

SYMBOL LEGEND

210 EAST ORTEGA PROJECT DESIGN APPROVAL / FINAL APPROVAL

DRAWING INDEX

SHEET #	SHEET TITLE	PLANNING SUB	PERMITS	FINAL APPROVAL
A0.00	COVER SHEET	Yes	Yes	
A0.06	AERIAL PHOTO	Yes	Yes	
A0.07	SITE PHOTOS	Yes	Yes	
A0.08	SURROUNDING AREA PHOTOS	Yes	Yes	
A0.09	EXTERIOR PHOTOS	Yes	Yes	
A0.20	CODE ANALYSIS	Yes	Yes	
A0.21	PARKING SPACE CALCULATION	Yes	Yes	
A1.10	EXISTING SITE PLAN	Yes	Yes	
A1.20	PROPOSED SITE PLAN	Yes	Yes	
A2.01	FLOOR PLANS - DEMOLITION	Yes	Yes	
A2.10	FLOOR PLANS	Yes	Yes	
A2.20	REFLECTING CEILING PLAN	Yes	Yes	
A3.00	ELEVATIONS	Yes	Yes	
A3.01	INTERIOR ELEVATIONS	No	Yes	
A3.02	INTERIOR ELEVATIONS	No	Yes	
A4.00	SECTIONS	Yes	Yes	
A4.01	SECTIONS	Yes	Yes	
A4.02	STAIRS ENLARGED SECTIONS	Yes	Yes	
A7.00	SLEEPING PODS - ENLARGED PLANS	Yes	Yes	
A7.01	SLEEPING PODS - ENLARGED VIEWS	Yes	Yes	
A7.02	BATHROOMS - ENLARGED PLANS / VIEWS	Yes	Yes	
A8.01	DOOR SCHEDULE	Yes	Yes	
A8.02	FINISH SCHEDULE	Yes	Yes	
A9.01	BICYCLE RACK SPECIFICATIONS	Yes	Yes	

GENERAL NOTES

A. GENERAL NOTES
 1. INTERPRETATION OF DRAWINGS AND DOCUMENTS: EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE BEFORE EXECUTING ANY WORK AND SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. THE ARCHITECT SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORSEEN CONDITIONS OR SITUATIONS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OR SAFETY OF THE PROJECT.
 2. ADHERENCE TO PLANS: STRICT ADHERENCE TO THE CONSTRUCTION DOCUMENTS MUST BE MAINTAINED. NO CHANGES SHALL BE MADE IN THE PROJECT WHICH DEVIATE FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE OWNER. NO STRUCTURAL CHANGES SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 3. WORKING DRAWING: FIGURED DIMENSIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SCALE MEASUREMENTS. IN CASE OF ANY DOUBT ON THE PART OF THE CONTRACTOR AS TO THE EXACT MEANING OF THE DRAWINGS AND THESE SPECIFICATIONS, HE SHALL APPLY TO THE ARCHITECT FOR AN INTERPRETATION IN WRITING BEFORE PROCEEDING WITH HIS WORK.
 4. SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO CONTRACTOR'S APPROVAL FOR CONSTRUCTION.
 5. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE PROJECT WORK.
 6. WHEREVER IN THESE DRAWINGS ANY MATERIAL OR PROCESS IS INDICATED, IT IS FOR THE PURPOSE OF FACILITATING DESCRIPTION OF THE MATERIAL OR PROCESS DESIRED. THE CONTRACTOR MAY OFFER ANY MATERIAL OR PROCESS WHICH SHALL BE DEEMED EQUIVALENT BY THE ENGINEER AND THE ARCHITECT TO THAT MATERIAL OR PROCESS INDICATED OR SPECIFIED.
 7. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS.
 8. IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.
B. PERMITS AND REGULATIONS
 1. EACH CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY LOCAL AUTHORITIES BEFORE PROCEEDING WITH HIS RESPECTIVE INSTALLATION AND SHALL ARRANGE AND PAY FOR ANY INSPECTIONS AND EXAMINATIONS REQUIRED BY THOSE AUTHORITIES.
 2. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE, AND LAWS, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL BODIES WITH JURISDICTION OVER THE PROJECT.
 3. IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ANY FEDERAL, STATE AND LOCAL OR MUNICIPAL LAW, ORDINANCE, RULES OR DEPARTMENTAL REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT WORK. IF ANY OF THE CONTRACTOR'S WORK SHALL BE DONE CONTRARY THERETO WITHOUT SUCH NOTICE HE SHALL BEAR ALL COST ARISING THEREFROM.
C. PROTECTION OF WORK & PROPERTY
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VIOLATIONS OF CITY ORDINANCES AND STATE LAWS INVOLVED IN THE PERFORMANCE OF HIS WORK. HE SHALL PROVIDE DURING THE PROGRESS OF HIS WORK, EVERY AND ALL SAFEGUARDS AND PROTECTION AGAINST ACCIDENTS, INJURY AND DAMAGE TO PERSONS AND PROPERTY INCLUDING ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND EVERY PART THEREOF, AND FOR ALL MATERIALS, TOOLS, APPLIANCES AND PROPERTY OF EVERY DESCRIPTION USED IN CONNECTION THEREWITH.
 2. THE CONTRACTOR ASSUMES ALL RISKS, HAZARDS AND CONDITIONS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT, AND EVEN IF THE PERFORMANCE OF THE CONTRACT INVOLVES A GREATER EXPENDITURE OF MONEY THAN THE CONTRACTOR EXPECTED AT THE TIME OF BIDDING, NO ALLOWANCE WILL BE MADE ON ACCOUNT THEREOF, AND THE CONTRACTOR SHALL CONTINUE WITH AND COMPLETE THE WORK.
D. SUPERVISION
 1. THE CONTRACTOR SHALL OBTAIN PERSONAL SUPERVISION TO THE WORK USING HIS BEST SKILL AND ATTENTION, AND SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS CONSTANTLY ON THE SITE. THE FOREMAN SHALL BE THE PERSONAL REPRESENTATIVE OF THE CONTRACTOR AND ALL DIRECTIONS GIVEN BY HIM SHALL BE AS BINDING AS IF GIVEN BY THE CONTRACTOR. COMMUNICATION DELIVERED TO THE FOREMAN BY THE ARCHITECT SHALL BE AS BINDING AS IF DELIVERED TO THE CONTRACTOR.
E. DAMAGES IN THE WORK
 1. THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ALTER BY ADDING TO OR DEDUCTING FROM THE WORK COVERED IN THE CONTRACT. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT NO EXTRA WORK OR CHANGES SHALL BE DONE WITHOUT WRITTEN ORDER FROM THE ARCHITECT. SUCH ORDERS SHALL COVER THE AGREED PRICE AND TERMS OF EXTRA WORK OF CHANGES. IF WORK IS TO BE OMITTED, THEN PROPER CREDIT FOR SUCH OMITTED WORK SHALL BE GIVEN THE OWNER.

AREA CALCULATIONS

PARCEL AREA

PARKING LOT:	3,764.36 GROSS SF
(E) BUILDING FOOTPRINT:	4,920 GROSS SF
TOTAL LOT AREA:	8,684.36 GROSS SF

BUILDING AREA	NET	GROSS
EXISTING LEVEL 1	3455 SF	3782 SF
EXISTING LEVEL 2	1909 SF	2394 SF
TOTAL	5060 SF	6156 SF

PROPOSED LEVEL 1	3455 SF	3782 SF
PROPOSED LEVEL 2	1909 SF	2394 SF
TOTAL	5060 SF	6156 SF

NOTE: NET AREA INCLUDES AREA WITH MORE THAN 5' OF VERTICAL CLEARANCE
 GROSS AREA INCLUDES ENTIRE FLOOR AREA

ONSITE TOTAL = EXISTING - DEMO + ADDITIONS
 6,156 S.F. = 6,156 S.F. - 0 S.F. + 0 S.F.

IMPERMEABLE AREA:	EXISTING	PROPOSED
	4431 SF	4431 SF

LANDSCAPE AREA:	EXISTING	PROPOSED
	52 SF	52 SF

FIRE NOTES

AN AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE PROVIDED UNDER A SEPARATE PERMIT

PROJECT STATISTICS

LEVEL 1 - 33 BEDS
 LEVEL 2 - 8 BEDS
TOTAL: 41 BEDS

PARKING CODE SUMMARY
 EXISTING: 9 SPACES
 PARKING PROVIDED: 8 SPACES
 ALSO SEE A0.21, PARKING SPACE CALCULATION

PROJECT DESCRIPTION: THE PROJECT IS WITHIN THE CENTRAL BUSINESS DISTRICT. PER 30.175.00.B.a.ii) THE NUMBER OF REQUIRED PARKING SPACES SHALL BE THE LESSOR OF ONE SPACE PER 80 SF OR PER PARAGRAPH 30.175.04.B.7, PARKING FOR GROUP RESIDENTIAL, HOTELS AND SIMILAR USES.

BLDG NET S.F.: 5,060 S.F.
 NON-HABITABLE SPACE TOTAL: 1,345 NET S.F.
 BLDG USEABLE S.F.: 5,000 - 1,345 = 3,715 NET S.F.

BLDG NET S.F. / 500 SF PER PARKING SPACE REQUIRED = 3,715 / 500 = 7.43 PARKING SPACES PROVIDED - OK

BICYCLE PARKING
 SPACES PROVIDED PER TABLE 30.175.040 = 3 SPACES
 SPACES PROVIDED = 4 SPACES, 2 LONG TERM AND 2 SHORT TERM

SEE SECTION 13 OF THE CITY OF S.B. ACCESS AND PARKING DESIGN STANDARDS FOR BICYCLE PARKING REQUIREMENTS

PROJECT TEAM

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PROJECT DESCRIPTION

RENOVATION OF AN EXISTING 5,345 SF, QUONSET HUT STYLE BUILDING. THE USE OF THE SPACE WILL BE CHANGED FROM RETAIL (GROUP B) TO HOSTEL-STYLE DORMITORY (GROUP R-1). RESTRIPE PARKING LOT TO PROVIDE 8 PARKING SPACES, AND 1 VAN ACCESSIBLE PARKING SPACE. A NEW TRASH ENCLOSURE WILL ALSO BE PROVIDED.

A SECOND, UNUSED DRIVEWAY WILL BE REMOVED AND REPLACED WITH SIDEWALK, PARKWAY AND CURB / GUTTER.

THE OWNER IS REQUESTING A WAIVER FROM THE PARKING LOT LANDSCAPE AND DESIGN STANDARDS, BASED ON EXISTING CONDITIONS. 5' TALL SCREEN WALLS EXIST ON 2 SIDES OF THE LOT. THE BUILDING SCREENS THE 3RD SIDE, AND A RAISED PLANTER WITH EXISTING VEGETATION SCREENS THE ORTEGA ST. ELEVATION.

CODE COMPLIANCE

THE PROJECT SHALL COMPLY WITH 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA EXISTING BUILDING CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, THE CALIFORNIA GREEN CODE, 2022 CALIFORNIA ENERGY CODE, CITY OF SANTA BARBARA MUNICIPAL CODES AND ORDINANCES.

LAND USE PERMIT

EXISTING USE: RETAIL
 PROPOSED USE: RESIDENTIAL (HOSTEL)

PROJECT DATA

OWNER: TYLER RAMESON
 1805 JELUNDA DR. MONTECITO, CA 93108

PROJECT ADDRESS: 210 E. ORTEGA
 SANTA BARBARA, CA 93101

A.P.N. 031-152-002

ZONING: TITLE 30 ZONING INLAND (M-C)

CONSTRUCTION TYPE: V-B

OCCUPANCY: R-1

SPRINKLERED: NO

HIGH FIRE HAZARD AREA: NO

AVERAGE SLOPE: 6%

NUMBER OF STORIES: 2

210 E ORTEGA

HOSTEL

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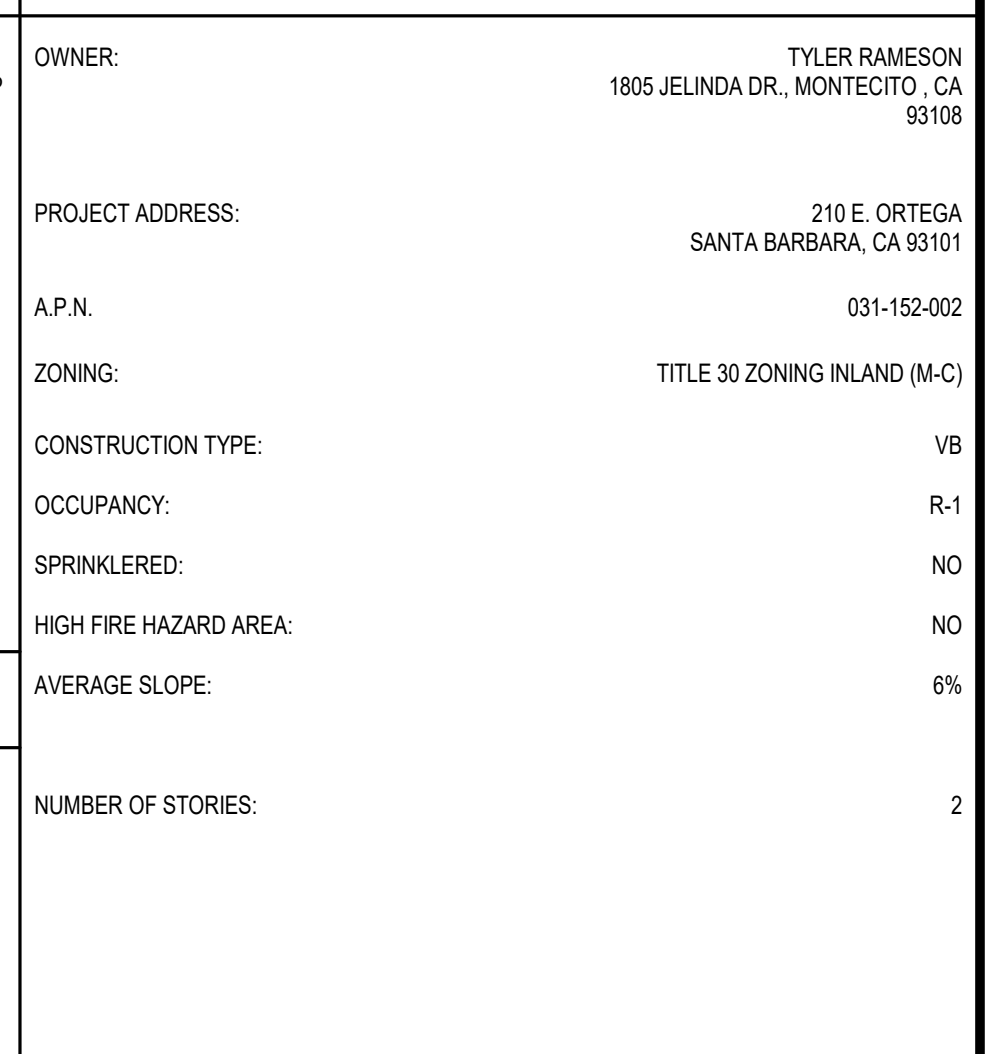
CAL GREEN COMPLIANCE

SEE SHEETS A.0.03, A0.04 & A.0.05 FOR CAL GREEN INFORMATION

1. CONSTRUCTION WASTE MANAGEMENT PLAN (SEE 2022 CAL GREEN RESIDENTIAL SECTION 4.08): RECYCLE, SALVAGE OR RE-USE AT LEAST 85% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE MATERIALS SUCH AS: NON-TREATED WOOD, CONCRETE, REBAR, PLASTER, STUCCO, BRICKS SHALL BE SORTED ON SITE AND ROUTED TO MARBORG INDUSTRIES CONSTRUCTION AND DEMOLITION FACILITY IN SANTA BARBARA. AMOUNT OF CONSTRUCTION WASTE AND DEMOLITION MATERIAL SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BOTH. CONTRACTOR TO COORDINATE WITH MARBORG TO PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMO WASTE DIVERTED FROM THE LANDFILL COMPLES WITH THE CONSTRUCTION MANAGEMENT PLAN, COMPLY WITH SECTION 4.08.1

