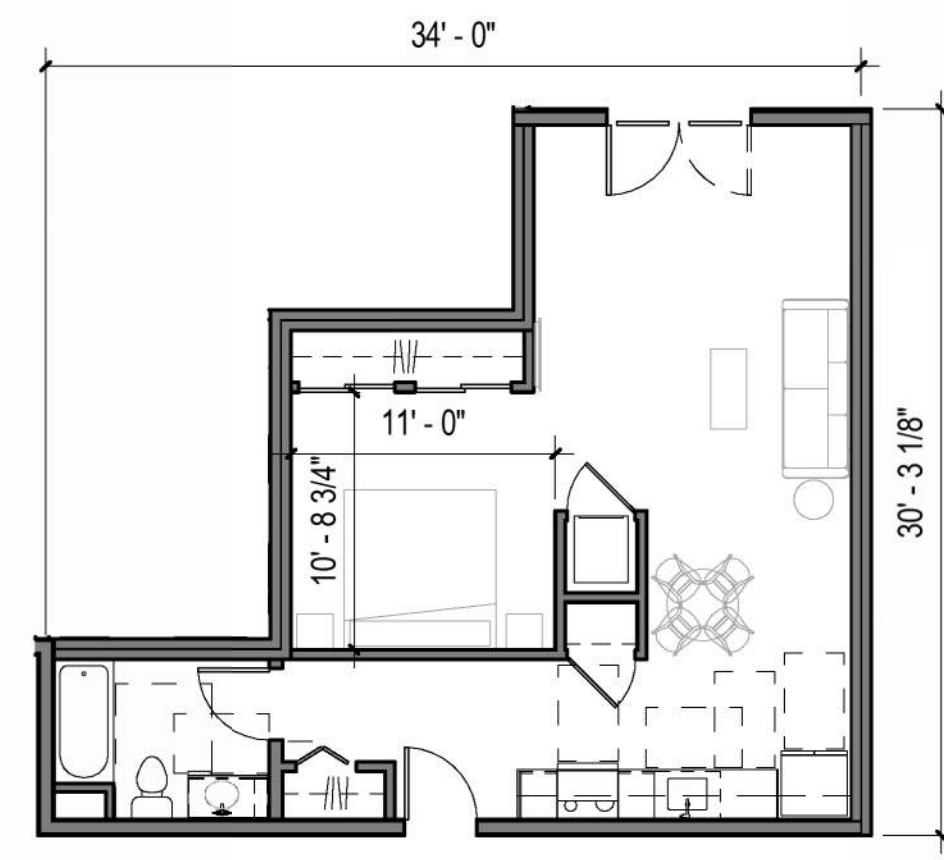
② UNIT PLAN - STUDIO - S2-S  
1/8" = 1'-0"



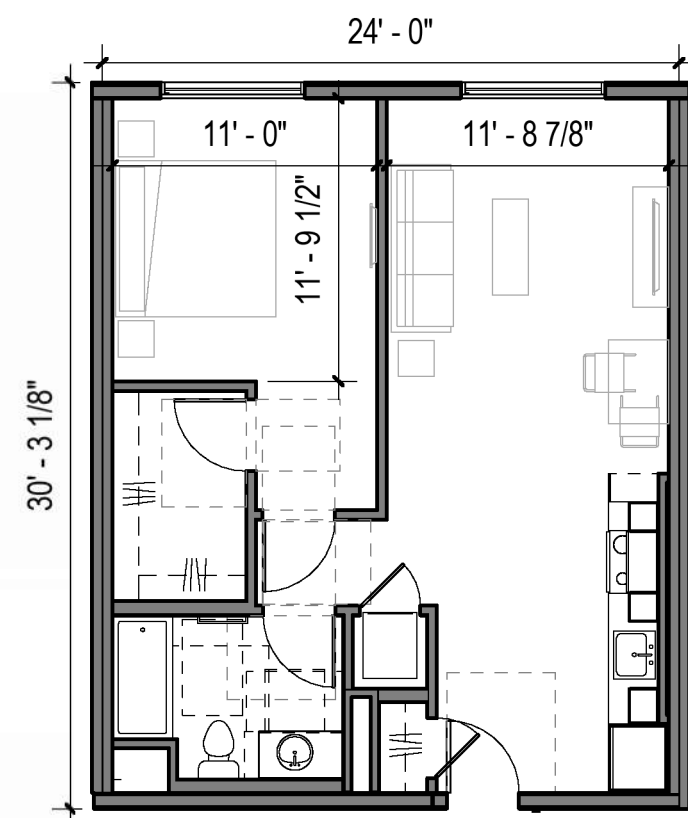
③ UNIT PLAN - STUDIO - S3-S  
1/8" = 1'-0"



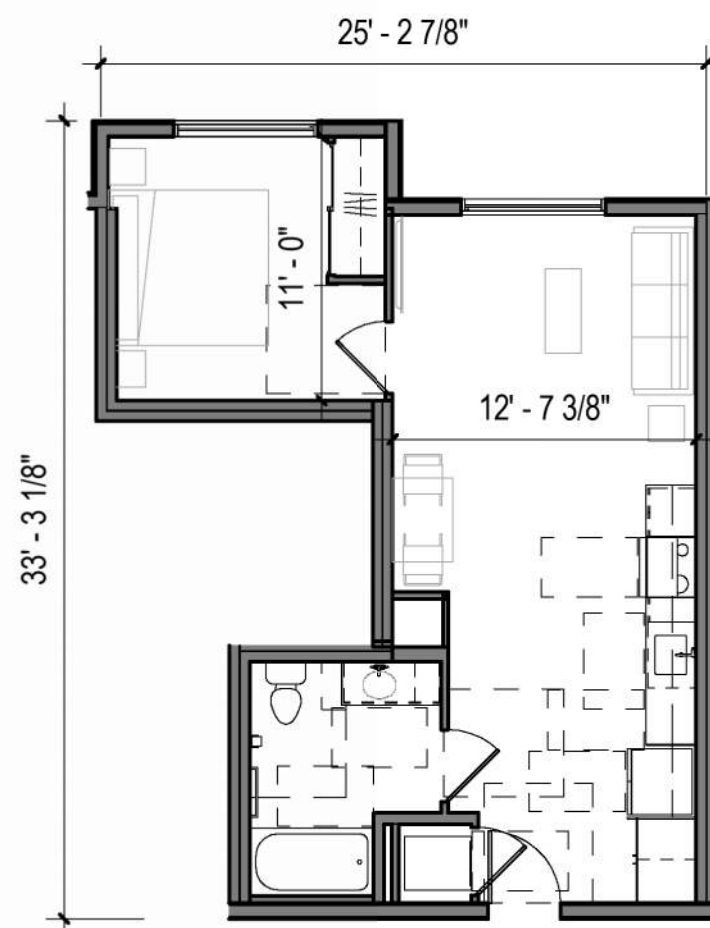
⑩ UNIT PLAN - JUNIOR - 1J-1  
1/8" = 1'-0"



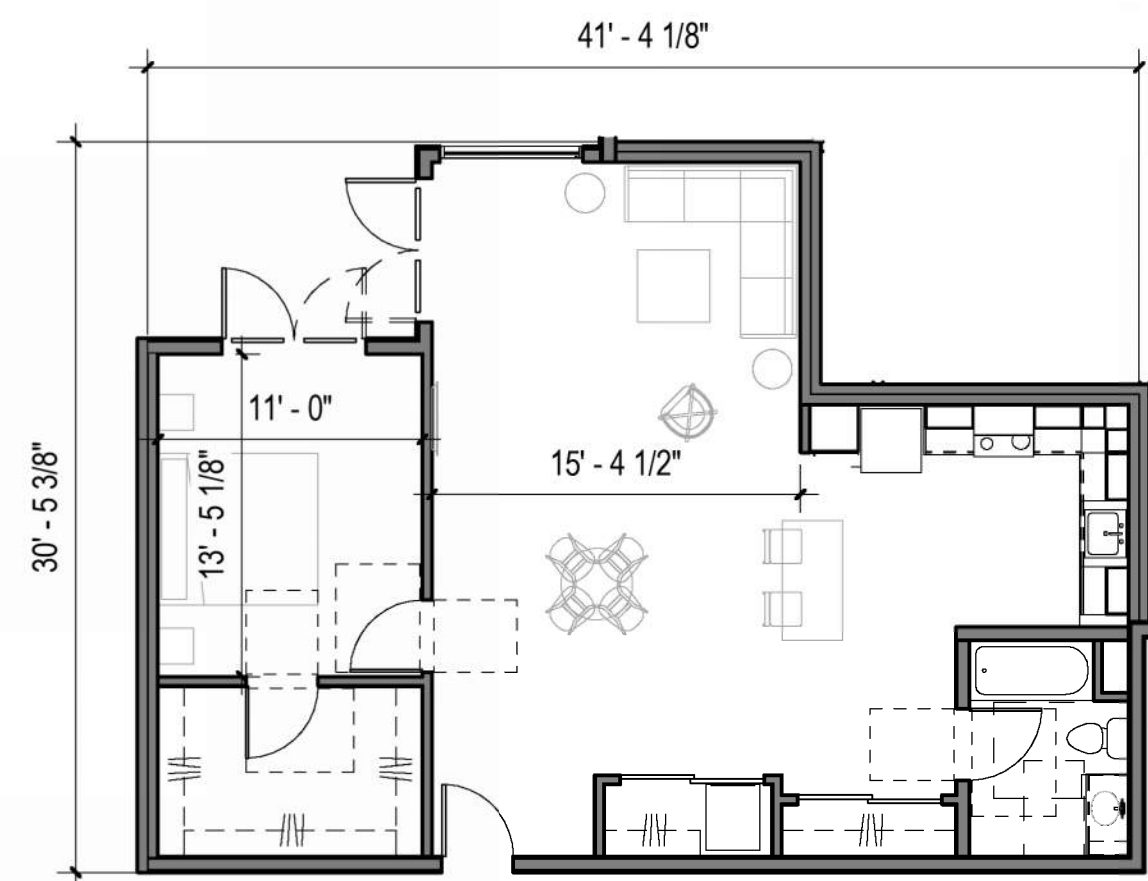
⑪ UNIT PLAN - JUNIOR - 1J-2  
1/8" = 1'-0"



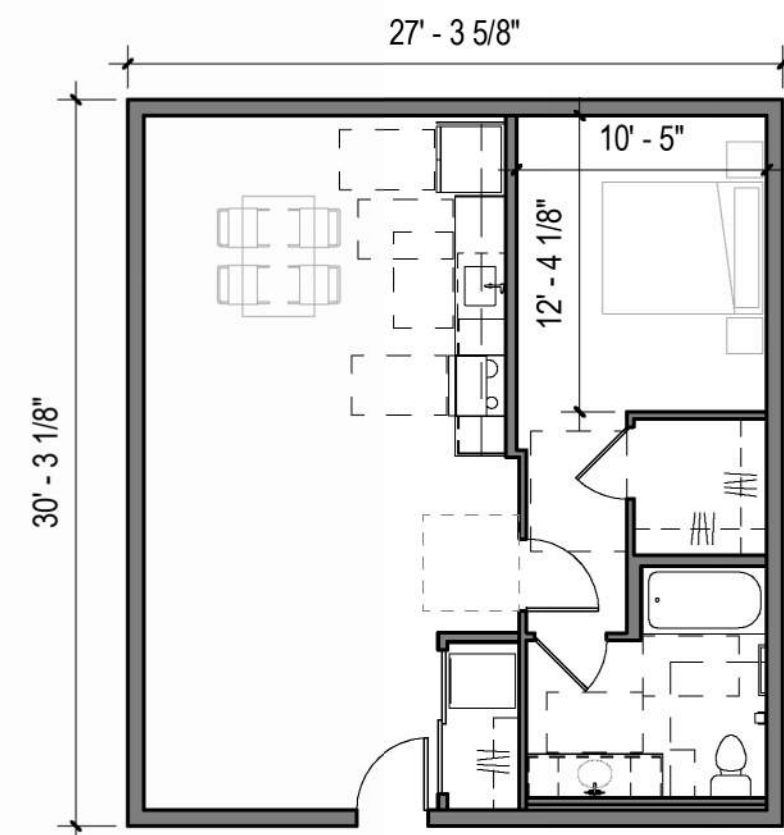
④ UNIT PLAN - 1 BEDROOM - 1A  
1/8" = 1'-0"



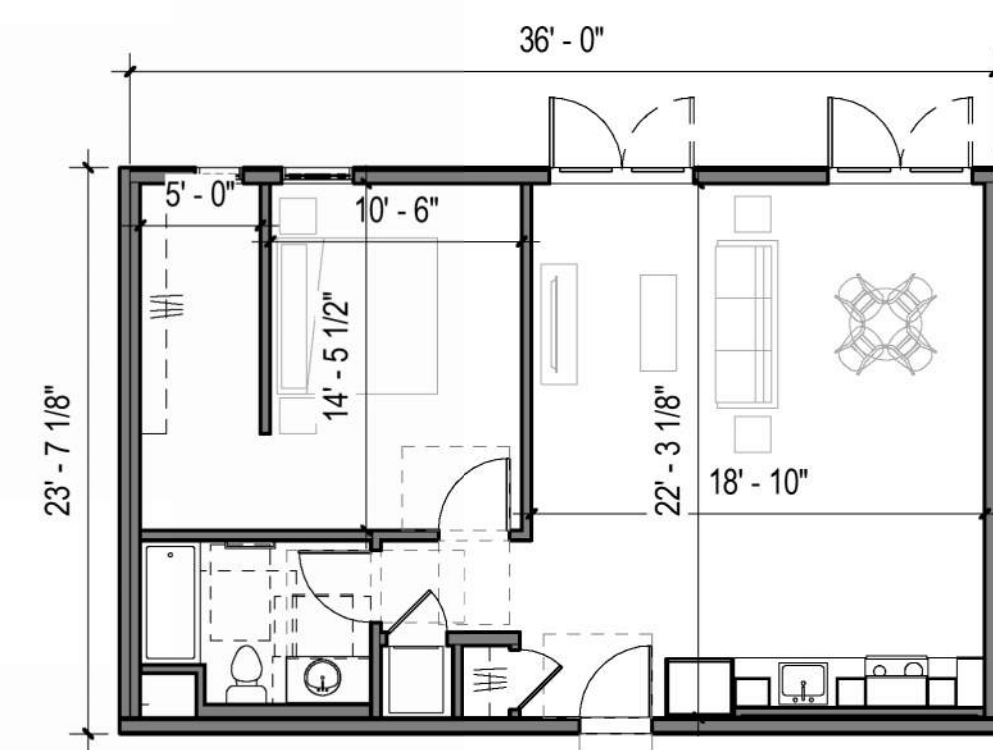
⑤ UNIT PLAN - 1 BEDROOM - 1B  
1/8" = 1'-0"



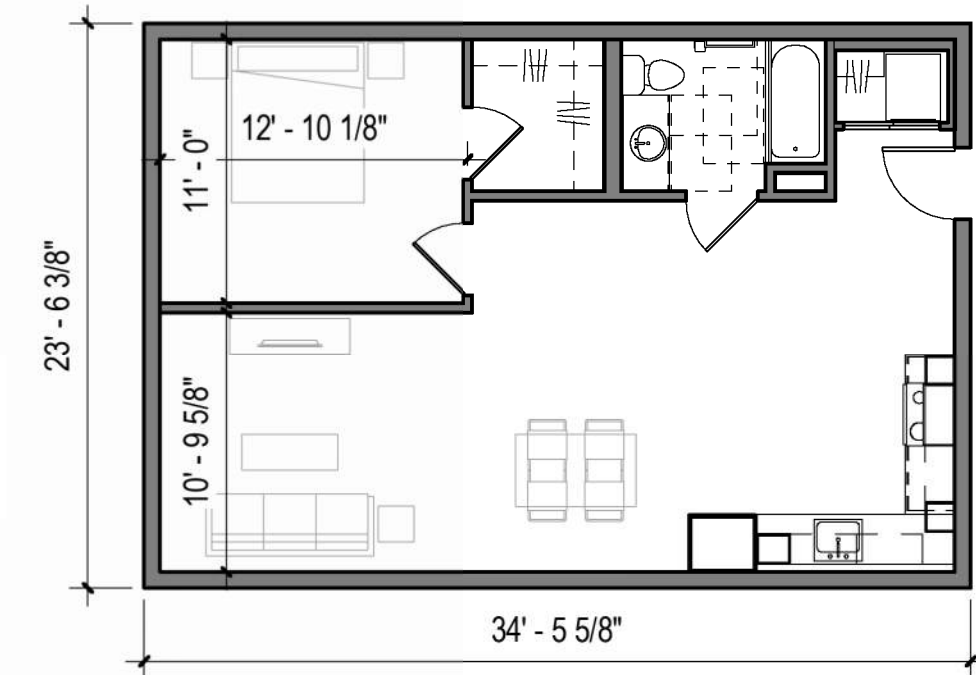
⑥ UNIT PLAN - 1 BEDROOM - 1C  
1/8" = 1'-0"



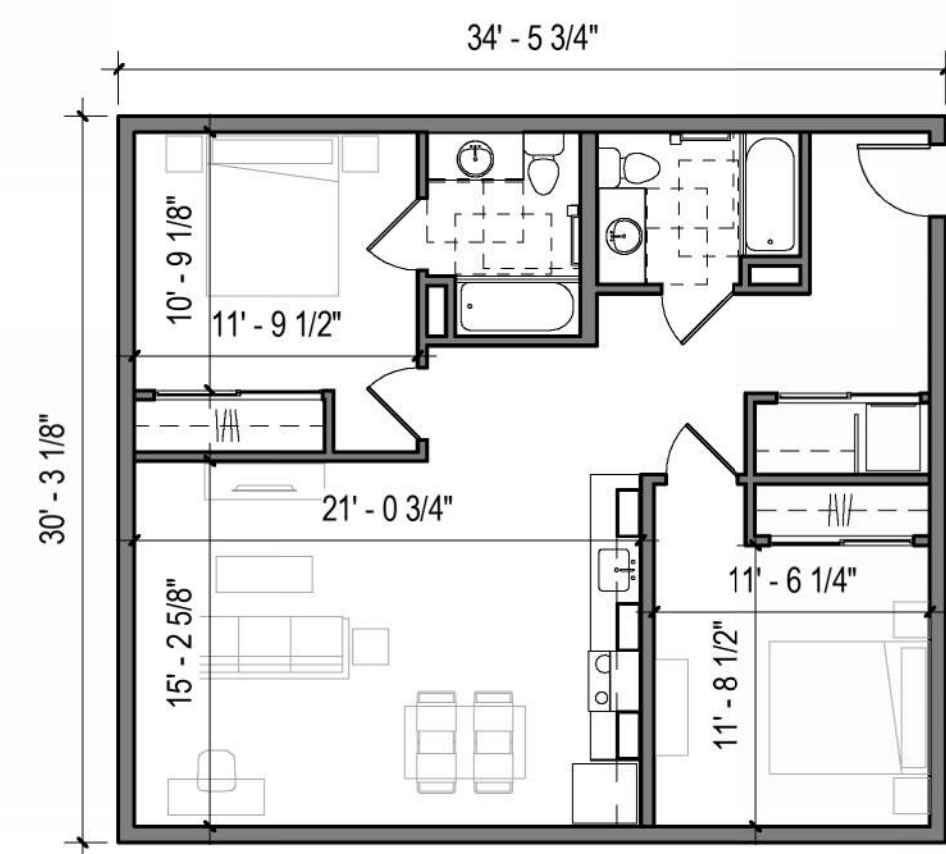
⑦ UNIT PLAN - 1 BEDROOM - 1D-S  
1/8" = 1'-0"



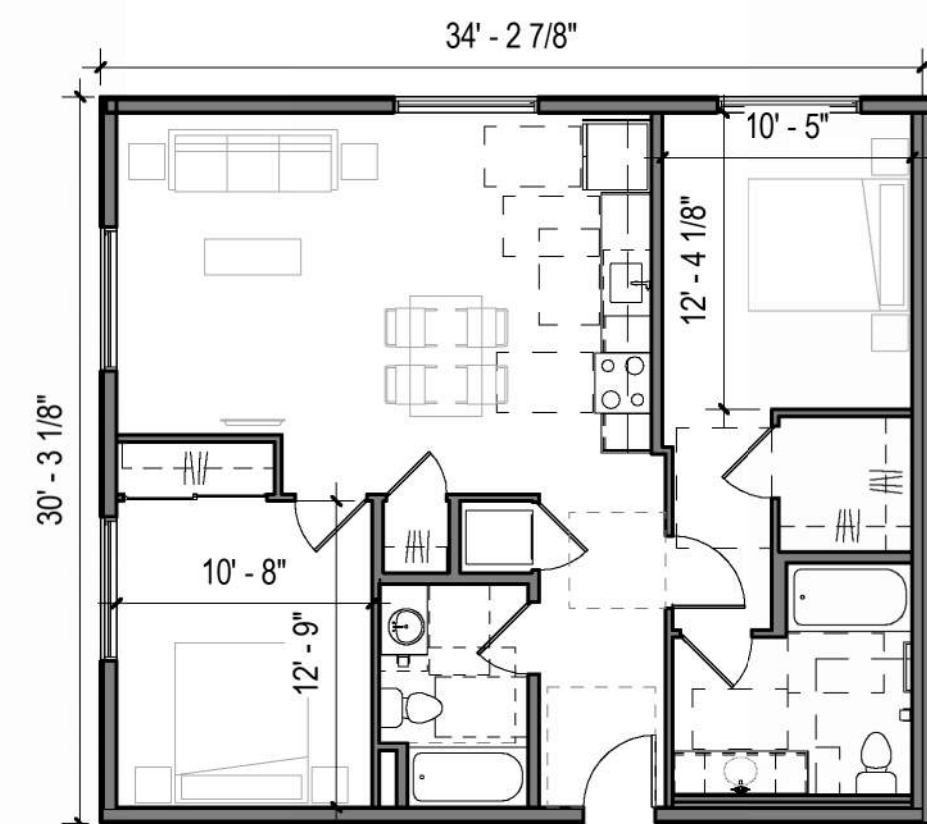
⑧ UNIT PLAN - 1 BEDROOM - 1E-S  
1/8" = 1'-0"



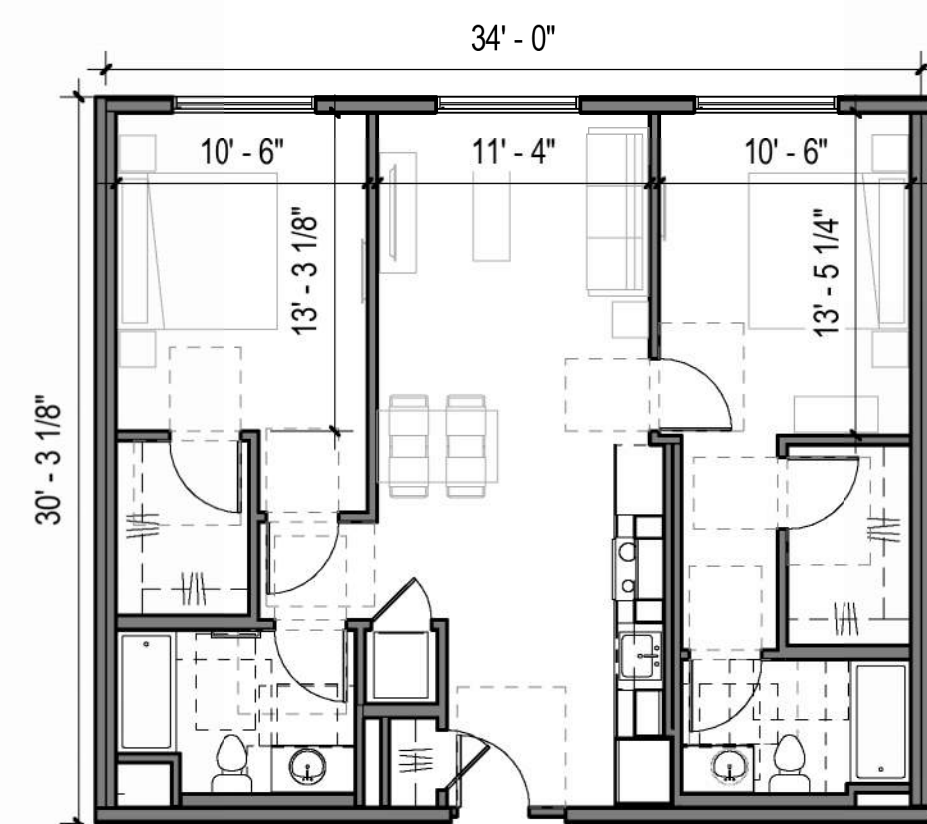
⑨ UNIT PLAN - 1 BEDROOM - 1F-S  
1/8" = 1'-0"



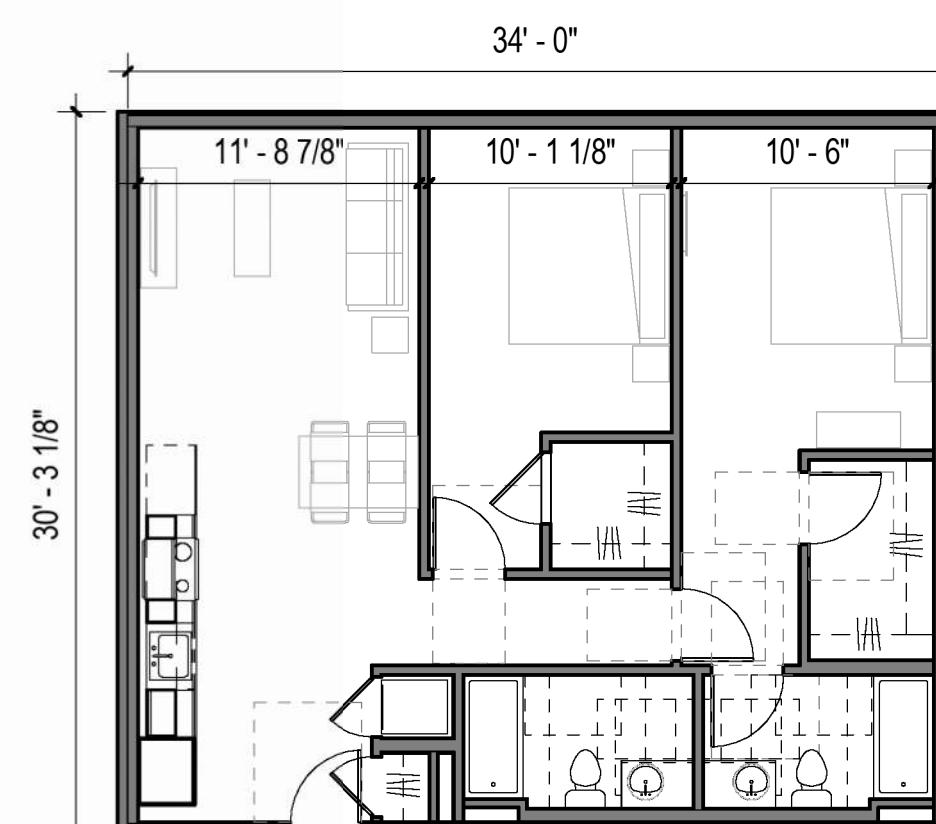
⑫ UNIT PLAN - 2 BEDROOM - 2A  
1/8" = 1'-0"



⑬ UNIT PLAN - 2 BEDROOM - 2B  
1/8" = 1'-0"



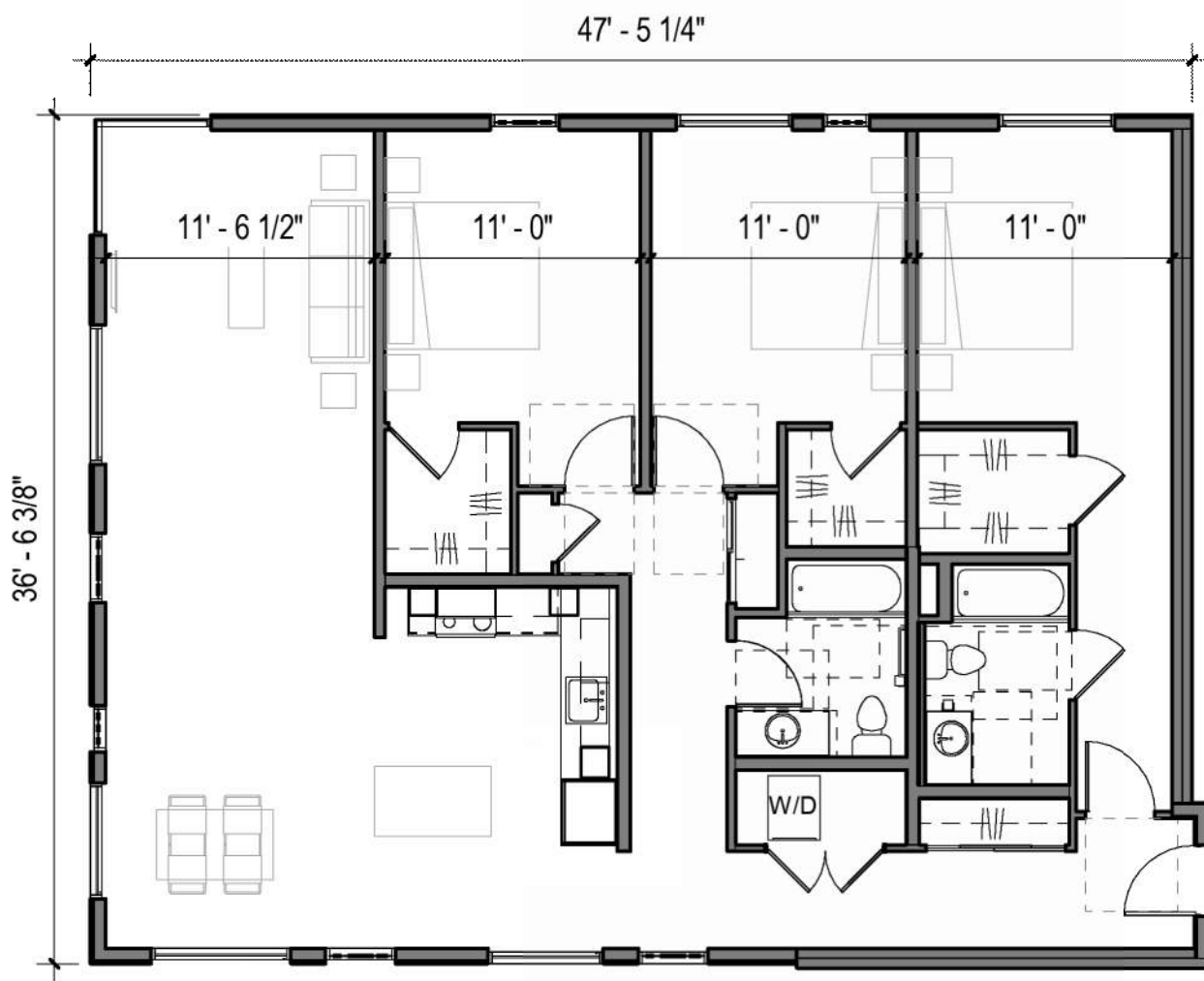
⑭ UNIT PLAN - 2 BEDROOM - 2C  
1/8" = 1'-0"



