

**PHASE 2 HISTORIC STRUCTURES/SITES REPORT  
33 EAST CANON PERDIDO STREET  
SANTA BARBARA, CALIFORNIA  
APN: 039-322-090**

**FINAL**

Prepared for  
The Lobero Foundation  
33 East Canon Perdido Street  
Santa Barbara, CA 93101

Prepared by  
Alexandra C. Cole  
Preservation Planning Associates  
519 Fig Avenue  
Santa Barbara, California 93101  
(805) 450-6658; Accole5@yahoo.com

August 2012

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**SANTA BARBARA, CALIFORNIA**  
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**1. INTRODUCTION**

The following Phase 2 Historic Structures/Sites Report for the Lobero Theatre at 33 East Canon Perdido Street was requested by the Historic Landmarks Commission because the building is a City Landmark. This Phase 2 was conducted to analyze the potential effects of the project upon the Theatre. The report meets the Master Environmental Assessment requirements for a Phase 2 historical report. Alexandra C. Cole of Preservation Planning Associates prepared the report. The plans reviewed for this report are those entitled "Lobero Theatre Renovation", by Kruger Bensen Ziemer Architects, Inc., dated July 25, 2012 and the "Preliminary Landscape Plan" by Arcadia Studios, dated July 24, 2012 (see Appendix for architectural drawings and landscape plan).

**2. PROJECT DESCRIPTION**

The proposed project involves the Lobero Theatre, a Landmark property located at the corner of Anacapa and Canon Perdido Streets. The goals of the project are to offer improved comfort and convenience to the Lobero Theatre's audience. The Lobero initially identified a number of items to achieve this goal - comfortable seating with increased leg room, an improved ventilation system and expanded restrooms. The code requirement to provide an accessible path of travel was determined early on as a necessary addition to the scope of work to meet current ADA (Americans with Disabilities Act) requirements. In order to meet these code requirements a level terrace area at the front of the theatre was required.

The project proposes to create this terrace in front of the entrance, with six steps leading to the sidewalk on Canon Perdido Street. This terrace would be modeled on the esplanade conceived by architect George Washington Smith as part of his 1923 design for the new Lobero Theatre, but most likely not built because of its expense. The existing lawns would have squared off edges and slope to a hedge of African boxwood along the Canon Perdido Street elevation. The present flag pole and a commemorative boulder would be removed. As well a reconfigured ADA accessible pathway would be constructed along the west side of the property to connect with the terrace. A new HVAC unit would be added on the flat roof of the Green Room, shielded by a 7'4" high parapet wall. The brick ramps at the west and east elevation doors and at the pergola would be replaced with brick landings and steps. The existing brick landing and steps to the Green Room would be reconfigured.

In terms of landscaping, the two existing historic front olive trees on the east and west lawns would be removed, because they are diseased, and replaced with two carob trees. 18" high plaster landscape walls would edge the terrace. The kiosk and stairs would be retained on the west side providing access to Anacapa Street. The kentia palms would be transplanted from the front planter to the west side to screen the proposed HVAC roofline. . The east and west lawns would be simplified, with their edges squared. An African boxwood hedge at the Canon

Perdido Street sidewalk would be added, and the remaining three sides would be open as they were originally, as shown in the 1928 photograph (see Plate 7).

The Lobero Theatre is a City Landmark (Resolution 81-088, dated July 21, 1981), determined significant under criteria a-g as found in Section 22.22.040 of the Santa Barbara Municipal Code. For the purposes of this report, the character-defining features of the property are the theatre building itself, including the pergola, the sloped brick walkway, the open lawns, and the kiosk.

### Brief History of the Building

The land where the Lobero Theatre at 33 East Canon Perdido Street is located lies within the City block bounded by Canon Perdido, Anacapa, Carrillo and State Streets. It was the site of the Jose Lobero Opera House, created in 1873 through the enlargement of an existing building on the corner, the Sebastopol School. Lobero's Opera House was a two-story wood frame and adobe Italianate style building said to be the largest adobe in the state (see plate 1). After two successful decades of presenting traveling shows, vaudeville, wrestling matches, and his own plays in his theatre, Jose Lobero fell on hard times and had to sell his Opera house. He later committed suicide. Without his energy, the building was used only sporadically for meetings and shows, fell into disrepair and was condemned (Reeves 1990:1-2; Days 1981).

In 1920, members of the Santa Barbara community interested in acting formed the Community Arts Players and produced their first plays at the Potter Theatre. In 1922, they were incorporated into the Drama branch of the newly-formed Community Arts Association which created four branches including Drama, Music, School of the Arts, and Plans and Planting. Looking for a new venue for their plays, they bought the condemned Lobero Theatre and asked local architect George Washington Smith to remodel it for their use. That same year the Lobero Theatre Corporation was formed to oversee the theatre (Myrick 1987: 209-211; Reeves 1990: 2-5).