2. CONTRACTOR TO COORDINATE WITH ARCHITECT TO PROVIDE MANDATORY MEASUREMENTS CHECKLIST PER CHAPTER 5

VICINITY MAP



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REV. #	DATE	DESCRIPTION

A0.00
 COVER SHEET

NOT FOR CONSTRUCTION



1



4



2



5



3



6

E. ORTEGA ST.

NOT FOR CONSTRUCTION

210 E ORTEGA
HOSTEL

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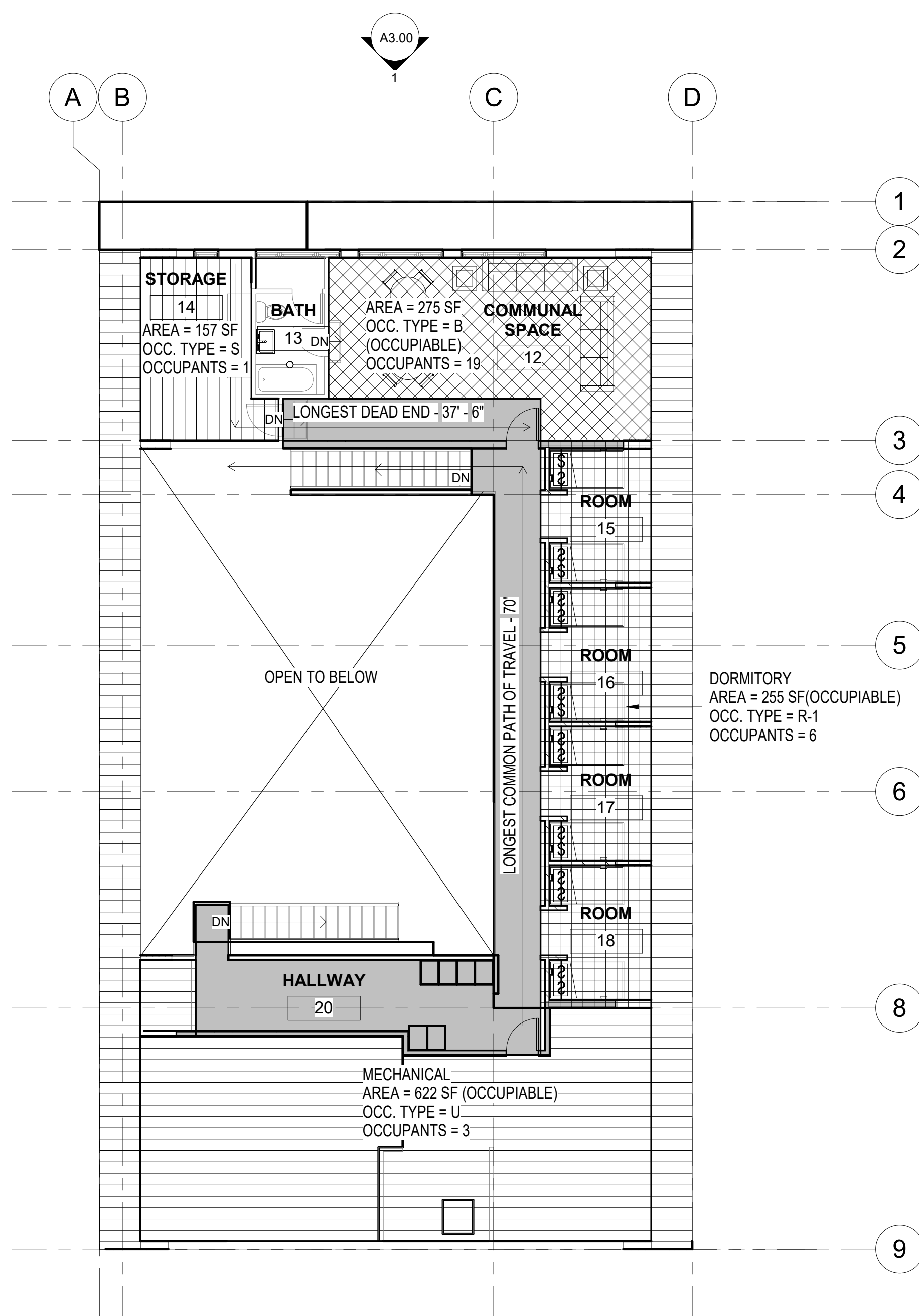
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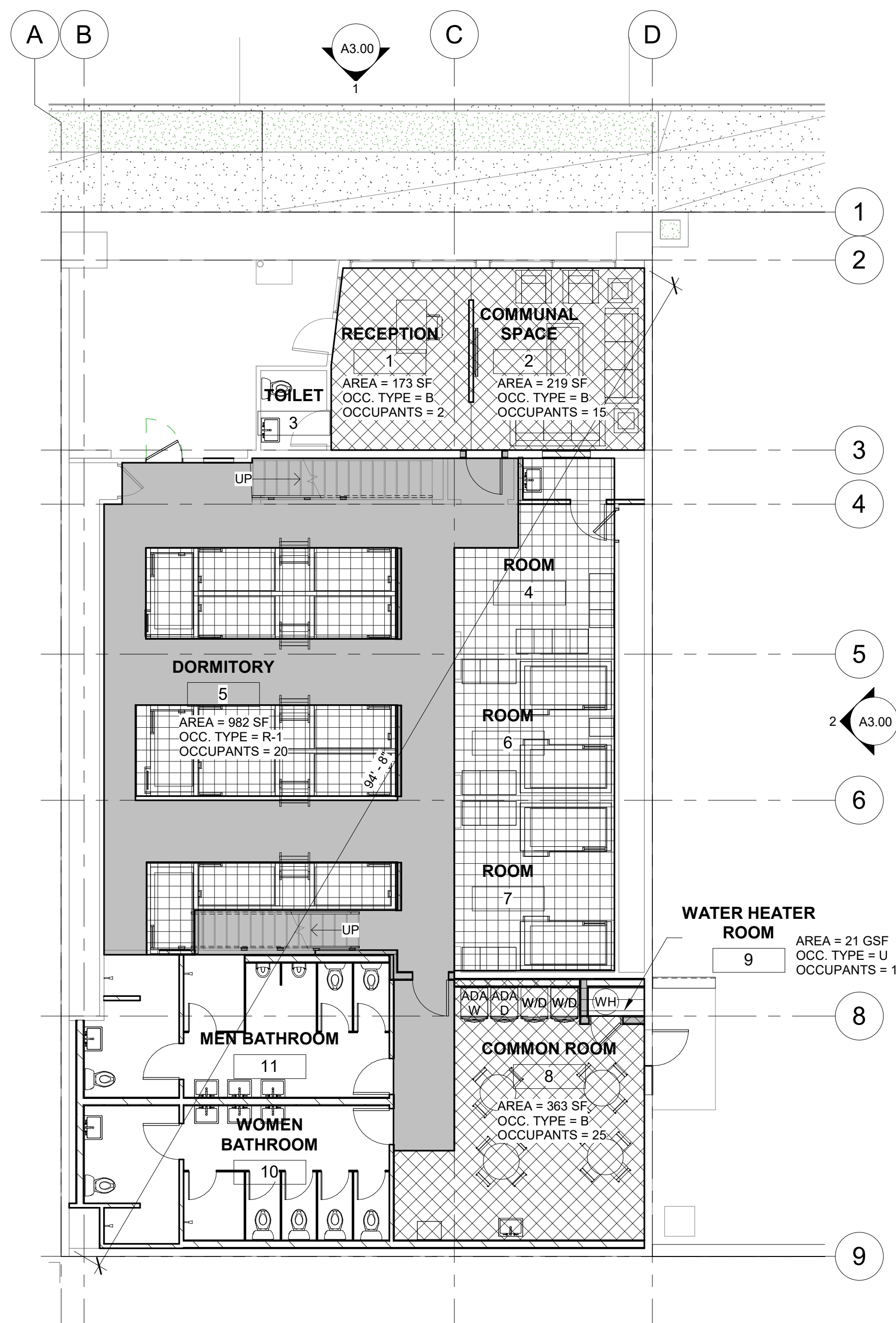
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A0.07
SITE PHOTOS



LEVEL 2 FLOOR PLAN CODE STUDY 2
SCALE: 1/8" = 1'-0"



LEVEL 1 FLOOR PLAN CODE STUDY 1
SCALE: 1/8" = 1'-0"

PLUMBING FIXTURES CALCULATIONS						
USE	S.F.	BEDS - SEE PROJECT STATS, SHEET A0.00	WOMEN	MEN		
R-1 HOSTEL (DORMITORY)	1,237	41	21	21		
B - UNCONCENTRATED ASSEMBLY	N/A - AMENITY PROVIDED FOR R-1 OCCUPANTS					
PLUMBING FIXTURES REQUIRED						
	WC	URINAL	LAV.	SHOWER	DF	SERVICE SINK
WOMENS	1ST WC = 1-8, ADDITIONAL = 1-20 5 PROVIDED	N/A	1ST LAV = 1-12, ADDITIONAL = 1-15 5 PROVIDED	1-8 REQUIRED 3 PROVIDED	1-150 REQUIRED 1 PROVIDED	1 REQUIRED 1 PROVIDED
MENS	1ST WC = 1-10, ADDITIONAL = 1-25 3 PROVIDED	1-25 REQUIRED 2 PROVIDED	1ST LAV = 1-12, ADDITIONAL = 1-20 5 PROVIDED	1-8 REQUIRED 3 PROVIDED		
BASED ON CALIFORNIA PLUMBING CODE, TABLE 422.1, "DORMITORY" OCCUPANCY						

CODE SUMMARY

PROJECT DESCRIPTION: THIS PROJECT IS THE RENOVATION OF AN EXISTING RETAIL SPACE TO A HOSTEL-STYLE DORMITORY.

THE FOLLOWING LIFE SAFETY ANALYSIS WAS BASED ON THE 2022 CALIFORNIA BUILDING CODE, THE 2022 CALIFORNIA FIRE CODE AND THE 2022 CALIFORNIA EXISTING BUILDING CODE.

ADDRESS: 210 E ORTEGA ST.
AREA: 7355 GROSS SF
STORIES: 2 STORY
CONST. TYPE: TYPE VB
OCCUPANCY: EXISTING: B - RETAIL
PROPOSED: R-1 HOSTEL STYLE DORMITORY

SPRINKLERED: NO (COMPLIES WITH SECTION 1104, EXISTING BUILDING CODE)
A MANUAL FIRE ALARM SYSTEM, PER CA FIRE CODE SECTION 1103.7.5.1, AND AN AUTOMATIC SMOKE DETECTION SYSTEM, PER CA FIRE CODE SECTION 1103.7.5.1.1, IS REQUIRED
CARBON MONOXIDE DETECTION: REQUIRED (CFC SECTION 1103.9)

ALLOWABLE HEIGHT:
PER SEC. 504: THE STRUCTURE HAS A MAX. HEIGHT OF 23'-0" THIS HEIGHT IS LESS THAN THE ALLOWABLE HEIGHT OF 40'-0" THEREFORE THE BUILDING COMPLIES.

ALLOWABLE AREA PER SECTION 506:
ALLOWABLE AREA PER TABLE 506.2 = 7,000 S.F.
GROSS BUILDING AREA, GROUND FLOOR = 4,252 SF
GROSS OCCUPIABLE AREA (5' HEAD HEIGHT), SECOND FLOOR = 3,103 SF
TOTAL GROSS OCCUPIABLE BUILDING AREA = 7,355 SF

FRONTAGE INCREASE PER SECTION 506.3:
EAST ELEVATION FRONTAGE DISTANCE > 20 TO PROPERTY LINE = 31.25 = 25 FRONTAGE INCREASE FACTOR
7,000 (ALLOWABLE SF) X 1.25 (PIF) = 8,750 ALLOW SF > 7,335 (ACTUAL SF) - OK

OCCUPANCY:
R-1 - TRANSIENT LODGING
GROUND FLOOR = 982 GSF
SECOND FLOOR = 255 GSF
B - COMMON AREA, LESS THAN 50 OCCUPANTS
GROUND FLOOR = 655 NSF
SECOND FLOOR = 275 NSF
U - UTILITY (INCIDENTAL) = 643 GSF
S - STORAGE (ACCESSORY) = 157 GSF

OCCUPANCY SEPARATIONS:
R-1 AND B = 2 HOURS PER SECTION 420.2 & 420.3
R-1 AND U = 2 HOURS PER SECTION 420.2 & 420.3

MEANS OF EGRESS
OCCUPANT LOAD FACTOR - DORMITORY = 50 GSF
OCCUPANT LOAD FACTOR - UNCONC. ASSEMBLY = 15 NSF
OCCUPANT LOAD FACTOR - STORAGE AND MECH = 300 GSF

GROUND FLOOR OCCUPANT LOAD:
R-1 = 20 OCC
B = 37 OCC
TOTAL = 57 OCC

SECOND FLOOR OCCUPANT LOAD:
R-1 = 6 OCC
U = 3 OCC
S = 1 OCC
TOTAL = 29 OCC

TOTAL BUILDING OCCUPANT LOAD = 86 OCC.

TWO EXITS REQUIRED FROM THE 2ND FLOOR & FROM THE BUILDING PER TABLE 1006.2.1 - OK

EGRESS COMPONENT SIZING (1005.3.1 & 1005.3.2):
STAIRS = 3" PER OCC, 15 OCC. PER STAIR = 4.5" WIDTH REQ'D PER STAIR - OK
PATHWAYS / DOORS = 2" PER OCC, 48 OCC. PER EXIT PATHWAY = 9.6" WIDTH PER PATHWAY / EXIT DOOR - OK

EXIT SEPARATION (1007.1.1):
GROUND LEVEL EXIT DOOR SEPARATION = 67'-3" > 47'-4" (1/2 OVERALL BUILDING DIAGONAL DIMENSION) - OK
STAIRWAY SEPARATION = 41'-8" < 47'-4" (1/2 OVERALL BUILDING DIAGONAL DIMENSION) - NOT OK
STAIRS COMPLY WITH REQUIRED EGRESS COMPONENTS FOR AN EXISTING BUILDING, SECTION 1104, CA FIRE CODE, 2022

EXIT TRAVEL DISTANCE (TABLE 1104.18, CEBC):

	R-1	B
COMMON PATH TRAVEL LIMIT	75'	100'
DEAD END TRAVEL LIMIT	50'	50'
OVERALL TRAVEL LIMIT	200'	200'

LONGEST COMMON PATH OF TRAVEL = 70' < 75' - OK
LONGEST DEAD END = 37' < 50' - OK
OVERALL TRAVEL LIMIT < 200' - OK

DOORS, GATES AND TURNSTILES (SEC. 1010):
SECTION 1010.1.2.1 DOOR SWING. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.

CODE ANALYSIS LEGEND

	R-1 OCC 28 OCC
	B OCC 56 OCC
	S OCC 1 OCC
	U OCC 1 OCC
	CIRCULATION

210 E ORTEGA
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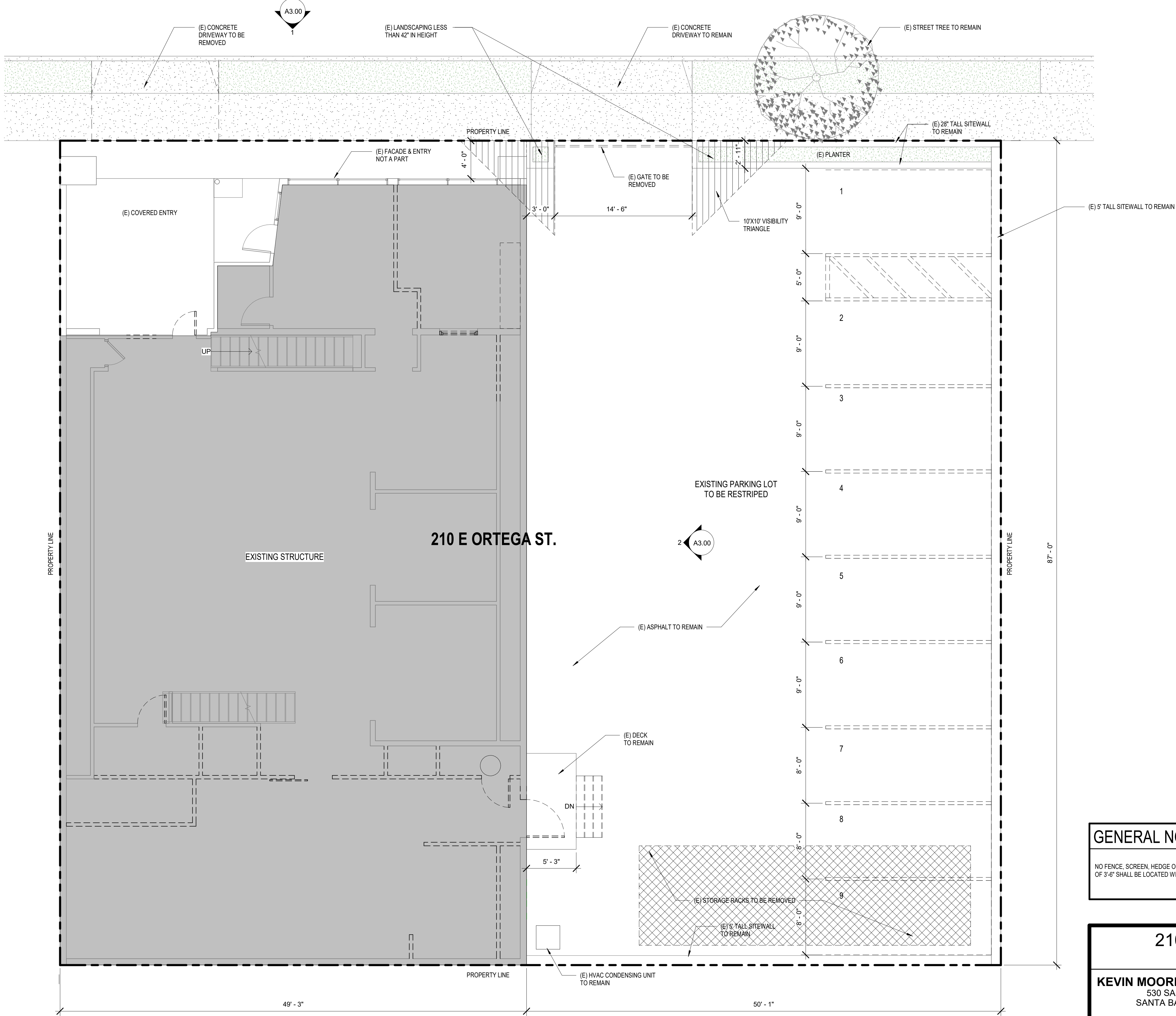
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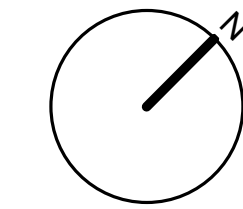
A0.20
CODE ANALYSIS

NOT FOR CONSTRUCTION

E ORTEGA STREET



EXISTING SITE PLAN 1
SCALE: 3/16" = 1'-0"



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GENERAL NOTES
NO FENCE, SCREEN, HEDGE OR OTHER LANDSCAPING MATERIAL EXCEEDING A HEIGHT OF 3'-6" SHALL BE LOCATED WITHIN THE VISIBILITY TRIANGLE