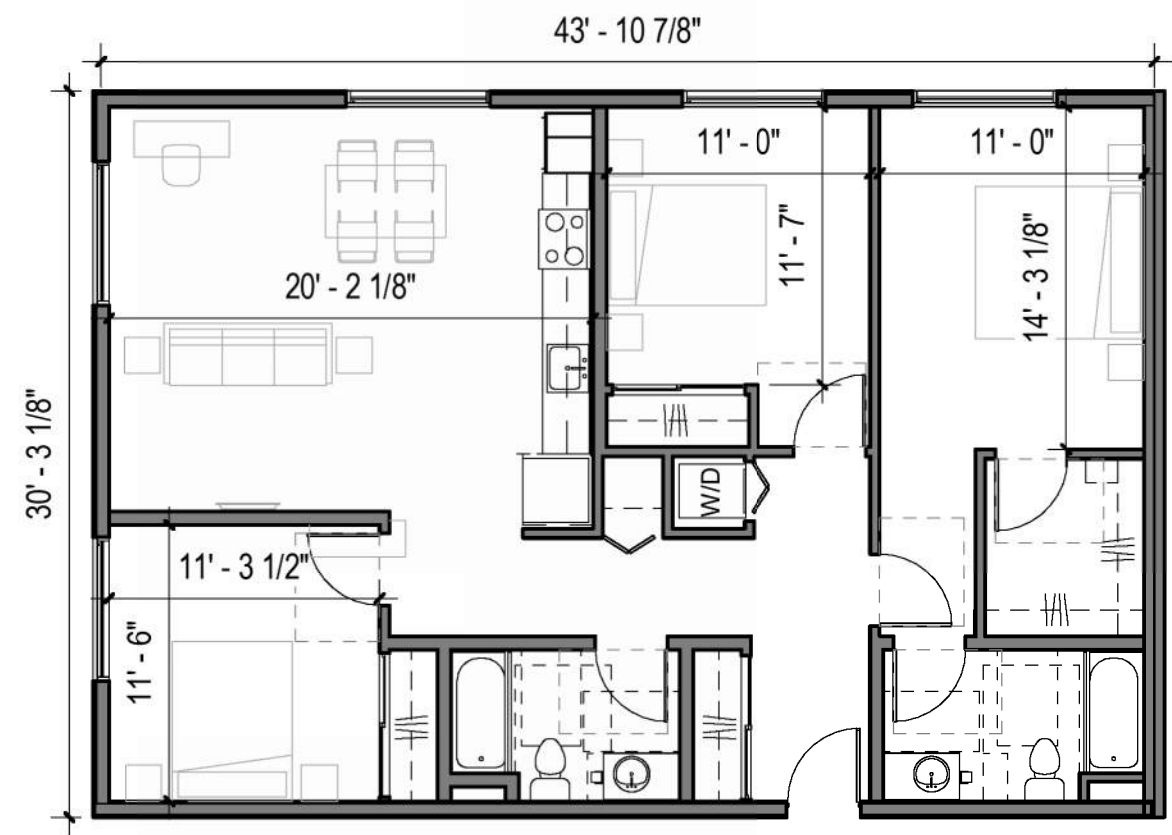
⑮ UNIT PLAN - 2 BEDROOM - 2D  
1/8" = 1'-0"

Average Unit Types Building A			
Area Unit Name	Area Count	Average	%
1 Bedroom			
1A	121	703.23	31.68%
1B	16	588.89	4.19%
1C	10	985.47	2.62%
1D-S	10	753.05	2.62%
1E-S	10	828.17	2.62%
1F-S	2	752.31	0.52%
1J-1	16	556.06	4.19%
1J-2	10	681.59	2.62%
1L-1	8	1024.84	2.09%
1L-2	3	884.81	0.79%
1L-3	2	827.39	0.52%
1L-4	3	1177.47	0.79%
1L-5	1	641.89	0.26%
1 Bedroom	212		55.50%
2 Bedroom			
2A	22	1017.90	5.76%
2B	53	976.04	13.87%
2C	14	1002.48	3.66%
2D	10	990.92	2.62%
2 Bedroom	99		25.92%
3 Bedroom			
3A	3	1645.30	0.79%
3B	5	1274.96	1.31%
3C	5	1319.52	1.31%
3 Bedroom	13		3.40%
Studio			
S1	53	495.26	13.87%
S2-S	4	503.39	1.05%
S3-S	1	558.25	0.26%
Studio	58		15.18%
BLDG A TOTAL UNITS	382		100.00%

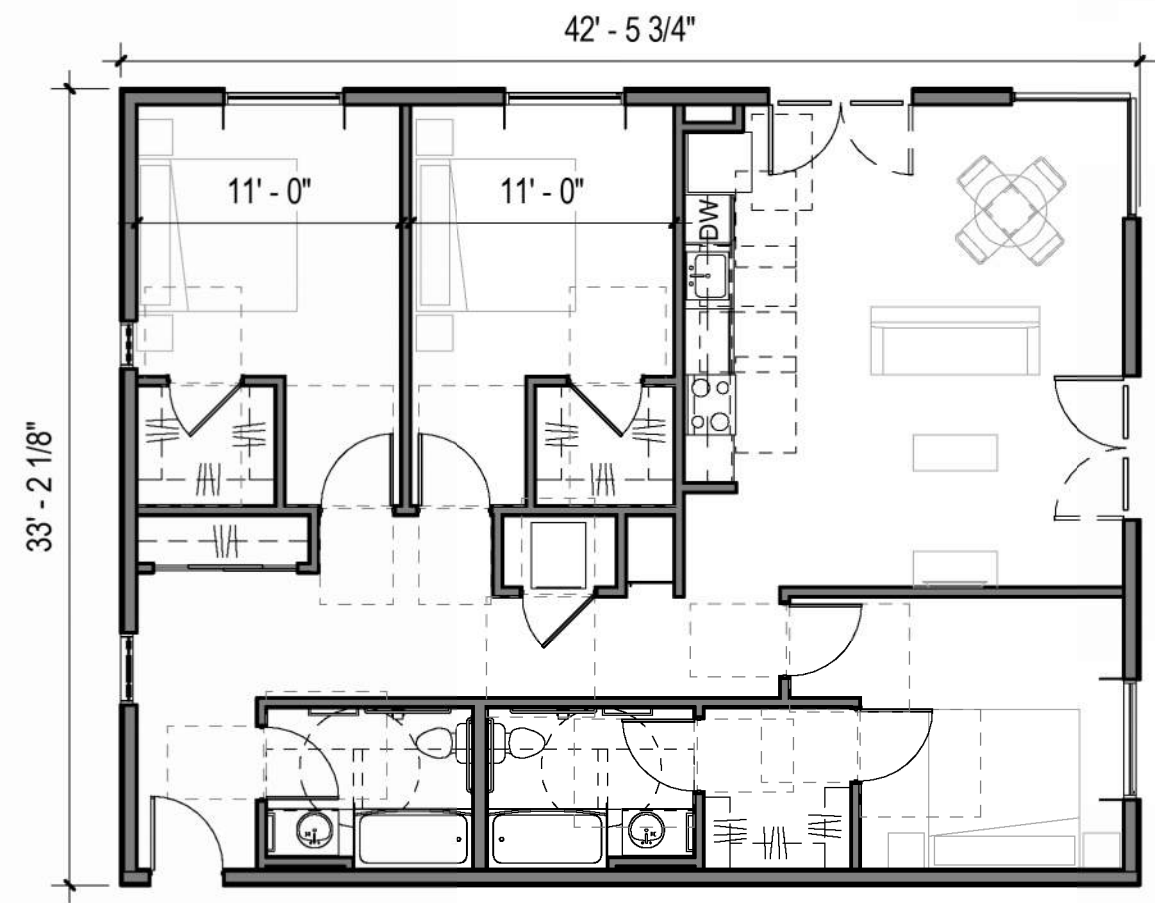




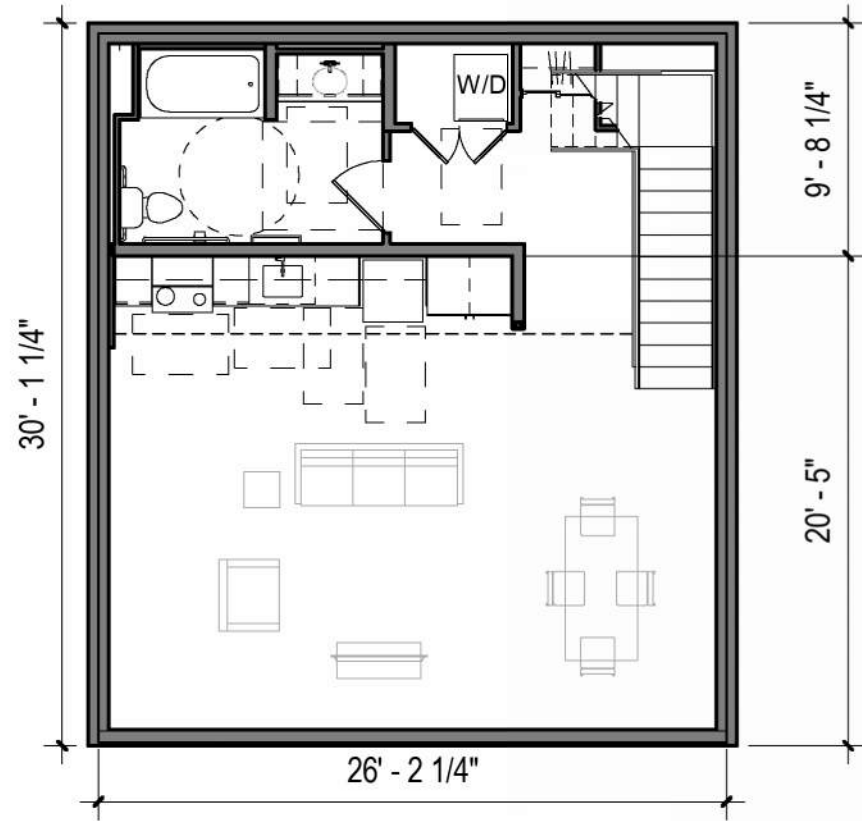
12 UNIT PLAN - 3 BEDROOM - 3A  
1/8" = 1'-0"



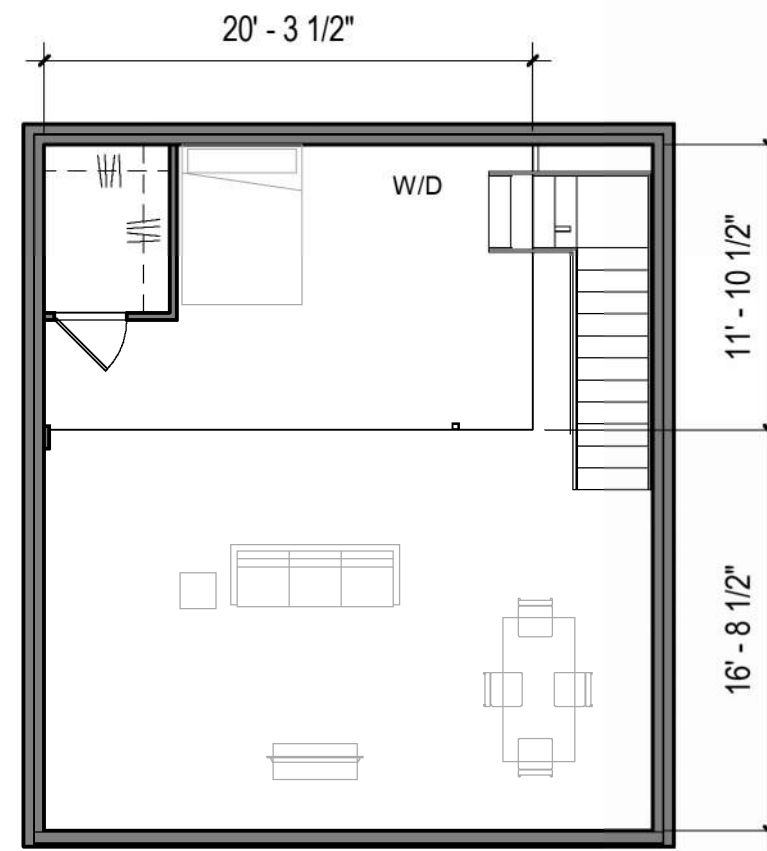
11 UNIT PLAN - 3 BEDROOM - 3B  
1/8" = 1'-0"



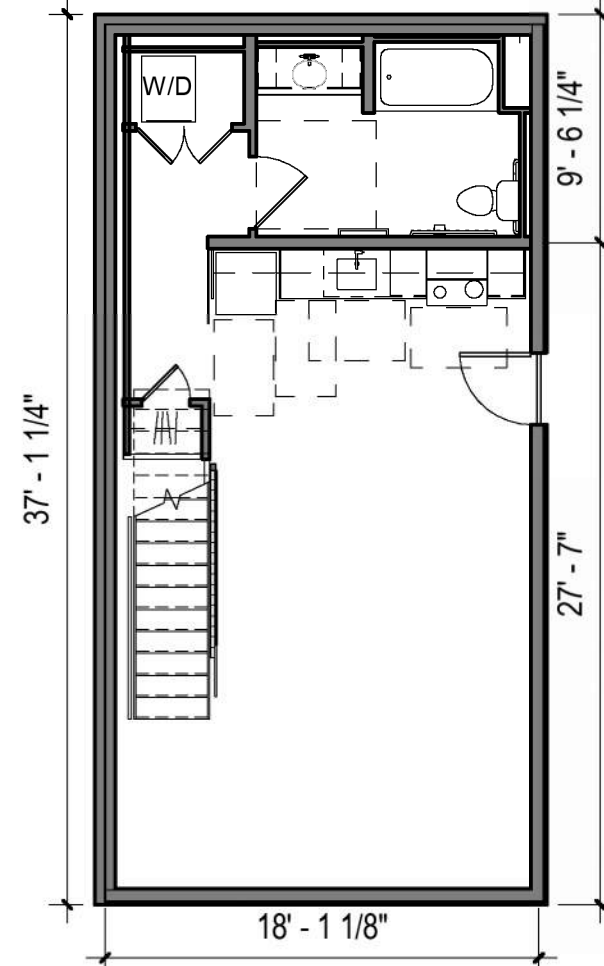
10 UNIT PLAN - 3 BEDROOM - 3C  
1/8" = 1'-0"



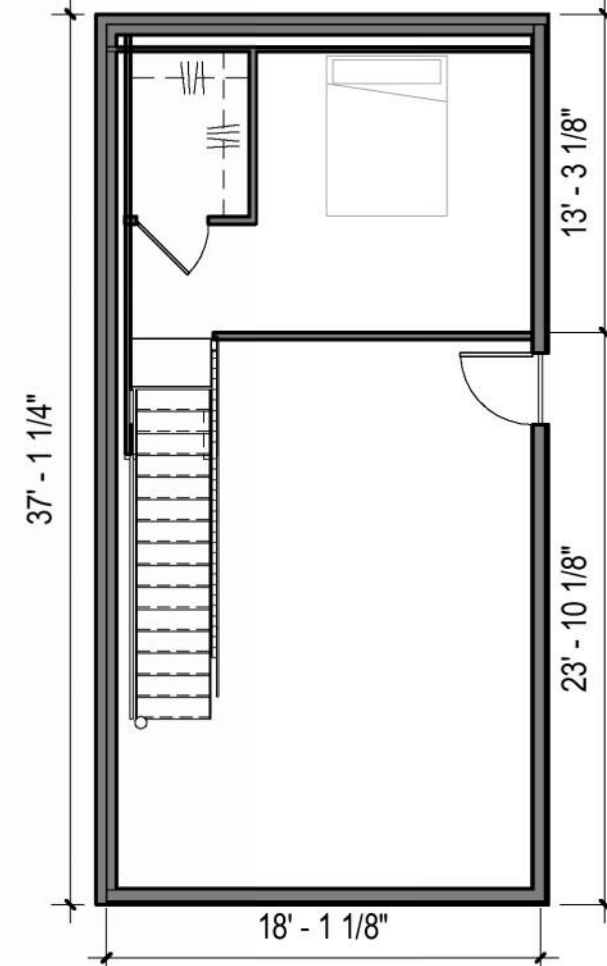
1 UNIT PLAN - LOFT - 1L-1 - LEVEL 1  
1/8" = 1'-0"



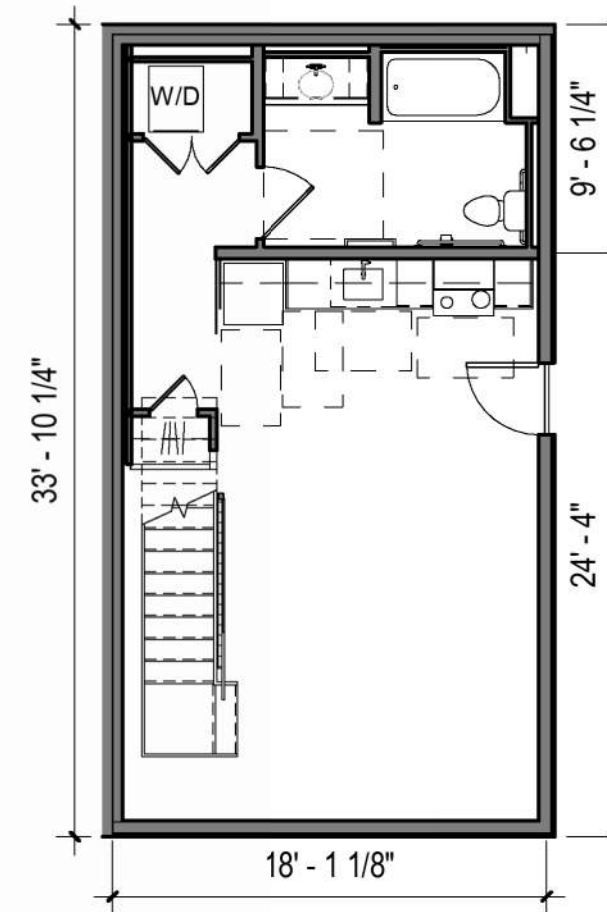
2 UNIT PLAN - LOFT - 1L-1 - MEZZANINE  
1/8" = 1'-0"



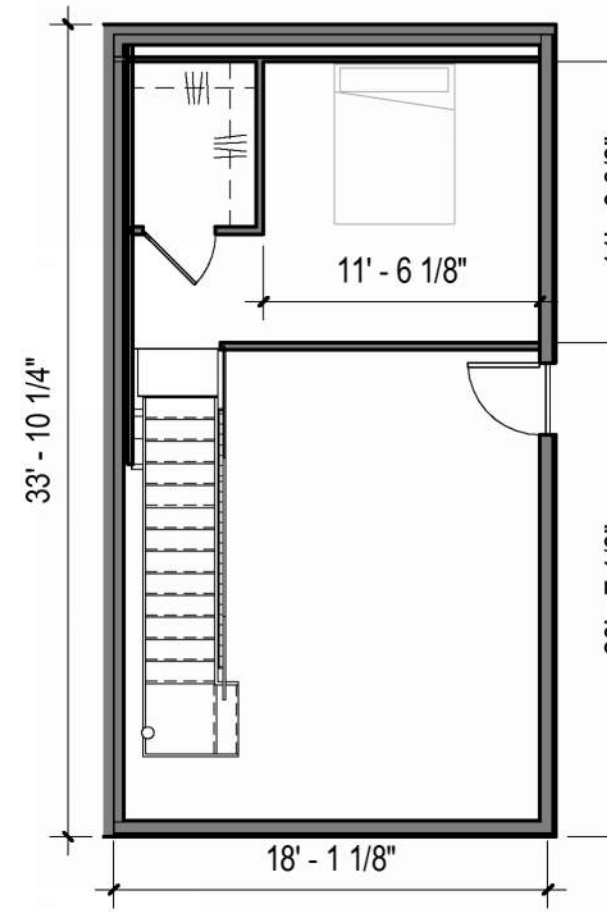
3 UNIT PLAN - LOFT - 1L-2 - LEVEL 1  
1/8" = 1'-0"



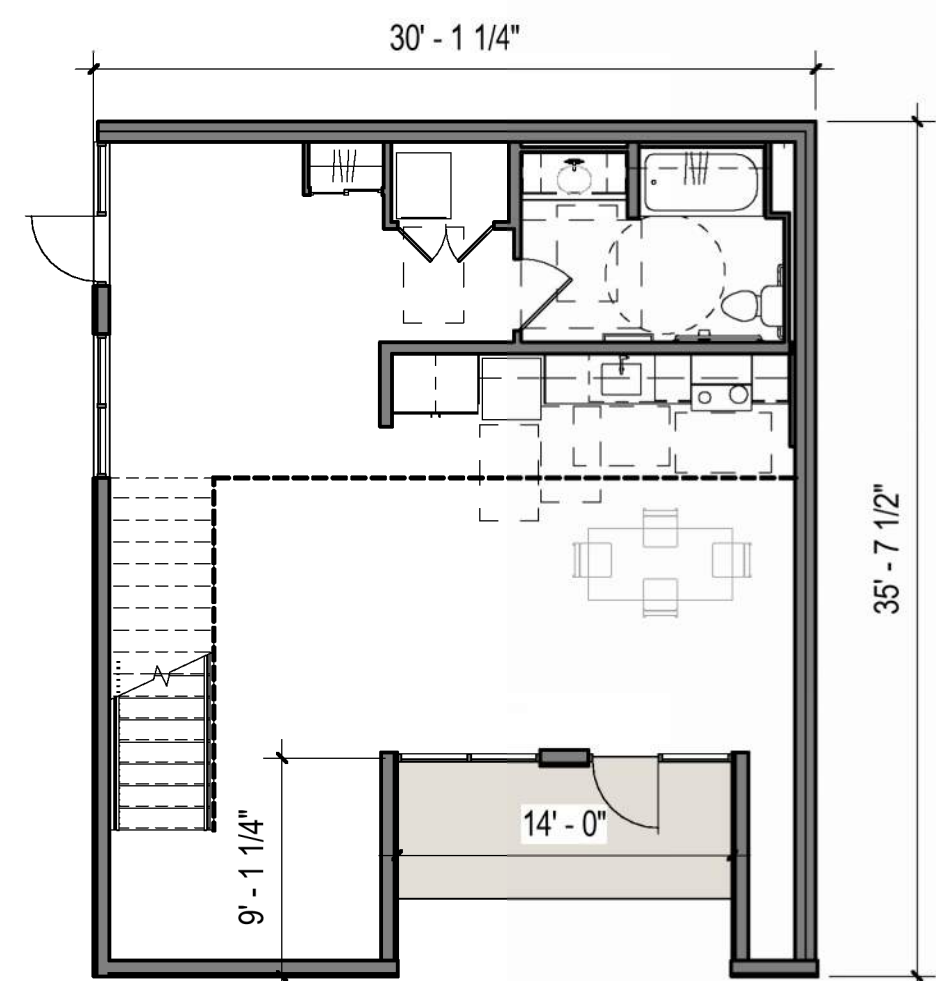
4 UNIT PLAN - LOFT - 1L-2 - MEZZANINE  
1/8" = 1'-0"



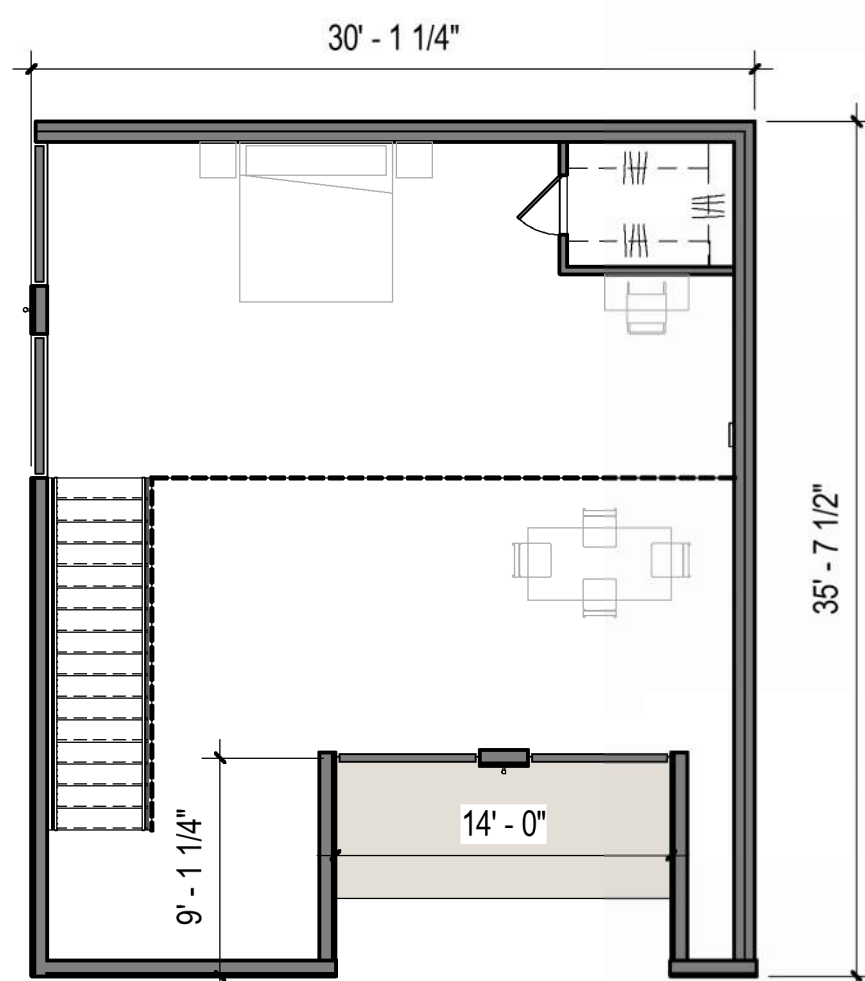
5 UNIT PLAN - LOFT - 1L-3 - LEVEL 1  
1/8" = 1'-0"



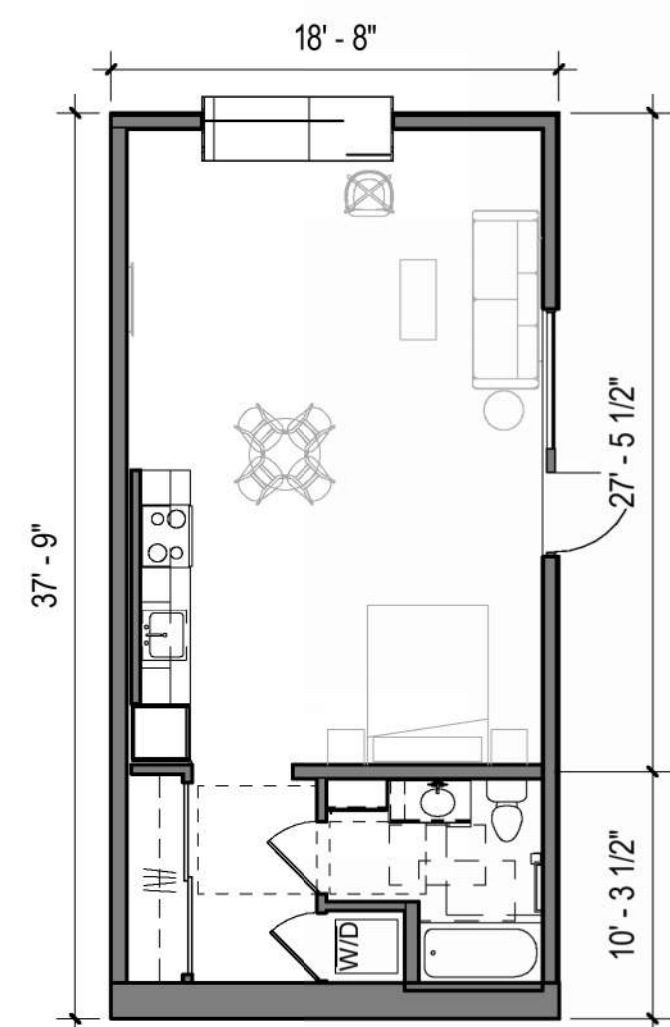
6 UNIT PLAN - LOFT - 1L-3 - MEZZANINE  
1/8" = 1'-0"



7 UNIT PLAN - LOFT - 1L-4 - LEVEL 1  
1/8" = 1'-0"



8 UNIT PLAN - LOFT - 1L-4 - MEZZANINE  
1/8" = 1'-0"



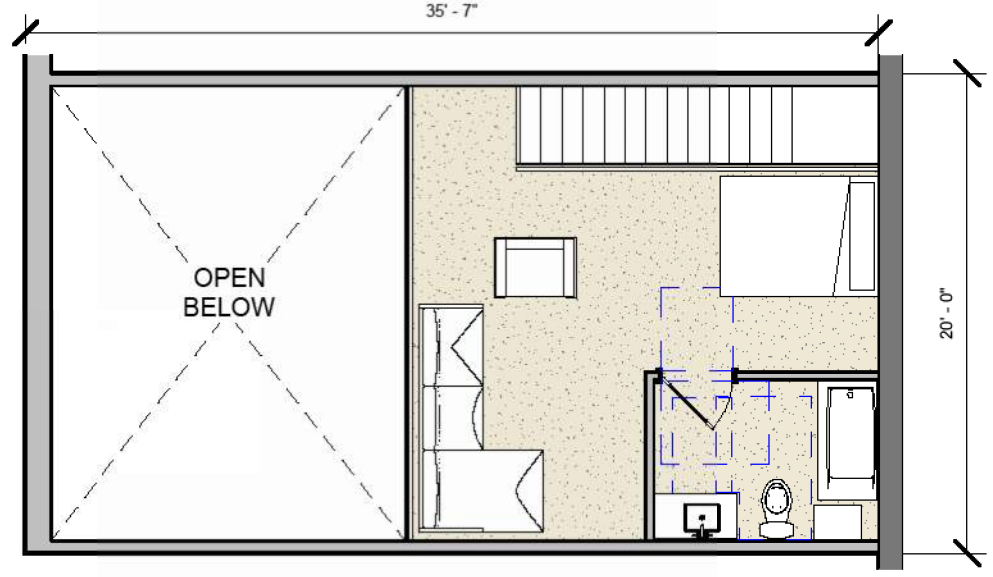
9 UNIT PLAN - LOFT - 1L-5  
1/8" = 1'-0"