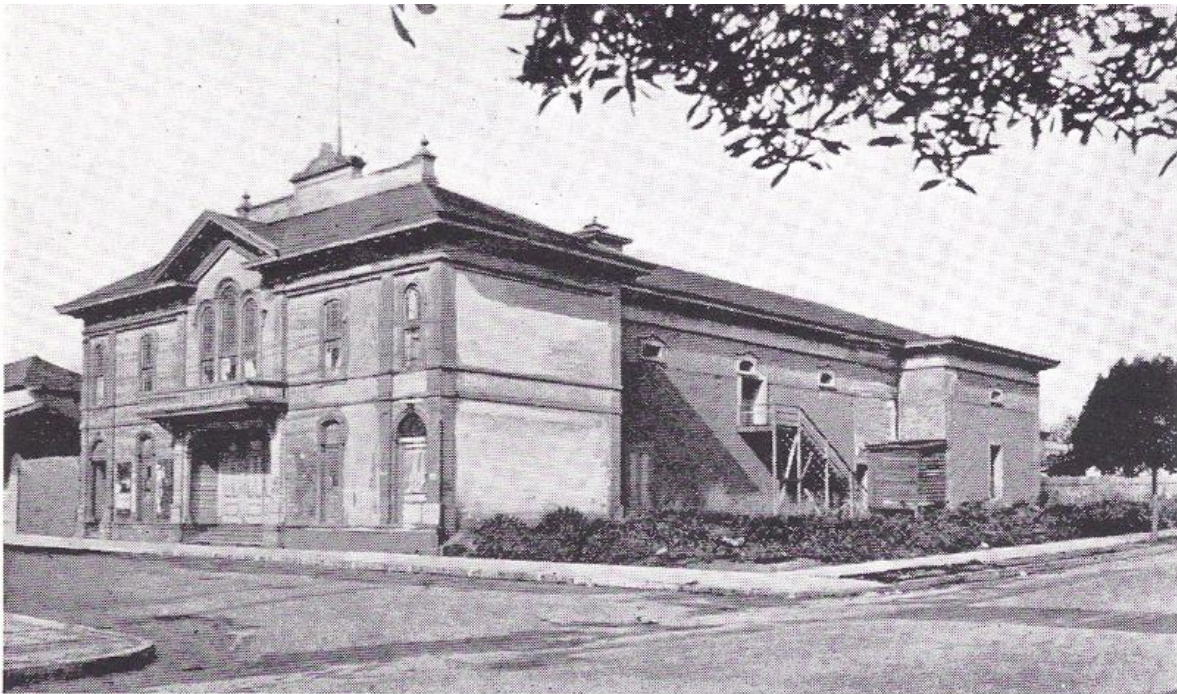


Plate 1. Jose Lobero's Theatre in the nineteenth century. *Courtesy Santa Barbara Tierra Adorada 1930:99.*



Smith and his architectural associate Lulah Maria Riggs drew up plans for a remodel of the old building, which showed an imposing two-story Classical front with a hipped roof (see Plates 2 and 3). A brick terrace (alternately referred to as an esplanade) ran the length of the Canon Perdido façade with a plaster retaining wall and steps to Canon Perdido and Anacapa Street sidewalks (G. W. Smith, August 1923, Ops. 148, Sheet 5, "North, South Elevations").

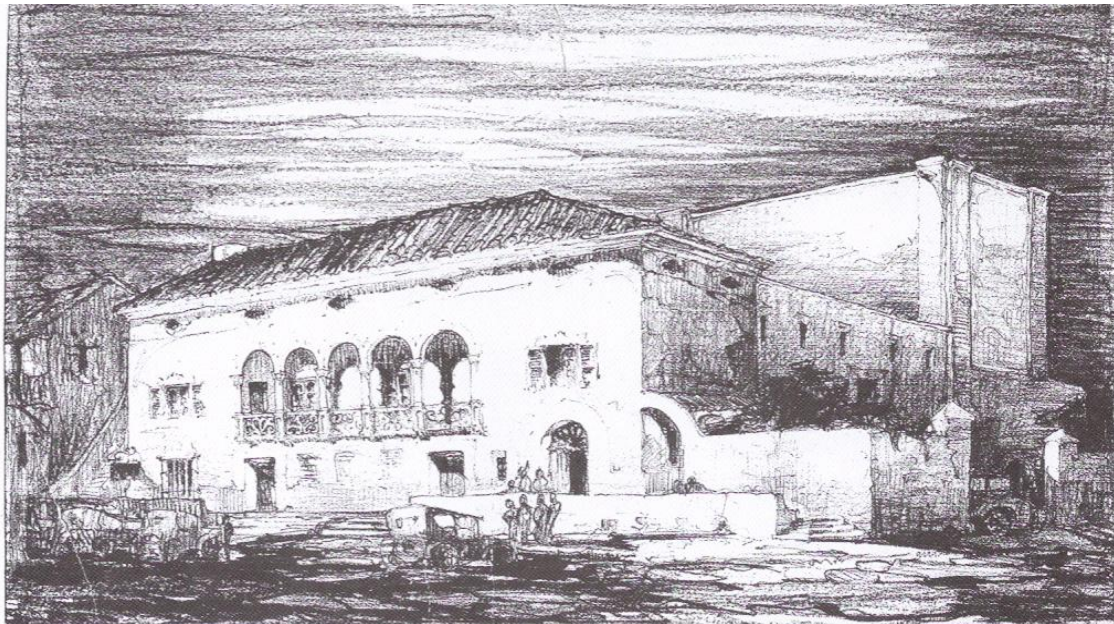
Shortly thereafter, Smith recommended that because of its condition, the old theatre be torn down and a new theatre designed and built (Gebhard 2005:90). Smith, assisted by Lulah Maria Riggs, incorporated the two-story façade in his first design for the new theatre; however the Lobero Theatre Company deemed it too expensive, and chose to build a smaller theatre without a balcony. Smith then prepared plans for a 655-seat "Little Theatre" much scaled down from the previous two-story plan and designed in the Spanish Colonial Revival style. Although much simplified, with a one-story entrance rising to a two-story auditorium, and three-story fly, the