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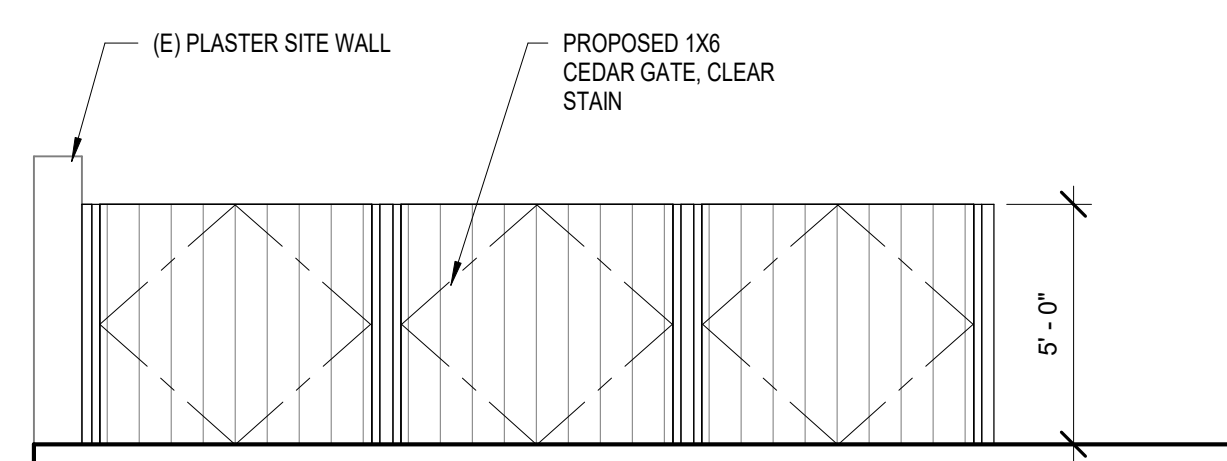
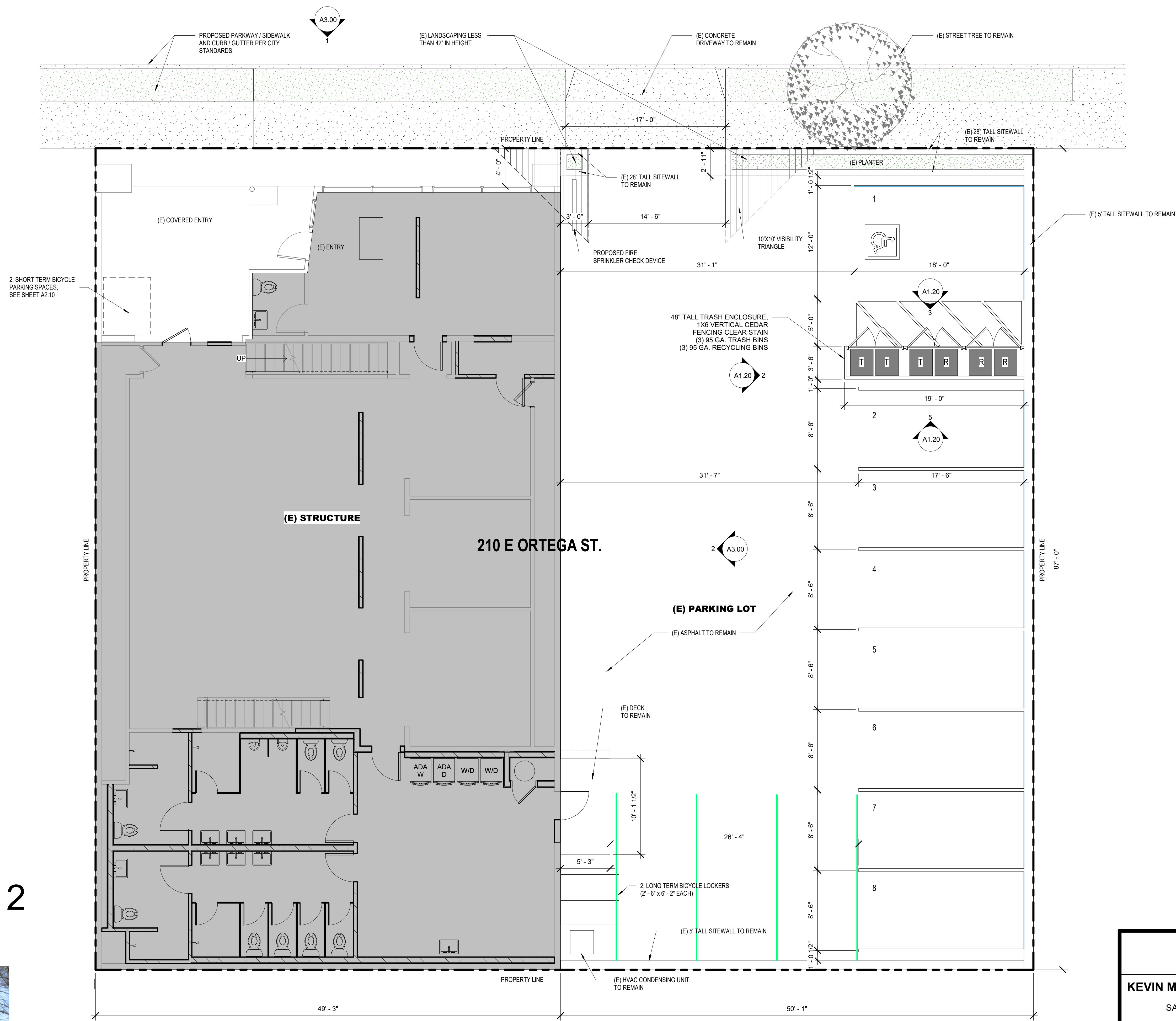
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A1.10
EXISTING SITE PLAN

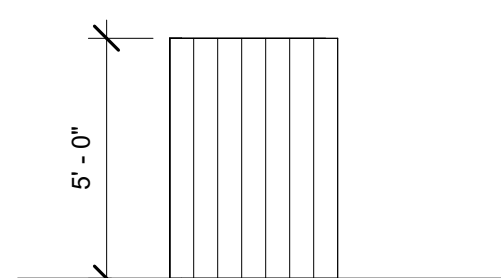
GENERAL NOTES

NO FENCE, SCREEN, HEDGE OR OTHER LANDSCAPING MATERIAL EXCEEDING A HEIGHT OF 3'-6" SHALL BE LOCATED WITHIN THE VISIBILITY TRIANGLE

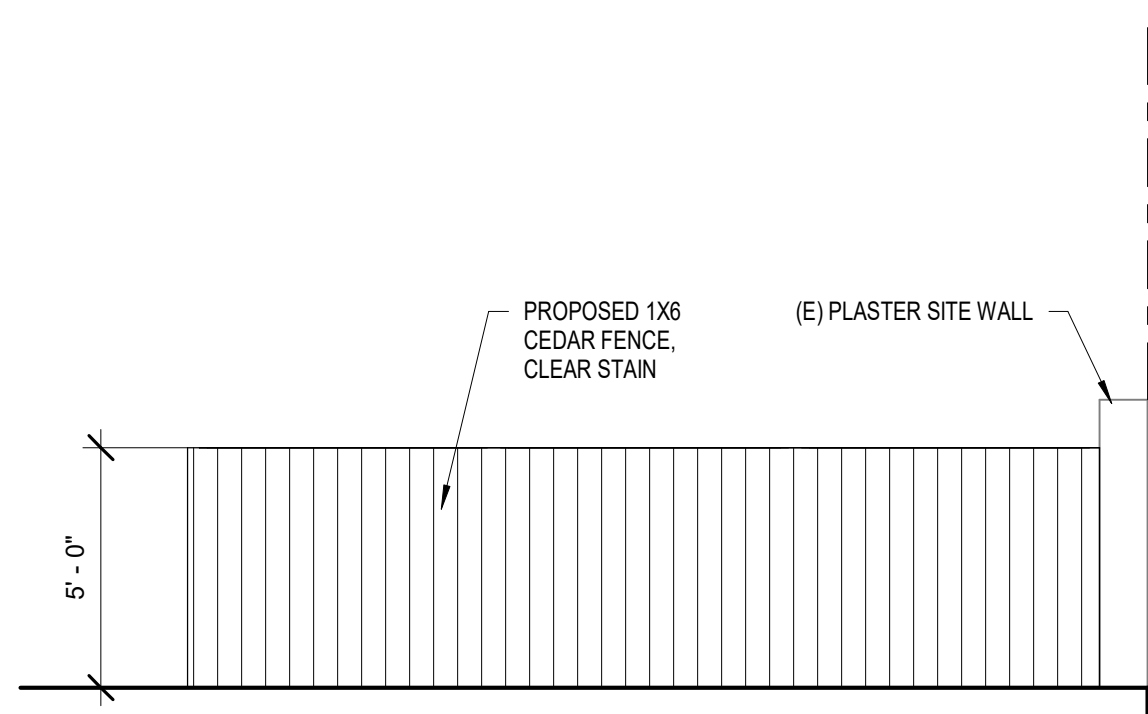
E ORTEGA STREET



TRASH ENCL. NORTH ELEVATION
SCALE: 1/4" = 1'-0" **3**



TRASH ENCL. WEST ELEVATION
SCALE: 1/4" = 1'-0" **2**



TRASH ENCL. SOUTH ELEVATION
SCALE: 1/4" = 1'-0" **5**



TRASH ENCL. FINISH - EXAMPLE
NOT TO SCALE **4**

SITE PLAN
SCALE: 3/16" = 1'-0" **1**

NOT FOR CONSTRUCTION

210 E ORTEGA HOSTEL

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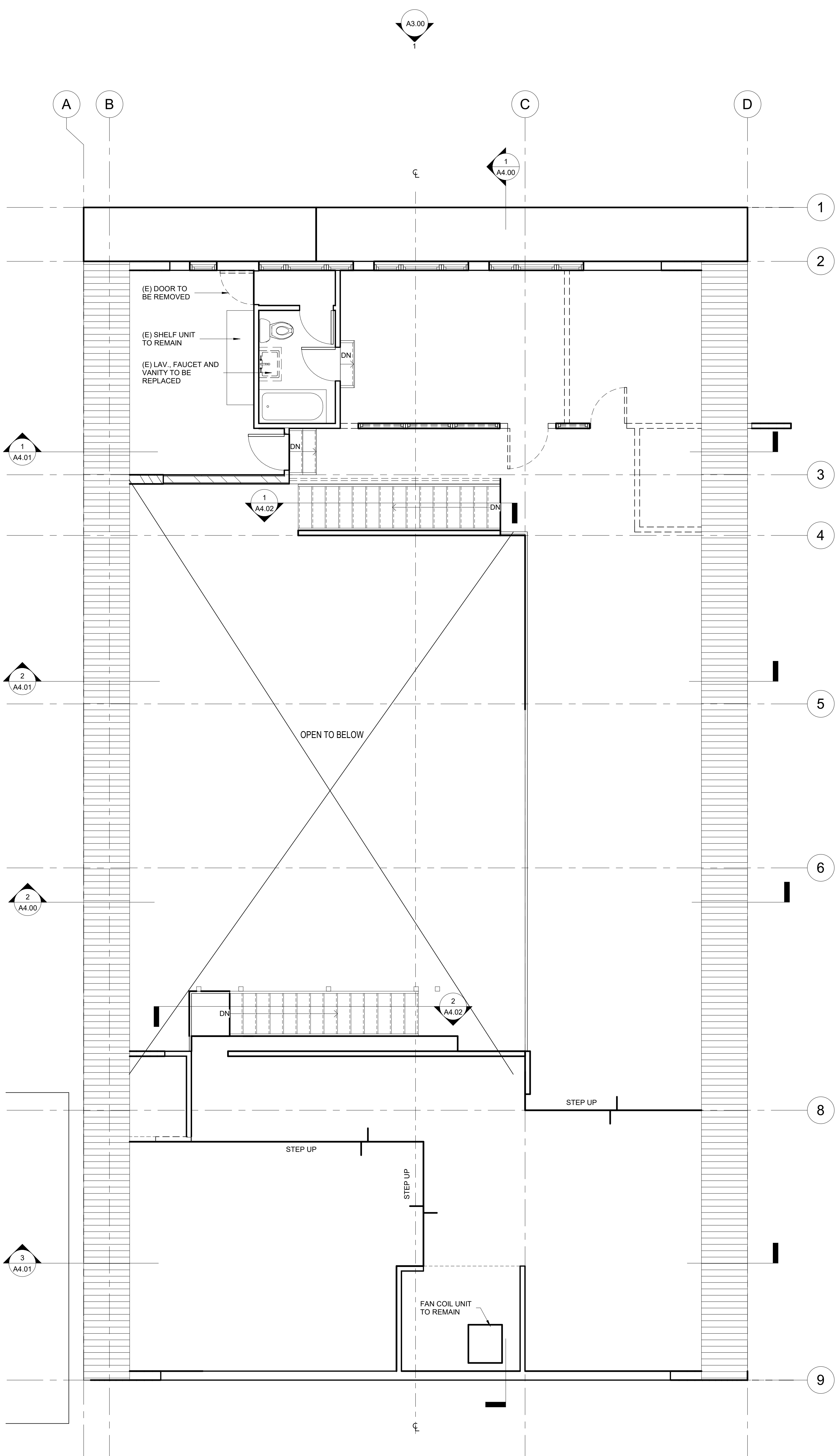
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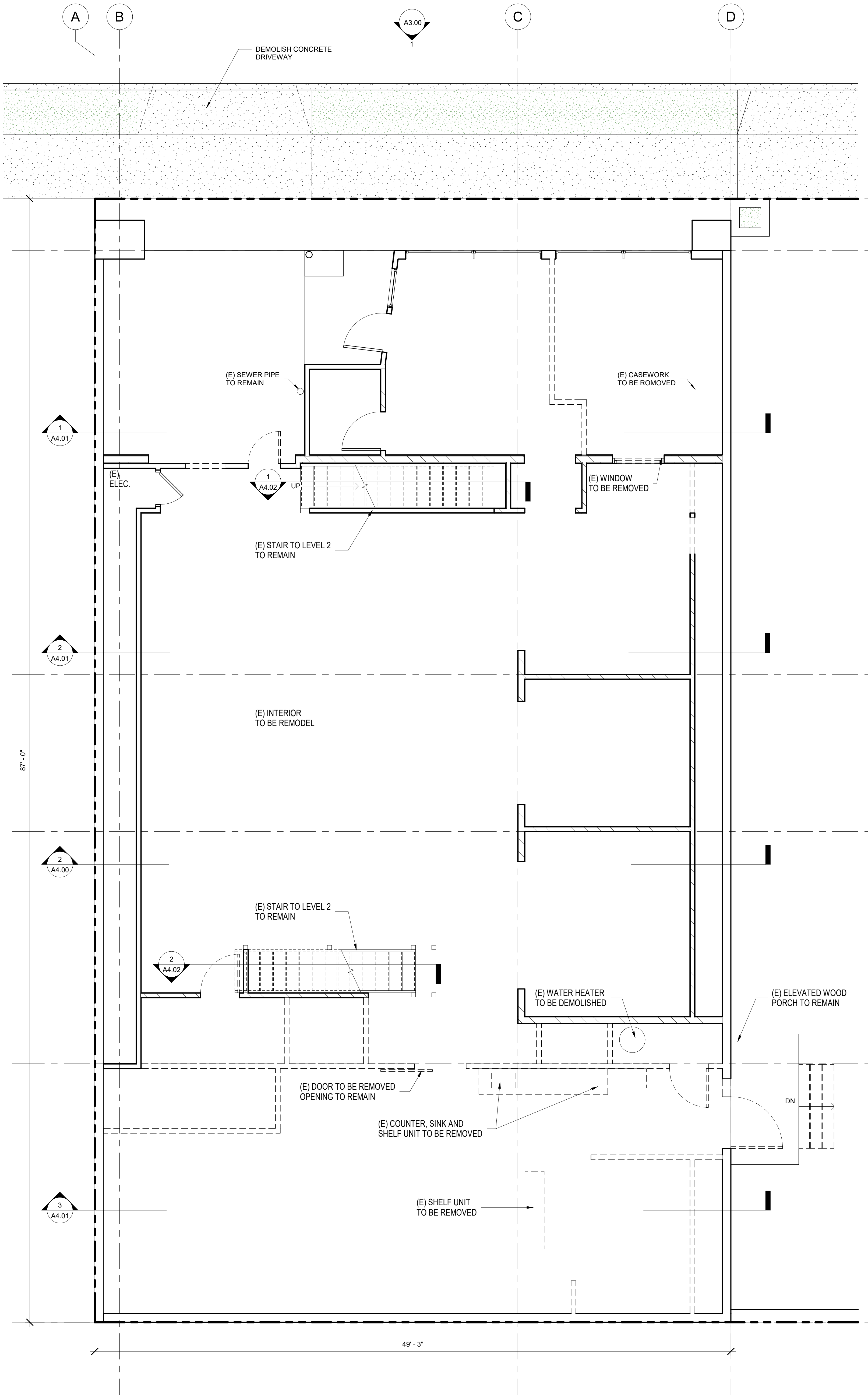
PROJECT PHASE:
PROJECT DESIGN
APPROVAL / FINAL
APPROVAL