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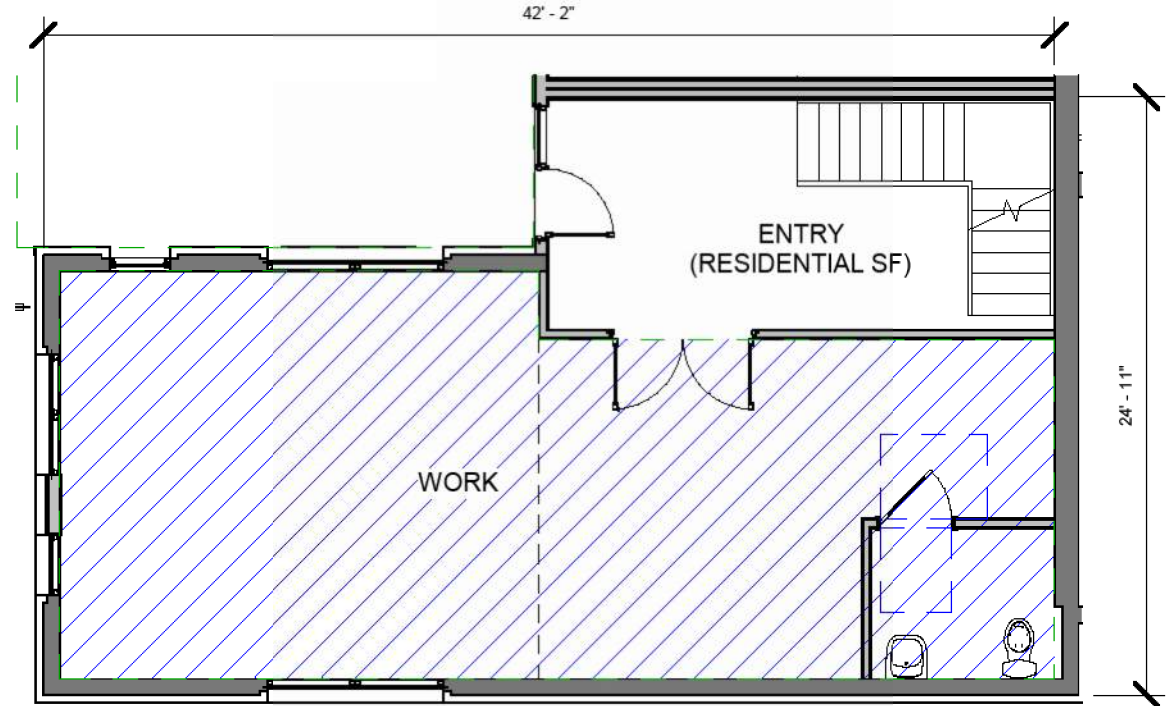


17a Unit Live Work A 1st Level  
1/8" = 1'-0"

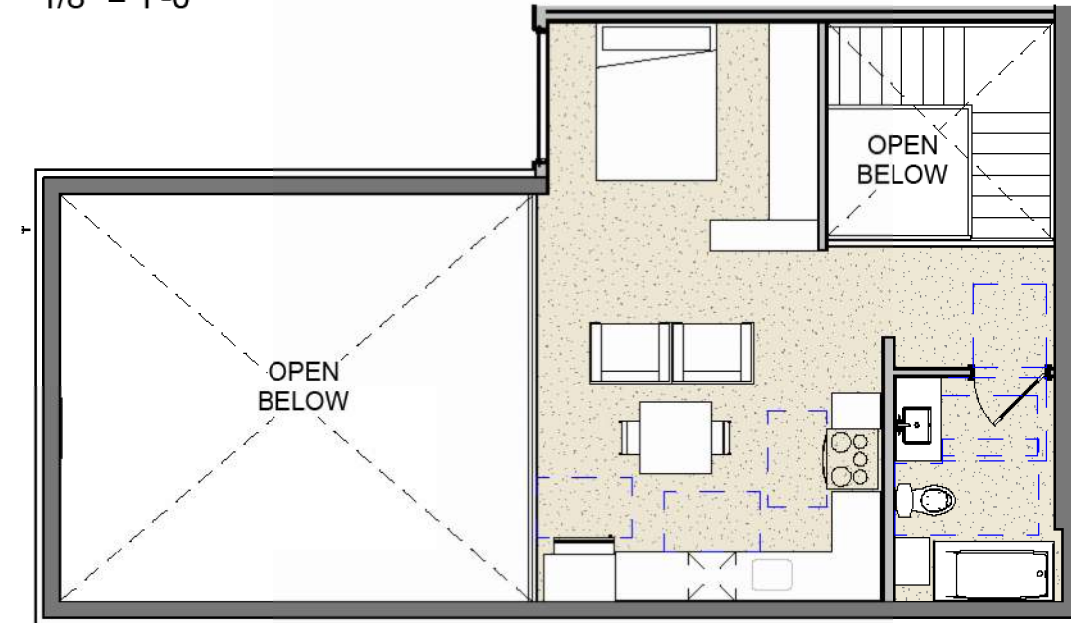


17b Unit Live Work A Mezzanine  
1/8" = 1'-0"

**LIVE WORK A**  
TOTAL SF: 862.17 SF  
LOWER LEVEL SF: 661.96 SF  
ALLOWED LOFT (<50% LOWER LEVEL SF): 330.93 SF  
ALLOWED WORK AREA (<50% TOTAL SF): 496.06 SF  
PROPOSED WORK AREA SF: 435.59 SF  
PROPOSED LOFT SF: 330.31 SF  
PROPOSED RESIDENTIAL 1ST FLOOR: 226.27 SF  
PROPOSED TOTAL RESIDENTIAL: 556.58 SF

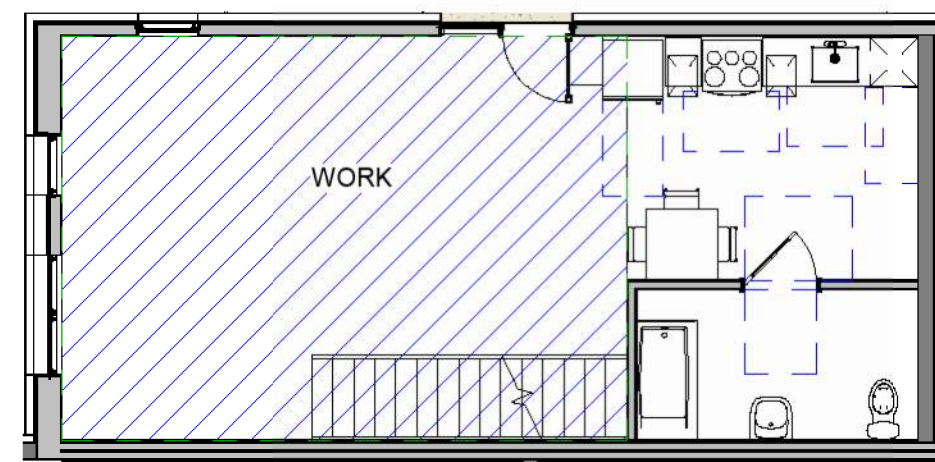


18a Unit Live Work B 1st Level  
1/8" = 1'-0"

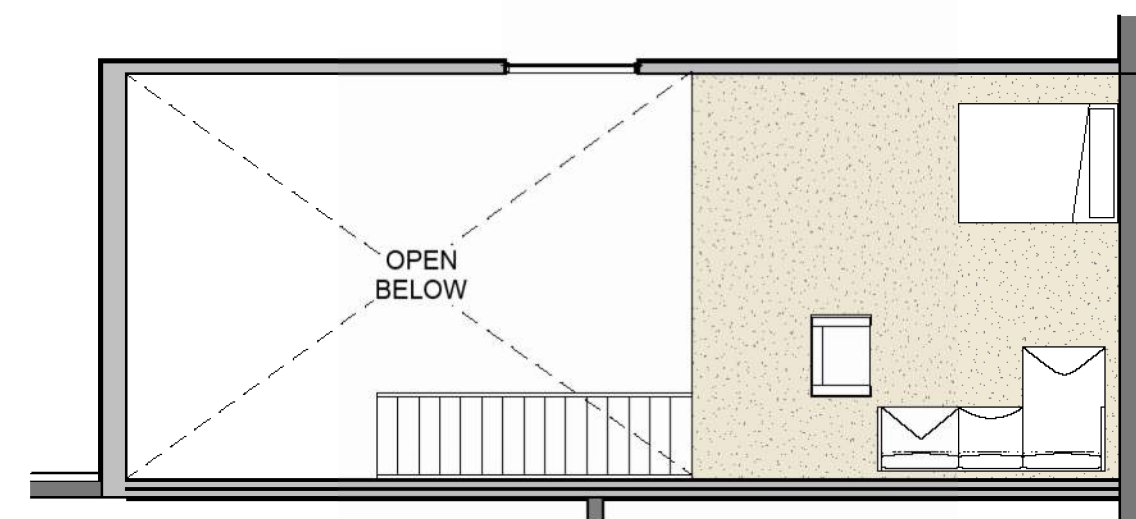


18b Unit Live Work B Mezzanine  
1/8" = 1'-0"

**LIVE WORK B**  
TOTAL SF: 1,316.52 SF  
LOWER LEVEL SF: 877.91 SF  
ALLOWED LOFT (<50% LOWER LEVEL SF): 438.96 SF  
ALLOWED WORK AREA (<50% TOTAL SF): 658.26 SF  
PROPOSED WORK AREA SF: 656.29 SF  
PROPOSED LOFT SF: 438.51 SF  
PROPOSED RESIDENTIAL 1ST FLOOR: 221.62 SF  
PROPOSED TOTAL RESIDENTIAL: 660.23 SF

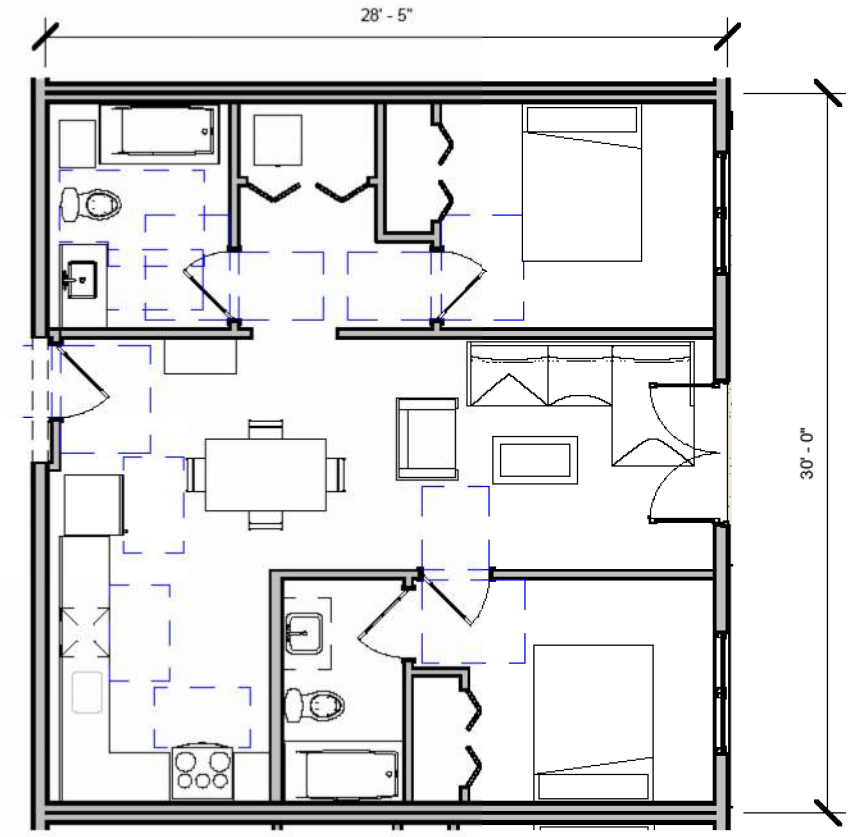


19a Unit B Live/Work Loft C 1st Level  
1/8" = 1'-0"

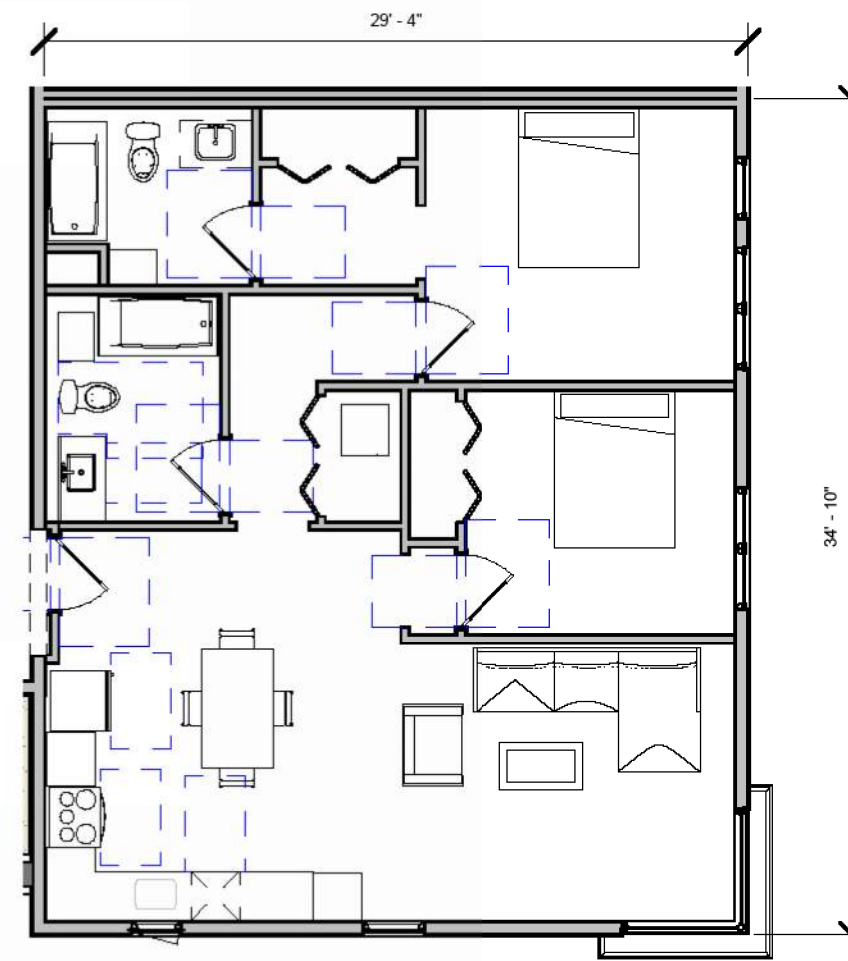


19b Unit B Live/Work Loft C Mezzanine  
1/8" = 1'-0"

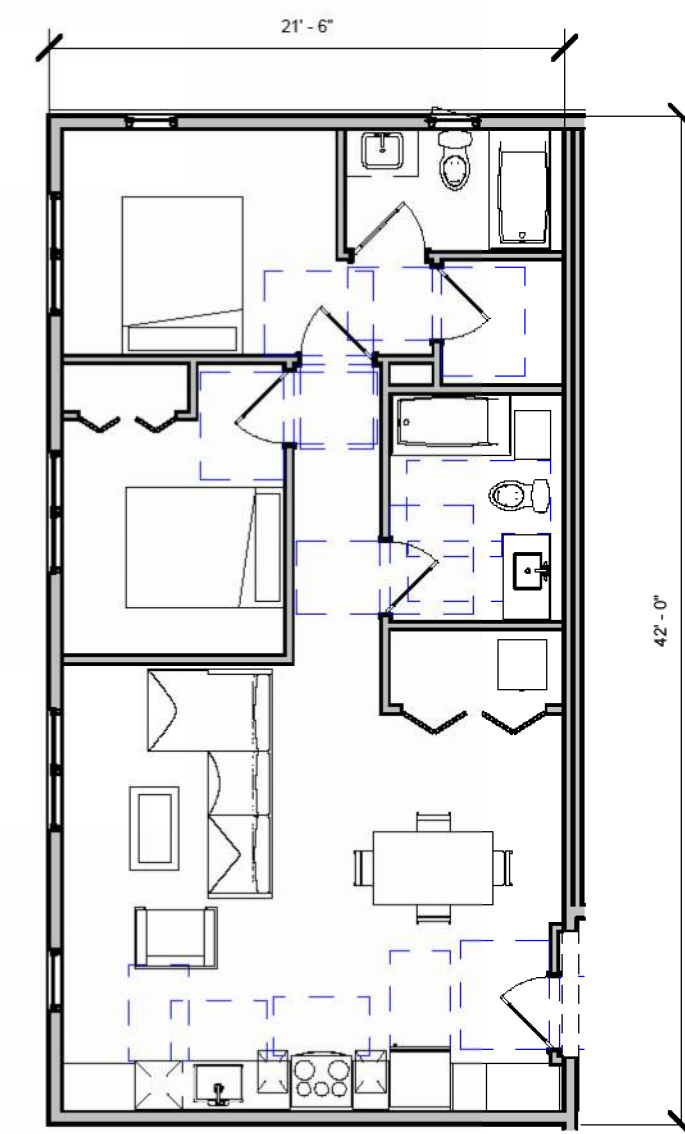
**LIVE WORK B**  
TOTAL SF: 926.57 SF  
LOWER LEVEL SF: 623.39 SF  
ALLOWED LOFT (<50% LOWER LEVEL SF): 311.70 SF  
ALLOWED WORK AREA (<50% TOTAL SF): 463.39 SF  
PROPOSED WORK AREA SF: 407.37 SF  
PROPOSED LOFT SF: 303.18 SF  
PROPOSED RESIDENTIAL 1ST FLOOR: 216.02 SF  
PROPOSED TOTAL RESIDENTIAL: 519.20 SF



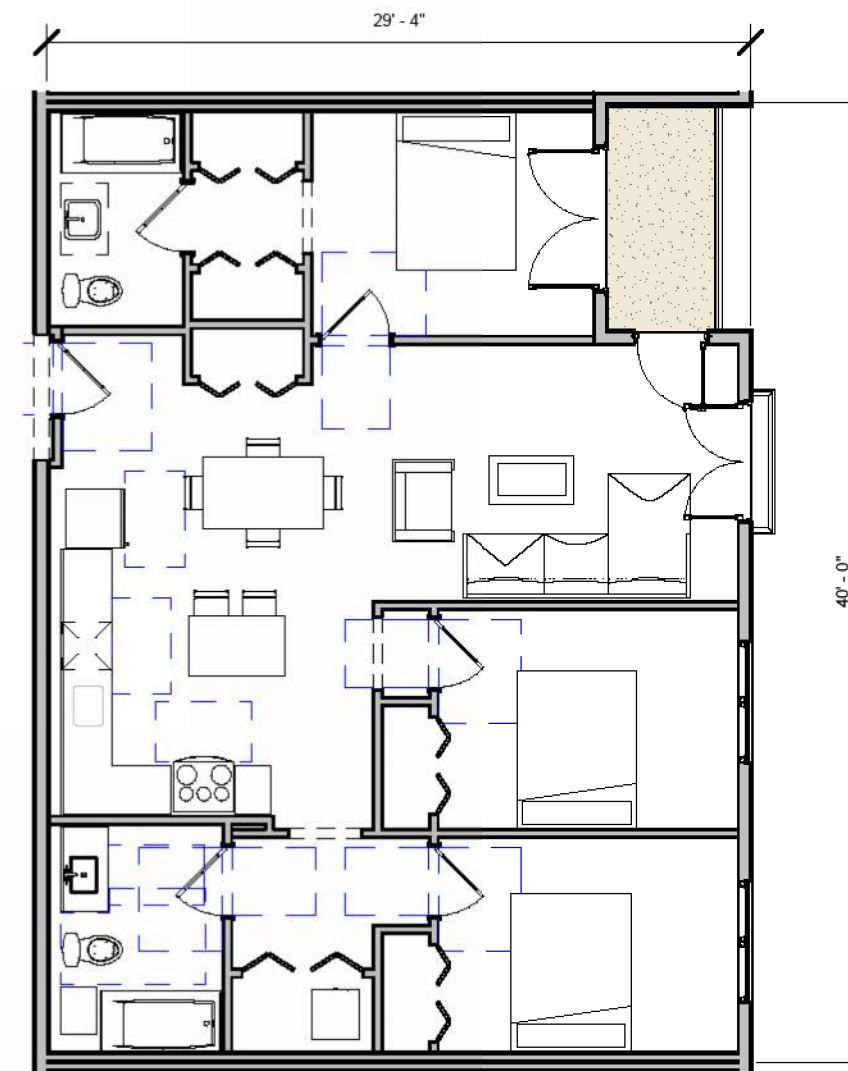
13 Unit 2 Bdrm A  
1/8" = 1'-0"



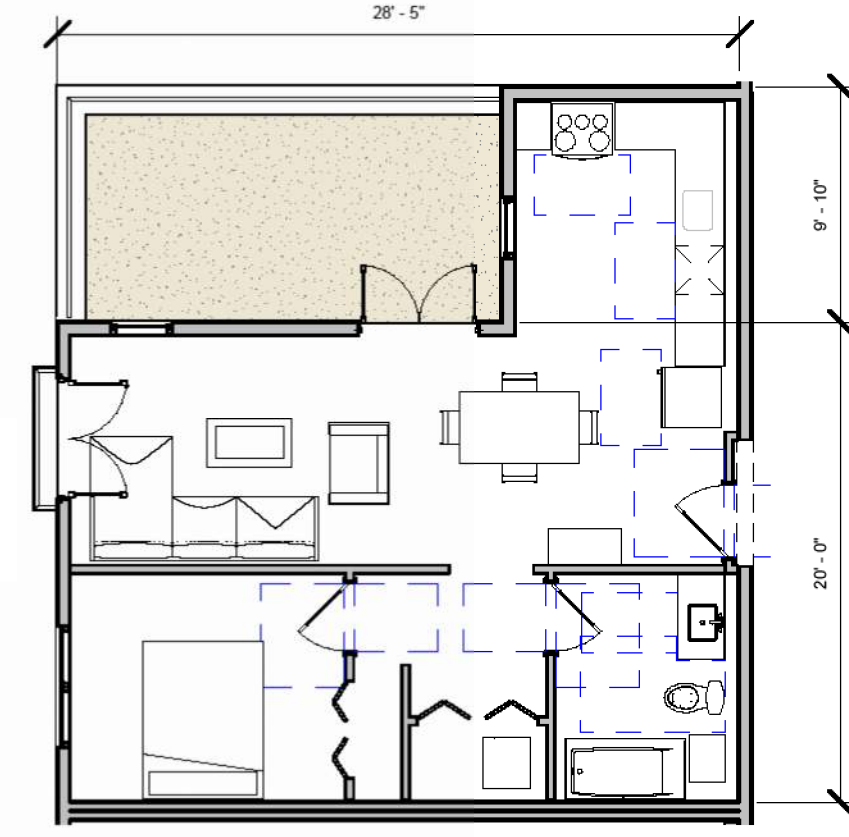
14 Unit 2 Bdrm B  
1/8" = 1'-0"



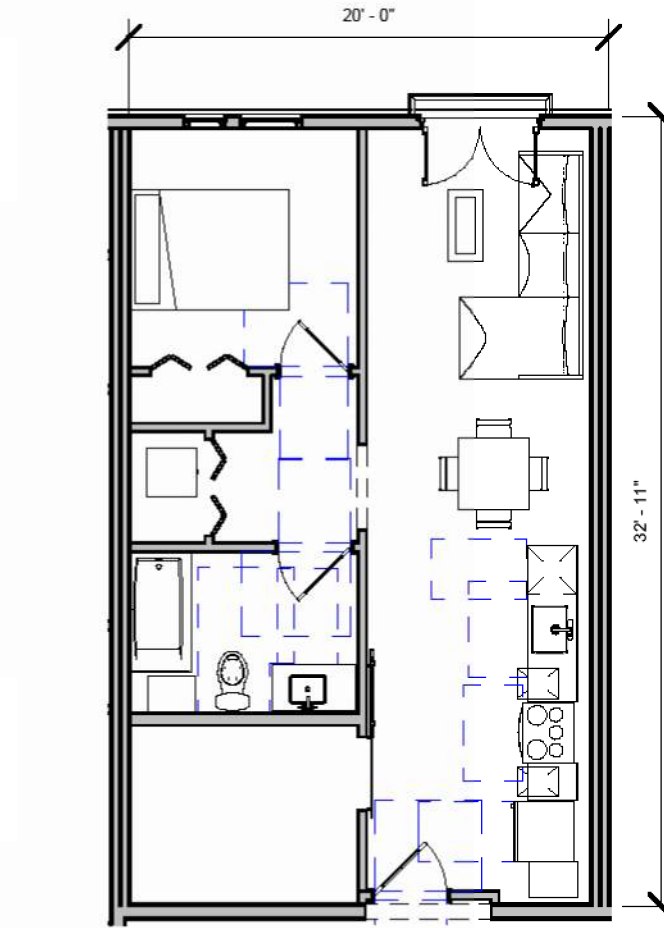
15 Unit 2 Bdrm C  
1/8" = 1'-0"



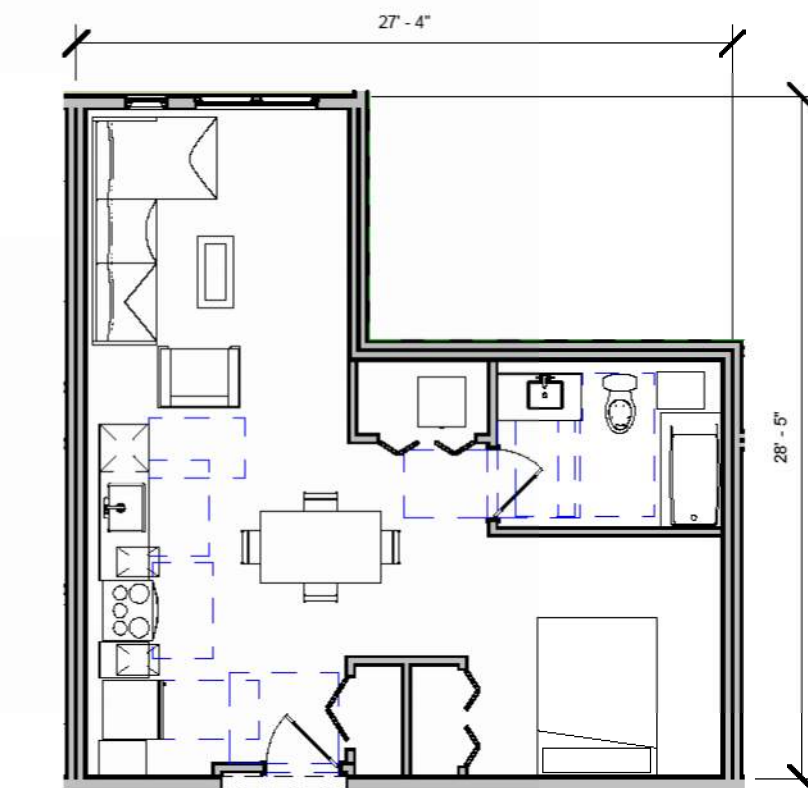
16 Unit 3 Bdrm A  
1/8" = 1'-0"



8 Unit B 1 Bdrm D  
1/8" = 1'-0"



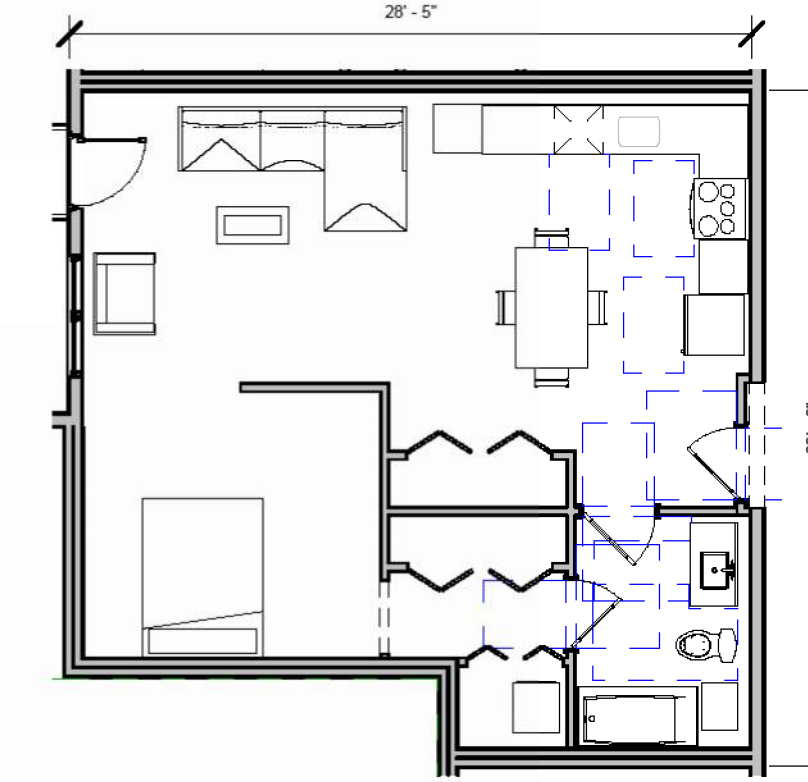
9 Unit B 1 Bdrm Den A  
1/8" = 1'-0"



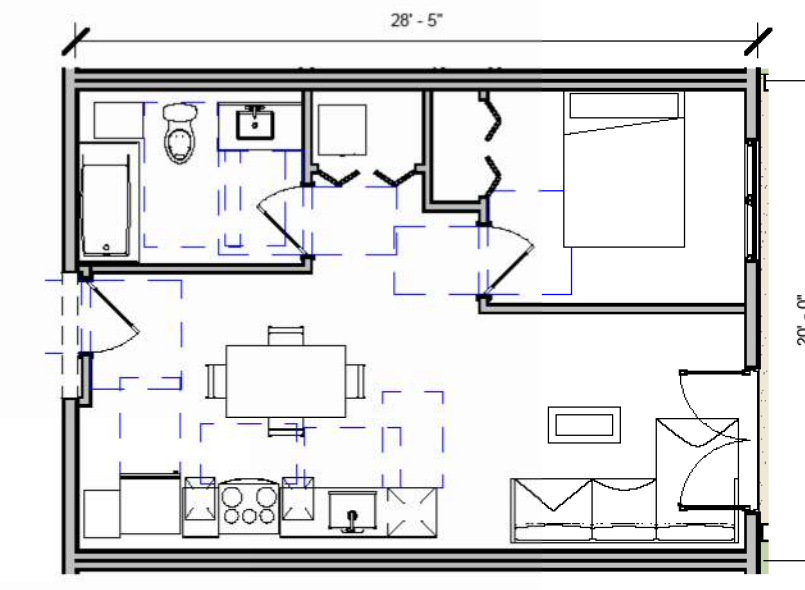
10 Unit 1 Bdrm Jr A  
1/8" = 1'-0"



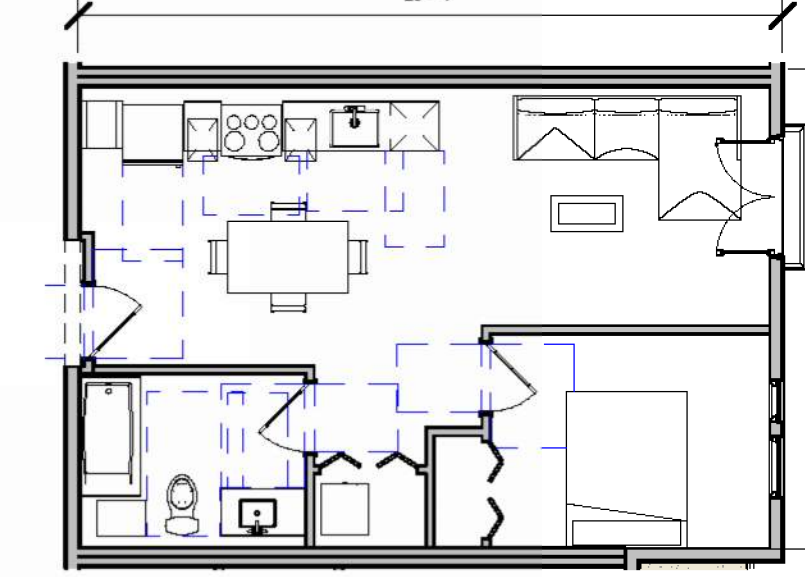
11 Unit 1 Bdrm Jr B  
1/8" = 1'-0"