Plate 2. Sketch for remodeled Lobero Theatre. G.W. Smith. *The Architect and Engineer*, December 1922, page 73, in Appleton 2001: 101.

plan still included a brick terrace in front of the façade with steps to Canon Perdido and Anacapa Street sidewalks (see Plates 4 and 5. G. W. Smith, November 1923, Ops. 154 Sheet 5, "South Elevations, Sheet 6, "Sections). Apparently cost again dictated the replacement of the proposed terrace and steps with the present sloped walk of brick. Various correspondences at this time between Smith, Lobero board members, and the contractor mention the tight budget in relation to design decisions on the current theatre.

The landscaping consisted of simple lawns and two cypress trees flanking the entrance loggia (see Plates 6-7). By 1928 a pergola was added on the east side (see Plate 7). An early undated landscape sketch showed lawn and olive trees (see Plate 8). Judging from a 1932 photo of the theatre, these olive trees had replaced the cypress trees (see Plate 9). An undated photograph shows the kiosk; judging from the actors listed on the posted playbill, the photograph was dated to 1948. However, stylistically the kiosk very probably dates to the period of the construction of the Lobero, although there were not corroborating photographs from this era.



Lutah Riggs - del -

AN EARLY STUDY FOR  
THE LOBERO THEATRE  
GEORGE WASHINGTON SMITH

Plate 3. Sketch for remodeled Lobero Theatre. Lutah Maria Riggs. *Courtesy Gebhard 2005:91.*

In the 1970s a commemorative flagpole dedicated to war veterans was erected by the Elks on the east lawn, and a boulder commemorating the Lobero as a California Historic Landmark was added at the edge of the west lawn by the Native Daughters of the Golden West. In 1981 Landscape Architect Edward R. Comport made some alterations to the Canon Perdido Street landscape. He created the curved stairs by the kiosk and the curved indentations at the corners of the lawn. He moved the flagpole from the center of the east lawn to its present location, moved the commemorative boulder back four feet from the edge of the pavement, and removed an existing olive tree to add the new ADA path on the west lawn.

### Findings of Significance

In 1981, under City Resolution No. 81-088, the Lobero Theatre, including the scenery shop and adobe wall, was declared a City Landmark under the following criteria:

- a. Its character, interest or value as a significant part of the heritage of the City
- b. Its location as a site of significant historic events
- c. Its identification with Jose Lobero, George Washington Smith, and Lutah Maria Riggs, persons who significantly contributed to the culture and development of the City
- d. Its exemplification of a particular architectural style or way of life important to the City
- e. Its identification as the creation, design, or work of a person or persons whose effort has significantly influenced the heritage of the City