REV. # DATE DESCRIPTION

A1.20
PROPOSED SITE PLAN



LEVEL 2 FLOOR PLAN - DEMOLITION
SCALE: 1/4" = 1'-0" **2**



LEVEL 1 FLOOR PLAN - DEMOLITION
SCALE: 1/4" = 1'-0" **1**

DEMOLITION NOTES

- The following demolition notes are applicable throughout these construction drawings:
- Definitions:**
- Remove - Detach items from existing construction and legally dispose of them off-site unless indicated to be removed and salvaged or removed and reinstalled.
 - Remove and Salvage - Carefully detach from existing construction in a manner to prevent damage, clean salvaged items and transport items to storage area designated by owner.
 - Remove and Reinstall - Detach items from existing construction, prepare for reuse, and reinstall where indicated. Clean and repair items to functional condition adequate for intended reuse. Pack or crate items after cleaning and repairing. Identify contents of containers, protect items from damage during transport and storage. Reinstall items in locations indicated, comply with installation requirements for new materials and equipment. Provide connectors, supports, and miscellaneous materials necessary to make item functional for use indicated. Prior to removal of any item(s) that are identified to be salvaged and reinstalled, contractor shall document condition of item(s) by whatever means health determines will best describe the pre-construction condition, and then he/she shall submit a copy of this documentation to the architect prior to commencing work. This documentation will then be used in assessing the post construction condition of the reinstalled item(s) during punch list time. Failure to submit this documentation in no way relieves the contractor of responsibility for repair/replacement of any salvaged and re-installed item(s) that are determined by the architect and/or owner to be damaged.
 - Existing to remain - Existing items of construction that are not to be permanently removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled. Protect construction indicated to remain against damage and soiling during selective demolition, when permitted by architect. Items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.
- The intent of the demolition work is to complete removals necessary in order to construct the new work. The removal notes are general in nature and it shall be understood that it is not feasible to show each and every specific removal. Demolition drawings should not be used alone but should be used in conjunction with the other drawings. See structural drawings for certain additional work to be removed, re-used, and/or revised not mentioned here. Unless otherwise noted, the scope of work outlined by demolition notes are the responsibility of the general contractor. Please reference project general notes prior to commencement of demolition work.
 - Structural items shown as "to be removed" are for reference only. Verify appropriate shoring or reinforcement condition with structural drawings.
 - Architect is not responsible for removal/abatement of hazardous materials. Contractor to provide removal/abatement at locations necessary.
 - Demolition drawings show removals in general and are based on original drawings. There may have been changes since that date. Contractors shall visit project site to become familiar with complete scope of removals/demolitions and to field verify conditions. Notify architect of discrepancies between existing conditions and drawings before proceeding with selective demolition.
 - Respective contractors shall remove plumbing, mechanical, electrical, or miscellaneous items required to complete new work but not required to remain such as pipes and conduits in walls that have been disconnected and remaining portions capped or reconnected.
 - Throughout demolition and construction, protect items scheduled to remain and/or all adjacent materials and equipment, etc., indicated to remain. Coordinate removal and protections with owner.
 - Demolished material or items removed and not scheduled to be turned over to the owner shall be removed from the site.
 - In the event toxic materials are uncovered general contractor is notify health & safety agencies of the local jurisdiction.
 - General contractor shall recycle demolition construction debris in accordance with local jurisdiction requirements. Do not allow demolished materials to accumulate on-site, remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas do not burn demolished materials.
 - Storage or sale of removed items or materials on-site is not permitted.
 - Utility service: maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
 - Maintain existing fire-protection facilities in service during selective demolition operations.
 - Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations.
 - Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.
 - Coordinate all demolition work with the other work of the project and with the requirements of all subcontractors for the successful completion of their work.
 - Refer to the architectural, mechanical, plumbing, fire protection, and electrical drawings as applicable for specific information, dimensions, locations, etc. regarding the exact extent of demolition required.
 - Coordinate with the mechanical, plumbing, and electrical contractors regarding their selective demolition of existing mechanical, plumbing, fire protection and electrical equipment and components.
 - All existing equipment, fixtures, and components to be demolished / removed from the project work areas shall be carefully removed so as not to damage or mar the item(s). The contractor shall review list of items removed with the owner prior to disposal. All removed items not to be retained by the owner shall fall under the contractor's responsibility to be transported and legally disposed of.
 - Where existing fasteners, anchors, etc. are left exposed by the removal of adjacent construction, fixtures, etc., cut-off these existing elements to a depth sufficient to allow for concealment by new construction and/or to allow for proper patching of the existing adjacent construction, material, and/or finish to remain. Coordinate with the appropriate trades. Coordinate with related work as described in these construction documents.
 - At existing areas scheduled to receive new floor finishes: at existing concrete floor slab surfaces, fill, patch and level all holes, blemishes, depressions, slopes to drain, abandoned penetrations, etc. (whether existing or resulting from demolition) as required to establish a smooth, uniform, level surface flush with the adjacent existing concrete surface and appropriate to receive the scheduled new finish flooring materials.
 - At existing floor surfaces newly exposed by the demolition of walls or other construction, remove any residual mortar or other foreign materials, establish smooth, level floor surface appropriate to receive new construction or finishes.
 - Contractor shall notify owner as identified in the specifications, prior to start of construction to allow owner adequate time to relocate items away from the construction area.
 - All existing services, mechanical, electrical, and plumbing, shall remain in continuous operation throughout the construction process, if it becomes necessary to shut down any of these services, the owner shall be notified, as identified in the specifications, by the contractor.

DEMOLITION WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL - FINISH TO BE REMOVED, GWS TO REMAIN, U.N.O.
- EXISTING WALL TO REMAIN - SEE FINISH SCHEDULE

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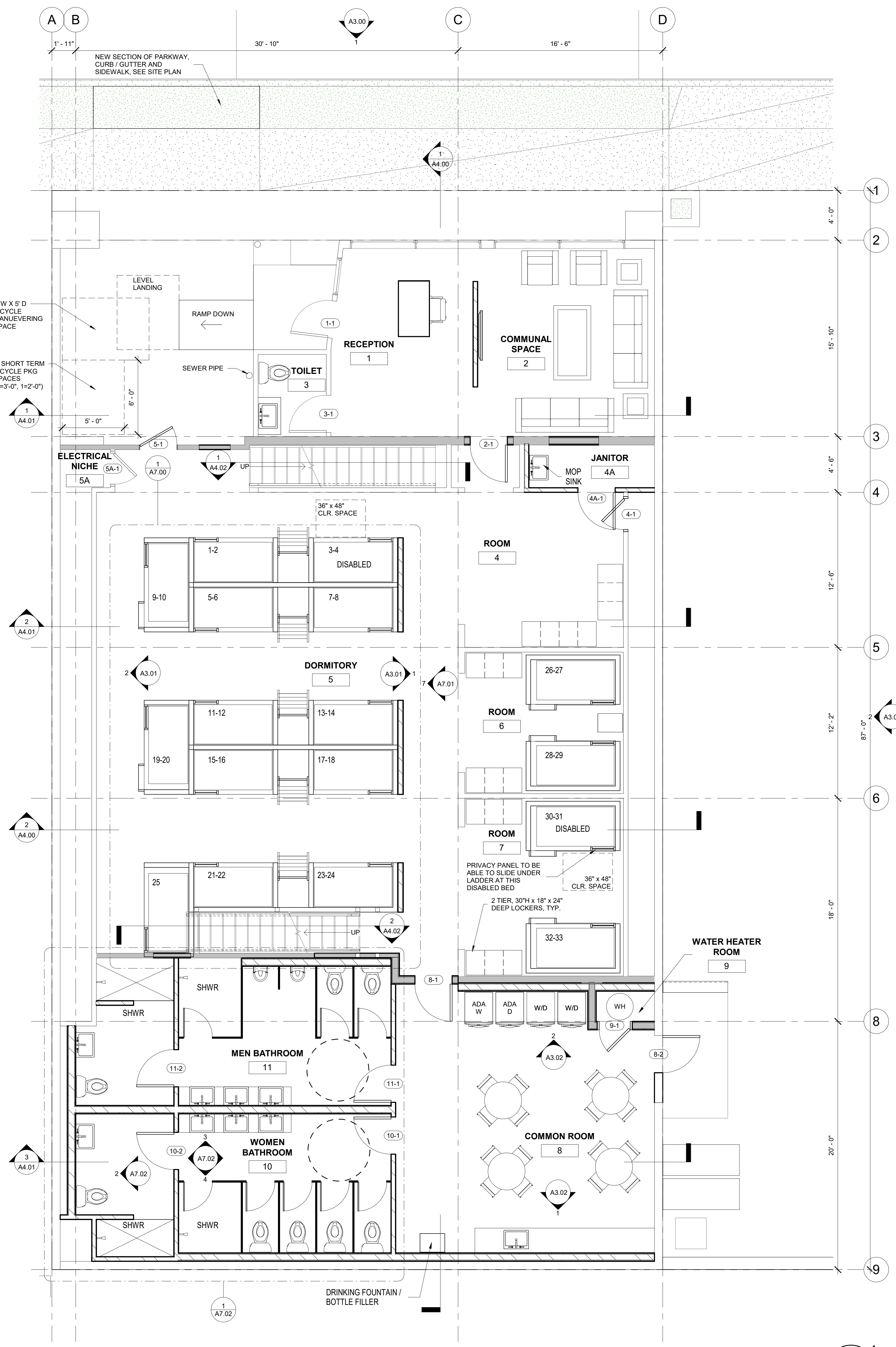
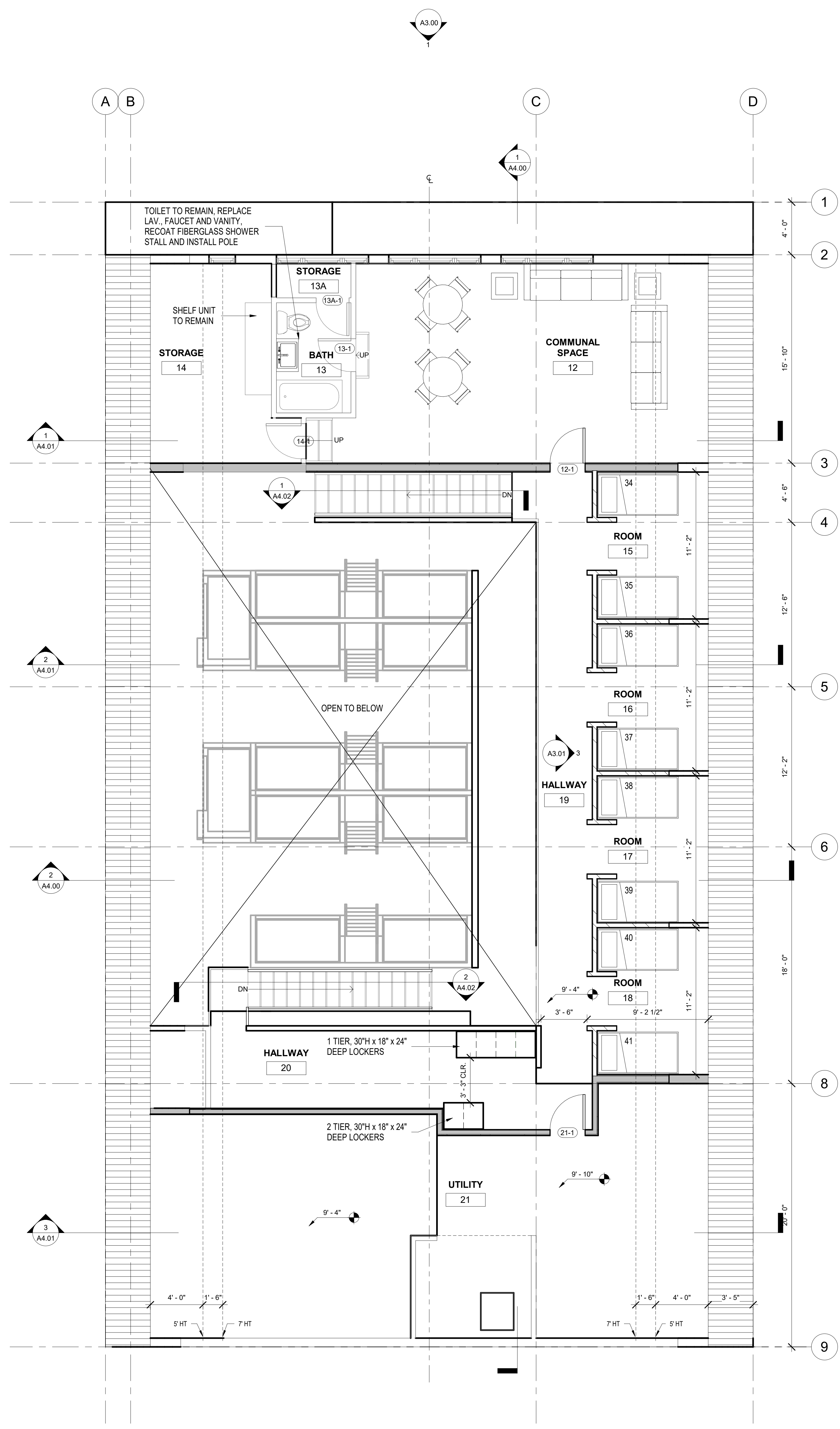
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REV. #	DATE	DESCRIPTION

A2.01
FLOOR PLANS - DEMOLITION

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- GENERAL NOTES - ACCESSIBILITY**
- EACH EXIT ACCESS FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE". TACTILE (RAISED CHARACTERS AND BRILLES) EXIT SIGNS ARE PLACED ON THE WALL ADJACENT TO THE LATCH SIDE AT 90° ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.
 - S1 S2 S3 S4 S5 S6 REFER TO DETAIL #2 SHEET A0.10 FOR TACTILE SIGNAGE TYPES AND TO SITE PLAN FOR LOCATIONS.
 - PER CBC 11B-309.4 THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAX.



WALL LEGEND

WALL	DESCRIPTION
	EXISTING STUDS & GWS - FINISH PER FINISH SCHEDULE
	NEW WALL, 2 WOOD STUD WITH 5/8" GWS 2 SIDES, AS APPLICABLE, FINISH PER FINISH SCHEDULE
	NEW 2HR FR WALL REUSE EXISTING STUDS WHERE APPLIES

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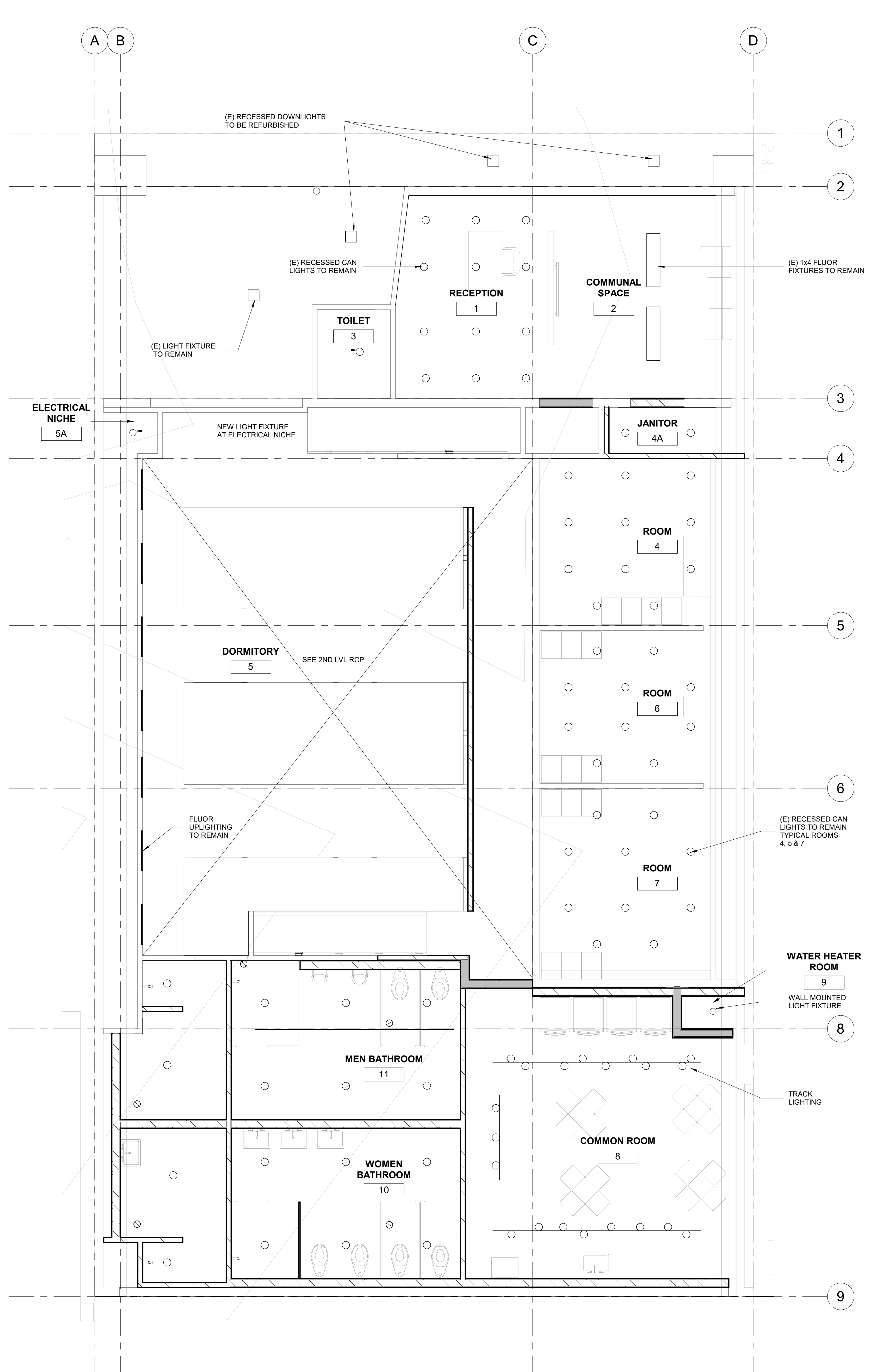
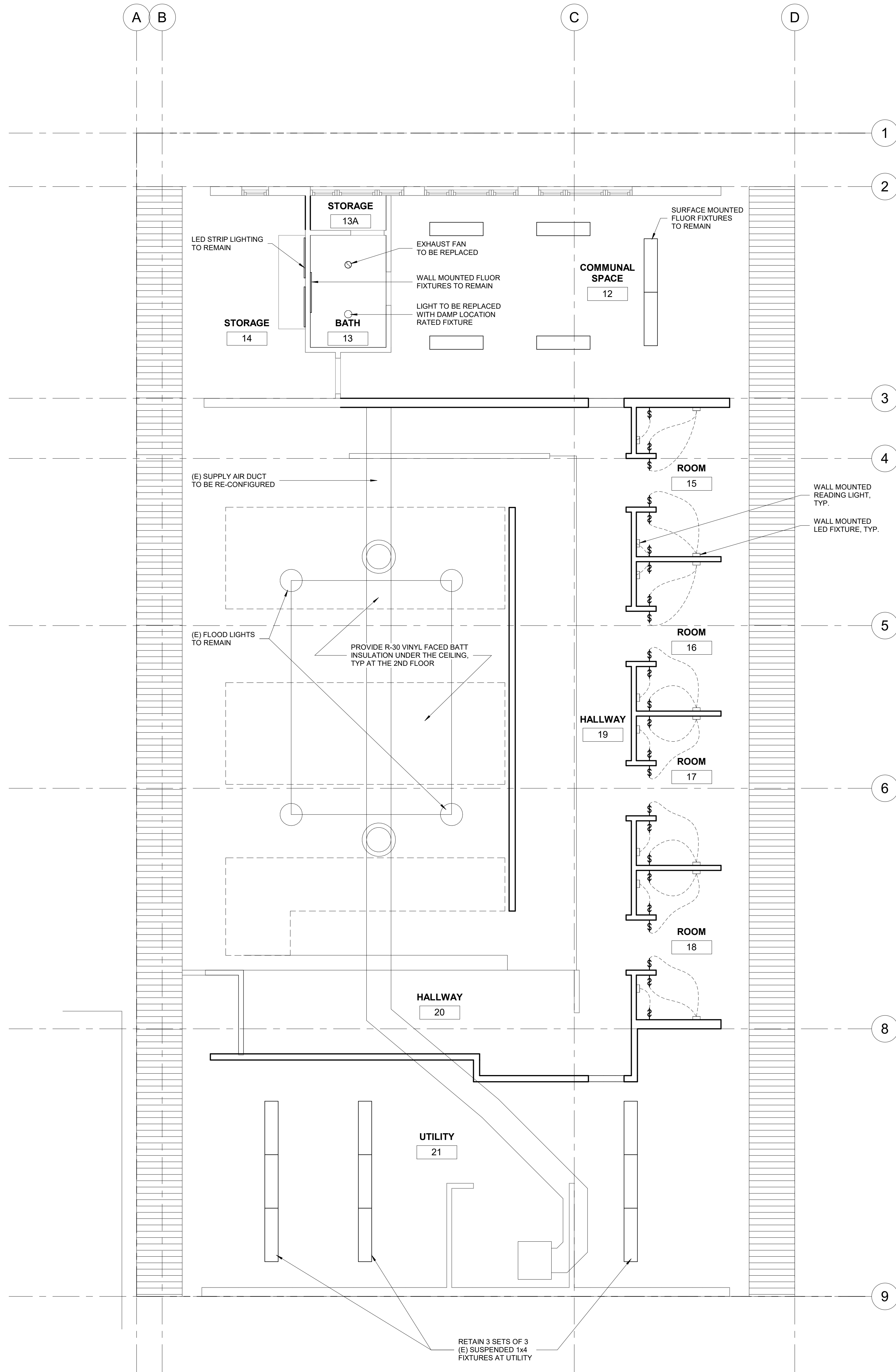
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A2.10 FLOOR PLANS