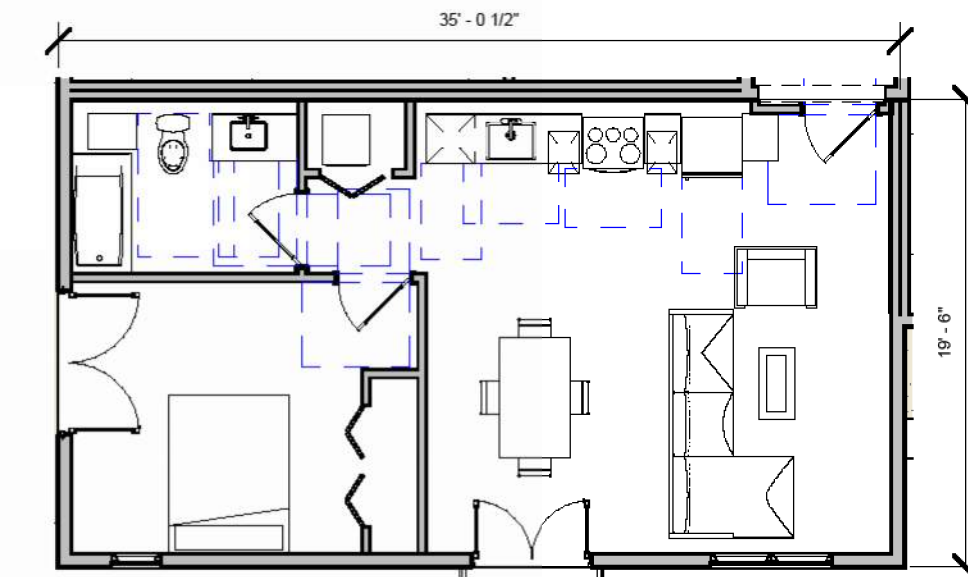
12 Unit B 1 Bdrm Jr C  
1/8" = 1'-0"



4 Unit 1 Bdrm A  
1/8" = 1'-0"



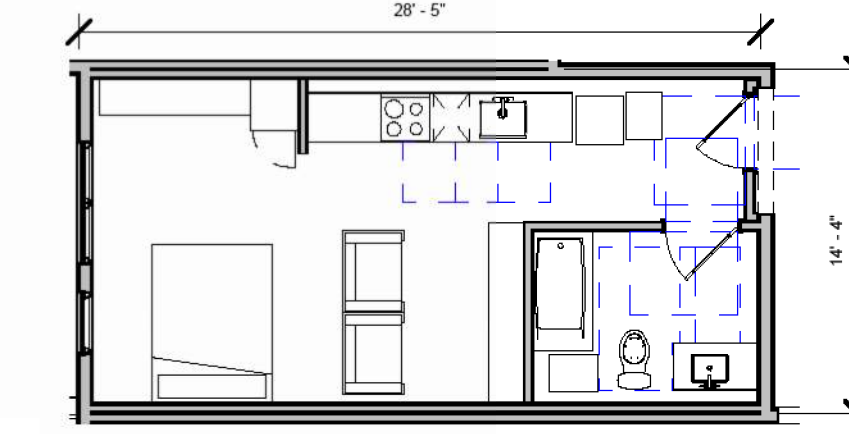
5 Unit B 1 Bdrm A.1  
1/8" = 1'-0"



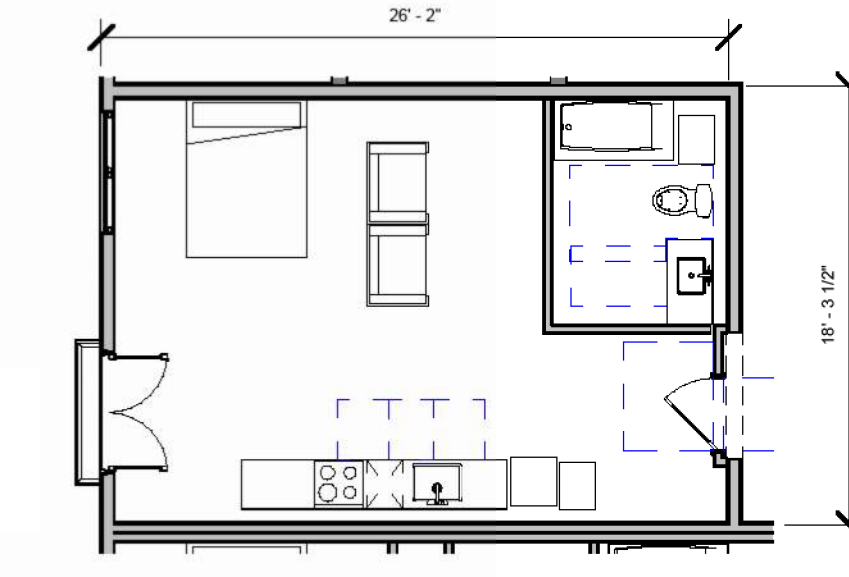
6 Unit 1 Bdrm B  
1/8" = 1'-0"



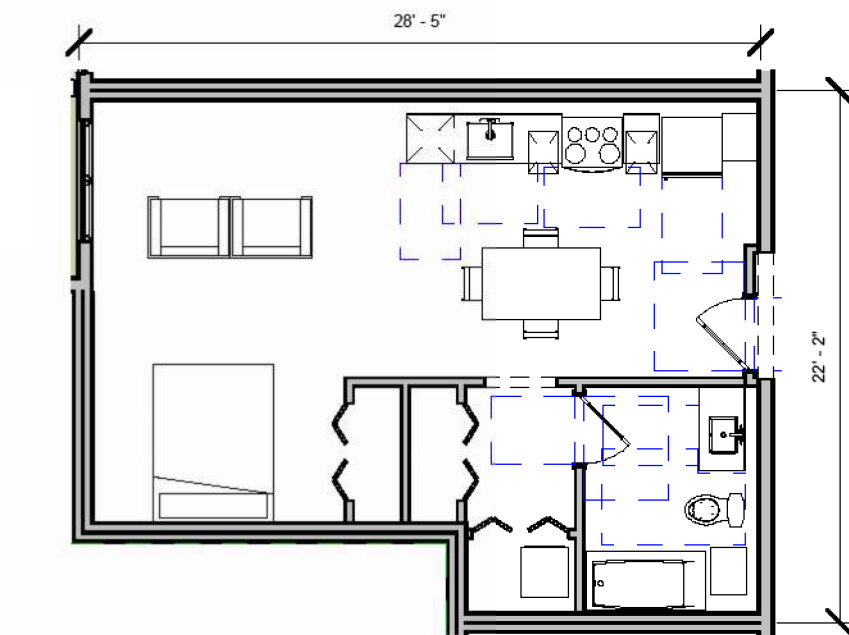
7 Unit 1 Bdrm C  
1/8" = 1'-0"



1 Unit B Studio A  
1/8" = 1'-0"



2 Unit B Studio B  
1/8" = 1'-0"

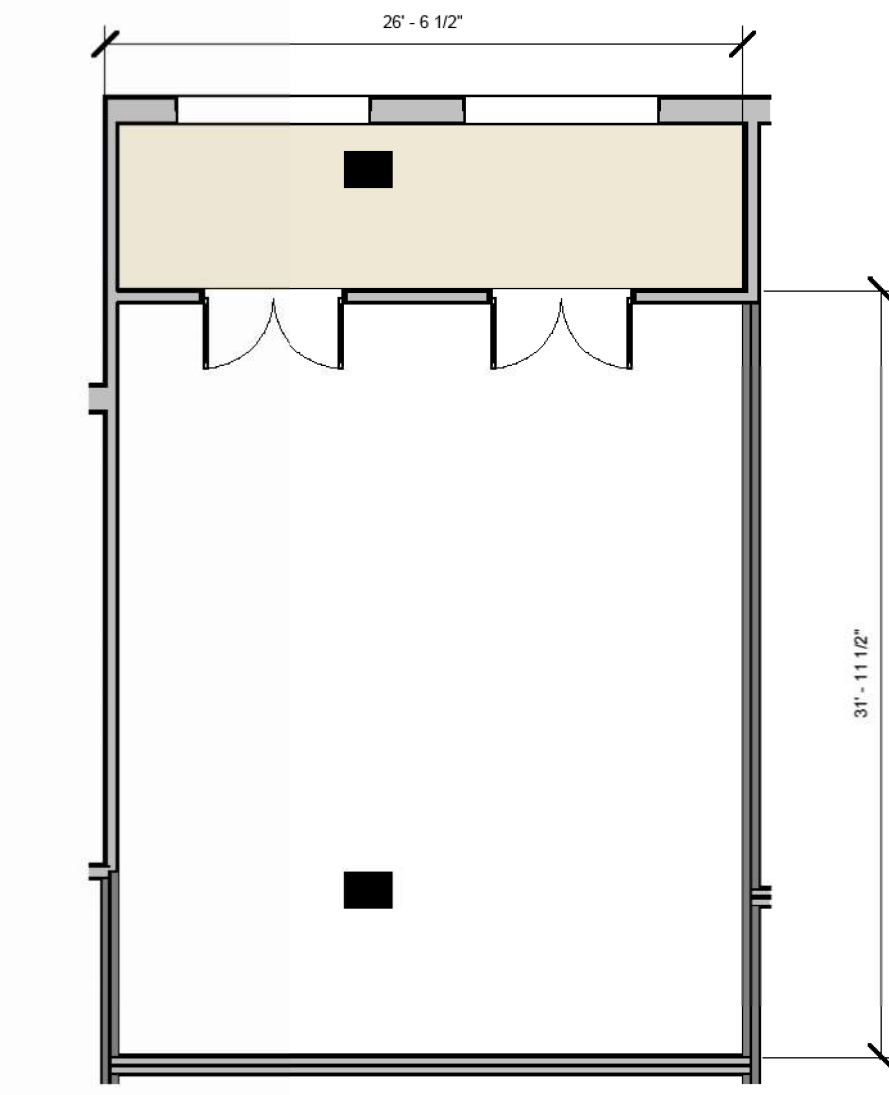


3 Unit B Studio C  
1/8" = 1'-0"

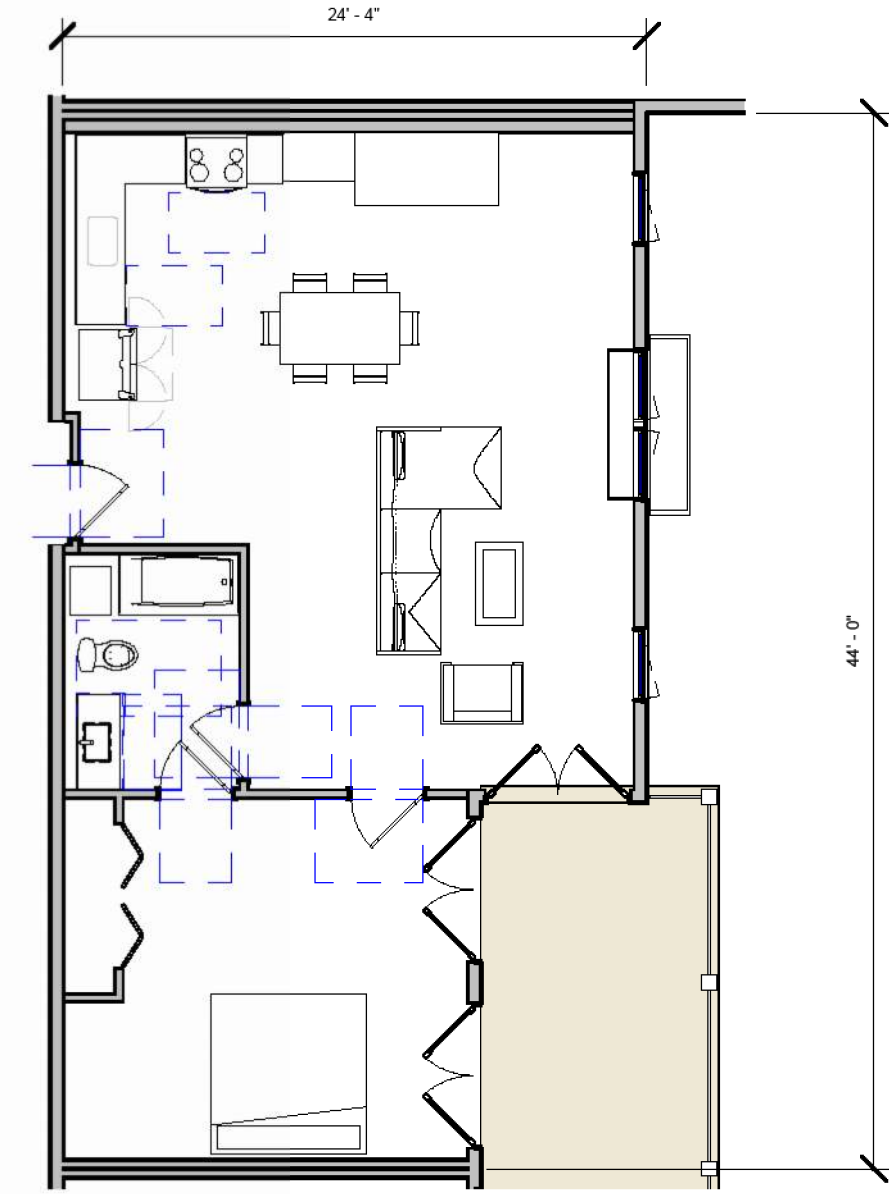
Area Unit Types Building B			
Area Unit Name	Area Count	Corrected Avg	%
<b>Building B</b>			
<b>1 Bedroom</b>			
Unit B 1 Bdrm A	37	562.51	29.13%
Unit B 1 Bdrm A.1	8	577.89	6.30%
Unit B 1 Bdrm B	3	660.48	2.36%
Unit B 1 Bdrm C	6	576.98	4.72%
Unit B 1 Bdrm D	1	634.08	0.79%
Unit B 1 Bdrm Den A	4	651.01	3.15%
Unit B 1 Bdrm Jr A	4	606.32	3.15%
Unit B 1 Bdrm Jr B	4	677.64	3.15%
Unit B 1 Bdrm Jr C	3	739.38	2.36%
Unit B Live/Work Loft A	3	556.58	2.36%
Unit B Live/Work Loft B	2	660.33	1.57%
Unit B Live/Work Loft C	1	519.20	0.79%
<b>1 Bedroom</b>	<b>76</b>		<b>59.84%</b>
<b>2 Bedroom</b>			
Unit B 2 Bdrm A	27	638.30	21.26%
Unit B 2 Bdrm B	4	991.69	3.15%
Unit B 2 Bdrm C	3	869.45	2.36%
<b>2 Bedroom</b>	<b>34</b>		<b>26.77%</b>
<b>3 Bedroom</b>			
Unit B 3 Bdrm A	4	1122.43	3.15%
<b>3 Bedroom</b>	<b>4</b>		<b>3.15%</b>
<b>Studio</b>			
Unit B Studio A	9	402.37	7.09%
Unit B Studio B	3	476.95	2.36%
Unit B Studio C	1	570.32	0.79%
<b>Studio</b>	<b>13</b>		<b>10.24%</b>
<b>BLDG C TOTAL UNITS</b>	<b>127</b>		<b>100.00%</b>

NOTES:  
1. Unit average area for Live/Work units reflect the residential portion only. Retail area is shown on Sheet G010 under Commercial Area.

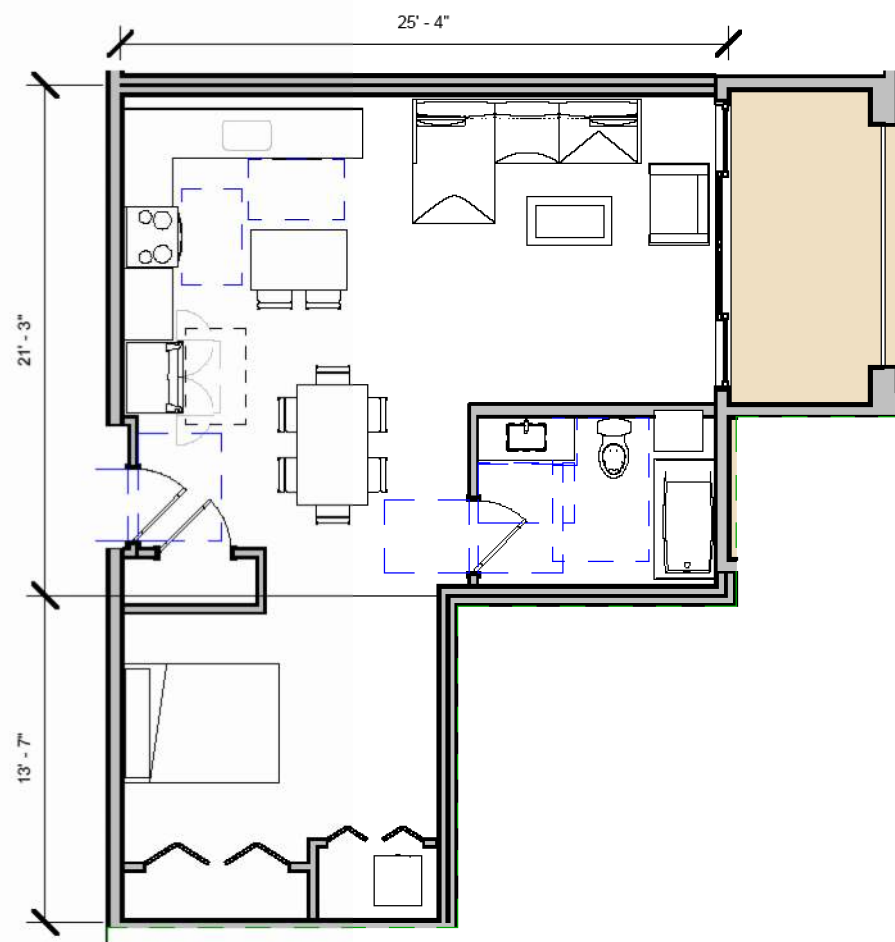




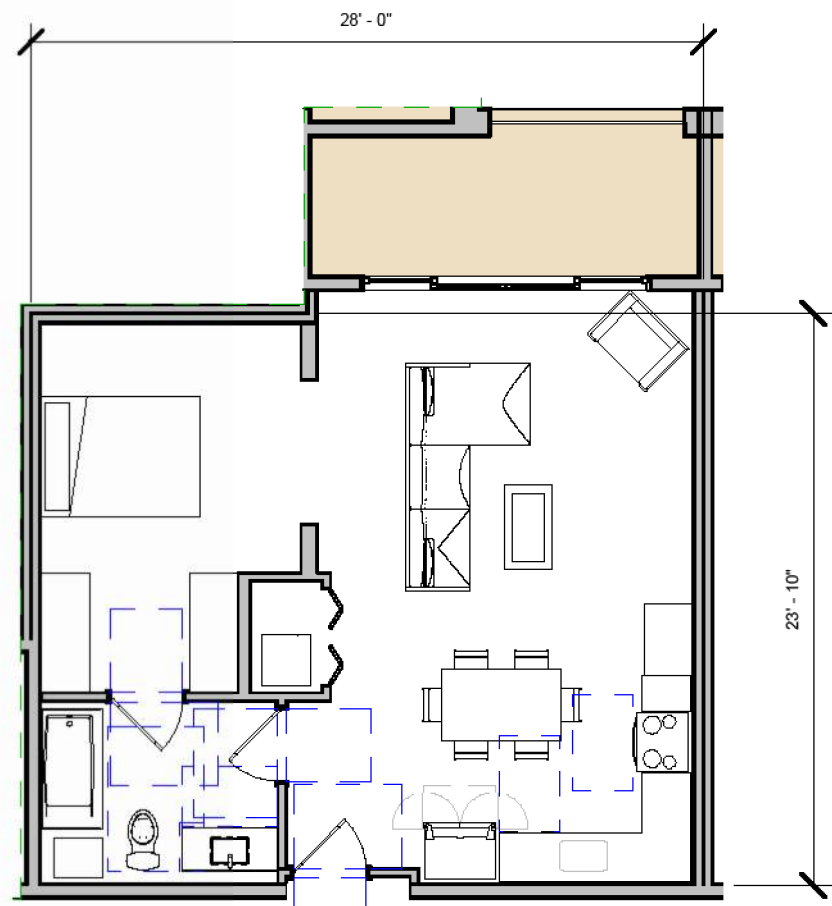
13 Unit C 1 Bdrm E  
1/8" = 1'-0"



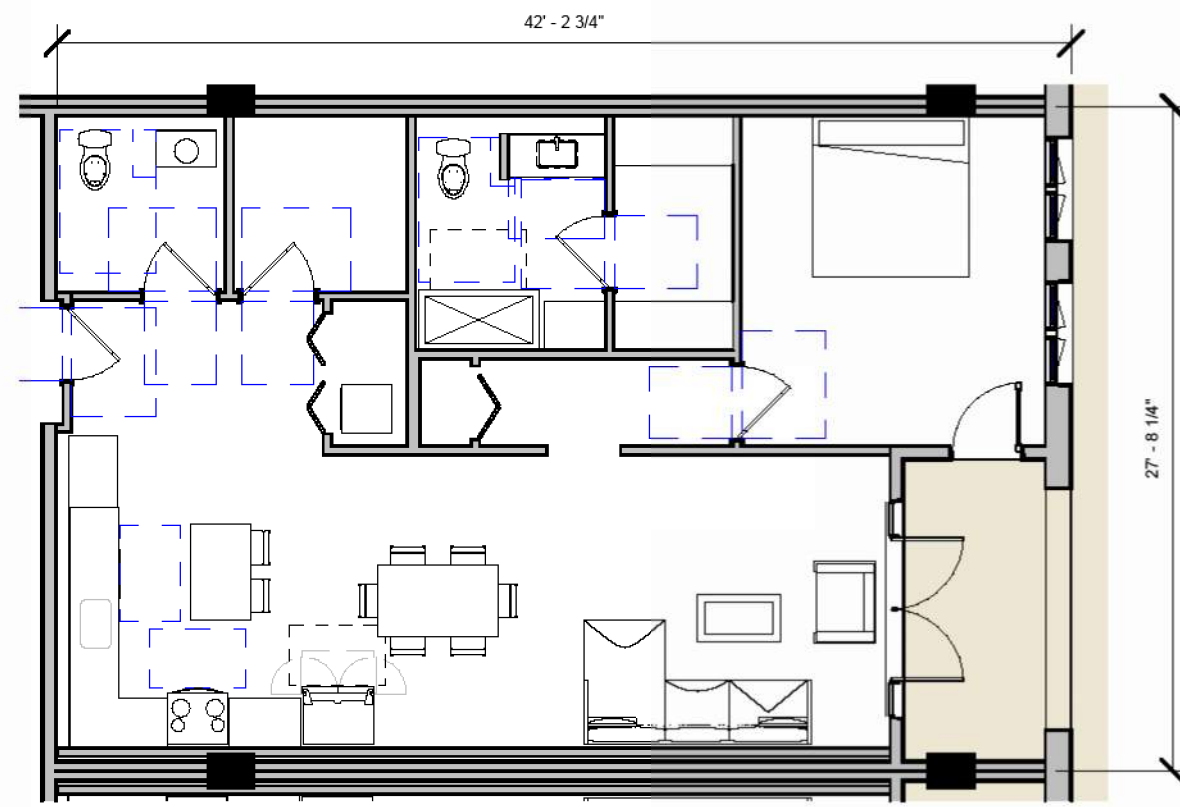
14 Unit C 1 Bdrm F  
1/8" = 1'-0"



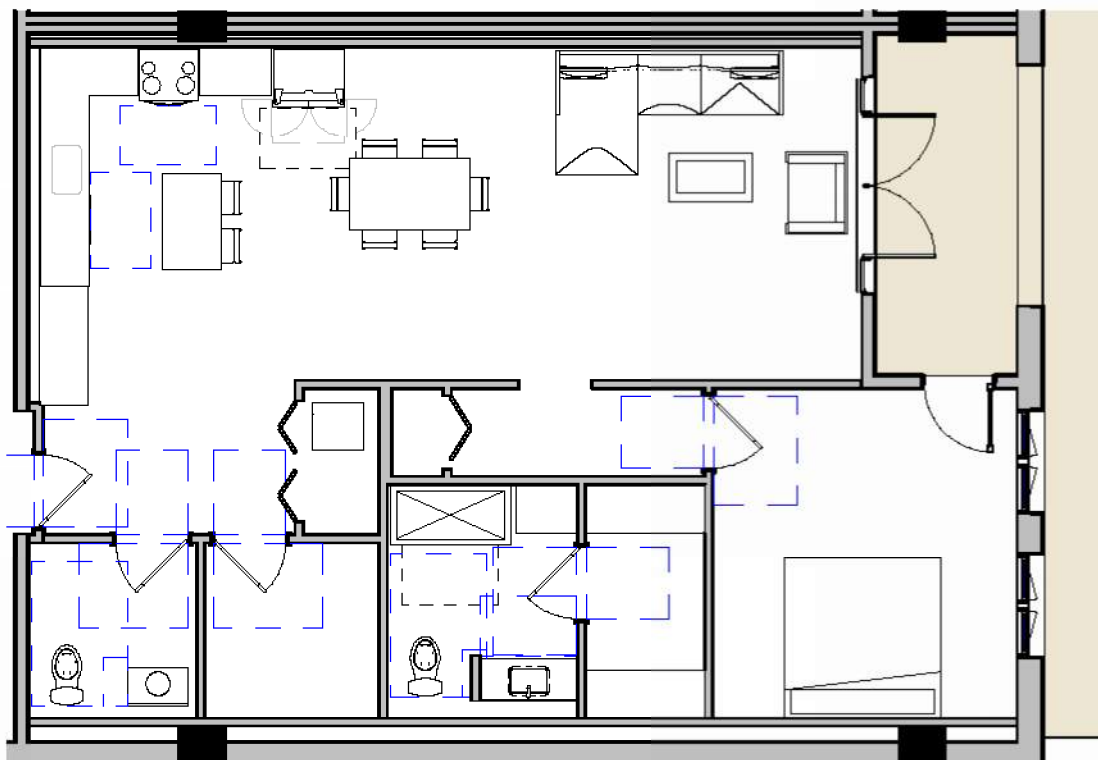
15 Unit C 1 Bdrm Jr A  
1/8" = 1'-0"



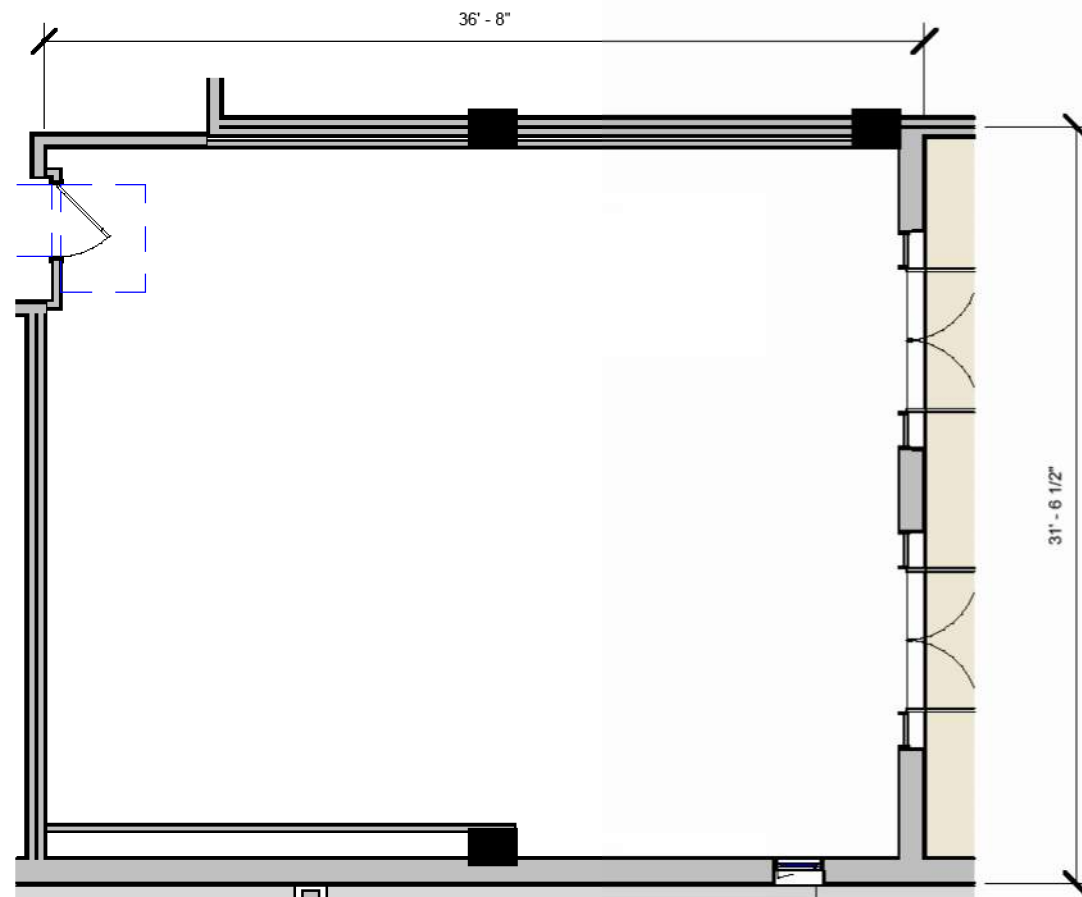
16 Unit C 1 Bdrm Jr B  
1/8" = 1'-0"



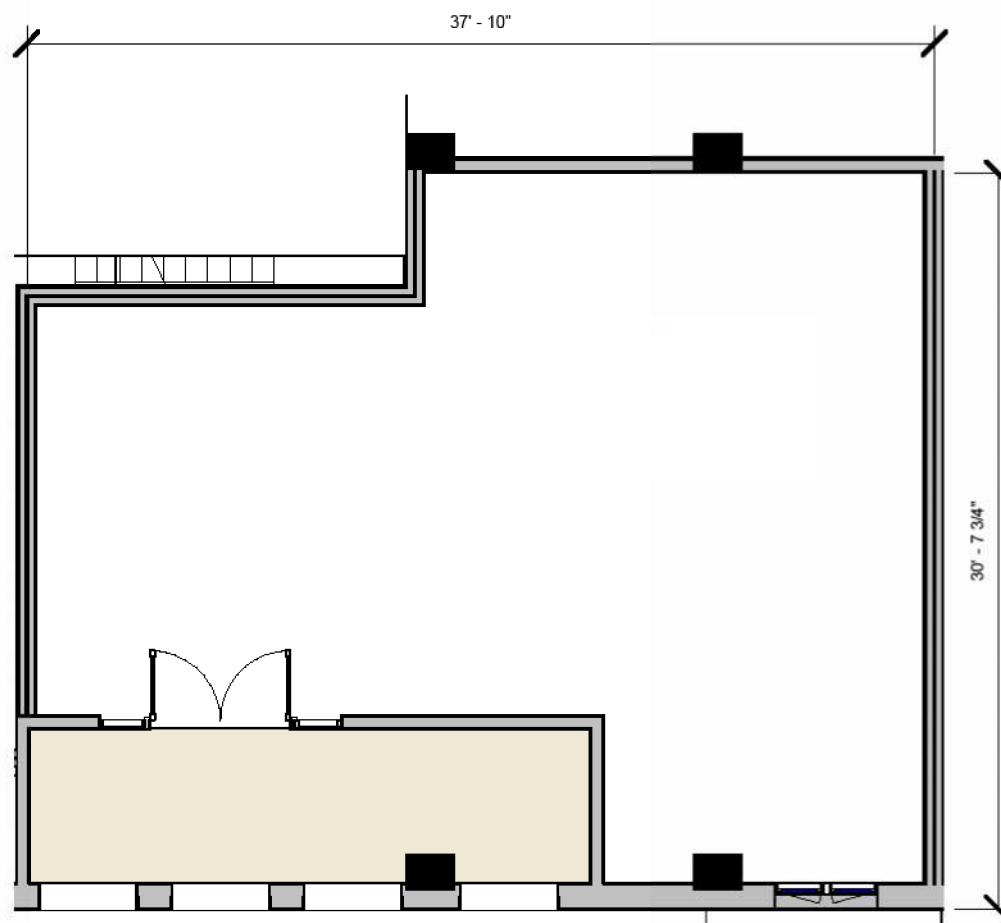
9 Unit C 1 Bdrm Den B.1  
1/8" = 1'-0"