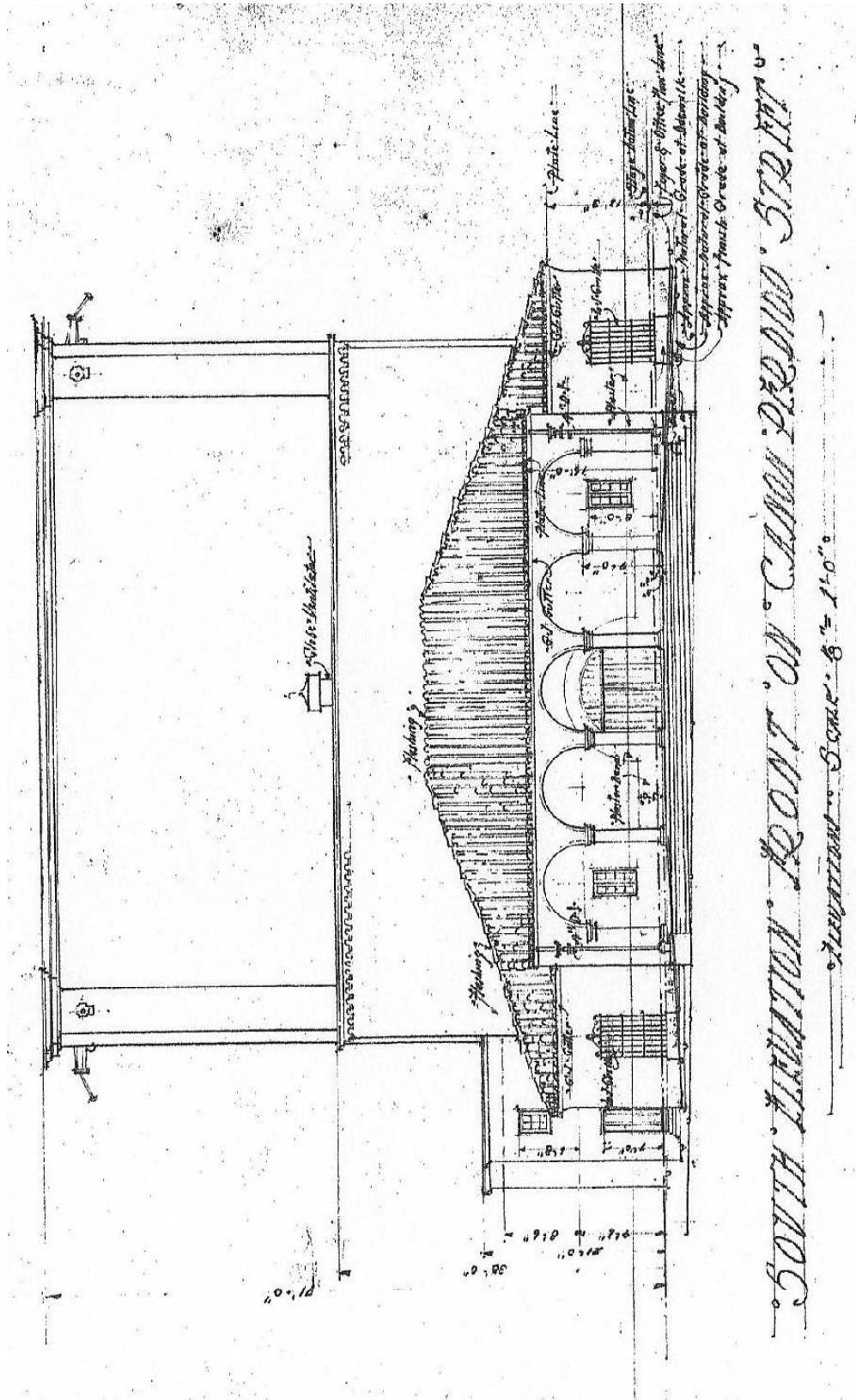


Plate 4. Canon Perdido Elevation of the Lobero Theatre showing the concept for an esplanade and steps (George Washington Smith, "Little Theatre for Lobero Theatre Company", Ops. 154, Sheet 5. "Elevations". November 6, 1923)

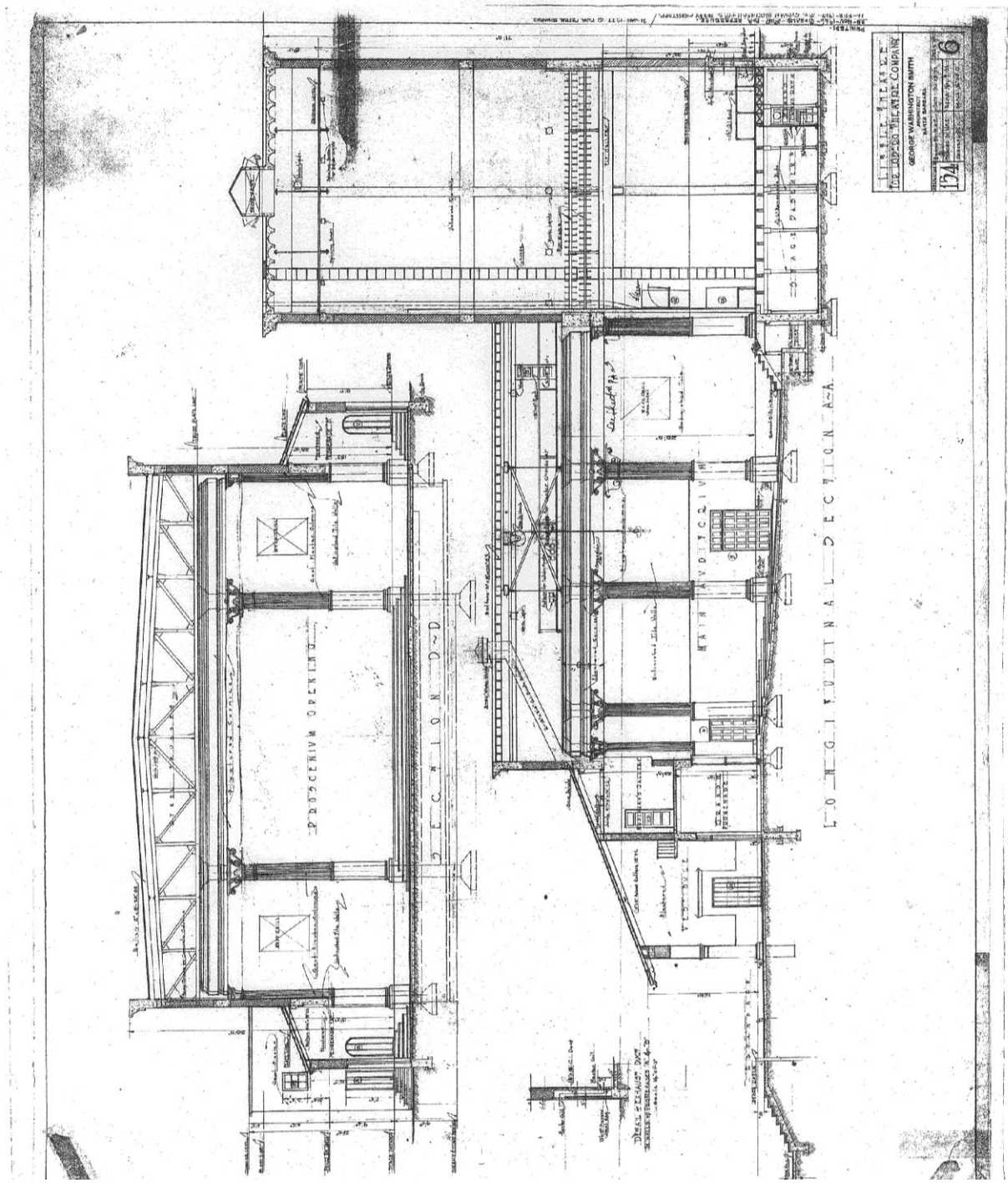


Plate 5. Longitudinal Section A-A, facing west showing proposed esplanade and steps to Canon Perdido sidewalk (George Washington Smith, "Little Theatre for Lobero Theatre Company", Ops. 154, Sheet 6. "Sections". November 7, 1923)