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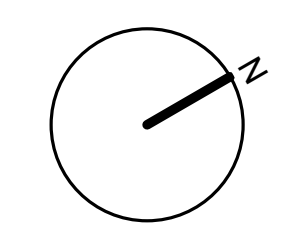
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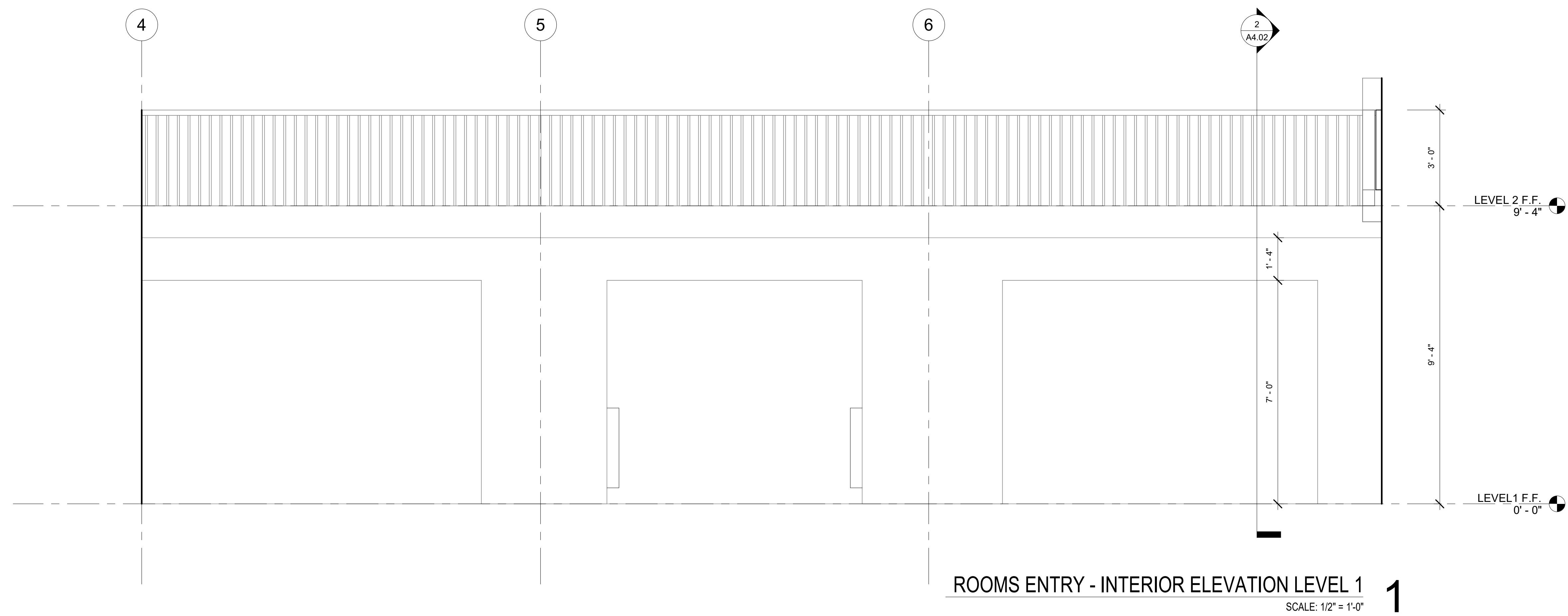
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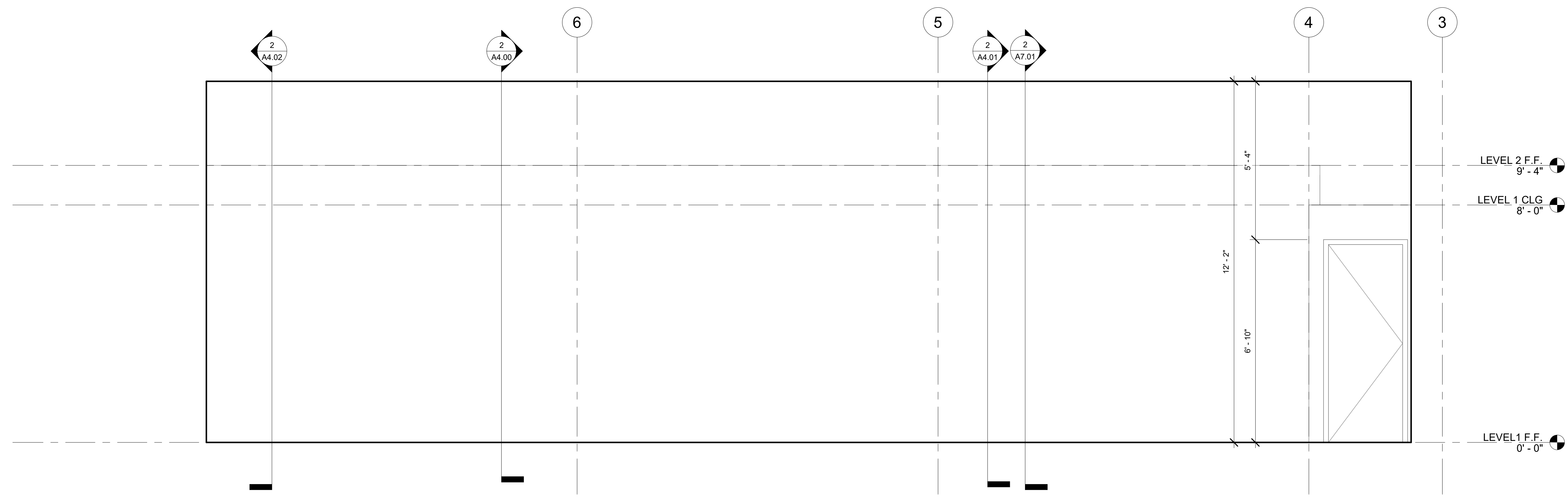
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A2.20
REFLECTING
CEILING PLAN

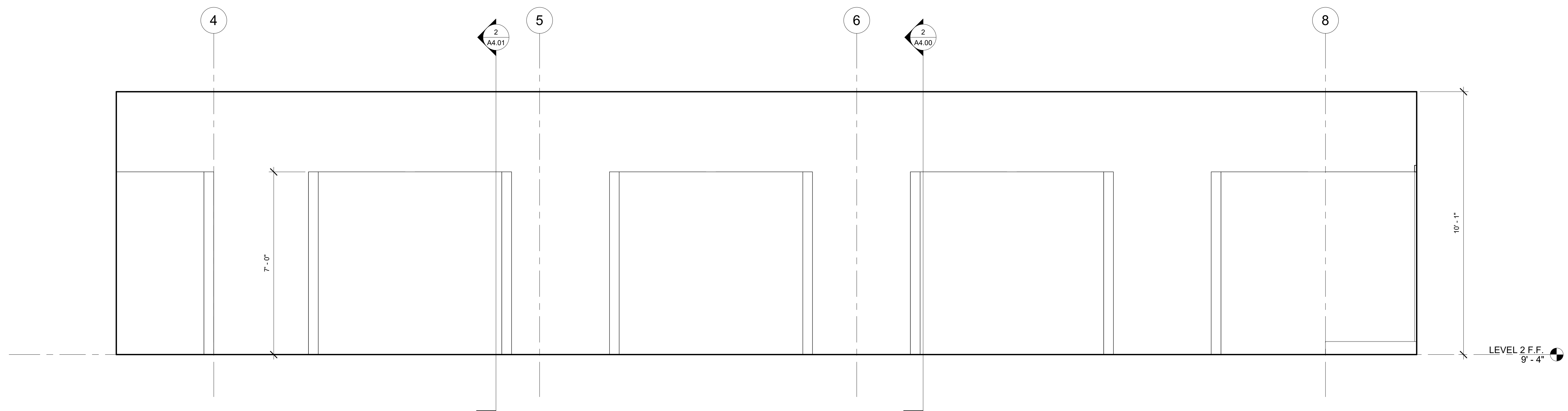




ROOMS ENTRY - INTERIOR ELEVATION LEVEL 1
SCALE: 1/2" = 1'-0" 1



DORMITORY WEST WALL INTERIOR ELEVATION
SCALE: 1/2" = 1'-0" 2



ROOMS ENTRY - INTERIOR ELEVATION LEVEL 2
SCALE: 1/2" = 1'-0" 3

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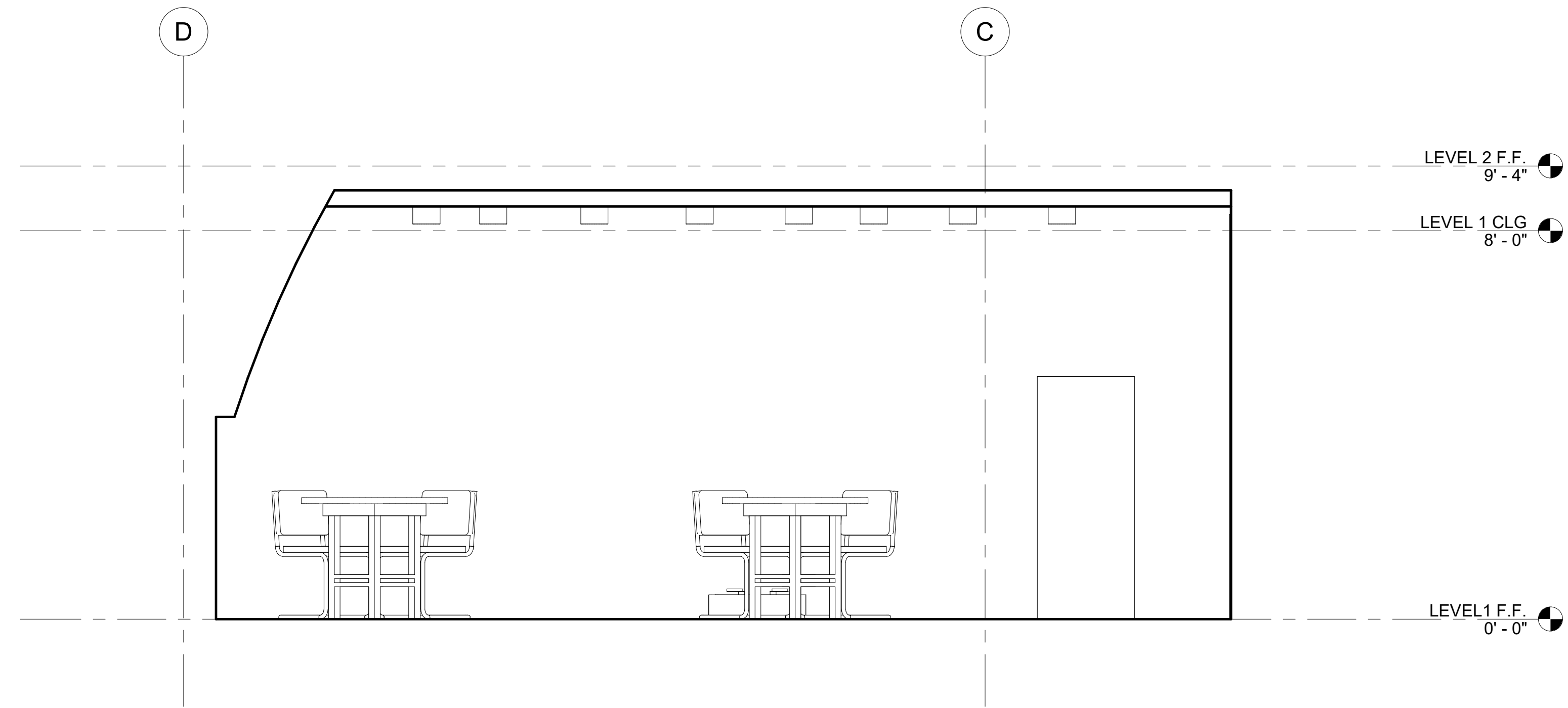
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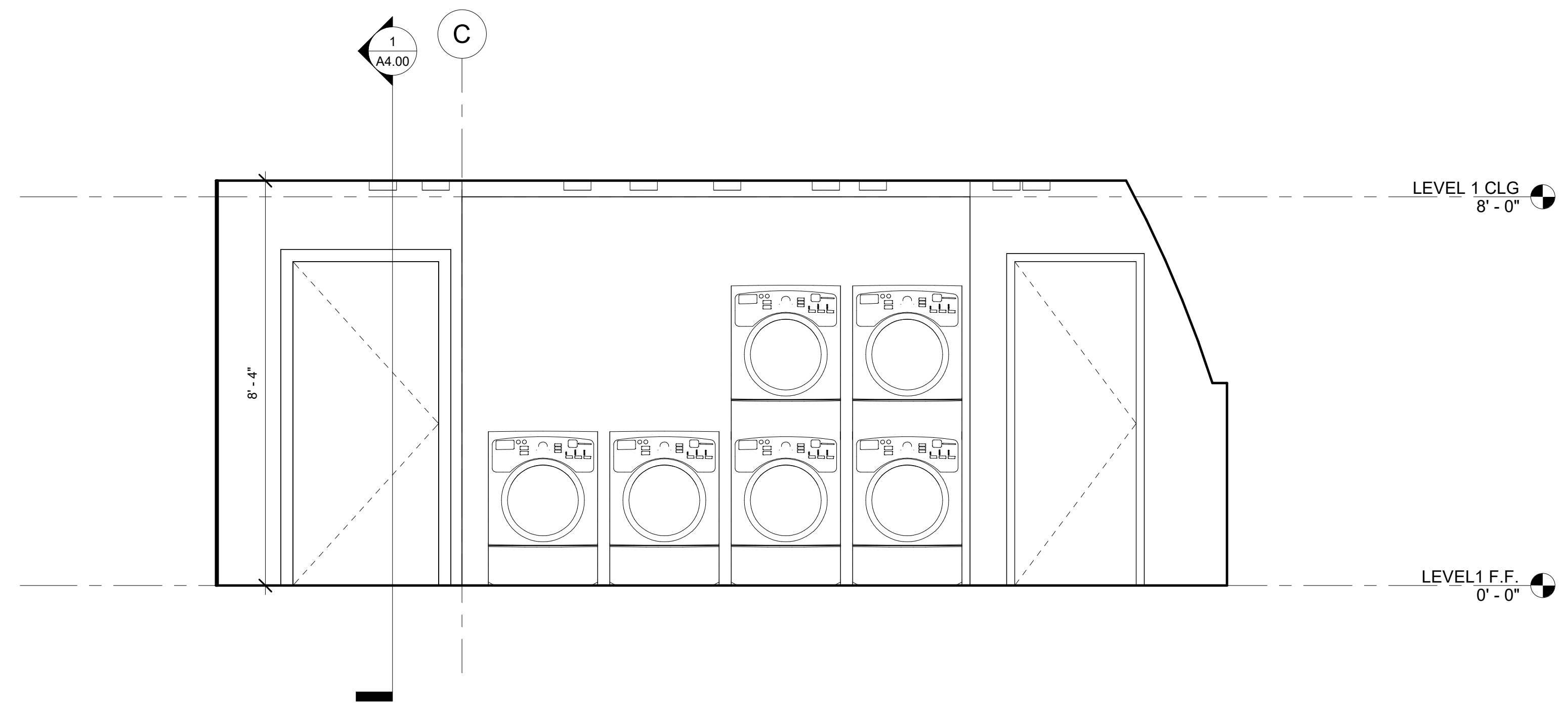
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REV. # DATE DESCRIPTION

A3.01
INTERIOR
ELEVATIONS



COMMON ROOM SOUTH INTERIOR ELEVATION 1
SCALE: 1/2" = 1'-0"



COMMON ROOM NORTH INTERIOR ELEVATION 2
SCALE: 1/2" = 1'-0"