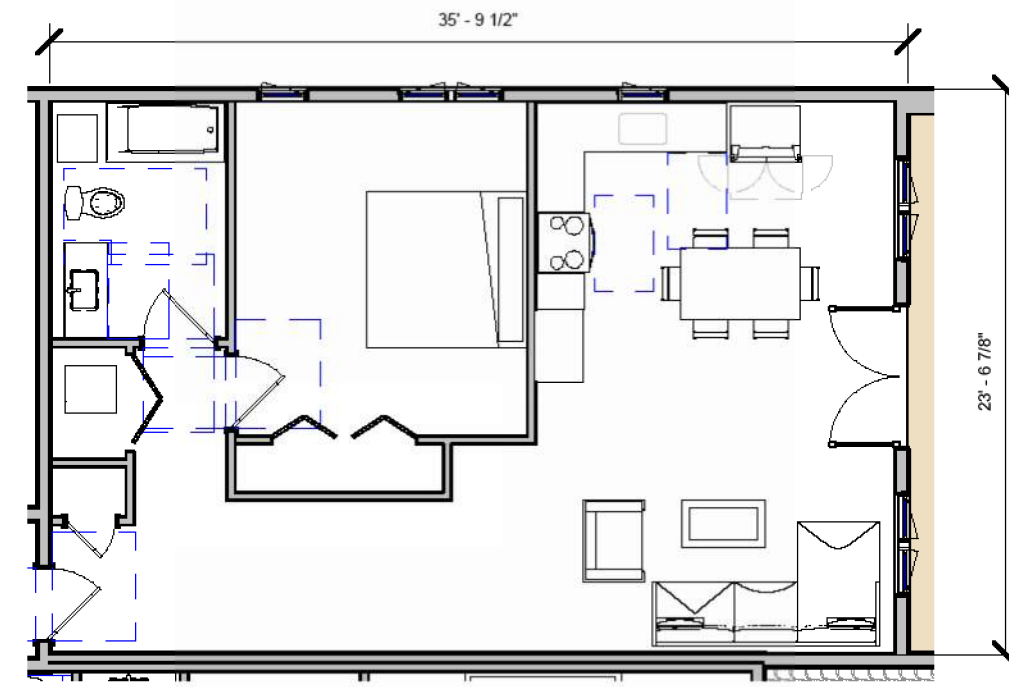
10 Unit C 1 Bdrm Den B  
1/8" = 1'-0"



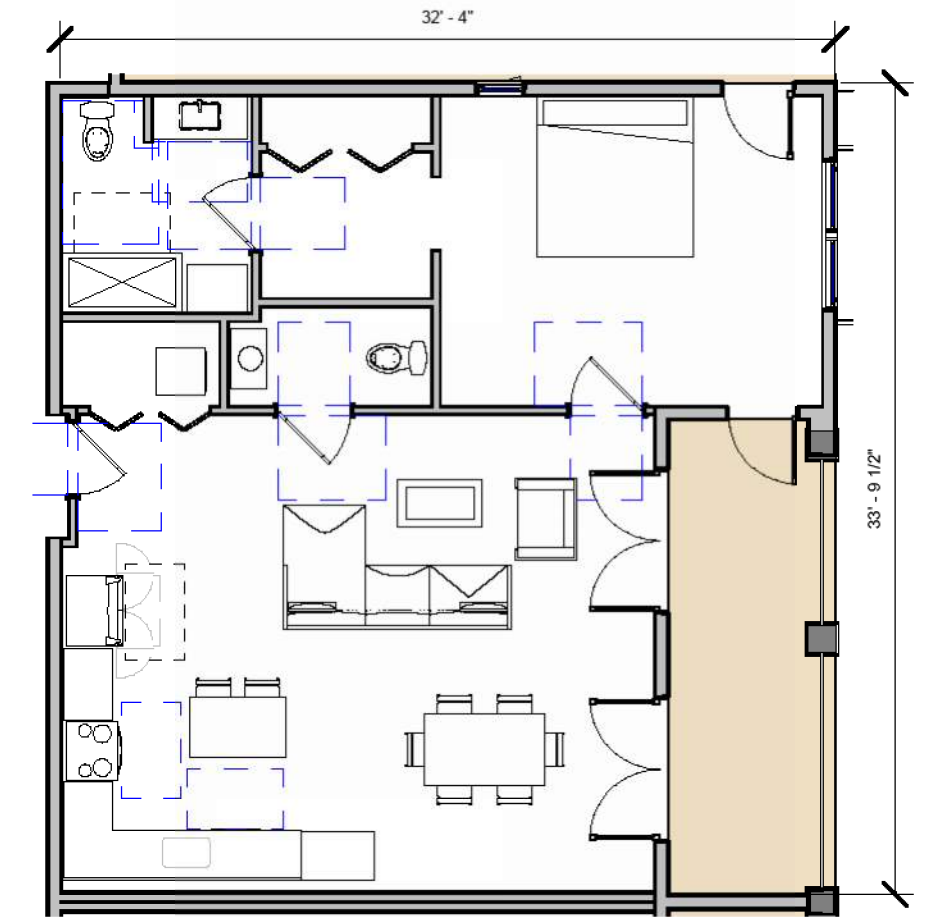
11 Unit C 1 Bdrm Den D  
1/8" = 1'-0"



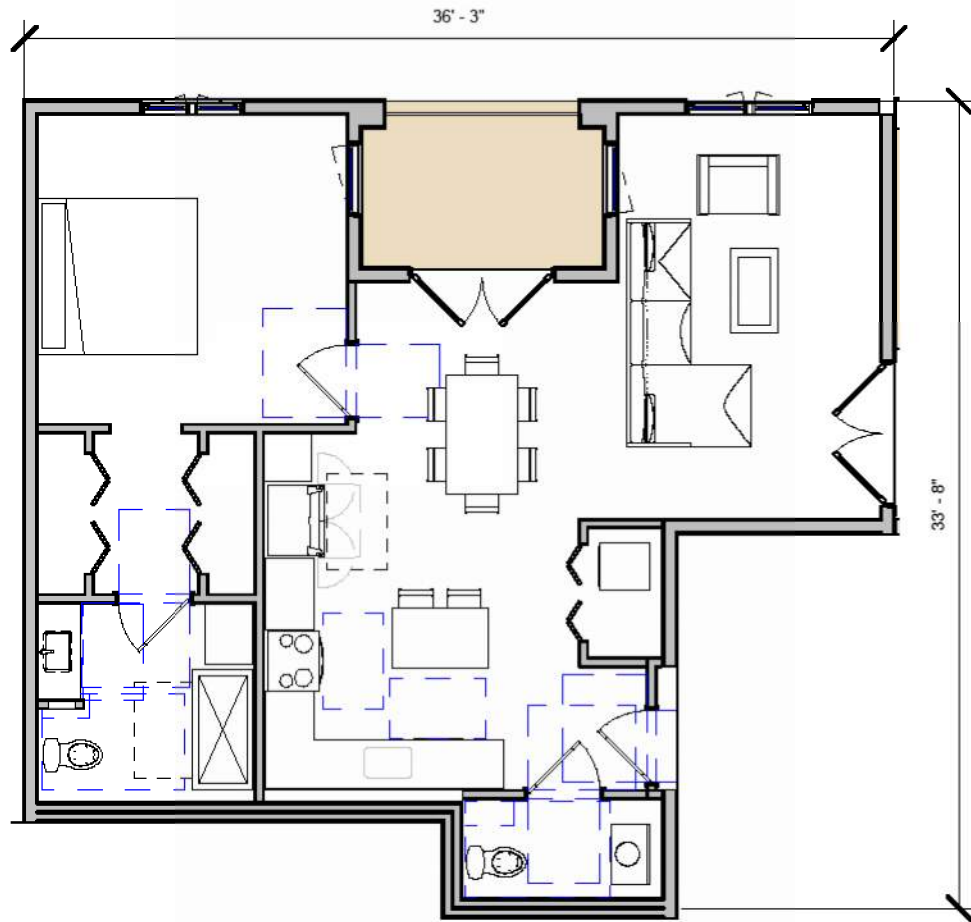
12 Unit C 1 Bdrm Den E  
1/8" = 1'-0"



5 Unit C 1 Bdrm A  
1/8" = 1'-0"



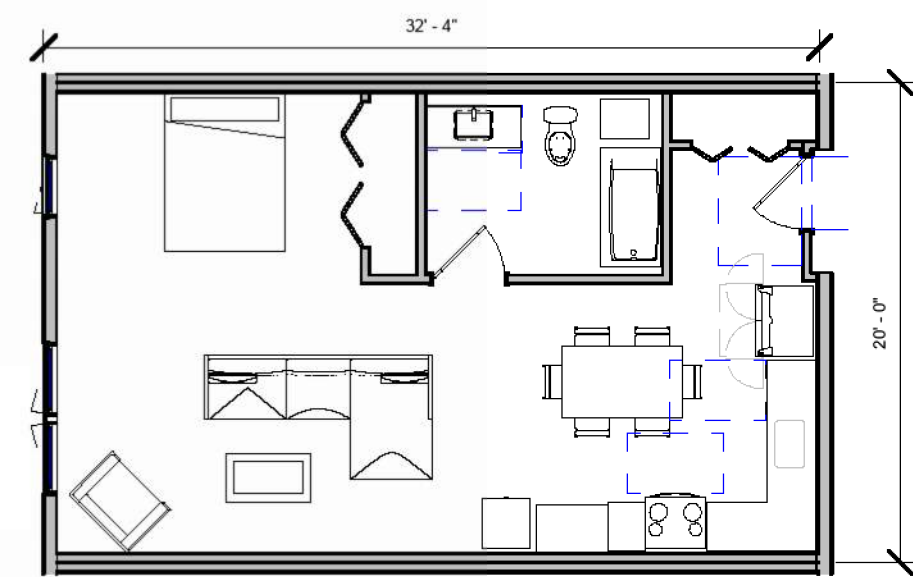
6 Unit C 1 Bdrm B  
1/8" = 1'-0"



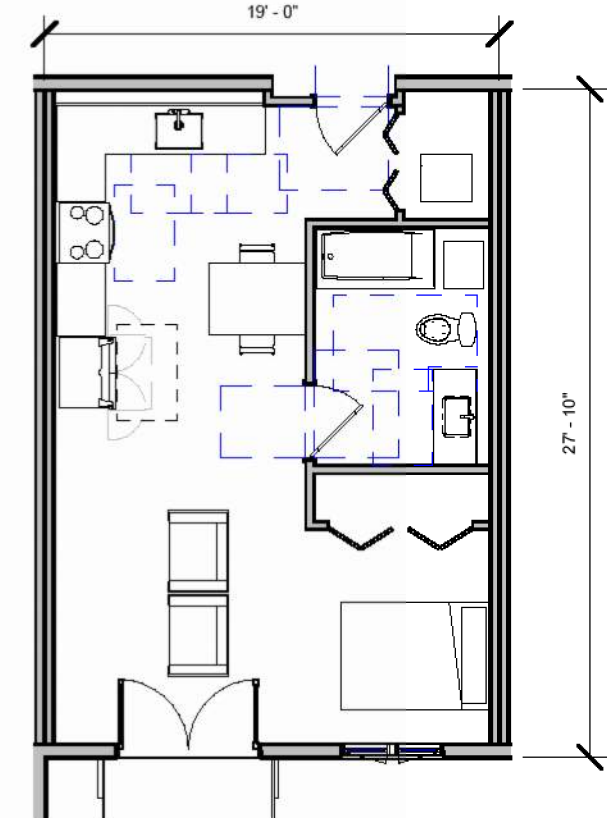
7 Unit C 1 Bdrm C  
1/8" = 1'-0"



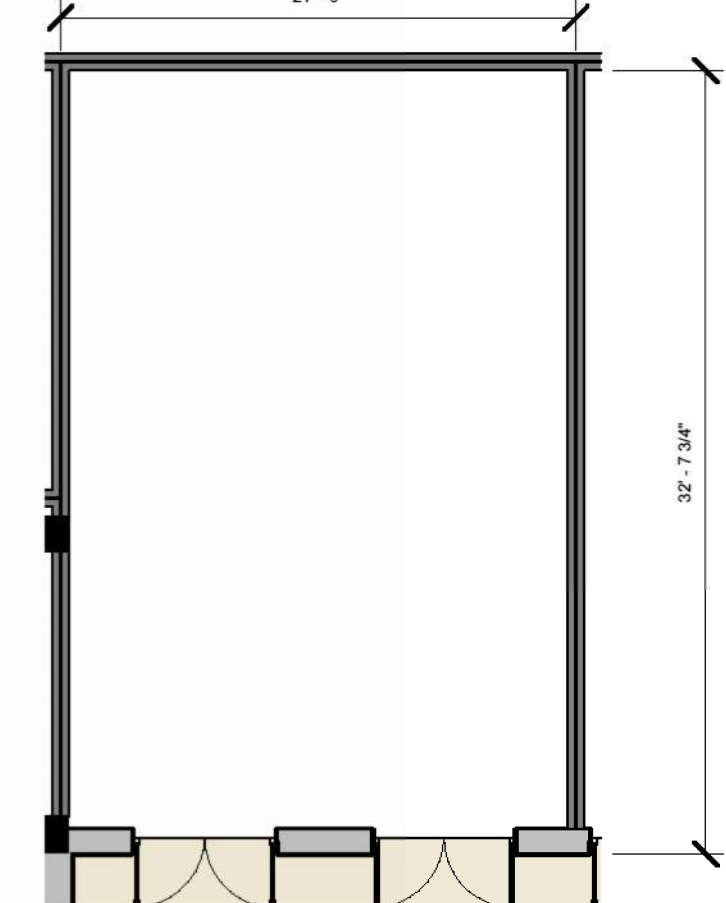
8 Unit C 1 Bdrm D  
1/8" = 1'-0"



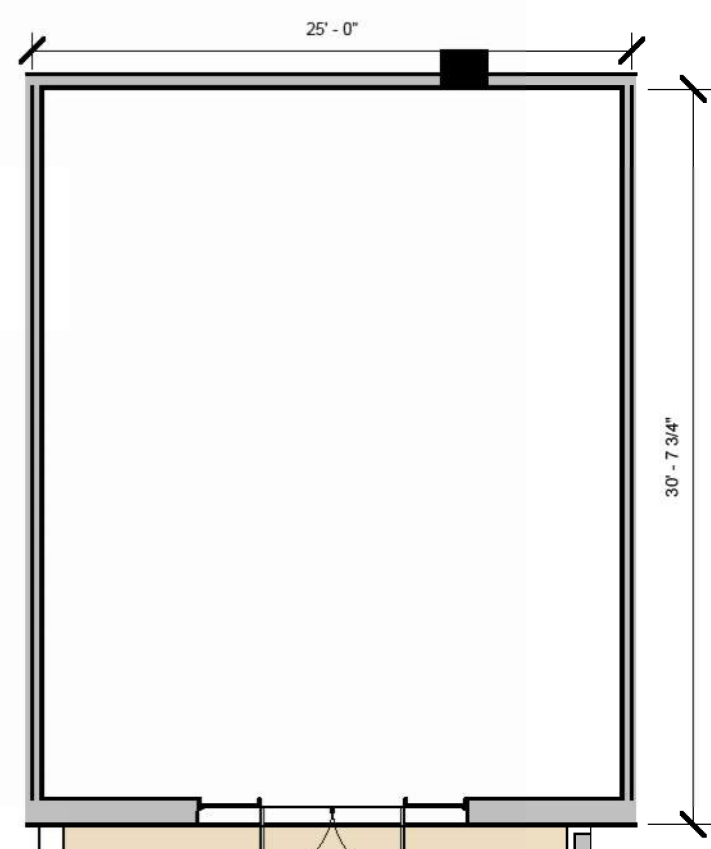
1 Unit CD Studio A (C)  
1/8" = 1'-0"



2 Unit C Studio A  
1/8" = 1'-0"



3 Unit C Studio B  
1/8" = 1'-0"

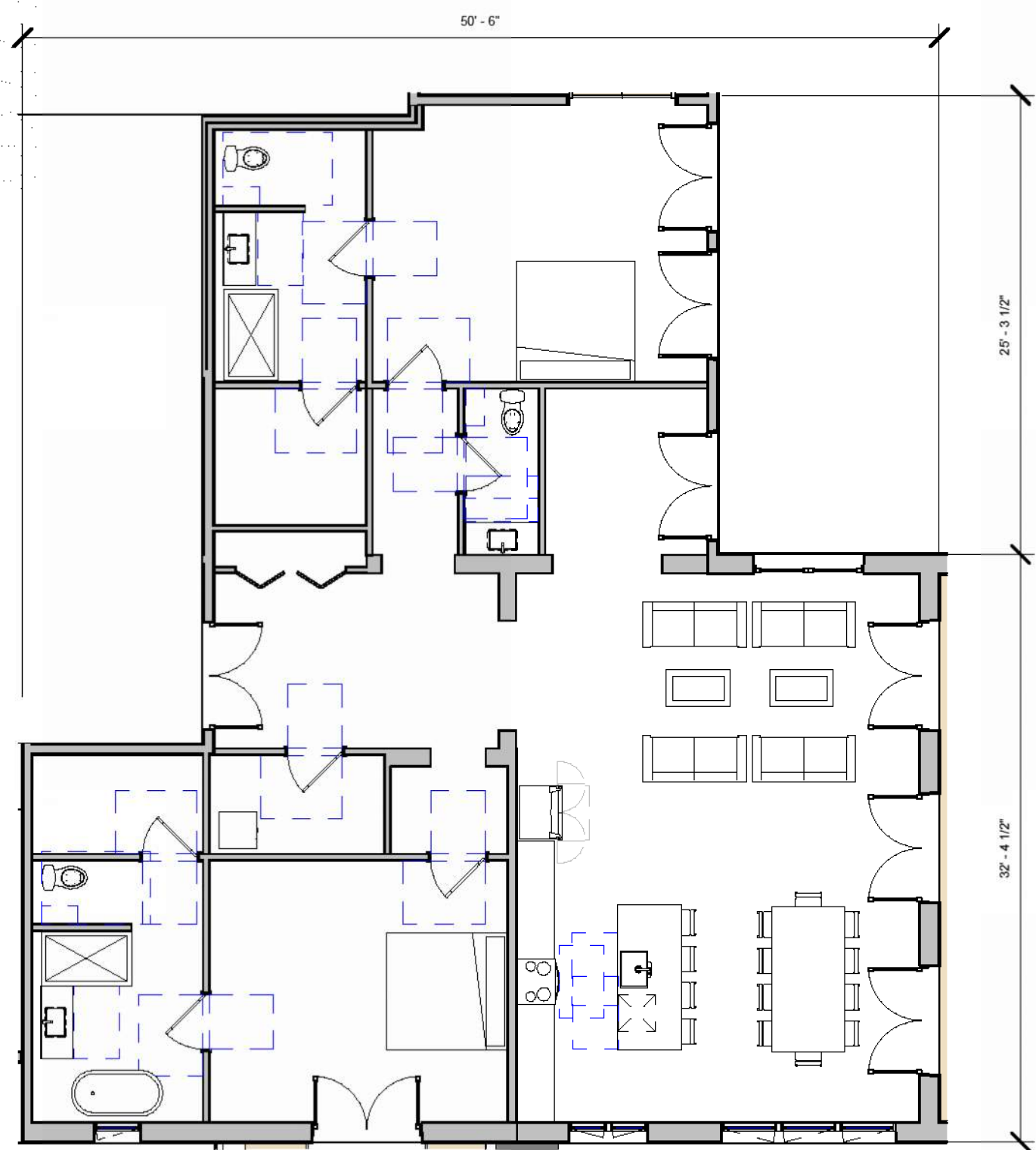


4 Unit C Studio C  
1/8" = 1'-0"

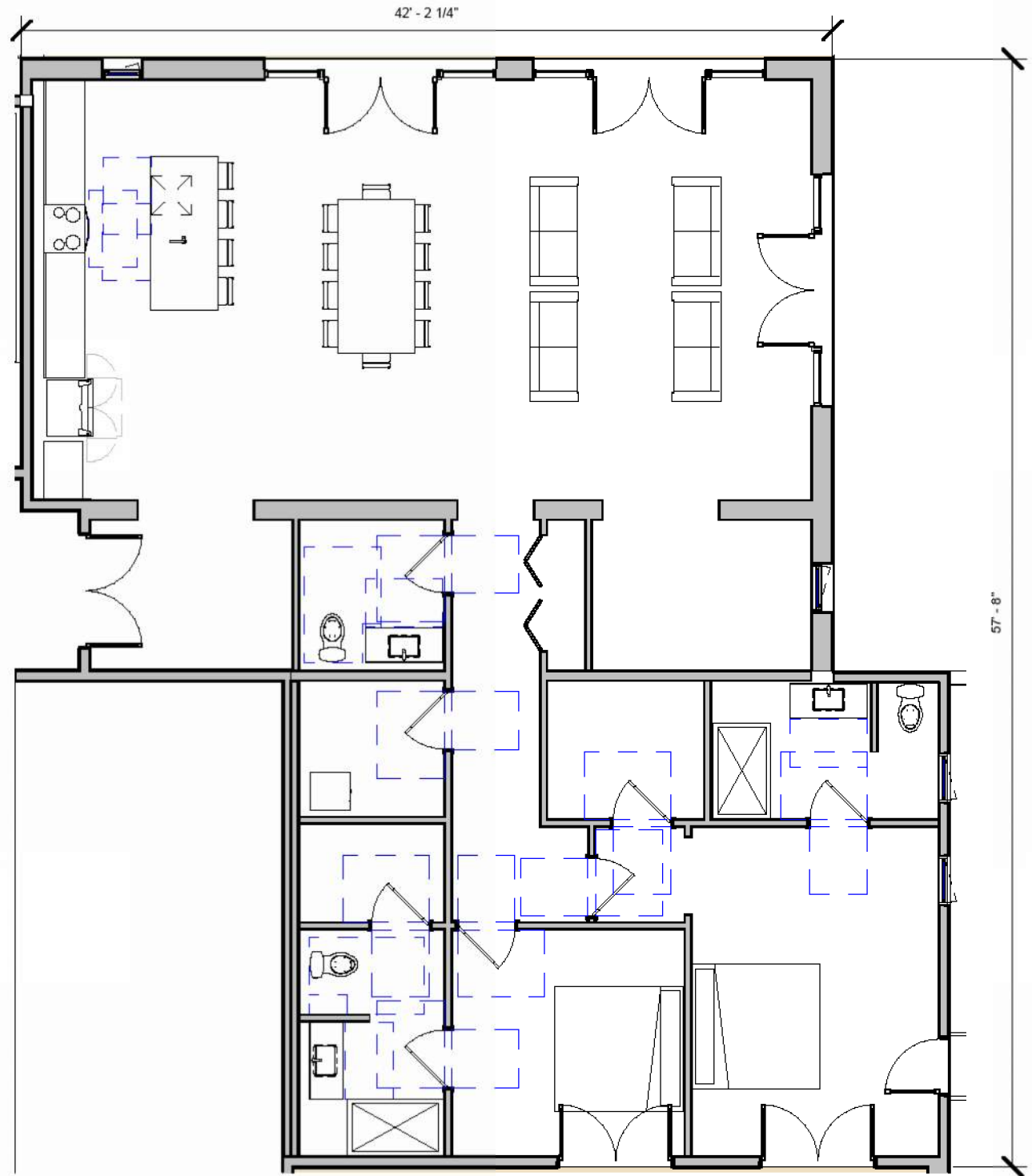
Area Unit Types Building C			
Area Unit Name	Area Count	Corrected Avg	%

<b>Building C</b>			
<b>1 Bedroom</b>			
Unit C 1 Bdrm A	1	825.59	0.79%
Unit C 1 Bdrm B	6	936.01	4.72%
Unit C 1 Bdrm C	3	877.37	2.36%
Unit C 1 Bdrm D	4	820.19	3.15%
Unit C 1 Bdrm Den A	2	1137.64	1.57%
Unit C 1 Bdrm Den A.1	1	1059.91	0.79%
Unit C 1 Bdrm Den B	1	1089.02	0.79%
Unit C 1 Bdrm E	1	838.91	0.79%
Unit C 1 Bdrm F	3	908.78	2.36%
Unit C 1 Bdrm G	1	874.90	0.79%
Unit C 1 Bdrm Jr A	8	724.49	6.30%
Unit C 1 Bdrm Jr B	7	688.55	5.51%
Unit C 1 Bdrm Jr Den A	3	829.65	2.36%
Unit CD 1 Bdrm A	20	787.11	15.75%
Unit CD 1 Bdrm Den A	11	989.74	8.66%
<b>1 Bedroom</b>	<b>72</b>	<b>866.90</b>	<b>56.69%</b>
<b>2 Bedroom</b>			
Unit C 2 Bdrm A	4	1390.17	3.15%
Unit C 2 Bdrm B	4	1289.37	3.15%
Unit C 2 Bdrm C	3	1398.03	2.36%
Unit C 2 Bdrm D	1	1452.27	0.79%
Unit C 2 Bdrm Den A	1	2072.61	0.79%
Unit C 2 Bdrm Den B	1	2104.78	0.79%
Unit CD 2 Bdrm A	6	1228.36	4.72%
Unit CD 2 Bdrm A.1	18	1262.26	14.17%
<b>2 Bedroom</b>	<b>38</b>	<b>1292.26</b>	<b>29.92%</b>
<b>Studio</b>			
Unit C Studio A	4	522.70	3.15%
Unit C Studio B	2	685.98	1.57%
Unit C Studio C	1	747.14	0.79%
Unit CD Studio A	10	636.94	7.67%
<b>Studio</b>	<b>17</b>	<b>640.70</b>	<b>13.39%</b>
<b>BLDG C TOTAL UNITS</b>	<b>127</b>	<b>1000.00</b>	<b>100.00%</b>

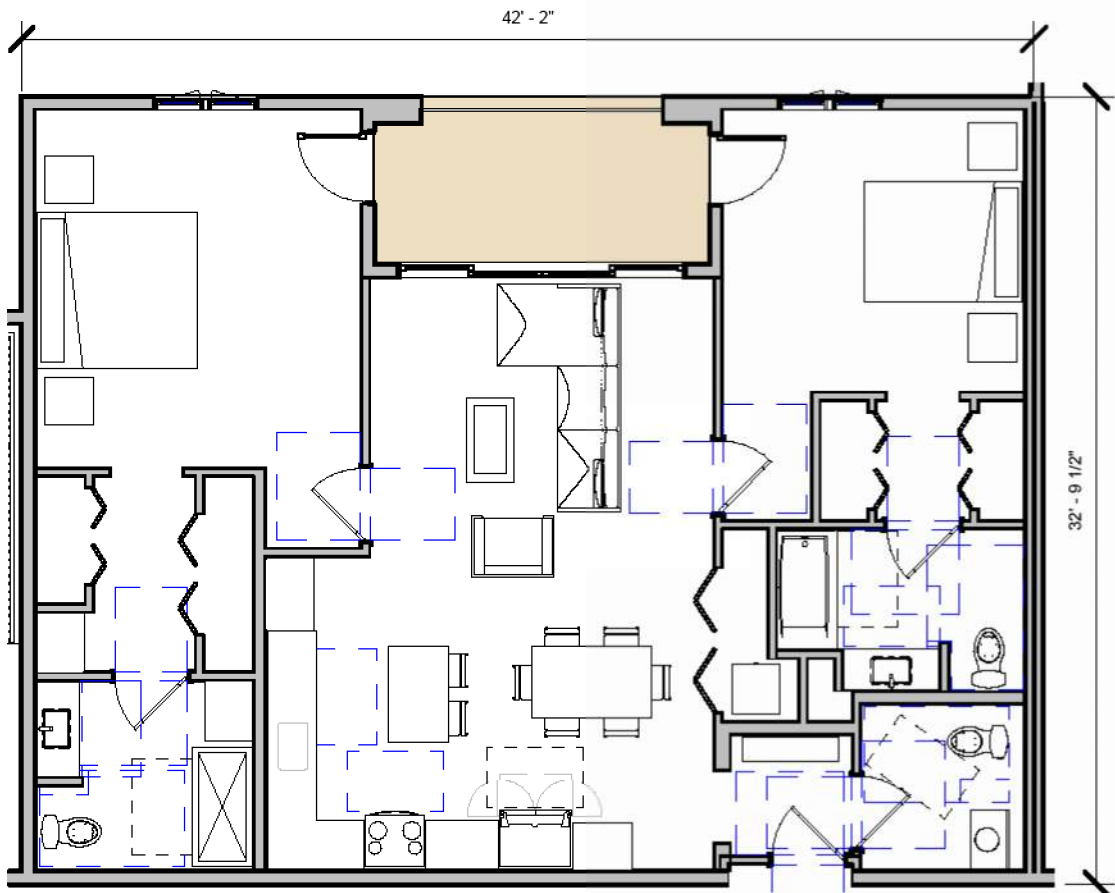




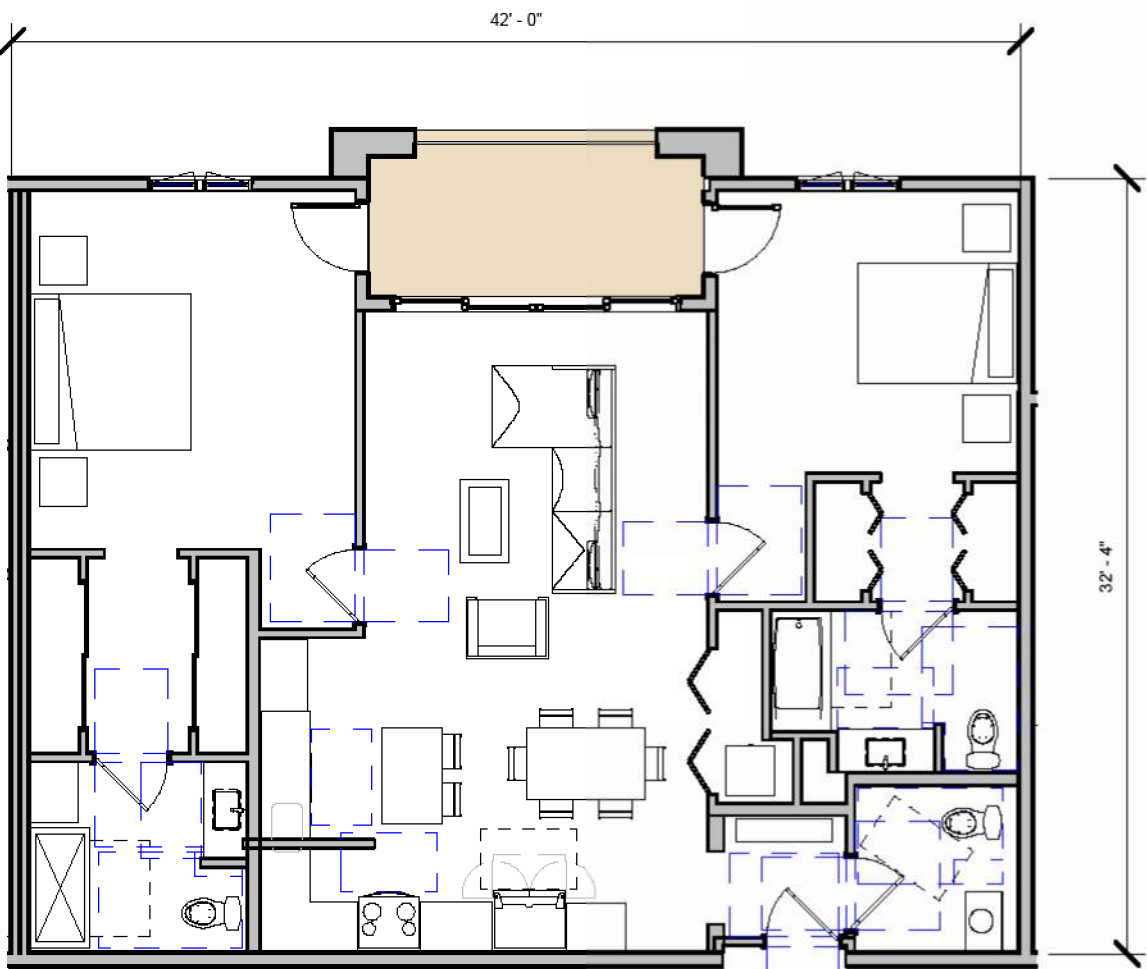
10 Unit C 2 Bdrm Den A  
1/8" = 1'-0"