Plate 6. Lobero Theatre as built with sloped walk in 1924.  
*Courtesy U.C.S.B Special Collections Website*

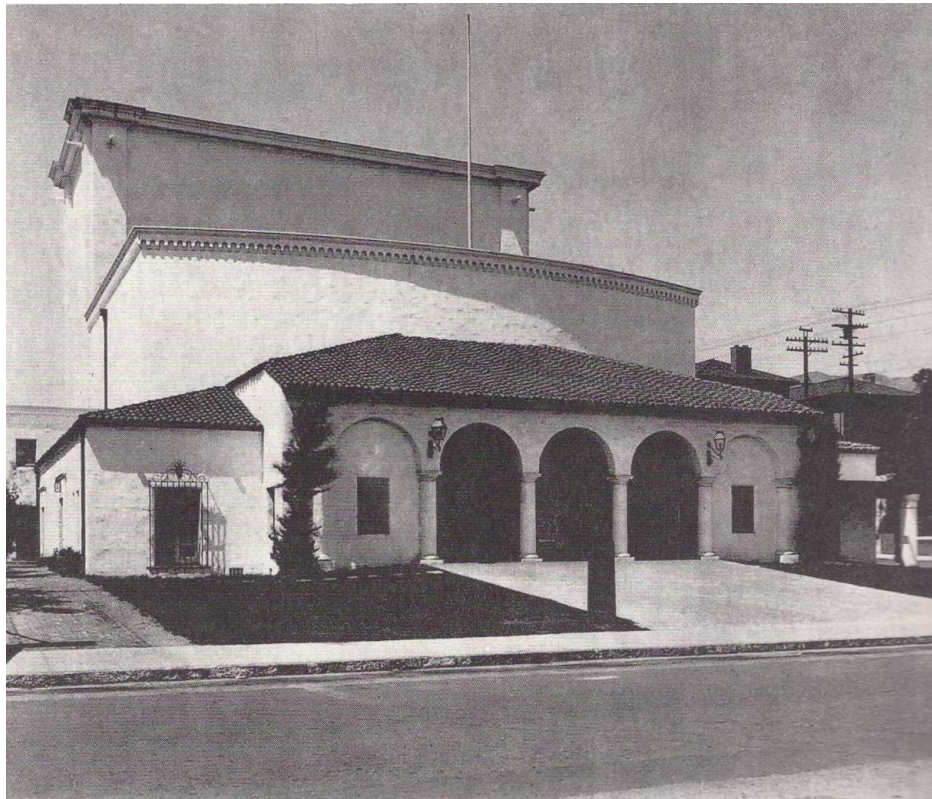


Plate 7. Lobero Theatre in 1928 showing pergola at right and lawn and cypress.  
*The Architectural Record July 1928, p.17, in Appleton 2001:101*