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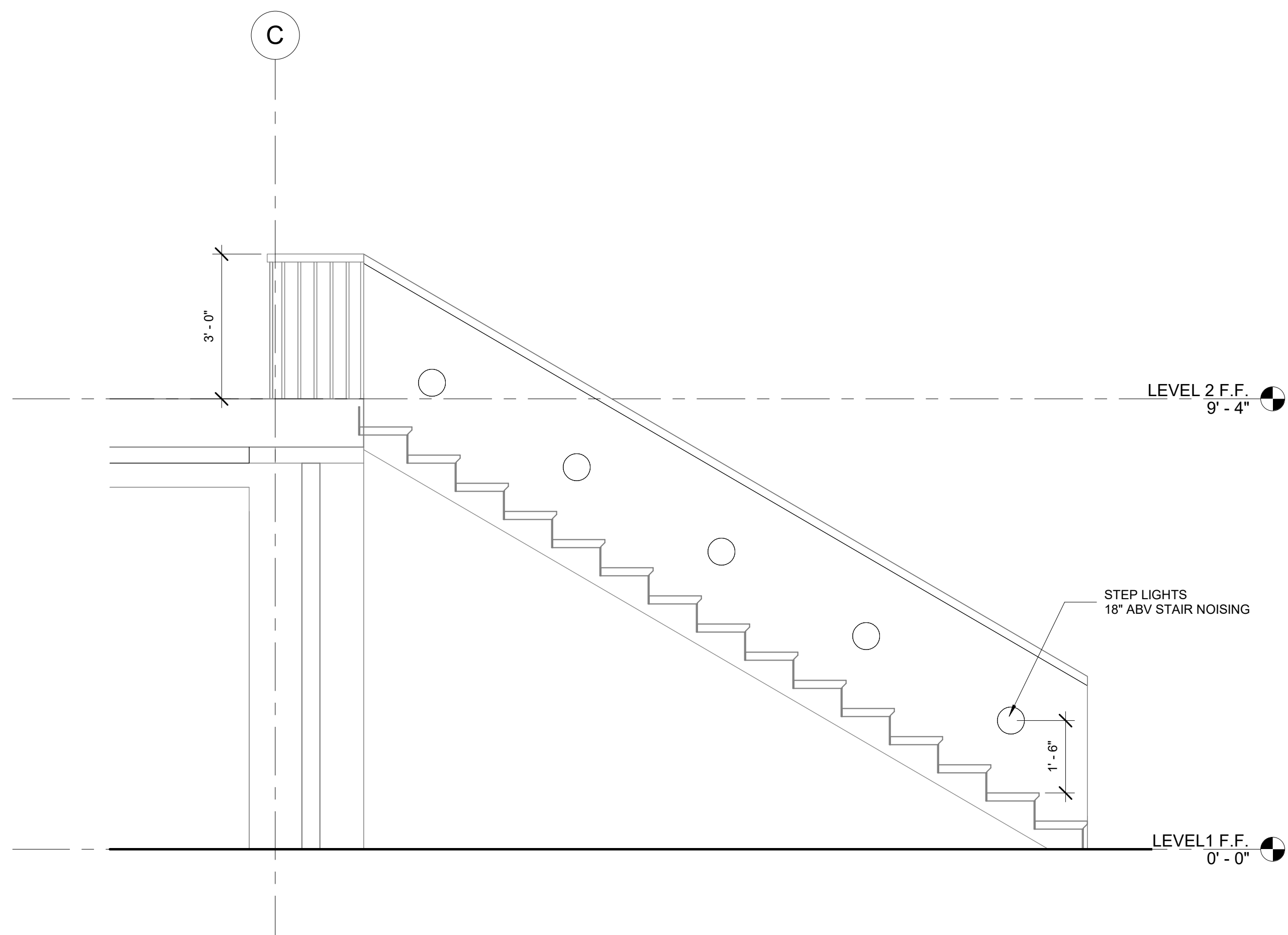
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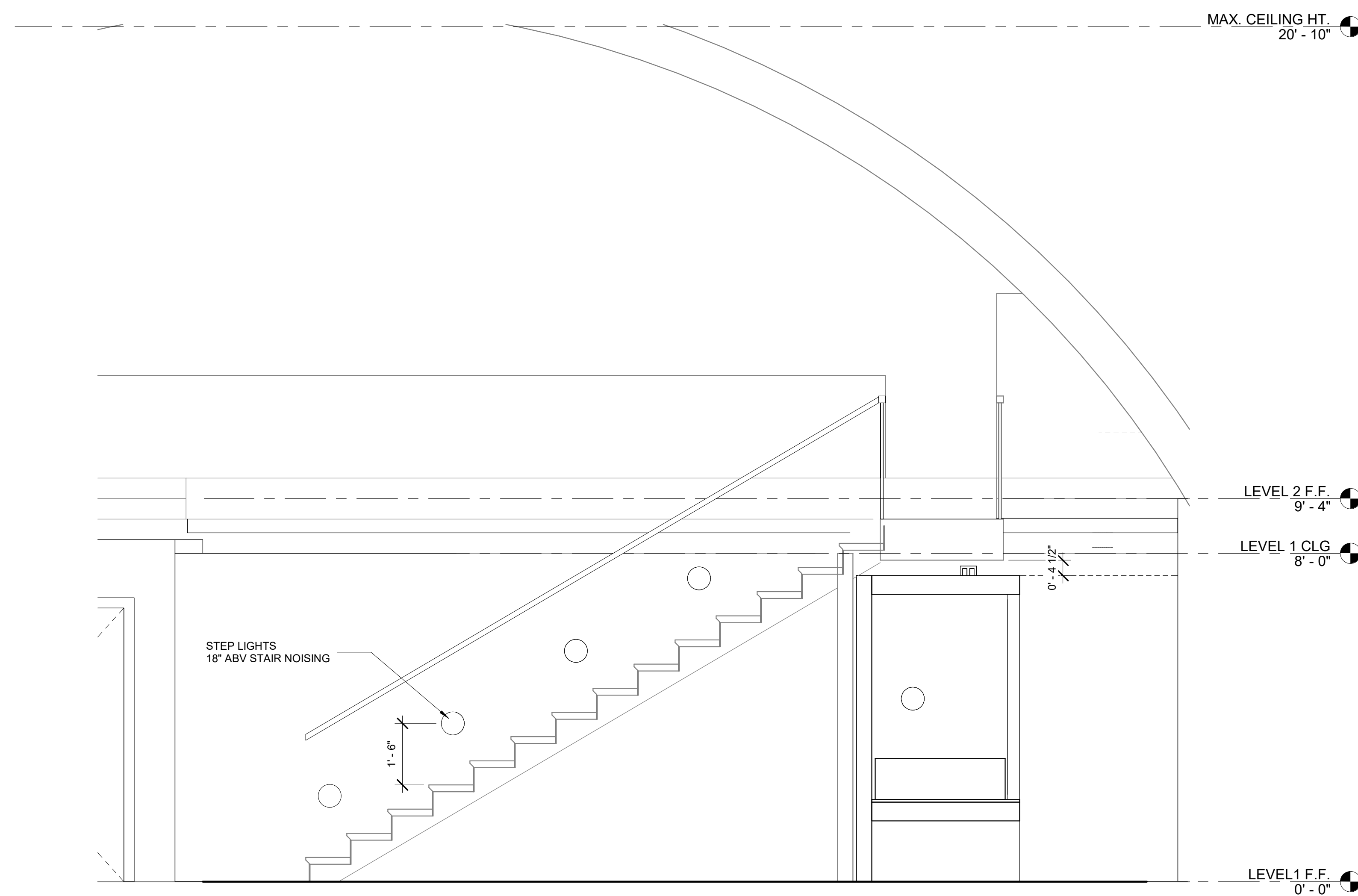
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A3.02
INTERIOR
ELEVATIONS



STAIR 1 - SECTION 1
SCALE: 1/2" = 1'-0"



STAIR 2 - SECTION 2
SCALE: 1/2" = 1'-0"

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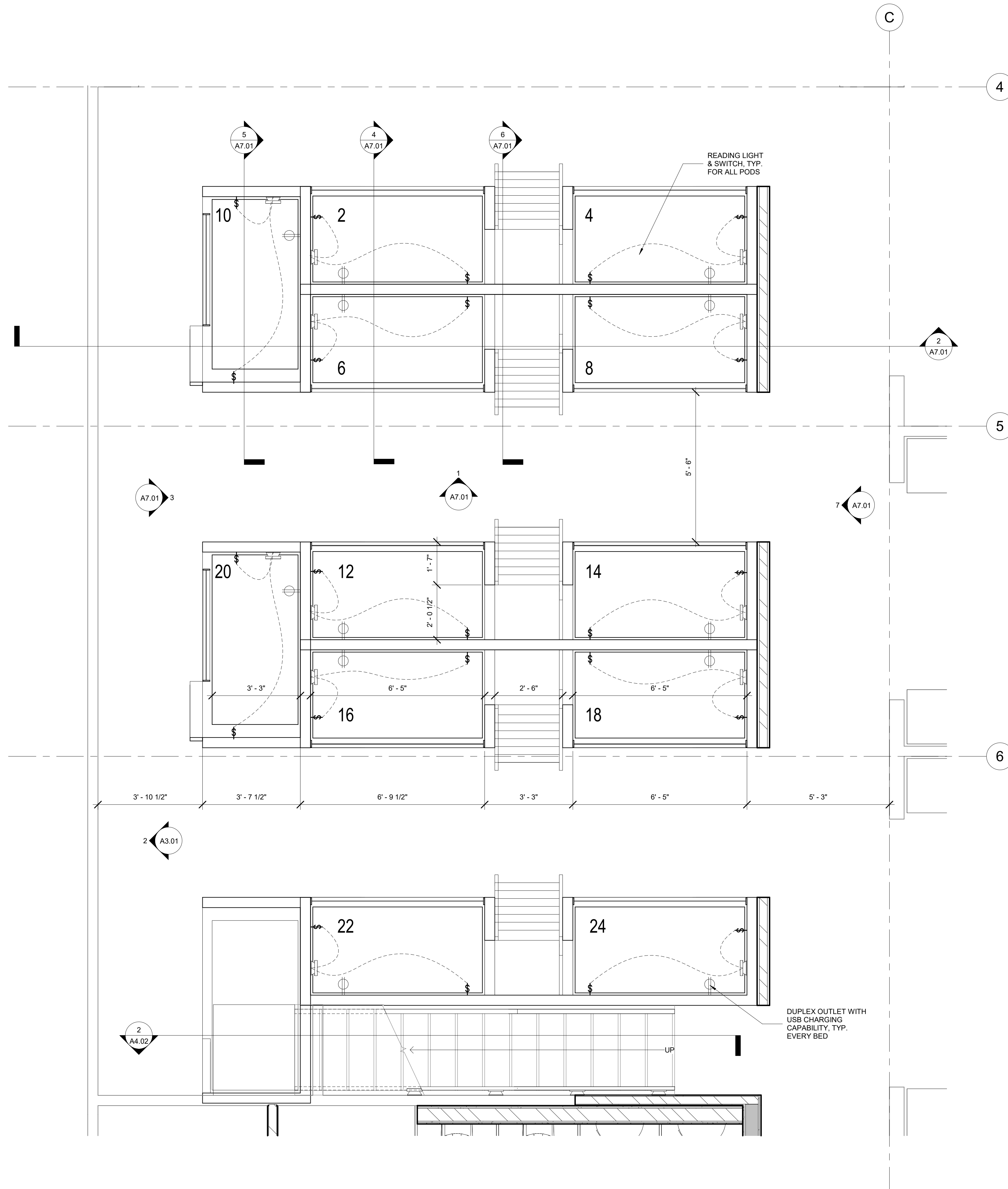
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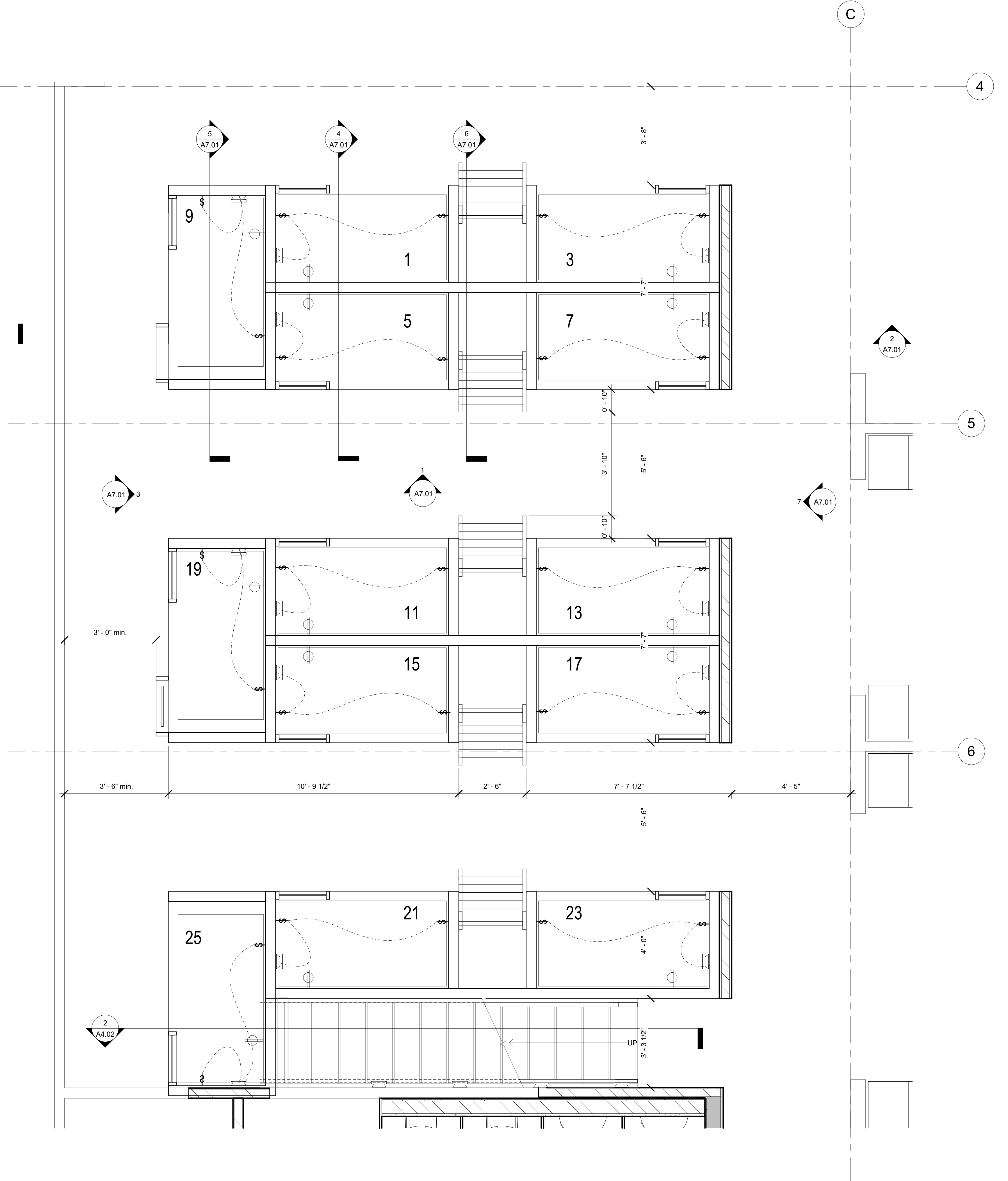
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REV. # DATE DESCRIPTION