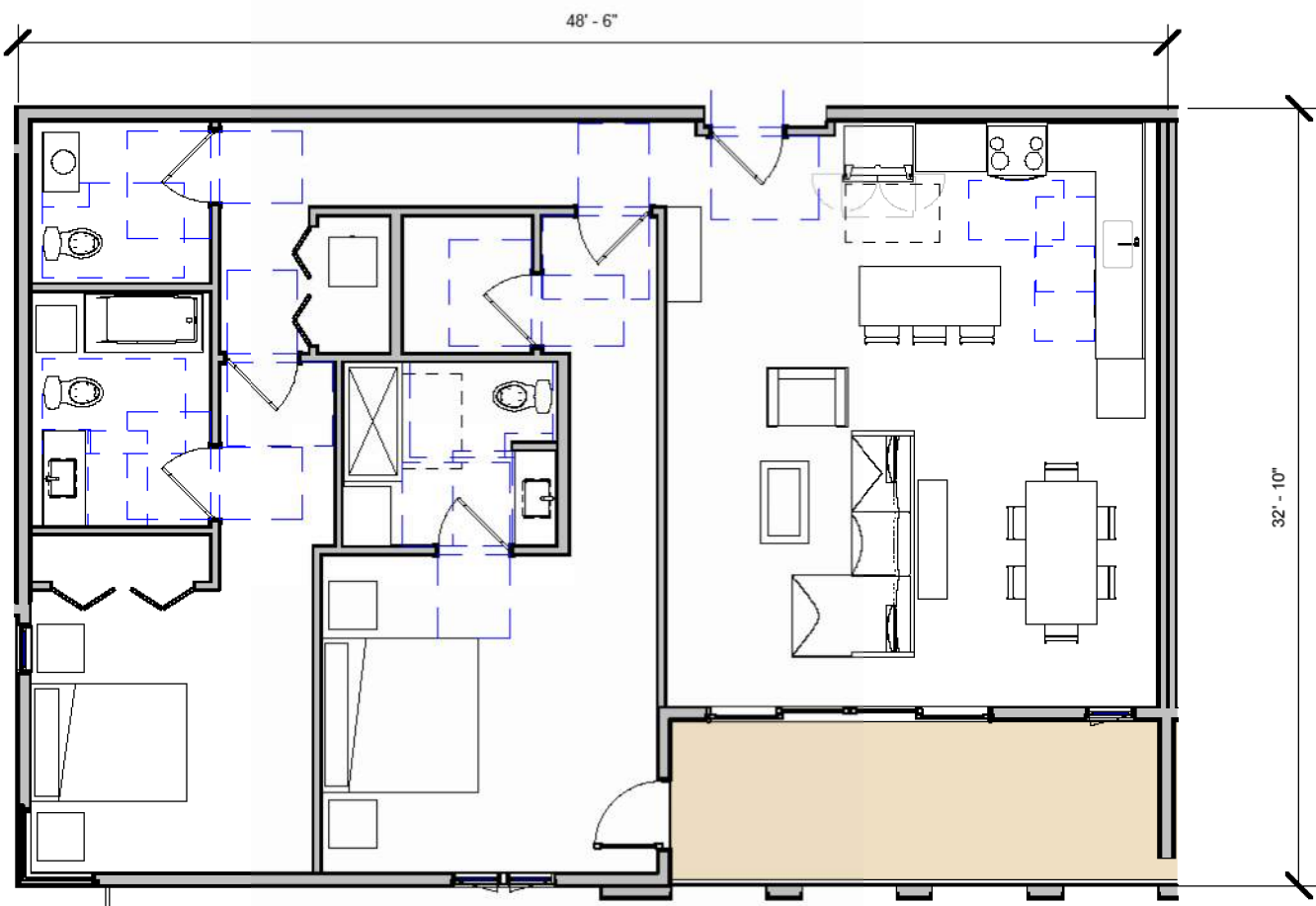
11 Unit C 2 Bdrm Den B  
1/8" = 1'-0"



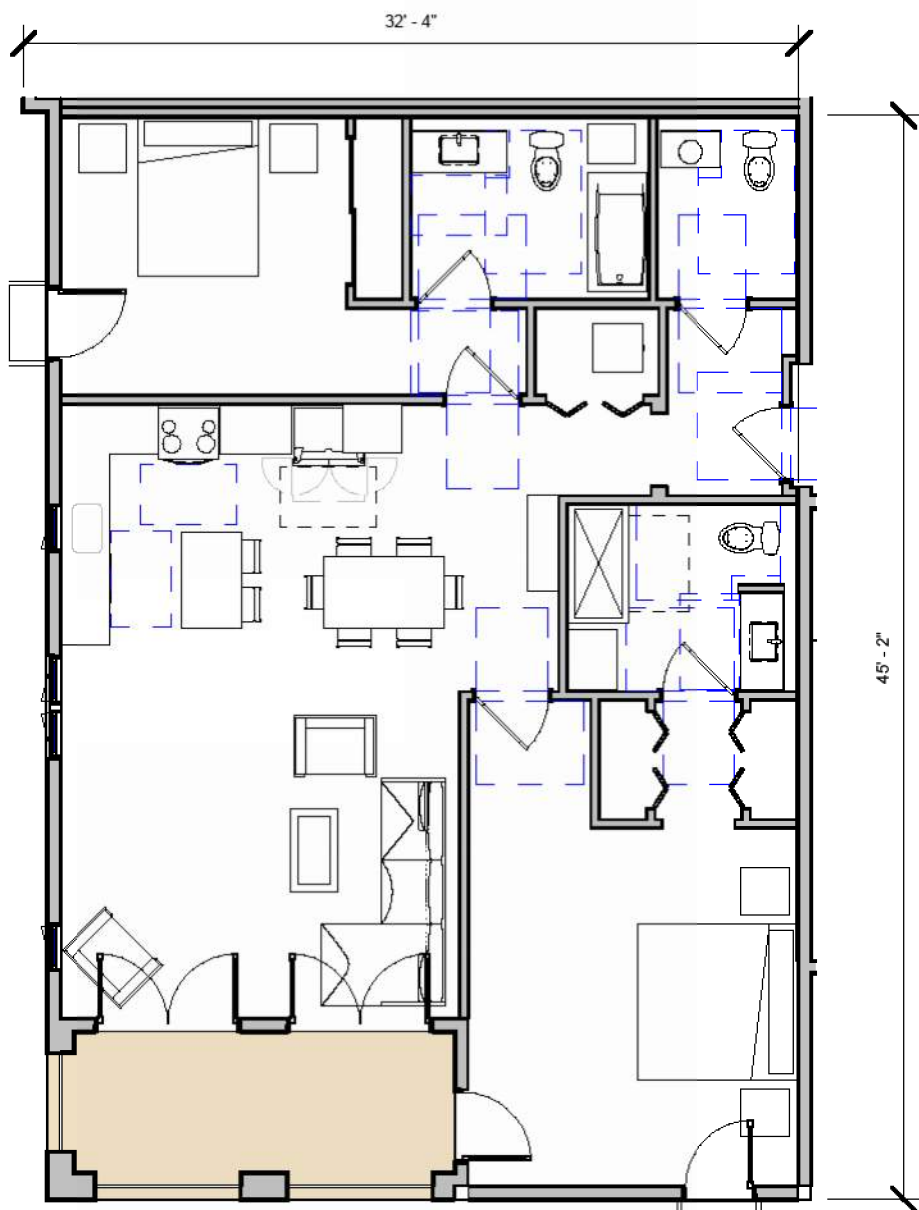
8 Unit CD 2 Bdrm A (C)  
1/8" = 1'-0"



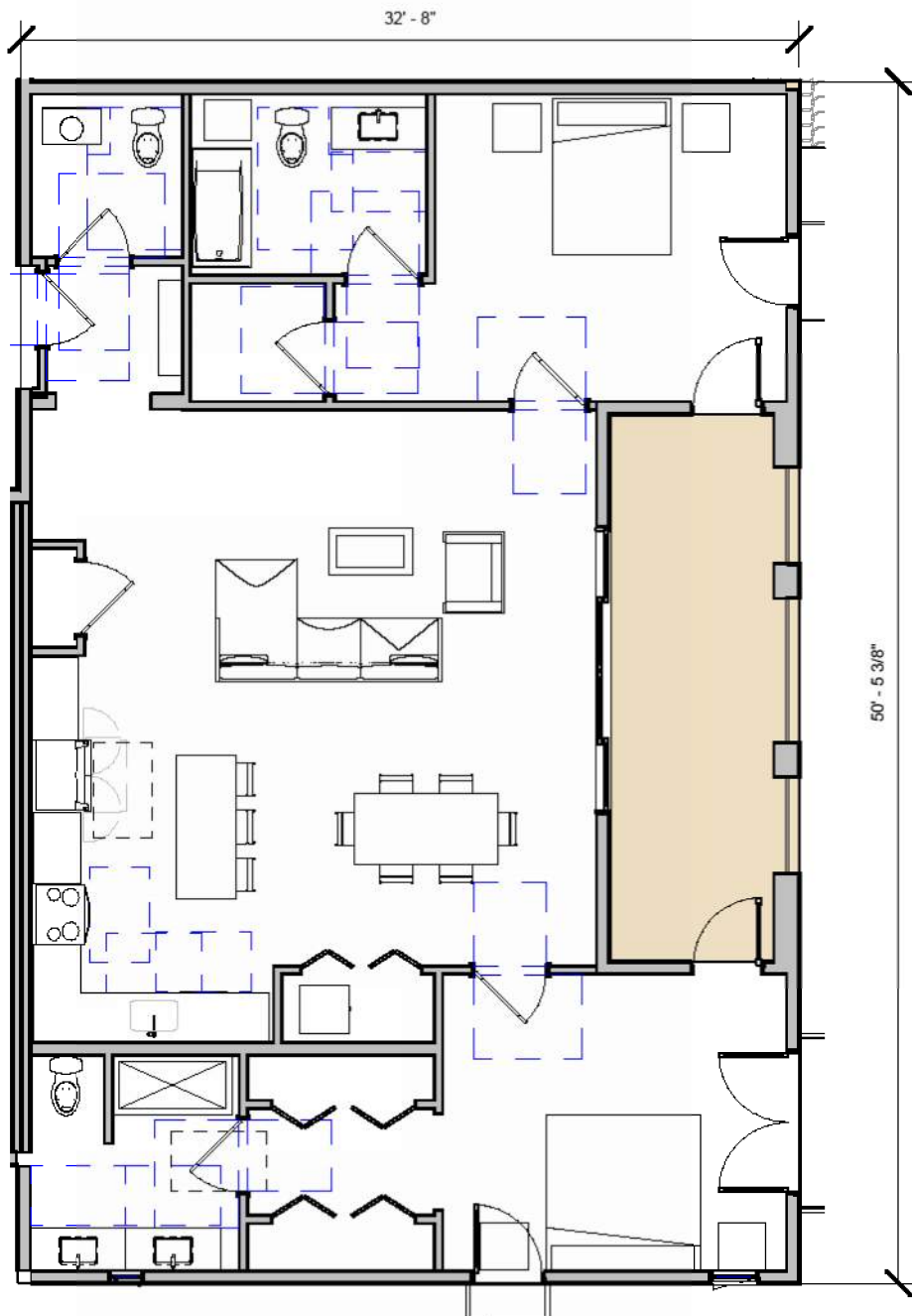
9 Unit CD 2 Bdrm A.1 (C)  
1/8" = 1'-0"



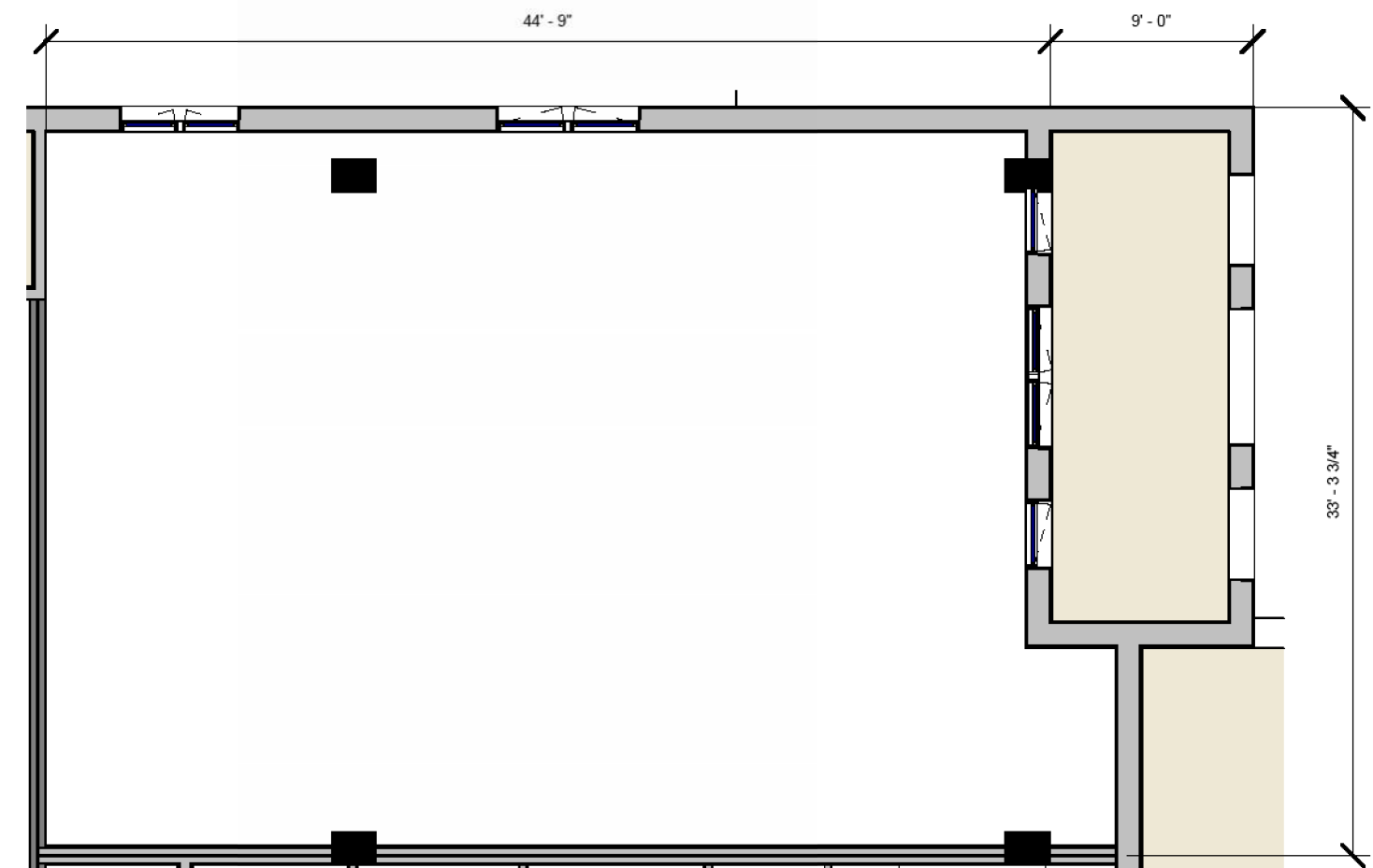
4 Unit C 2 Bdrm A  
1/8" = 1'-0"



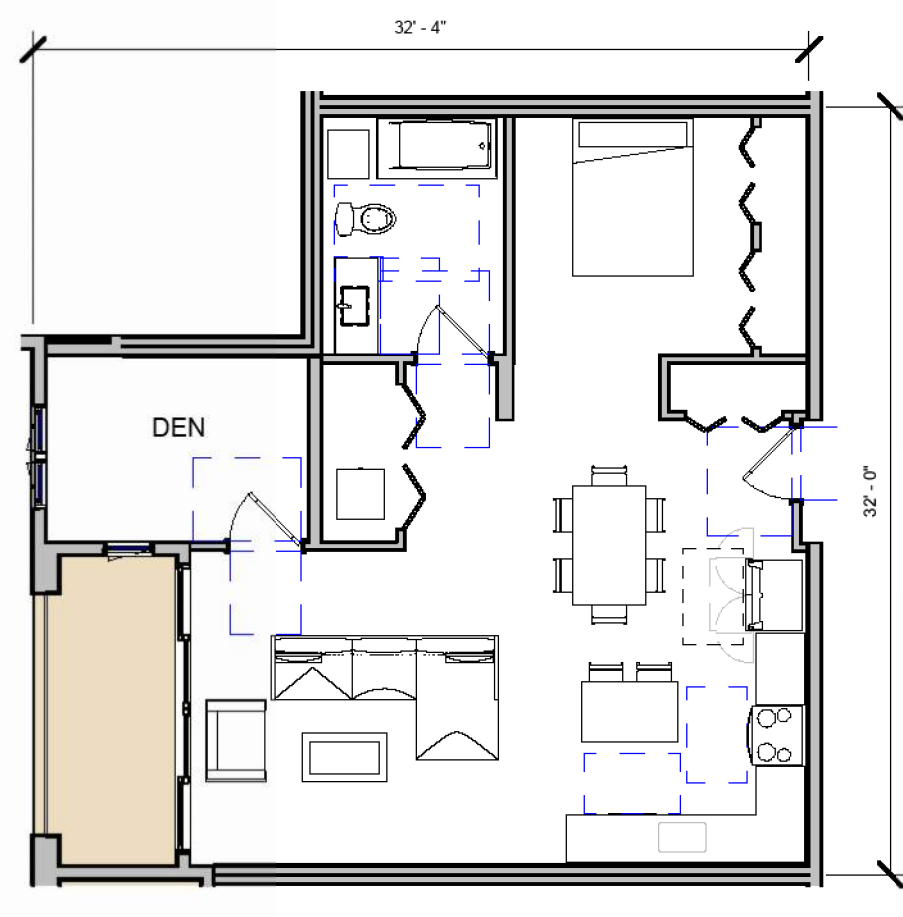
5 Unit C 2 Bdrm B  
1/8" = 1'-0"



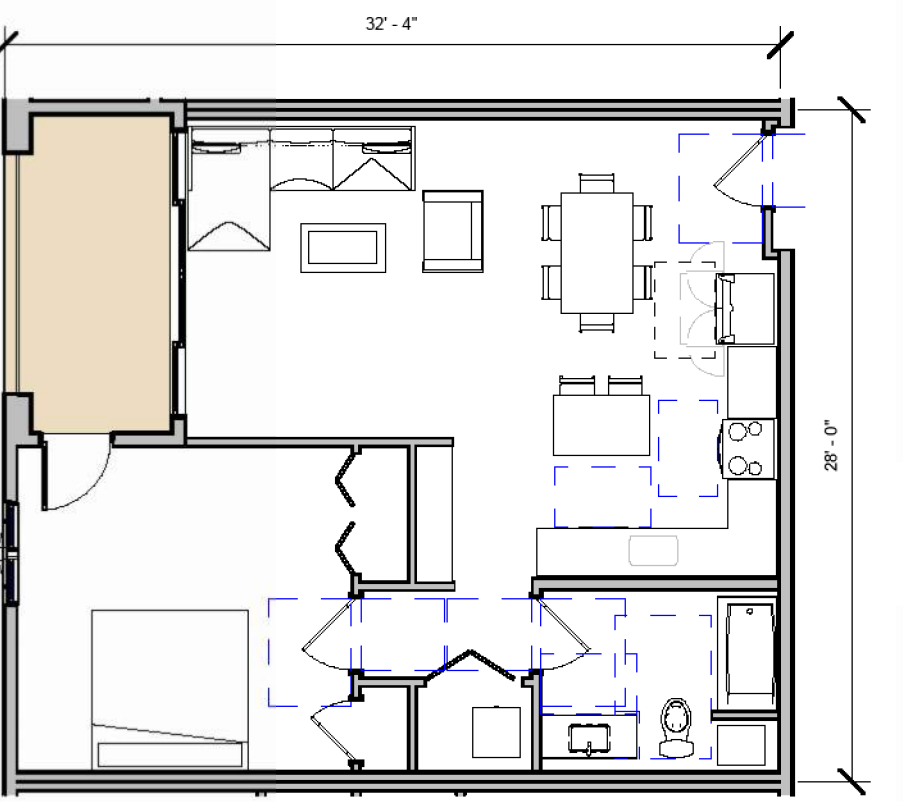
6 Unit C 2 Bdrm C  
1/8" = 1'-0"



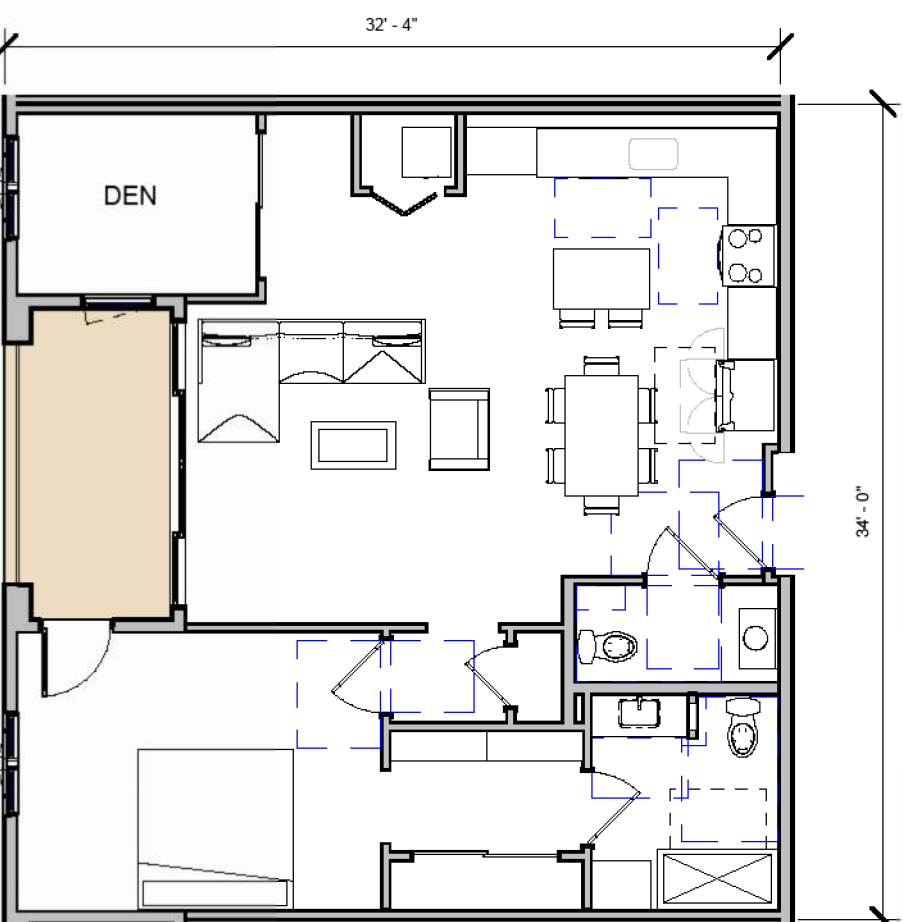
7 Unit C 2 Bdrm D  
1/8" = 1'-0"



1 Unit C 1 Bdrm Jr Den  
1/8" = 1'-0"



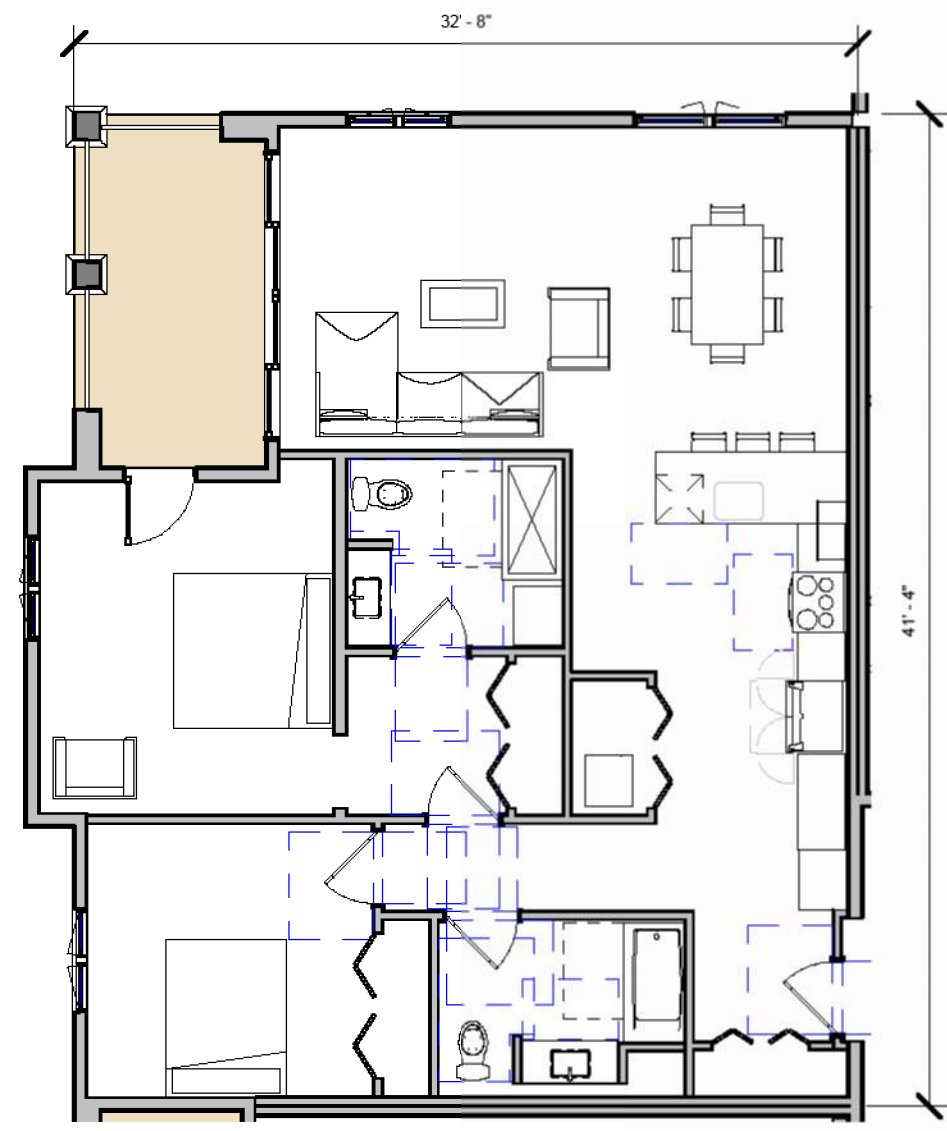
2 Unit CD 1 Bdrm A (C)  
1/8" = 1'-0"



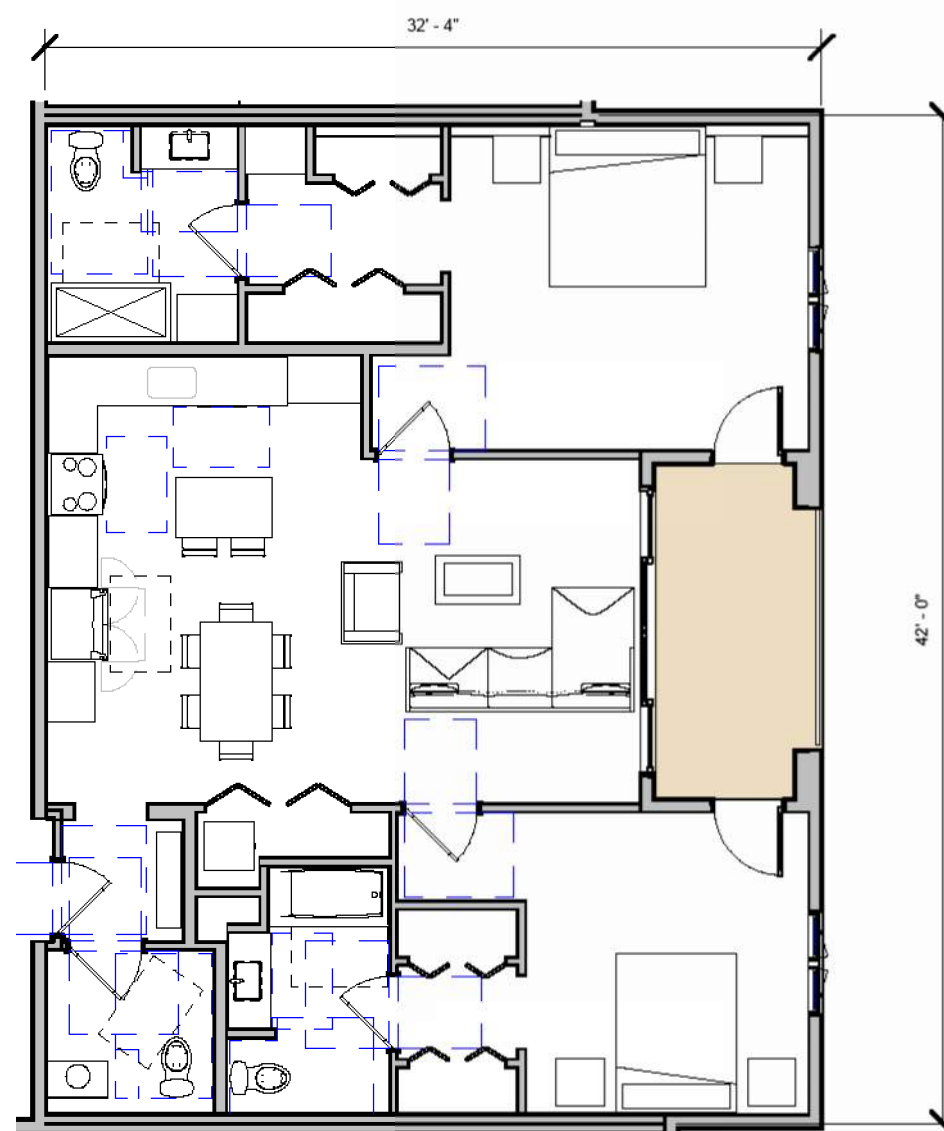
3 Unit CD One Bdrm Den (C)  
1/8" = 1'-0"