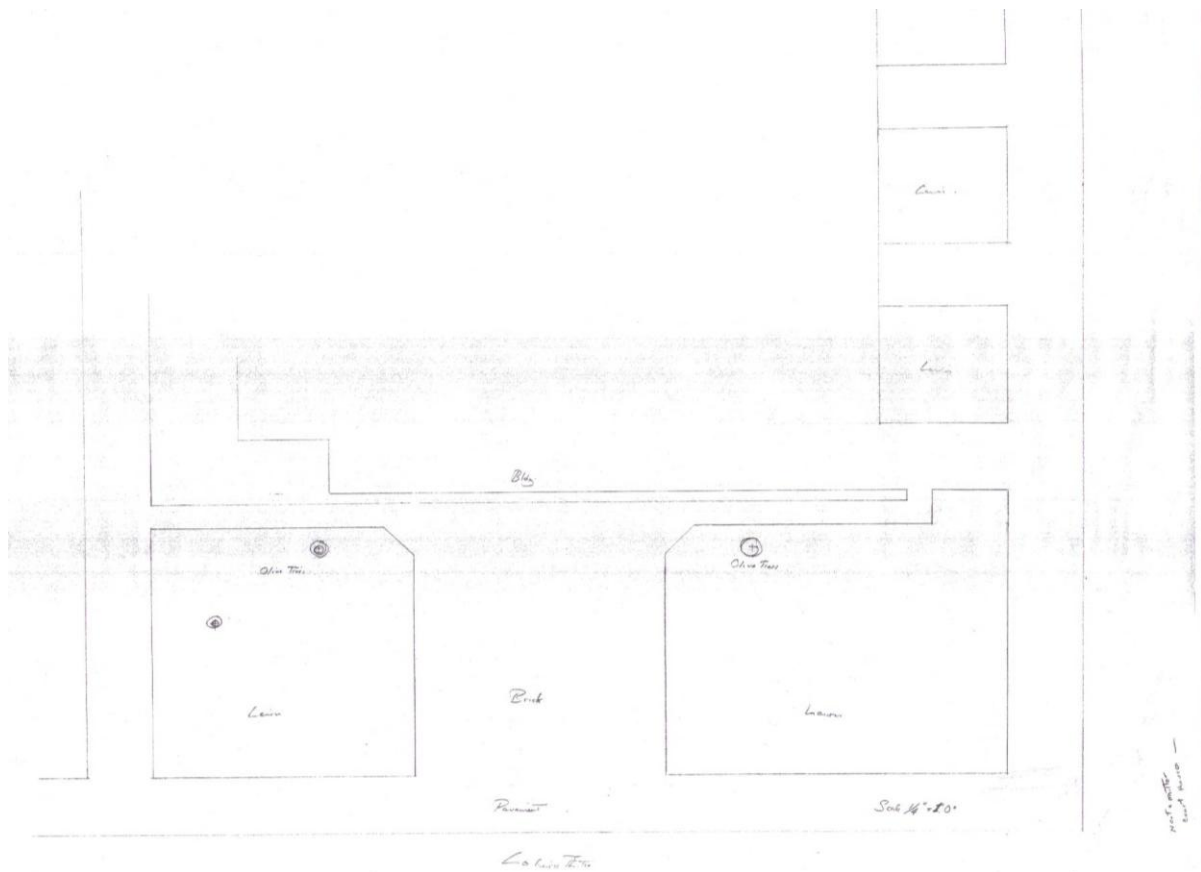


Plate 8 Front landscape sketch showing the as-built brick ramp and lawns at the Lobero Theatre entrance facing Canon Perdido Street. *Courtesy U. C. Berkeley Environmental Studies Archives. Lockwood DeForest collection #1409. Lobero Theatre.*



Plate 9. Landscape showing olive trees. *The Architectural Forum*, September 1932, page 198, in *Appleton 2001*: 102.

f. Its embodiment of elements demonstrating outstanding attention to architectural design, detail, materials, or craftsmanship

g. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood

Analysis of the Proposed Project (see attached conceptual drawings)

#### CEQA Guidelines for Determining Project Effects

CEQA defines a potential adverse effect as one that would cause a substantial change in the significance of a resource. Such a substantial change means demolition, destruction, relocation, or alteration of the physical characteristics of the resource or its immediate surroundings that justify its eligibility for the CRHR or its inclusion in a local register of historic resources (PRC Section 15064.5 (b) (1,2)).

According to the latest CEQA guidelines, if a project involving significant historical resources follows *The Secretary of the Interior's Standards for the Treatment of Historic Properties With Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (Standards)* (Weeks and Grimmer 1995), the project is considered to be mitigated to a level of less than a significant impact on the historic resource (PRC Section 15064.5 (b) (3)). The *Standards* are as follows:

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic

materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a way that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### Analysis of Proposed Project According to CEQA Guidelines

The building is considered an historic resource according to CEQA standards. Its distinctive materials, features, spaces and spatial relationships are:

*1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The property will remain as a theatre. The proposed project meets Standard 1.

*2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The character-defining features of the property are the theatre building itself with its pergola, the kiosk, the open lawns, and the sloped brick walkway. The theatre building, pergola, and kiosk will be retained. The landscaping originally was very simply laid out (see Plates 7-9) with three trees within the east and west lawn areas. Its chief characteristics were its simplicity and accessibility. The lawns will remain and be opened up in a manner reminiscent of the original landscaping where possible within current codes. This part of the project meets Standard 2. The non-character-defining landscape features which were added over time, such as the hedges, commemorative boulder and flagpole will be removed. Because these are not character-defining features, Standard 2 is not relevant.

The sloped brick walkway leading from the theatre entrance to the Canon Perdido sidewalk will be removed and replaced with a terrace and steps. Because the stairs will be the same width as the sloped walkway, the character-defining spatial relationship of the entrance to the main building and to the landscaped lawns will remain, thereby meeting Standard 2.

*3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.*

Because the proposed alterations are based on the original plans for a brick terrace envisioned by George Washington Smith in 1923, these alterations are not conjectural. The proposed project meets Standard 3.

*4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.*

The pergola, not part of the original building, was added in 1928 and the kiosk at an unknown date, but pre-1948. These elements have acquired historic significance in their own right and are being retained. The proposed project meets Standard 4.



5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Although the present configuration of the sloped brick walkway will be removed, the proposed project will re-use the existing bricks from this sloped walkway on the terrace at the entrance to the theatre, to make reference to the location of this walkway. The existing brick pattern will be recreated on the new terrace. The proposed project meets Standard 5.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.*

This Standard is not relevant to this project.

7. *Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.*

This standard is not relevant to this project.

8. *Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.*

This standard is beyond the scope of this report

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

#### Add terrace and steps at front entrance

The project proposes to create a terrace in front of the entrance, with six steps leading to the sidewalk on Canon Perdido Street. This terrace would be modeled on the esplanade and stairs conceived by architect George Washington Smith as part of his 1923 design for the new Lobero Theatre (see Plates 4 and 5). As well, a reconfigured ADA accessible pathway will be constructed along the west side of the property to connect with the terrace. The terrace would be outlined by low plaster walls with the same texture as the theatre building walls.