A4.02
STAIRS ENLARGED SECTIONS



SLEEPING PODS UPPER LEVEL FLOOR PLAN
SCALE: 1/2" = 1'-0" **2**



SLEEPING PODS LOWER LEVEL FLOOR PLAN
SCALE: 1/2" = 1'-0" **1**

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02/28/2018
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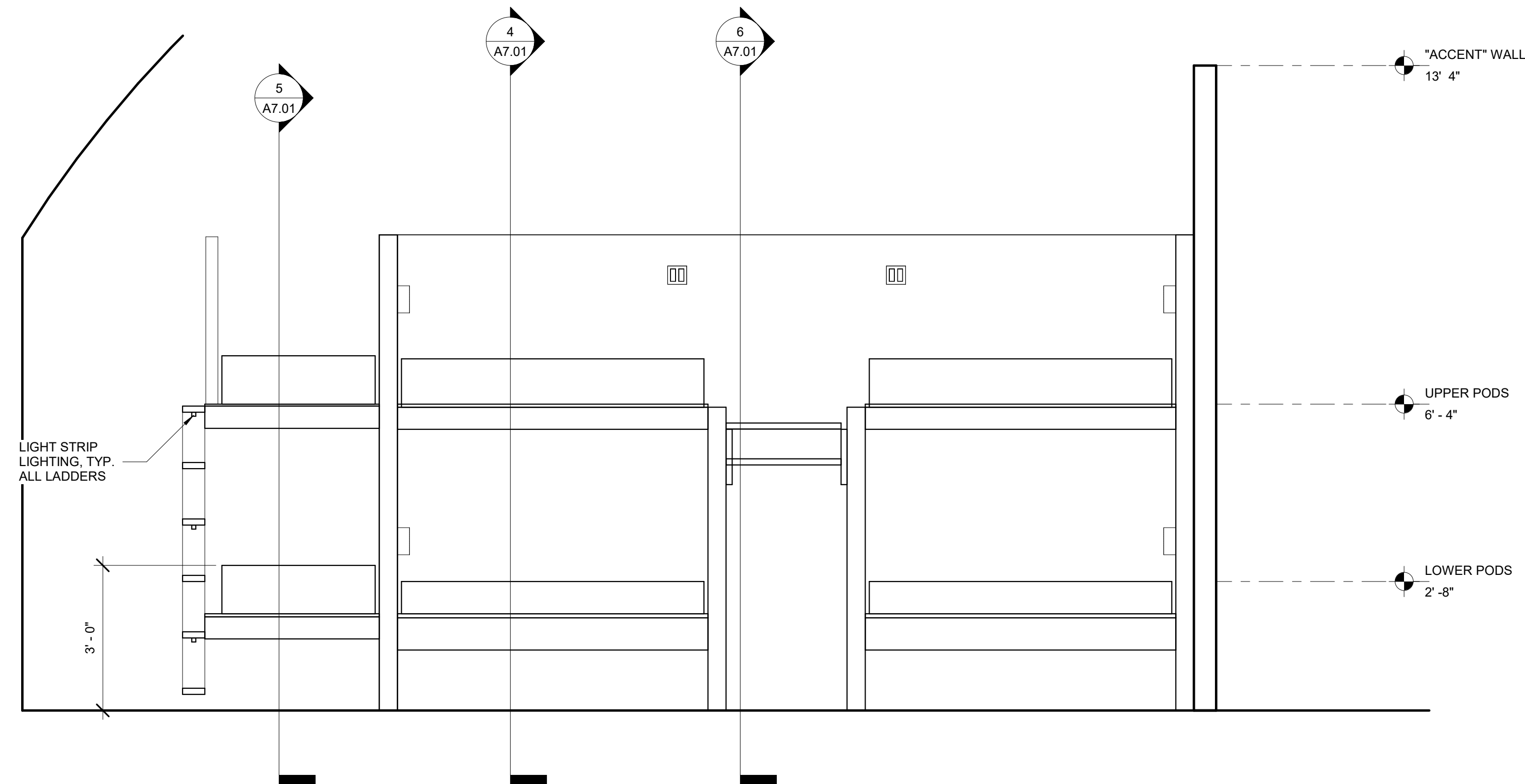
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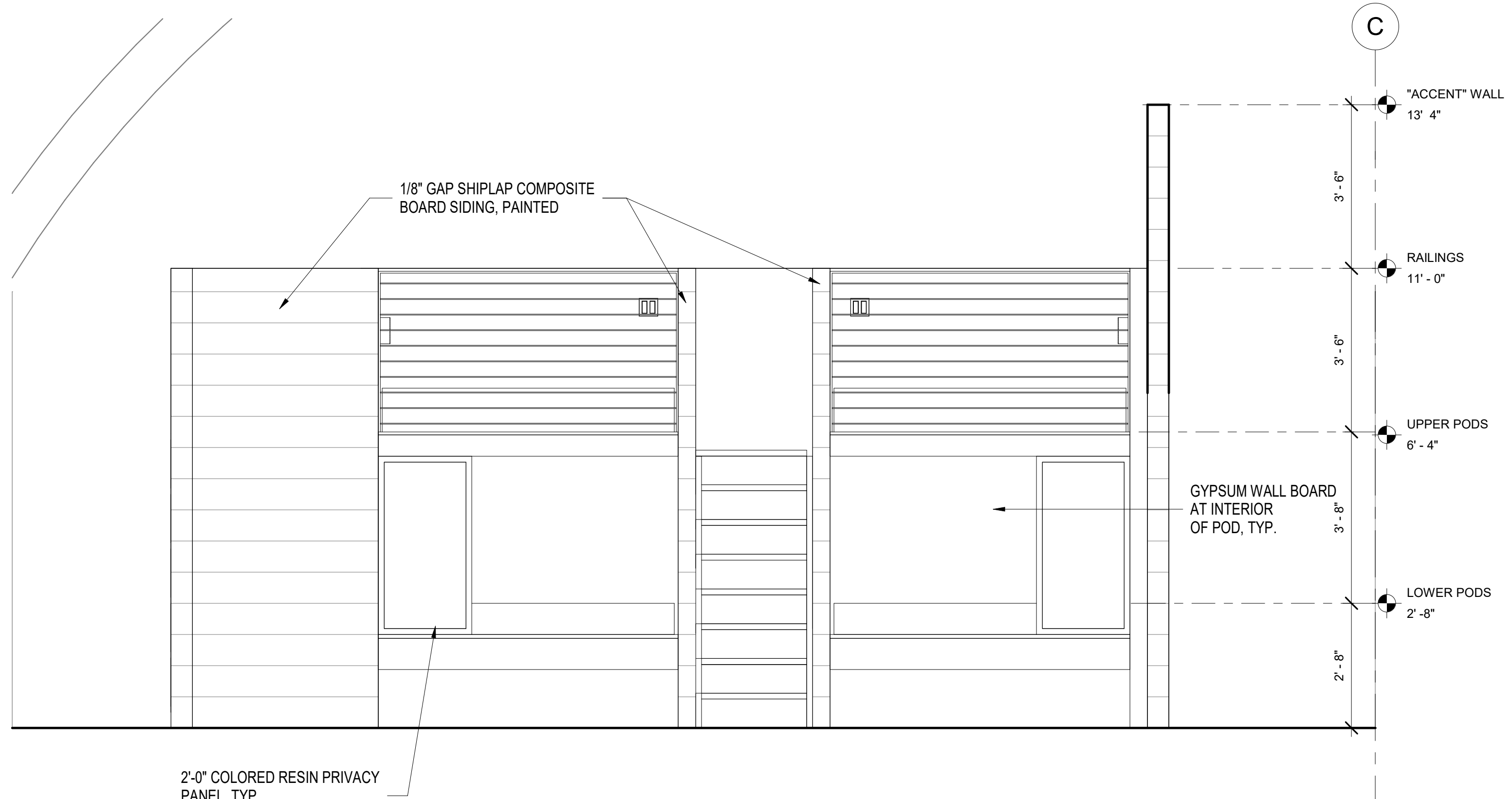
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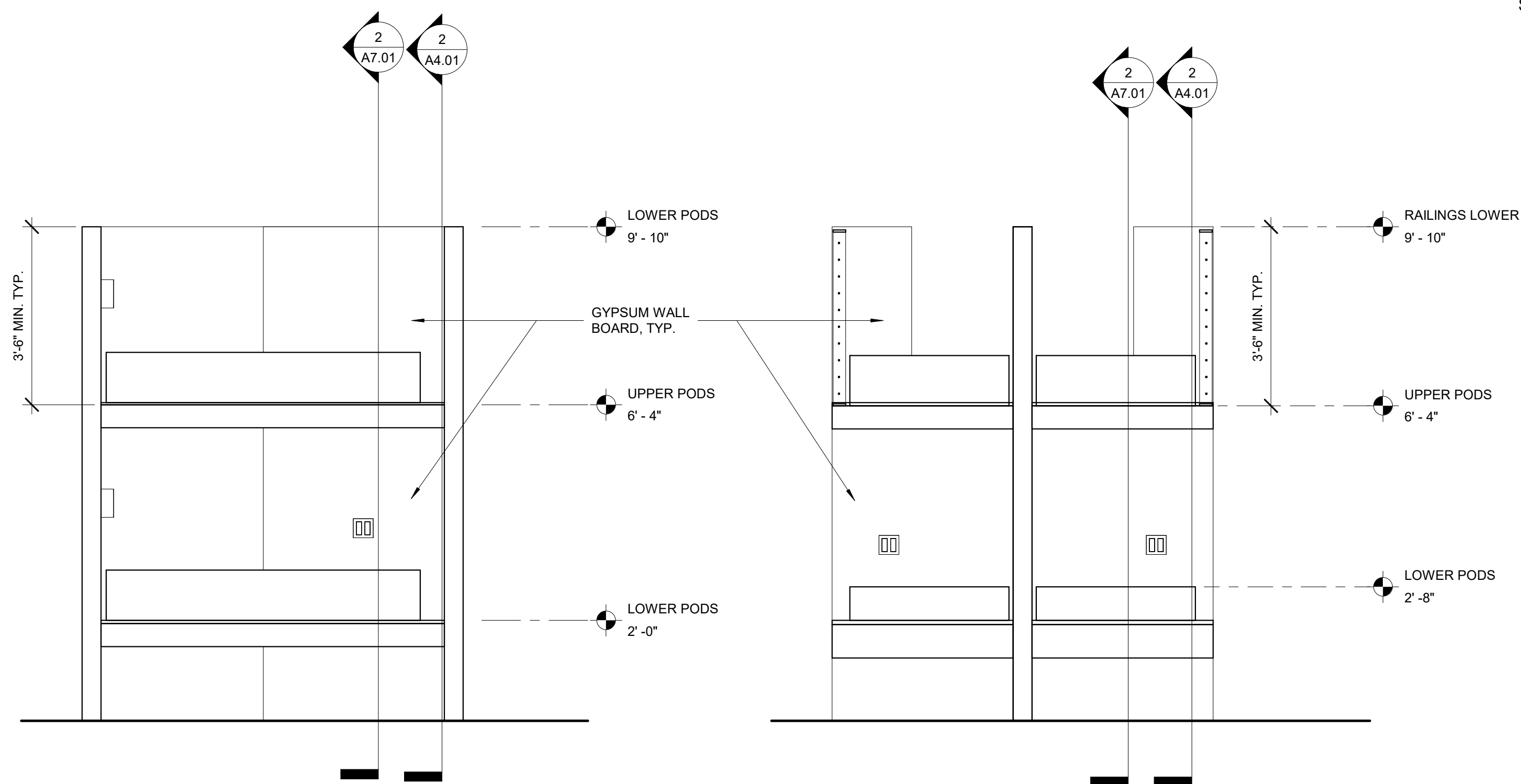
SLEEPING PODS -
ENLARGED PLANS



SLEEPING PODS LONGITUDINAL SECTION 2
SCALE: 1/2" = 1'-0"

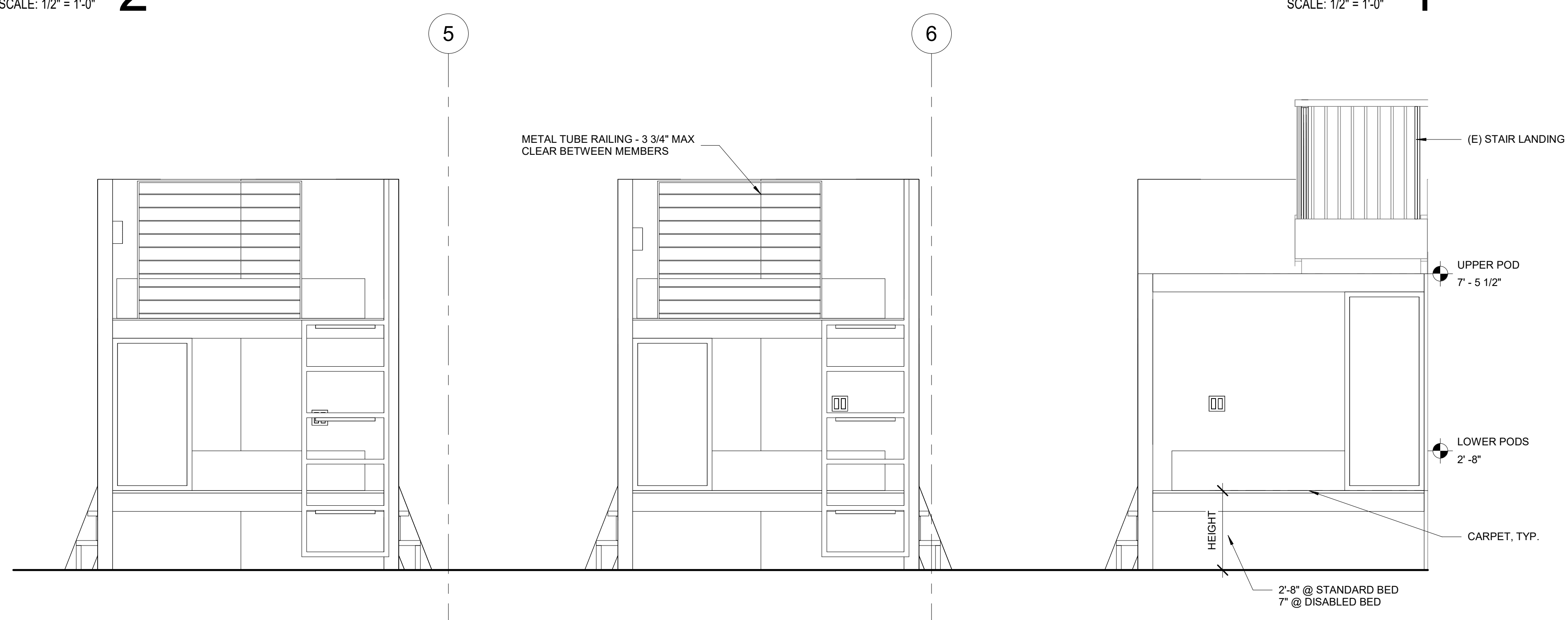


SLEEPING PODS TRANSVERSE ELEVATION 1
SCALE: 1/2" = 1'-0"

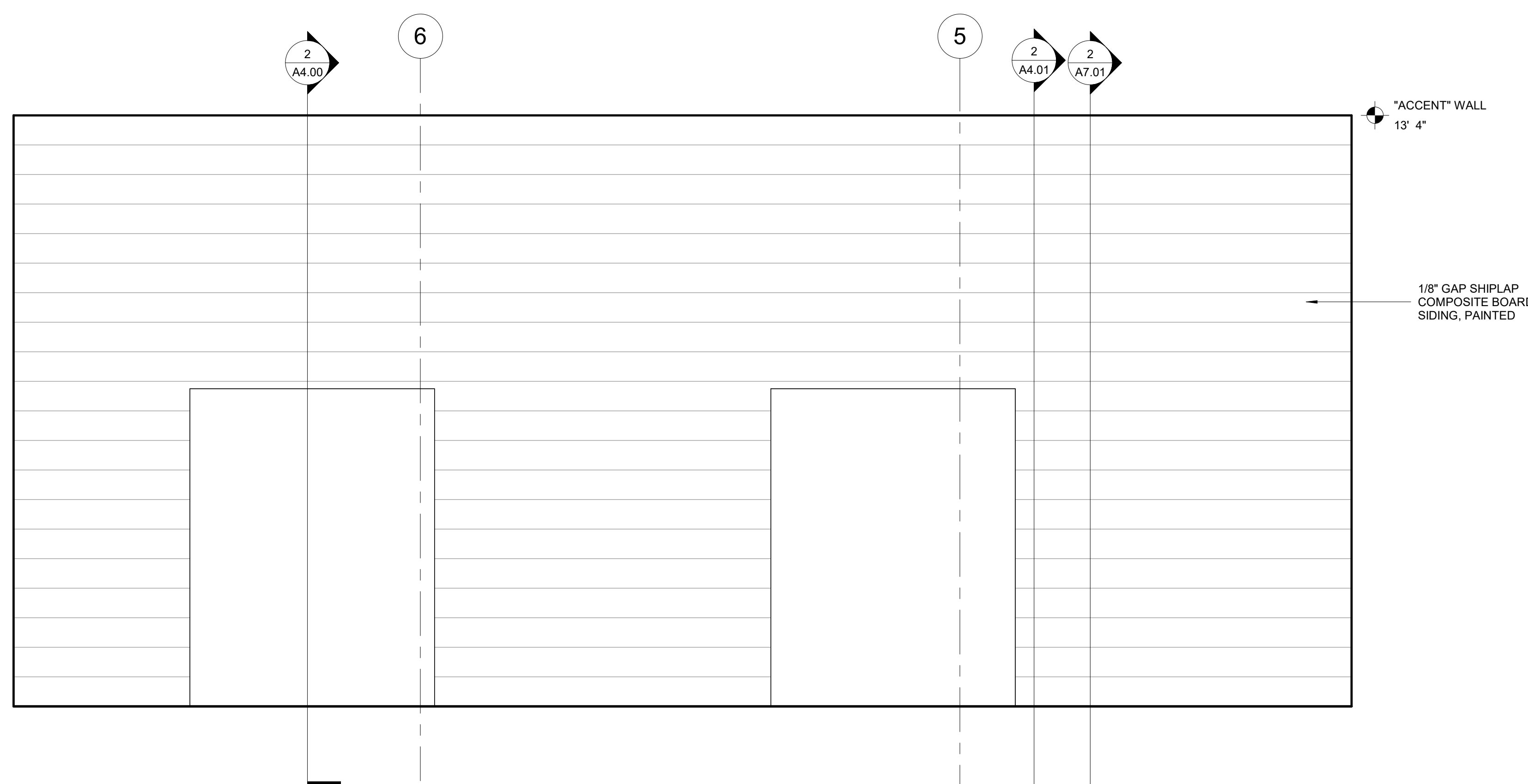


2 BEDS SECTION 5
SCALE: 1/2" = 1'-0"

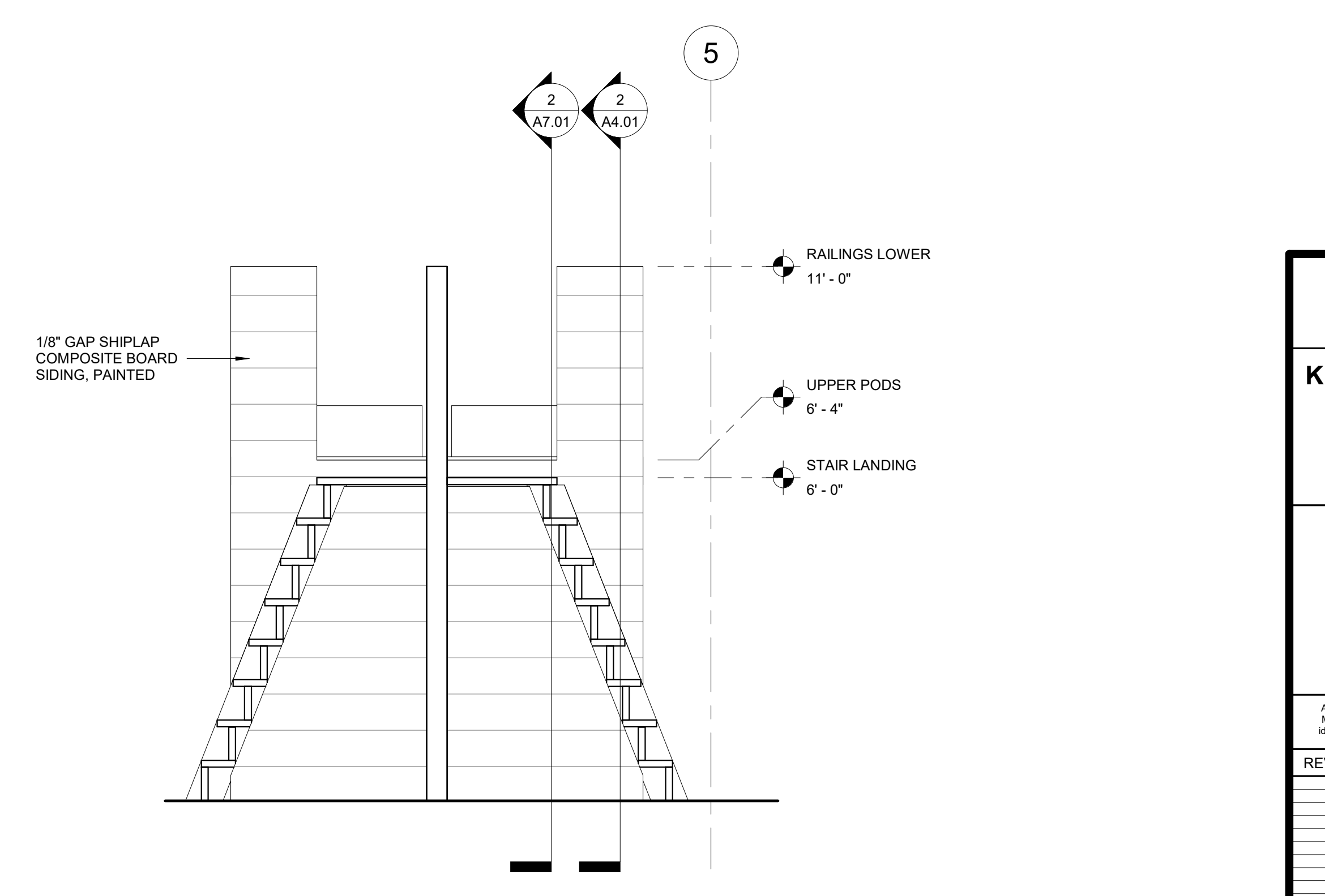
4 BEDS SECTION 4
SCALE: 1/2" = 1'-0"