Area Unit Types Building C			
Area Unit Name	Area Count	Corrected Avg	%
<b>Building C</b>			
<b>1 Bedroom</b>			
Unit C 1 Bdrm A	1	825.59	0.79%
Unit C 1 Bdrm B	6	936.01	4.72%
Unit C 1 Bdrm C	3	877.37	2.36%
Unit C 1 Bdrm D	4	820.19	3.15%
Unit C 1 Bdrm Den A	2	1137.64	1.57%
Unit C 1 Bdrm Den A.1	1	1059.91	0.79%
Unit C 1 Bdrm Den B	1	1089.02	0.79%
Unit C 1 Bdrm E	1	838.91	0.79%
Unit C 1 Bdrm F	3	908.78	2.36%
Unit C 1 Bdrm G	1	874.90	0.79%
Unit C 1 Bdrm Jr A	8	724.49	6.30%
Unit C 1 Bdrm Jr B	7	688.55	5.51%
Unit C 1 Bdrm Jr Den A	3	829.65	2.36%
Unit CD 1 Bdrm A	20	797.11	15.75%
Unit CD 1 Bdrm Den A	11	989.74	8.66%
<b>1 Bedroom</b>	<b>72</b>		<b>56.69%</b>
<b>2 Bedroom</b>			
Unit C 2 Bdrm A	4	1390.17	3.15%
Unit C 2 Bdrm B	4	1289.37	3.15%
Unit C 2 Bdrm C	3	1398.03	2.36%
Unit C 2 Bdrm D	1	1452.27	0.79%
Unit C 2 Bdrm Den A	1	2072.61	0.79%
Unit C 2 Bdrm Den B	1	2104.78	0.79%
Unit CD 2 Bdrm A	6	1228.36	4.72%
Unit CD 2 Bdrm A.1	18	1262.26	14.17%
<b>2 Bedroom</b>	<b>38</b>		<b>29.92%</b>
<b>Studio</b>			
Unit C Studio A	4	522.70	3.15%
Unit C Studio B	2	685.98	1.57%
Unit C Studio C	1	747.14	0.79%
Unit CD Studio A	10	638.94	7.87%
<b>Studio</b>	<b>17</b>		<b>13.39%</b>
<b>BLDG C TOTAL UNITS</b>	<b>127</b>		<b>100.00%</b>

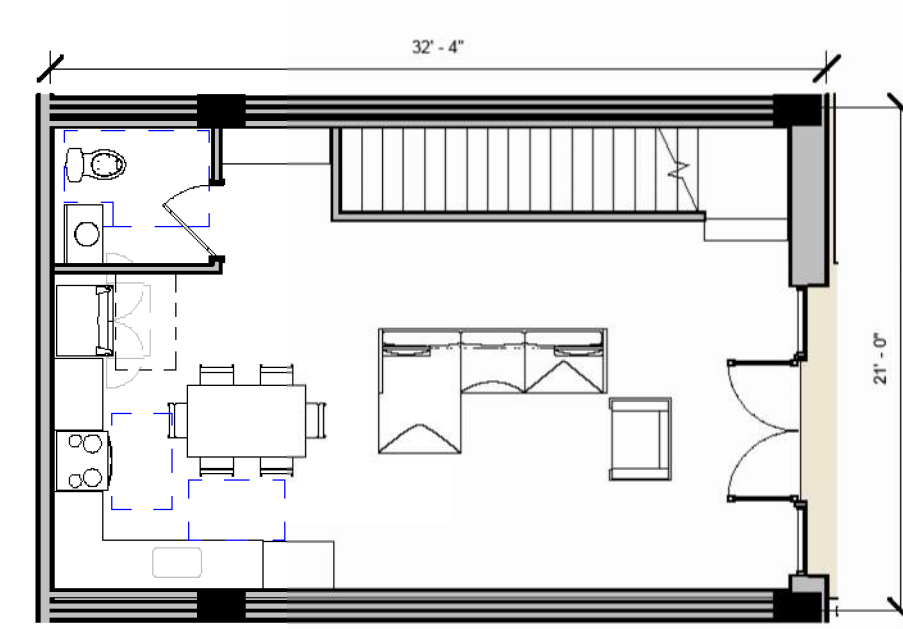




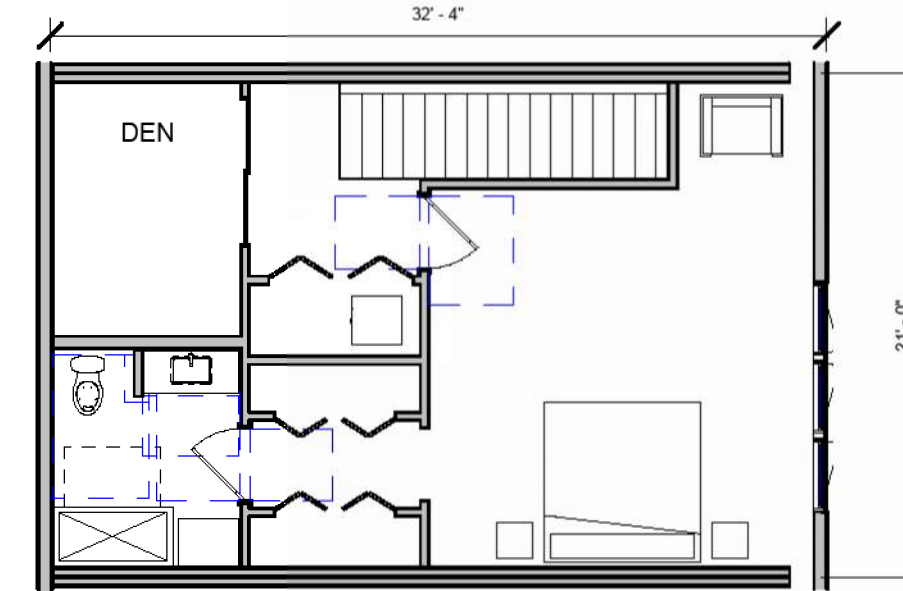
14 Unit D 2 Bdrm B  
1/8" = 1'-0"



11 Unit CD 2 Bdrm A (D)  
1/8" = 1'-0"



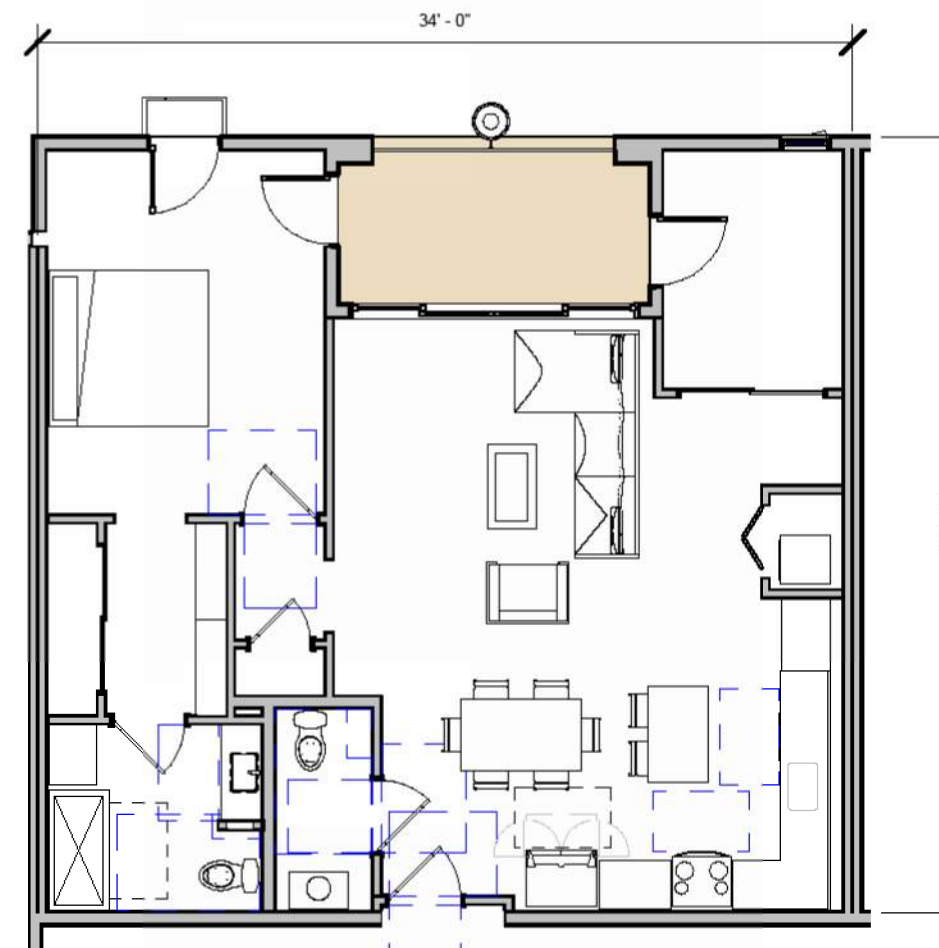
9a Unit D 1 Bdrm Den Townhome 1st Level  
1/8" = 1'-0"



9b Unit D 1 Bdrm Den Townhome 2nd Level  
1/8" = 1'-0"



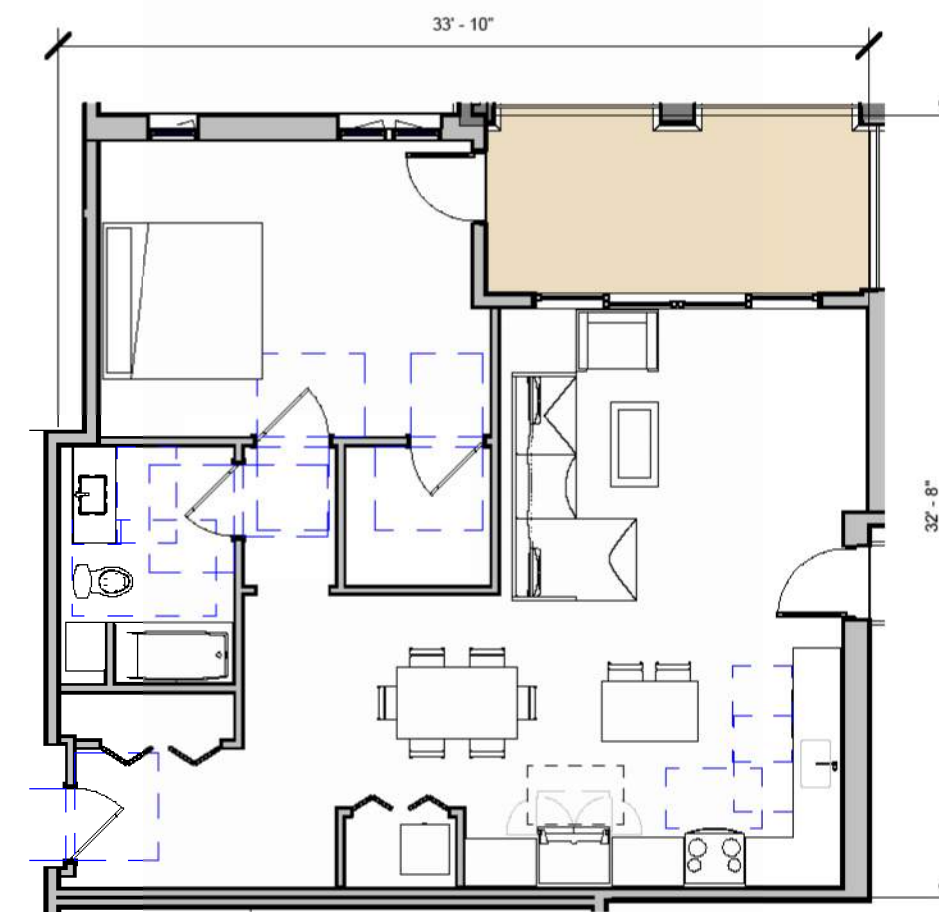
5 Unit CD 1 Bdrm A (D)  
1/8" = 1'-0"



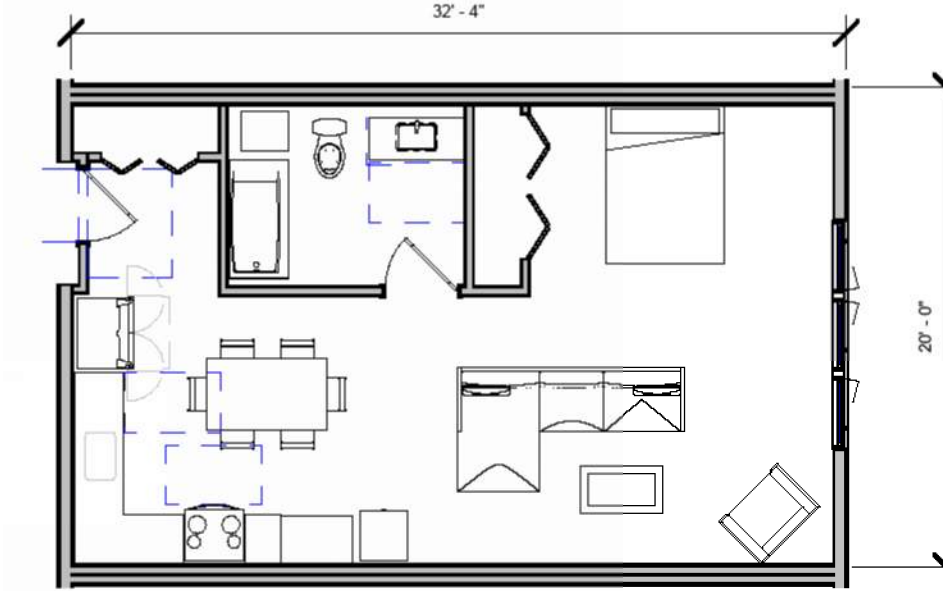
6 Unit CD 1 Bdrm/Den (D)  
1/8" = 1'-0"



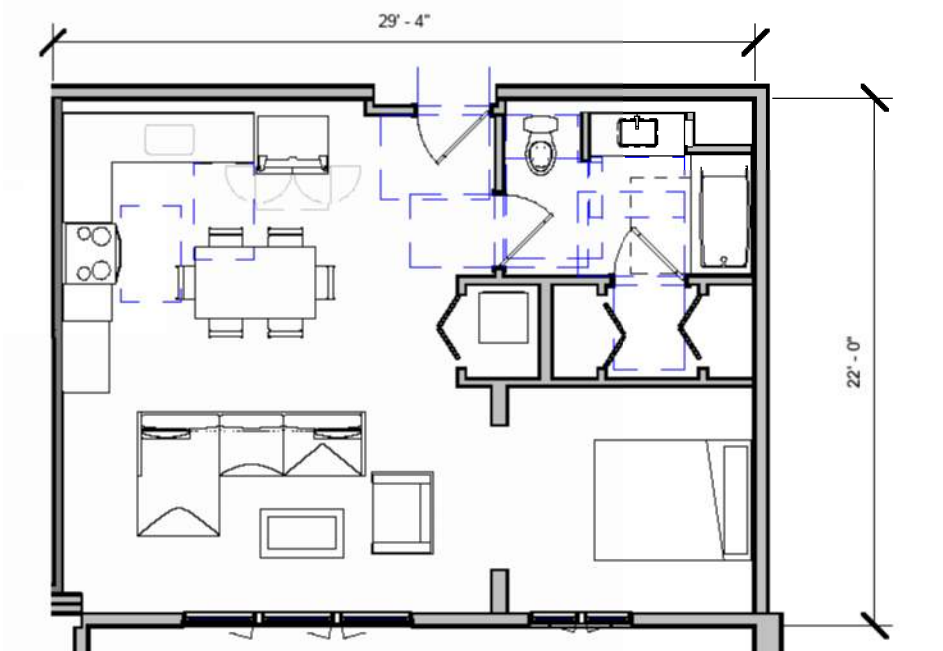
7 Unit D 1 Bdrm A  
1/8" = 1'-0"



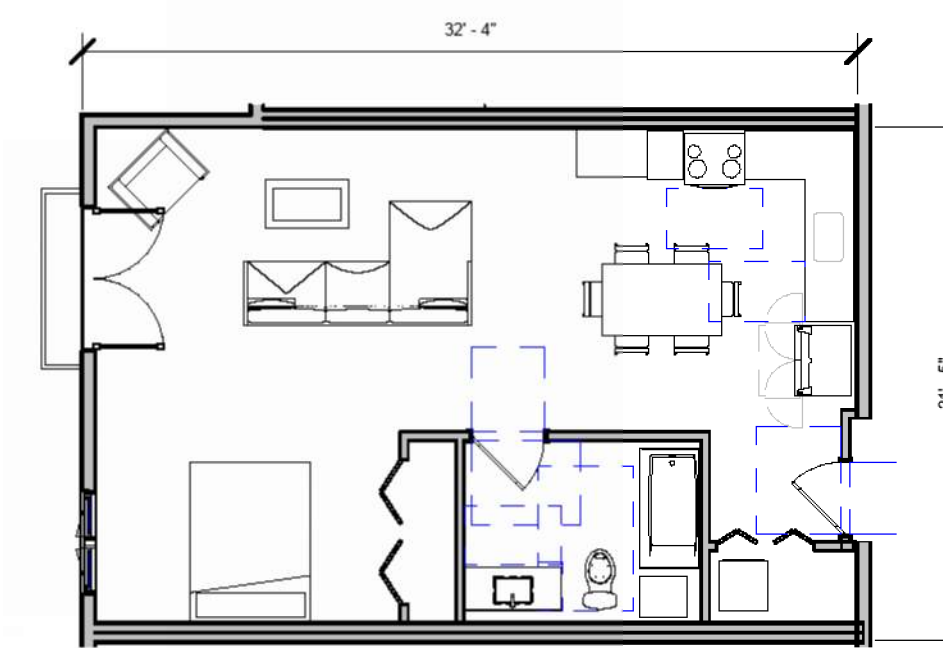
8 Unit D 1 Bdrm B  
1/8" = 1'-0"



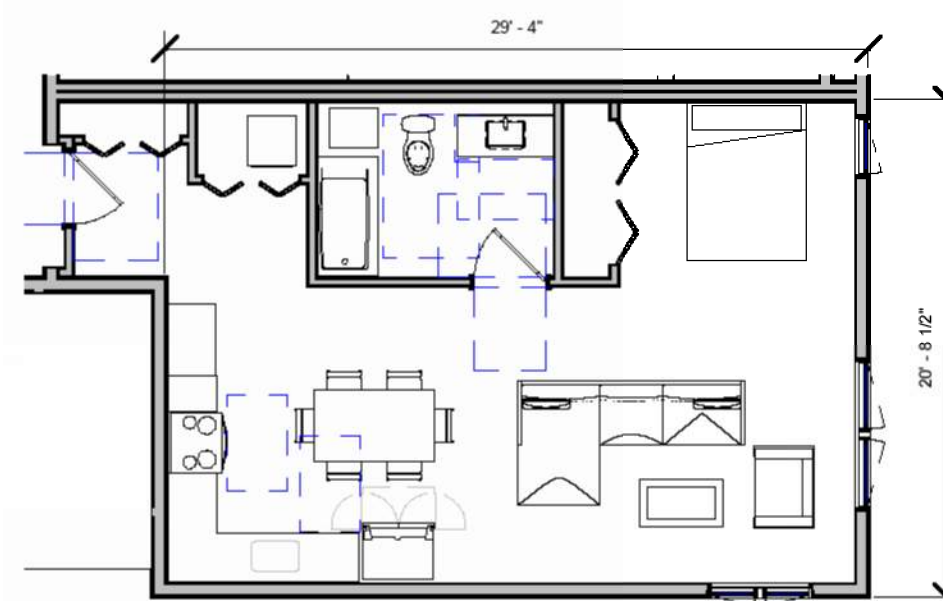
1 Unit CD Studio A (D)  
1/8" = 1'-0"



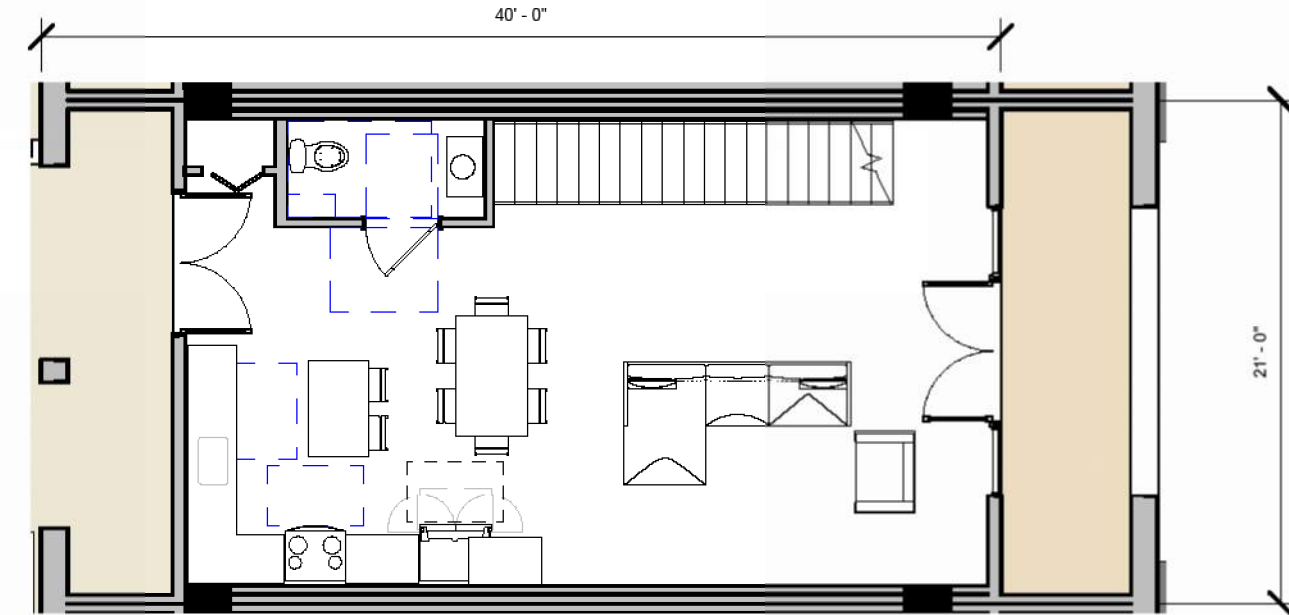
2 Unit D Studio A  
1/8" = 1'-0"



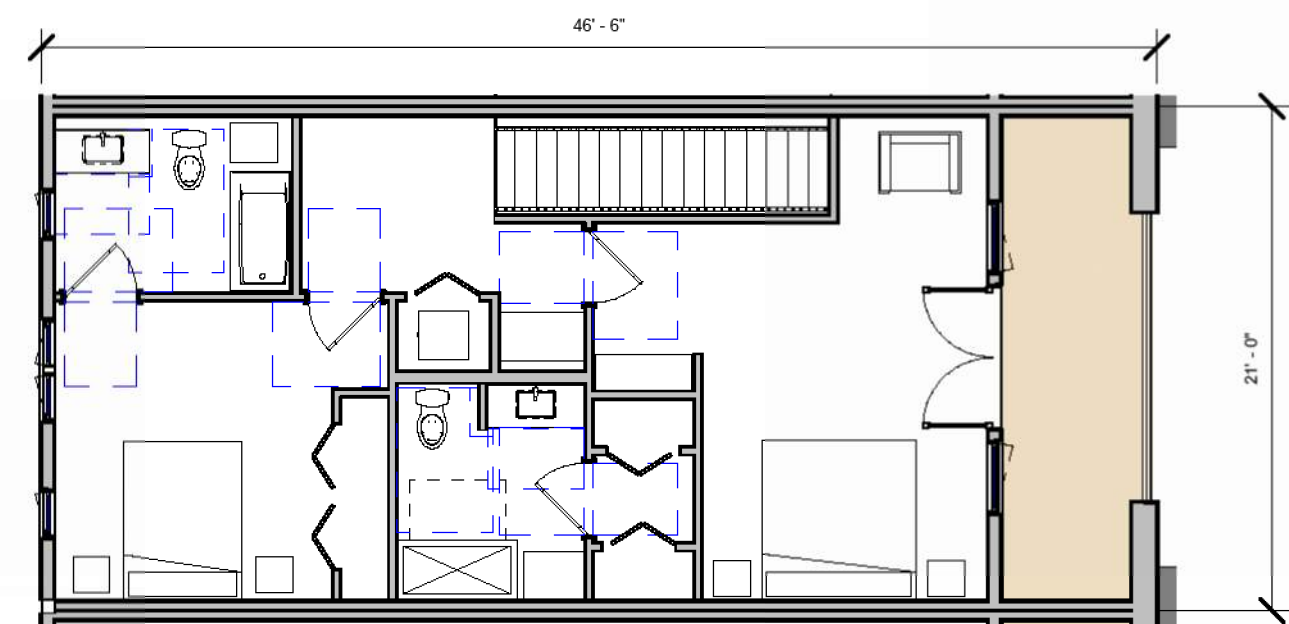
3 Unit D Studio B  
1/8" = 1'-0"



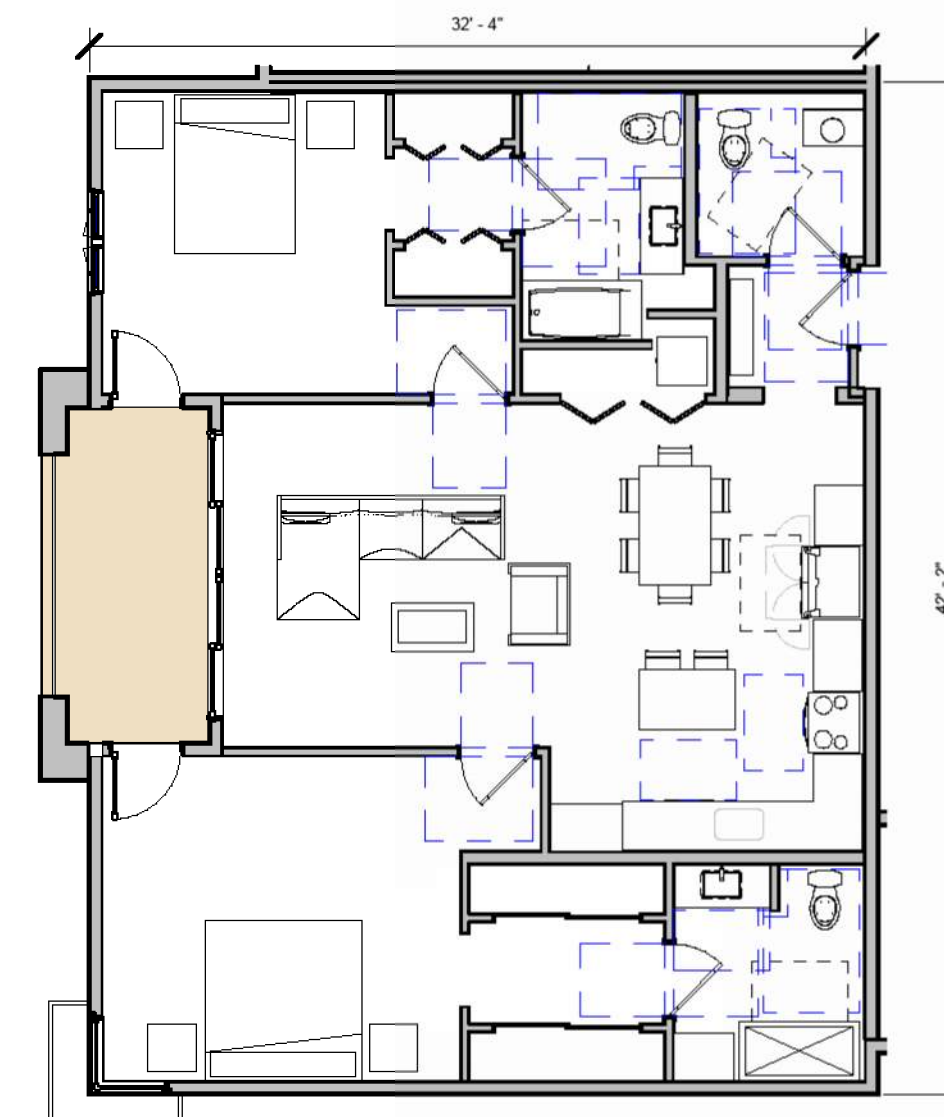
4 Unit D Studio C  
1/8" = 1'-0"



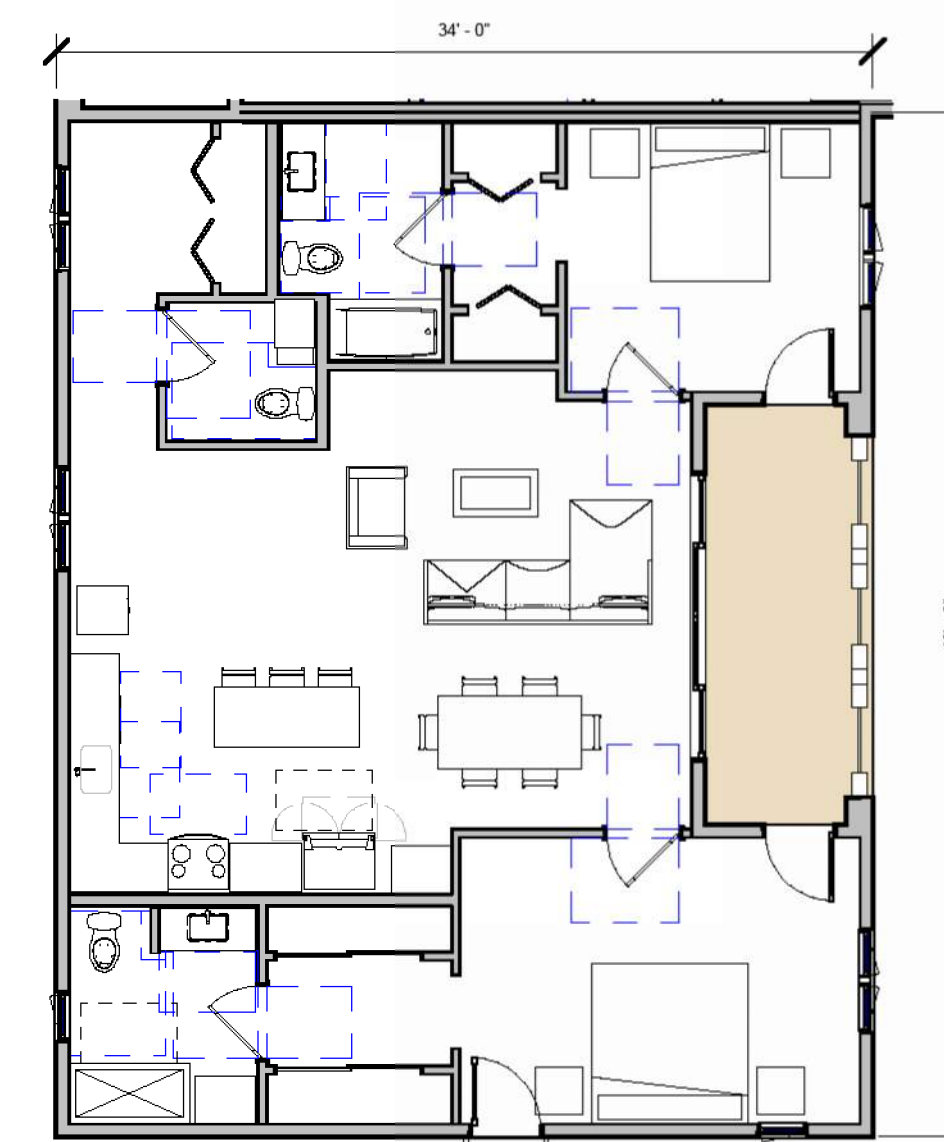
15a Unit D 2 Bdrm Townhome 1st Level  
1/8" = 1'-0"



15b Unit D 2 Bdrm Townhome 2nd Level  
1/8" = 1'-0"



12 Unit CD 2 Bdrm A.1 (D)  
1/8" = 1'-0"



13 Unit D 2 Bdrm A  
1/8" = 1'-0"

Area Unit Types Building D			
Area Unit Name	Area Count	Corrected Avg	%
<b>Building D</b>			
<b>1 Bedroom</b>			
Unit CD 1 Bdrm A	8	794.69	16.67%
Unit CD 1 Bdrm Den A	2	987.88	4.17%
Unit D 1 Bdrm A	3	831.75	6.25%
Unit D 1 Bdrm B	2	993.96	4.17%
Unit D 1 Bdrm Den Townhome	3	1258.90	6.25%
Unit D 1 Bdrm Loft	4	991.76	8.33%
<b>1 Bedroom</b>	<b>22</b>		<b>45.83%</b>
<b>2 Bedroom</b>			
Unit CD 2 Bdrm A	5	1227.38	10.42%
Unit CD 2 Bdrm A.1	2	1253.39	4.17%
Unit D 2 Bdrm A	2	1257.91	4.17%
Unit D 2 Bdrm B	3	1208.74	6.25%
Unit D 2 Bdrm Townhome	4	1451.02	8.33%
<b>2 Bedroom</b>	<b>16</b>		<b>33.33%</b>
<b>Studio</b>			
Unit CD Studio A	6	640.15	12.50%
Unit D Studio A	2	638.37	4.17%
Unit D Studio B	1	682.86	2.08%
Unit D Studio C	1	629.14	2.08%
<b>Studio</b>	<b>10</b>		<b>20.83%</b>
<b>Building D</b>	<b>48</b>		<b>100.00%</b>
<b>BLDG C TOTAL UNITS</b>	<b>48</b>		<b>100.00%</b>



CARGO BIKE WALL MOUNT LOCK BRACKET

Alley Rack

Submittal Sheet

CAPACITY: 2 Bikes

MATERIALS: 2" x 2" x .035" square tube - mild steel  
2" x 2" x .035" square tube - stainless steel

FINISHES: PVC Dip  
Black PVC

MOUNT OPTIONS: Wall-only mount  
Wall mount (includes brackets for anchor holes for 3/8" bolts. Temporary-mount fasteners are included.)