The 1923 design showed the esplanade and stairs extending across the entire arched portion of the façade of the theatre. The proposed plan would extend the terrace across the entire arched portion as well and would extend the stairs the width of the four arches, similar to the width of the present sloped entry, in this way preserving character-defining spatial relationships. The existing brick paving would be re-used, thereby preserving historic materials. The existing sloped entry would be documented with large-format archival black and white photographs according to guidelines in “Required Documentation of Buildings Prior to Demolition” prepared by the City of Santa Barbara Planning Division prior to its removal.

Although the proposed plan would remove the existing brick sloped entry, which is considered character-defining, because the proposed terrace and steps are based on Smith's original design, it is my professional opinion that recreating this design to the extent feasible based on current codes and requirements is compatible with the building and will allow the integrity and historic character of the property to be preserved. Therefore this part of the project meets standard 9.

Replace brick sloped exit ways at the doors on the west and east elevations and at the pergola with brick landings and steps. Reconfigure the existing brick landing and steps to the Green Room

Although the brick ramps are present outside the east and west doors to the theatre, they are not considered character-defining. Although a fan-shaped brick ramp on the door on the west elevation was called out on Sheet 5 of the November 1923 plans, Sheet 2 of the same date indicated that there was to be a landing and three steps there. The plans also called for fan-shaped steps leading from the Green Room door. The current steps are not those as shown on the plan or early photographs; it is not known when they were altered. The point to be made here is that Smith used both landings with stairs and ramps at these doors, and altering the present ramps to steps will not alter historic materials, features, and spatial relationships that characterize the property. This part of the project meets Standard 9.

Landscaping. In terms of landscaping, the two existing historic olive trees on the east and west lawns would be removed, because they are diseased, and replaced with two carob trees. 18" high plaster landscape walls would edge the terrace and the stairs. The kiosk and stairs would be retained on the west side providing access to Anacapa Street. Three kentia palms would be moved from the front planter on the west side to the rear planter to screen the proposed HVAC parapet wall. The east and west lawns would be simplified, with their edges squared. An African boxwood hedge at the Canon Perdido Street sidewalk would be added, and the remaining three sides would be open as they were originally, as shown in the 1928 photograph (see Plate 7).

The replacement of the olive trees with carob trees will not be an impact, because the carob trees have the same general shape as the olive trees. The addition of the low retaining walls around the terrace makes reference to the plaster retaining walls delineated in Smith's August 1923 plans, as well as the simple piers in his November 1923 plans. The return of the squared corners and the openness of the lawns will return them to the historic look from the 1920s. Although originally there were no hedges edging the lawn along the Canon Perdido sidewalk, the current requirements for control of storm water drainage and biofiltration require that a hedge be placed there. The use of a hedge, although not part of the original simple landscape plan, was certainly part of Smith's landscape vocabulary, as he had low clipped hedges in the gardens of his first house on Middle Road, built in 1918. The use of African boxwood (*Myrsine Africana*) as a hedge material is appropriate to the site. Therefore this part of the project meets Standard 9.

Add HVAC unit on the flat roof of the Green Room, shielded by a 7'4" high parapet wall

The new HVAC machinery requires a screen. The proposal would create a 7'4" plaster screen wall just inside the existing wall and would finish the top of the wall with a simple cornice that is similar to but not a match of the two other cornices on this elevation (see Sheet A3.0, #2, and Sheet A8.3, #1). Because this parapet wall will be placed in front of the overscale fly wall and

the tall theatre roof, its scale is compatible with the scale, proportion, and massing of the existing building. Because of its height, the wall will screen the HVAC equipment from the adjacent parking lot stairs as well. The relocation of three kentia palms closer to this wall will screen the parapet wall from Canon Perdido Street. Therefore this part of the project meets Standard 9.

Because none of these alterations will have a significant impact, the proposed project meets Standard 9.

10. *New additions and adjacent or related new construction shall be undertaken in such a way that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

In the unlikely event that the terrace and steps were to be removed in the future, the sloped walkway could be recreated, and the essential form and integrity of the historic property would be unimpaired. The proposed project meets Standard 10.

Because the proposed project meets the Secretary of the Interior's Standards, the impacts are considered less than significant (Class III). In accordance with City policy, the Historic Landmarks Commission shall review the final plans for conformance to these conceptual plans.

## Bibliography

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*Santa Barbara Tierra Adorada*. 1930. Los Angeles: Security-first National Bank

### **Architectural Drawings**

1923. George Washington Smith. "Lobero Theatre", August 25. Ops. 148

- Sheet 1: First Floor Plan
- Sheet 2: Foyer Floor Plan
- Sheet 3: Balcony Floor Plan
- Sheet 5: North, South Elevations
- Sheet 6: East, West Elevations

1923. George Washington Smith. "Little Theatre for Lobero Theatre Company", November 6.

Ops 154

- Sheet 1: Foundation and Basement plan
- Sheet 2: First Floor Plan
- Sheet 3: Second Floor Plan
- Sheet 4: Third Floor and Auditorium roof Plan. Stage Roof Plan
- Sheet 5: Elevations, November 6, 1923
- Sheet 6: Sections, November 7, 1923
- Sheet 7: Sections
- Sheet 9: Details, November 9, 1923
- Sheet 9A: Revised Details, April 24, 1924
- Sheet 11: Details, December 10, 1923

1925. George Washington Smith. "Pergola. Lobero Theatre", November 27. File 203

- Sheet 1. Anacapa and Canon Perdido Elevations, Plan
- Sheet 2. Front View, Section, December 4, 1925

1981. Edward R. Comport. Earthplan Landscape Architect.

Undated. Office of Lockwood de Forest. "Front Landscape Sketch". Courtesy of the University of California Berkeley Environmental Studies Archives, #1409.

## PLATES

All photographs taken by A. C. Cole in July 2011



Plate 1. South elevation showing brick ramp to be replaced by terrace. Facing north.



Plate 2. South elevation oblique showing olive tree to be removed. Facing northeast.





Plate 3. View of path on west side to be reconfigured for ADA access. Facing east.



Plate 4. View from second level of parking garage of Green Room roof where added HVAC equipment will be hidden by high wall. Facing west.



Plate 5. View from first level of parking garage of Green Room roof where added HVAC equipment will be hidden by high wall. Facing west.



Plate 6. View from west pathway showing Green Room roof where added HVAC equipment will be hidden by high wall. Facing north.





Plate 7. West exit door where stairs and landing will be added. Facing northeast.



Plate 8. East exit door where steps will be added. Facing southwest.





Plate 9. Green Room door showing existing steps which will be reconfigured. Facing northeast.



Plate 10. East elevation of pergola at Anacapa Street where steps will be added. Facing east.

B. Approval of the minutes of the Historic Landmarks Commission meeting of August 29, 2012.

**Motion:** Approval of the minutes of the Historic Landmarks Commission meeting of August 29, 2012, with corrections.

Action: Boucher/Sharpe, 7/0/1. Motion carried. (Drury abstained. Murray abstained on Item 1. La Voie abstained on Items 8 and 9. Shallanberger absent.)

C. Consent Calendar.

**Motion:** Ratify the Consent Calendar as reviewed by Donald Sharpe.

Action: Orías/Winick, 8/0/0. Motion carried. (La Voie abstained on Item B. Shallanberger absent.)

D. Announcements, requests by applicants for continuances and withdrawals, future agenda items, and appeals.

1. Ms. Gantz announced that Commissioner Shallanberger would be absent.

2. Chair Suding and Commissioner La Voie announced they would be stepping down on Item 5.

E. Subcommittee Reports.

Commissioner Boucher reported that the proposed sign approved on Conforming Review for the Wells Fargo located at 1036 Anacapa Street is bright red and not appropriate to the location. Staff agreed to research and report back.

Chair Suding reported on the September 6, 2012, Street Tree Advisory Committee meeting.

Chair Suding and Commissioner Orías reported they attended a meeting on the Highway 101 Improvements Project. The landscaping will be increased between Garden and Chapala Streets as off-site mitigation for the loss of landscaping at the Salinas Street off ramp.

## **HISTORIC STRUCTURES REPORT**

1. **33 E CAÑÓN PERDIDO ST** C-2 Zone

(1:45) Assessor's Parcel Number: 039-322-009

Application Number: MST2011-00174

Owner: Lobero Theatre Foundation

Architect: Kruger Bensen Ziemer Architects, Inc.

(Proposal to add one new rooftop HVAC unit and revisions to the front entry landscape/hardscape. Also proposed is a new accessible ramp to be constructed on the west elevation. This is a **City Landmark: "Lobero Theatre."**)

**(Review of Phase 2 Historic Structures/Sites Report prepared by Alexandra C. Cole, Preservation Planning Associates.)**

Actual time: 1:46

Present: Alexandra Cole, Architectural Historian  
Mat Gradias, Architect

Staff comments: Nicole Hernández, Urban Historian, stated that Staff supports the Phase II report's conclusions that the project meets the State CEQA Guidelines of the MEA and relevant Secretary of the Interior's Standards and will not result in significant adverse impacts to the historic resource.

Public comment opened at 1:47 p.m. and, with no one wishing to speak, it was closed.

**Motion:** To accept the report with the added mitigation measure that the report shall address the loss of the brick walkway with photo documentation.

**Action:** Drury/Sharpe, 7/1/0. Motion carried. (Winick opposed because he considered the brick walkway a character-defining feature. Shallenberger absent.)

## **PUBLIC HEARING**

### **2. 2300 GARDEN ST**

(2:00) Assessor's Parcel Number: 025-140-024

Staff Member: Nicole Hernández, Urban Historian

(Review of Staff Report and Public Hearing to consider adoption of a resolution to recommend to City Council that the St. Anthony's Seminary Complex and Grounds be designated a City Landmark. This item was continued from the August 29, 2012, public hearing.)

Actual time: 1:54

Staff comments: Nicole Hernández, Urban Historian, stated that the previously distributed Staff Report was updated to reflect what was discussed at the previous hearing.

Public comment opened at 1:58 p.m. and, with no one wishing to speak, it was closed.

**Motion:** To adopt Resolution 2012-02 recommending that City Council hold a public hearing to consider landmark designation of St. Anthony's Complex and Grounds located at 2300 Garden Street with the comment that the property owner is thanked for supporting the nomination and for the preservation work.

**Action:** La Voie/Winick, 8/0/0. Motion carried. (Shallenberger absent.)