COMMERCIAL PARKING - SHORT TERM

Round Rack

YOUR LOGO HERE

Customize the Round Rack to bring your site online!

FINISH OPTIONS: Galvanized, Stainless, Powder Coat

MOUNT OPTIONS: Surface, In-Ground

OPTIONAL LEAN BAR

COMMERCIAL PARKING - LONG TERM LOCKERS

MadLocker™

30" Wide x 75" Long x 45" High

Each Unit Holds 1-2 Bikes

No Concrete Wall Construction

Maximum Security and Tamper-Resistant

Weather Protection, Long Term Parking, Stackable, 100% Galvanized for Corrosion Protection, and Easy to Assemble

3-Point Locking Mechanism, Wider Door Opening, Non-Scratch Door Frame, and Optional Floor

Fixit® Plus

Tools Included:

- Philly and Flat Head Screwdrivers
- 2.5, 3, 4, 5, & 6mm Allen Wrenches
- 125 Torx Wrench
- 20mm Hex Head Wrench
- 10mm Flat Head Wrench
- 6 & 8mm Torx Wrenches
- Flat Wrench (2)

Adjust your choice of an Air Kit bike pump (not included) to keep your car's air pressure up and ready to go. The Air Kit includes our "Mist Head" - a built-in mist atomizer pump head with Presta and Schrader valve compatibility.

FINISH OPTIONS: Galvanized, Powder Coat

DERO DECKER

- Sturdy red handle grips
- Lift-assist trays
- Dampers for safe lowering of trays
- Spring loaded levers hold bikes firmly in place
- U-lock compatible
- Smallest footprint
- Smooth and silent operation
- Simple installation
- Low maintenance
- Specialty designed fat bike trays available

DERO DECKER

Installation Instructions – Setbacks, Single Sided

DERO DECKER

Installation Instructions – Setbacks, Double Sided

DERO DECKER

Installation Instructions – Setbacks, Single Sided

REQUIRED BIKE PARKING (1 SPACE PER UNIT):  
PROVIDED:  
32 DERO DECKER RACKS (4 SPACES PER):  
CARGO BIKE SPACE:  
TOTAL PROVIDED:

127 BIKE SPACES  
128 BIKE SPACES  
002 BIKE SPACES  
130 BIKE SPACES

Bike Room Building B

1/8" = 1'-0"

REQUIRED BIKE PARKING (1 SPACE PER UNIT):  
PROVIDED:  
32 DERO DECKER RACKS (4 SPACES PER):  
CARGO BIKE SPACE:  
TOTAL PROVIDED:

127 BIKE SPACES  
128 BIKE SPACES  
002 BIKE SPACES  
130 BIKE SPACES

Bike Room Building C

1/8" = 1'-0"

REQUIRED BIKE PARKING (1 SPACE PER UNIT):  
PROVIDED:  
32 DERO DECKER RACKS (4 SPACES PER):  
CARGO BIKE SPACE:  
TOTAL PROVIDED:

127 BIKE SPACES  
128 BIKE SPACES  
003 BIKE SPACES  
131 BIKE SPACES

Bike Room Building D

1/8" = 1'-0"

REQUIRED BIKE PARKING (1 SPACE PER UNIT):  
PROVIDED:  
12 DERO DECKER RACKS (4 SPACES PER):  
CARGO BIKE SPACE:  
TOTAL PROVIDED:

48 BIKE SPACES  
48 BIKE SPACES  
03 BIKE SPACES  
51 BIKE SPACES

Bike Room Building A1

1/8" = 1'-0"

Bike Room Building A2

1/8" = 1'-0"

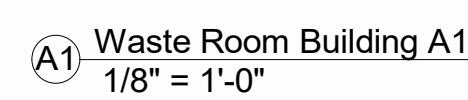
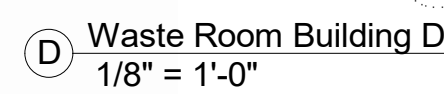
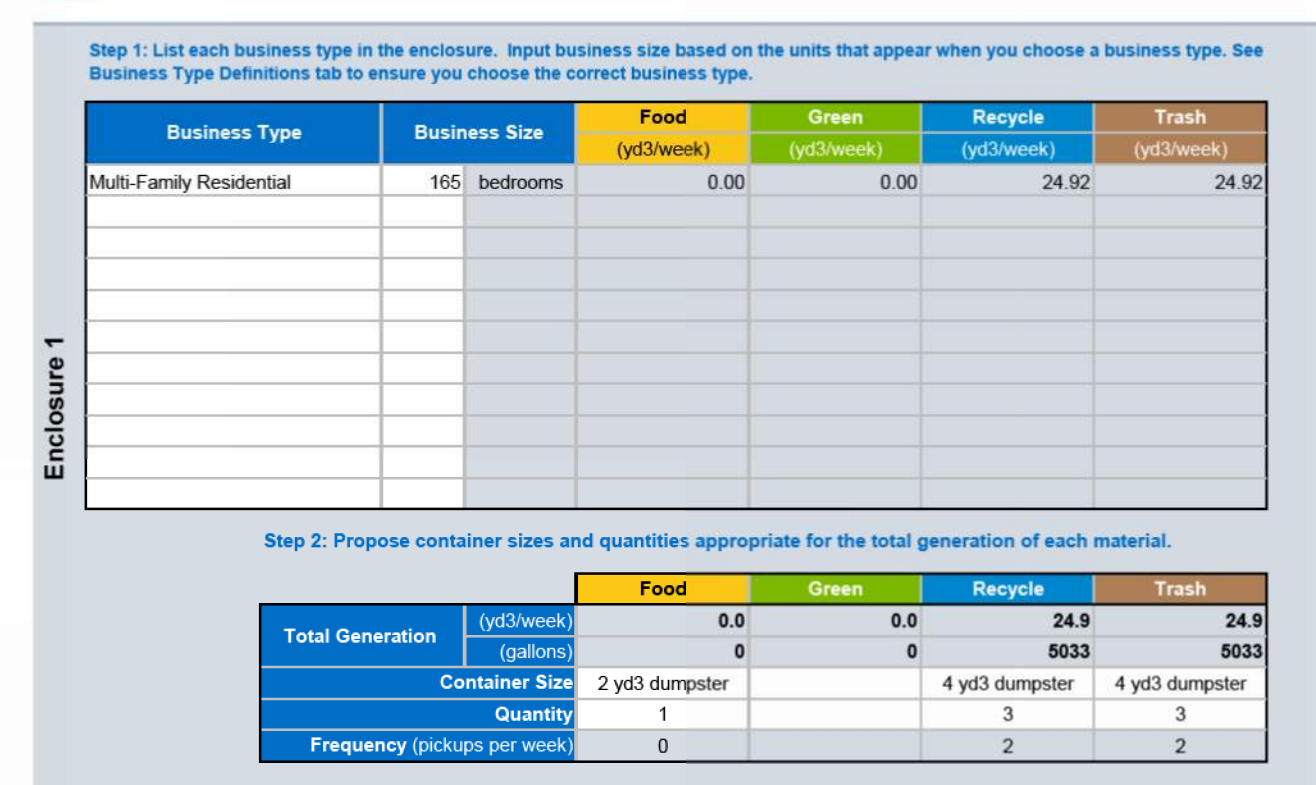
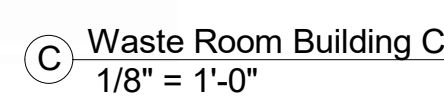
Bike Room Building A3

1/8" = 1'-0"

BUILDING A  
REQUIRED BIKE PARKING (1 SPACE PER UNIT):  
PROVIDED:  
96 DERO DECKER RACKS (4 SPACES PER):  
CARGO BIKE SPACE:  
TOTAL PROVIDED:

382 BIKE SPACES  
384 BIKE SPACES  
08 BIKE SPACES  
392 BIKE SPACES





(B) Waste Room Building B  
 $1/8" = 1'-0"$

A2.2 Waste Room Building A2 Retai  
1/8" = 1'-0"

A3.2 Waste Room Building A3 Retail  
1/8" = 1'-0"

**BUILDING D**

**BUILDING B**

**BUILDING A2 RETAIL**

**BUILDING A3 RETAIL**

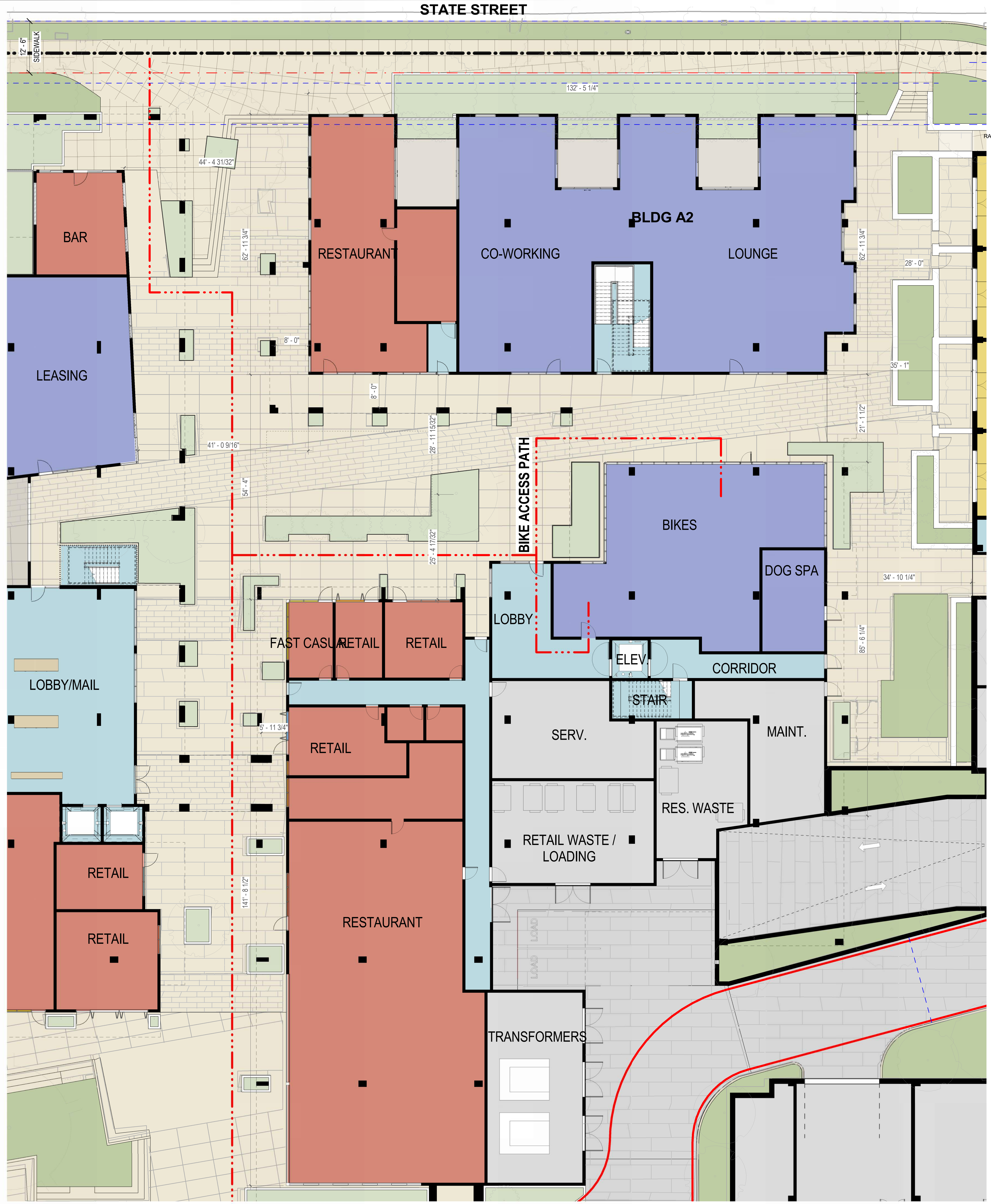






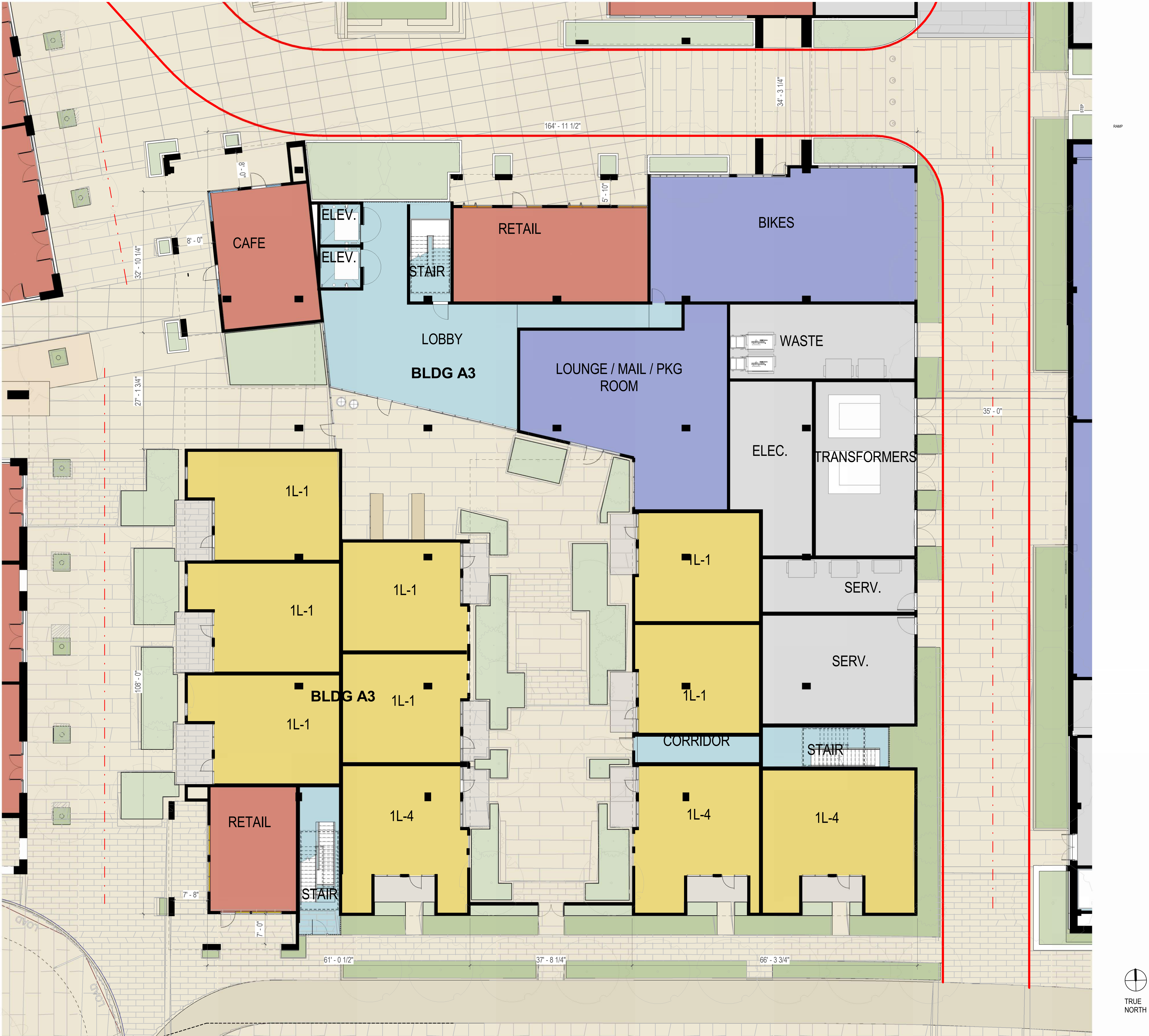






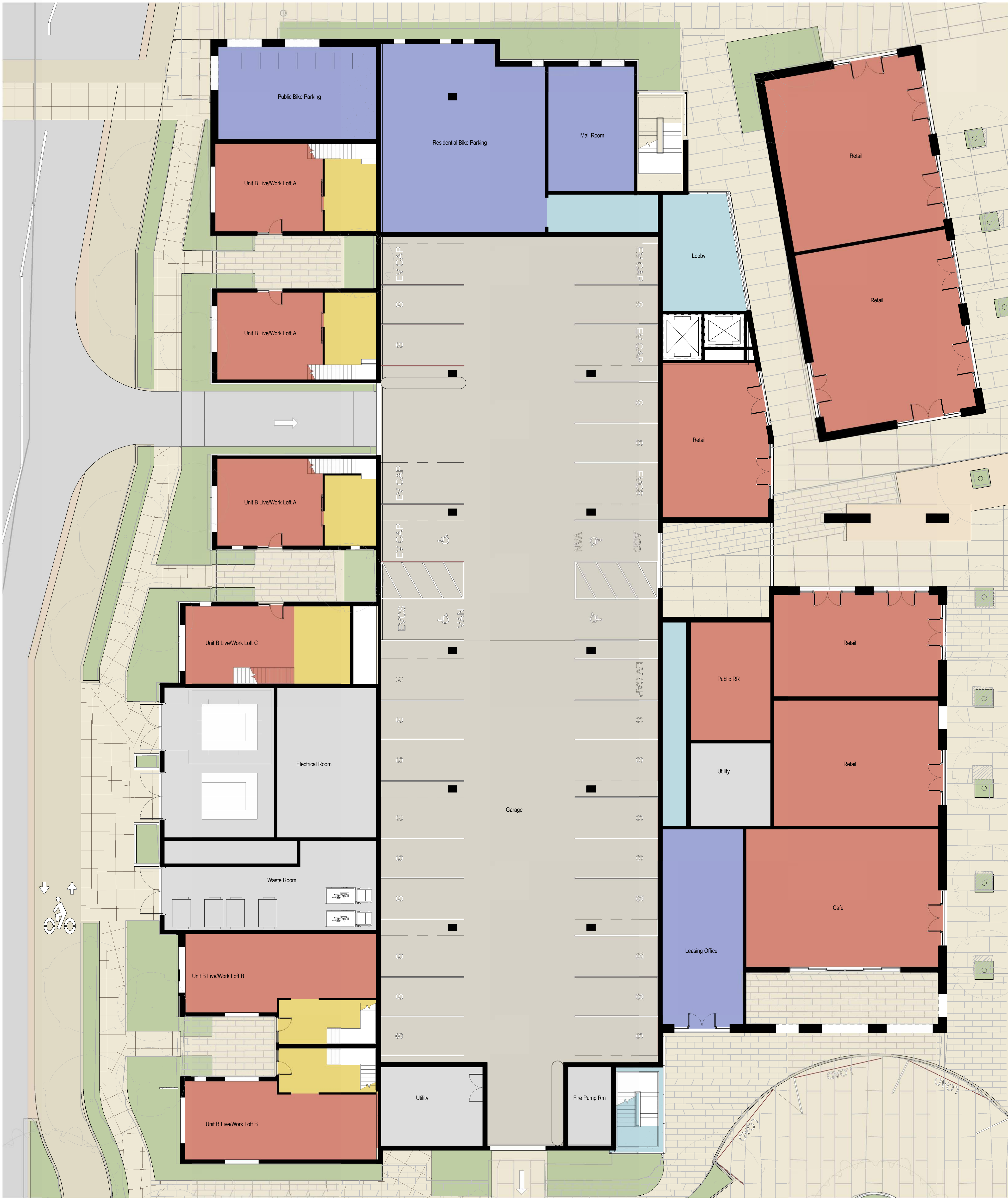
1 Level Site BLDG A2  
1" = 10'-0"





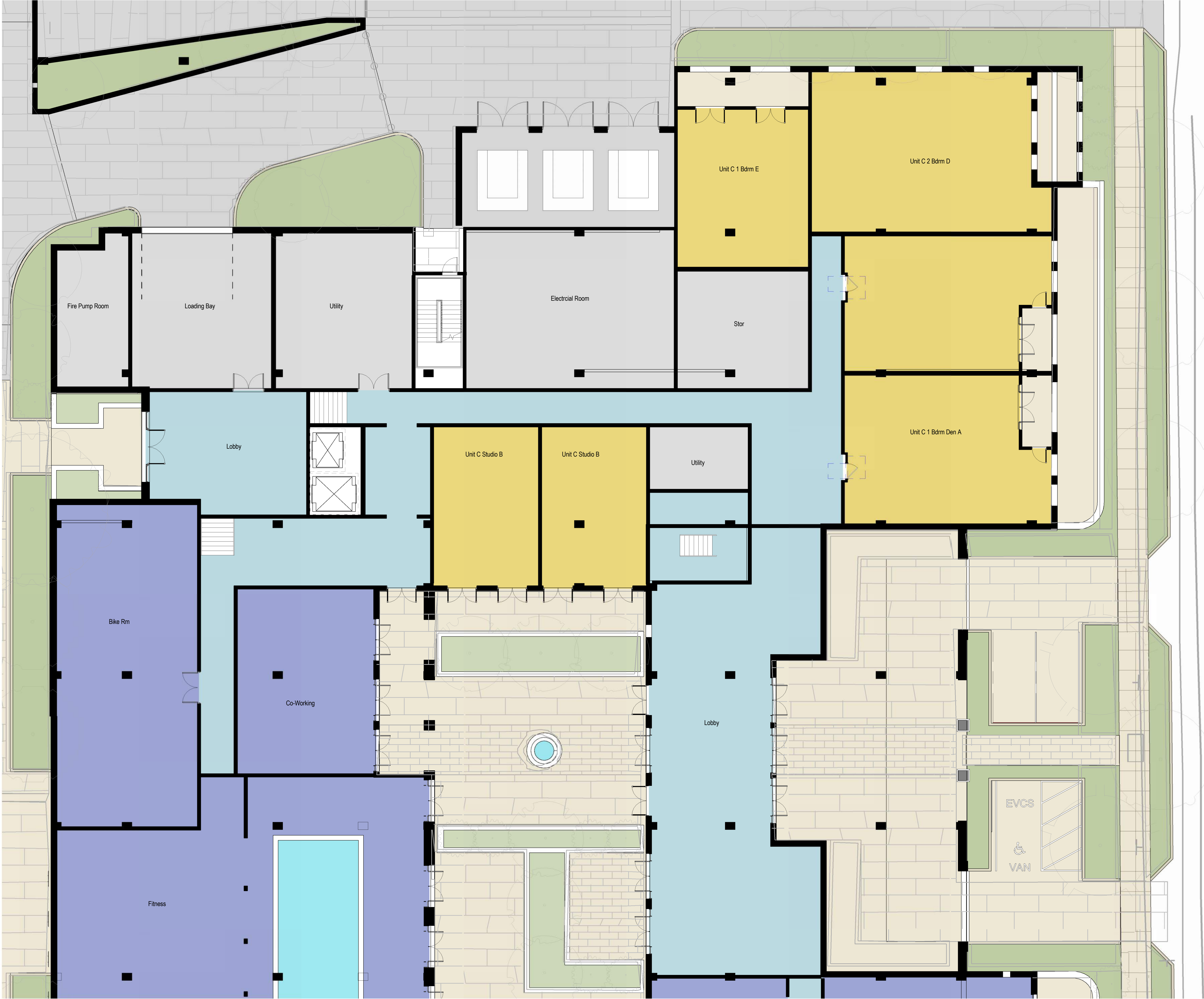
1 Level Site BLDG A3  
1" = 10'-0"





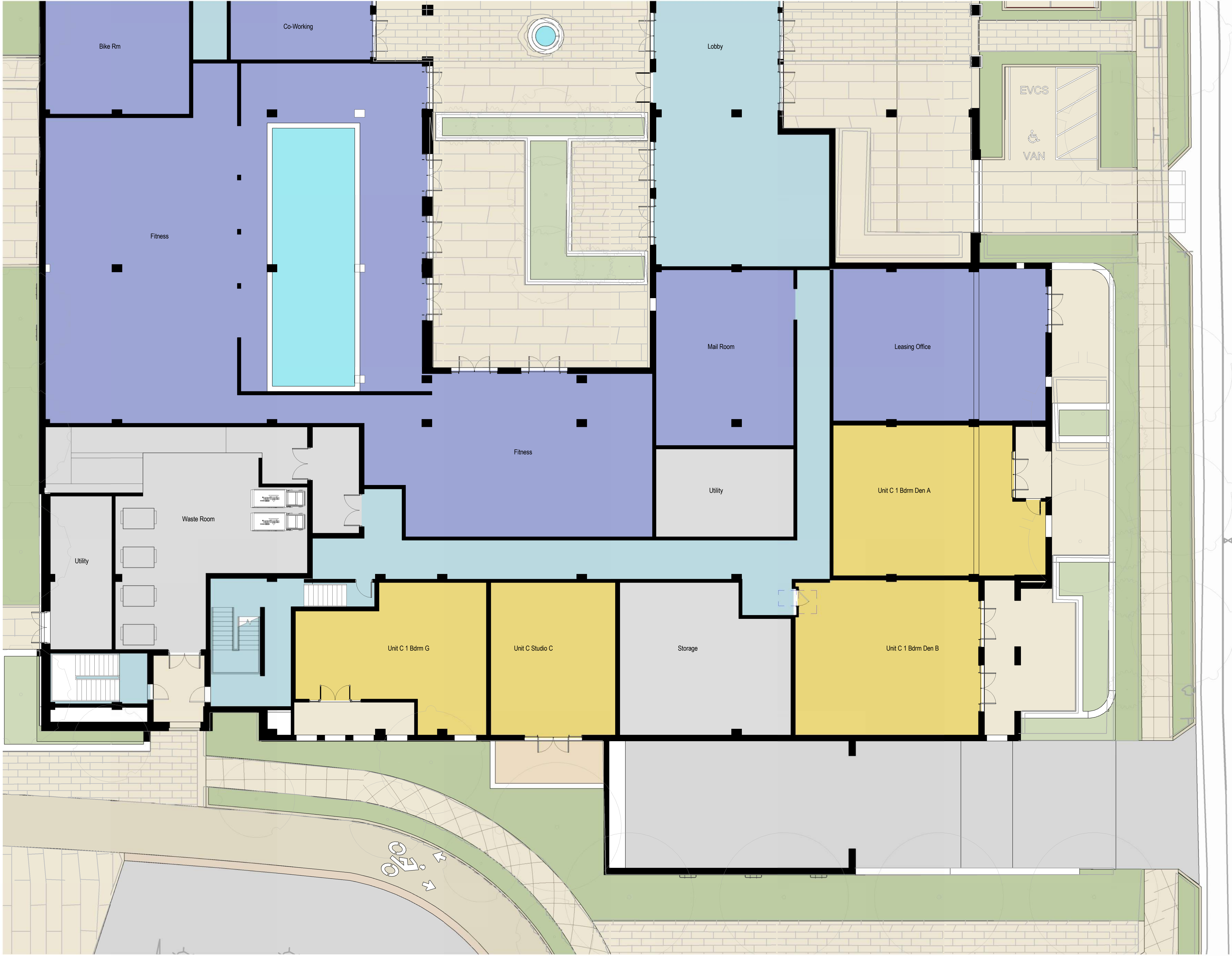
① Level Site BLDG B  
1" = 10'-0"





① Level Site BLDG C1  
1" = 10'-0"





① Level Site BLDG C2  
1" = 10'-0"