SLEEPING PODS LONGITUDINAL ELEVATION 3
SCALE: 1/2" = 1'-0"



ACCENT WALL ELEVATION 7
SCALE: 1/2" = 1'-0"



SLEEPING PODS STAIR SECTION 6
SCALE: 1/2" = 1'-0"

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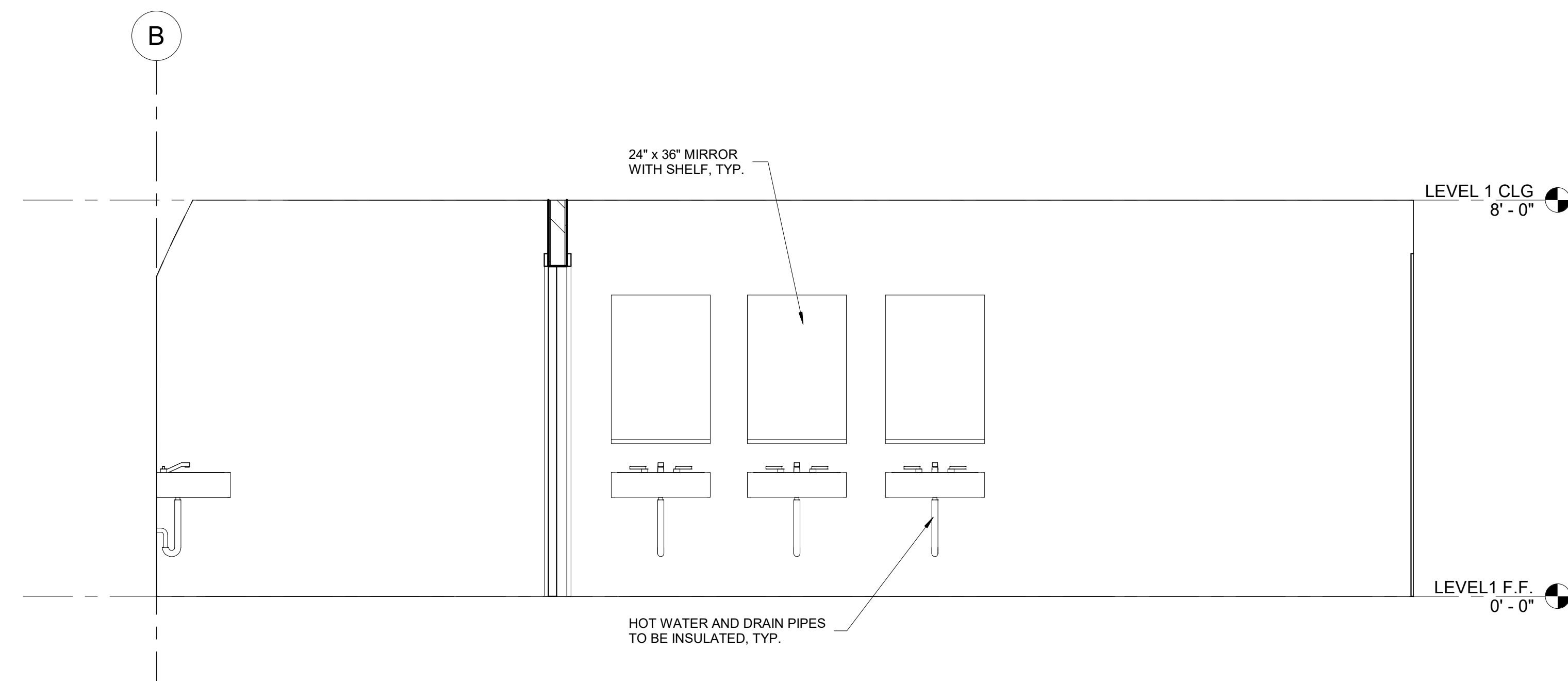
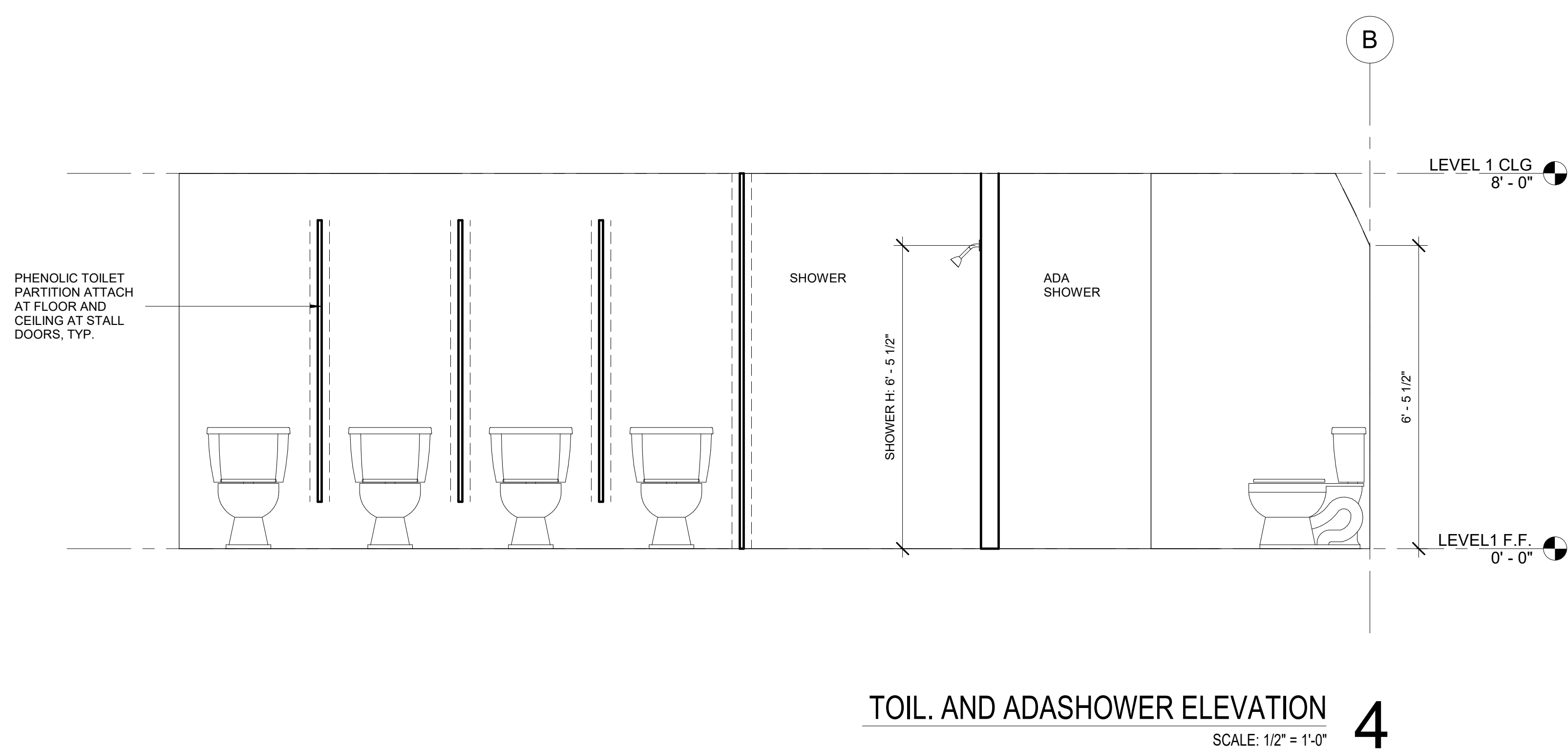
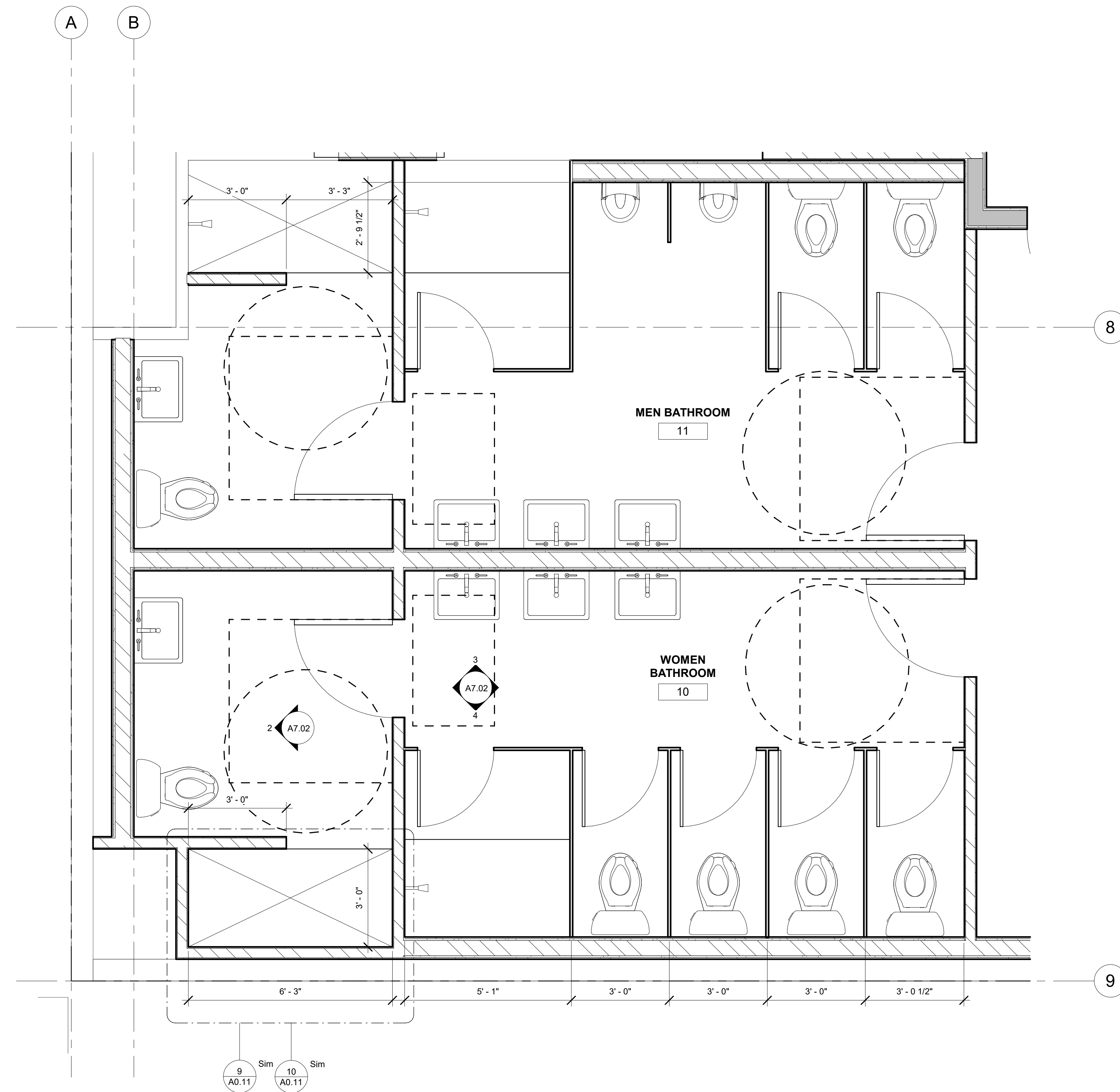
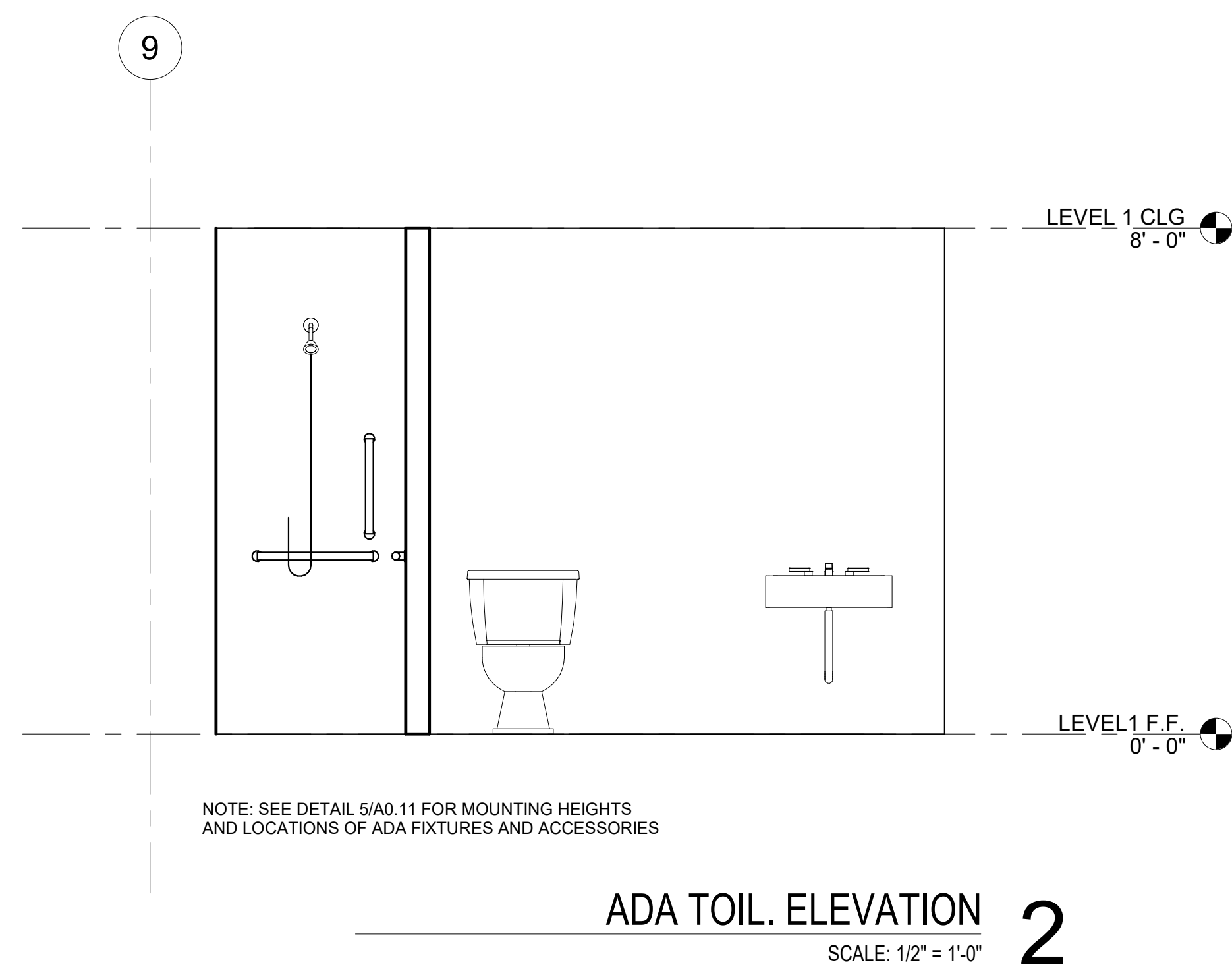
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A7.01
SLEEPING PODS -
ENLARGED VIEWS



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A7.02
BATHROOMS -
ENLARGED PLANS/
VIEWS

REV. #	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

DOOR SCHEDULE

NUMBER	ROOM	EXISTING TO BE REFURBISHED	OPERATION	PANEL SIZE (W X H)	DOOR TYPE	FRAME TYPE	THICKNESS	GLASS	FIRE RATING	MANUFACTURER	HARDWARE GROUP	COMMENTS
1-1	Reception	Yes									A	Replace hardware only
2-1	Communal Space	No									B	
3-1	Toilet	Yes	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 3/4"	N/A	1 1/2 HR	TruStille, T.M. Cobb or equal	A	
4-1	Room	No	Swing	Verify in field	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	C	Infill existing opening
4A-1	Janitor	No	Swing	2'-10" x 6'-8"	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	D	
5-1	Dormitory	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 3/4"	N/A	1 1/2 HR	TruStille, T.M. Cobb or equal	E	
5A-1	Electrical Niche	No	Swing	2'-6" x 6'-8"	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	C	
8-1	Common Room	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 3/4"	N/A	1 1/2 HR	TruStille, T.M. Cobb or equal	F	
8-2	Common Room	Yes									A	Replace hardware only
9-1	Water Heater Room	No	Swing	2'-10" x 6'-8"	SC Wood - Single Panel	WD	1 3/4"	N/A	1 1/2 HR	TruStille, T.M. Cobb or equal	D	
10-1	Women Bathroom	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	B	
10-2	Women Bathroom	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	G	
11-1	Men Bathroom	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	B	
11-2	Men Bathroom	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	G	
12-1	Communal Space 3	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 3/4"	N/A	1 1/2 HR	TruStille, T.M. Cobb or equal	F	
13-1	Bath	Yes										
13A-1	Storage	No	Swing	2'-4" x 6'-8"	SC Wood - Single Panel	WD	1 1/2"	N/A	None	TruStille, T.M. Cobb or equal	C	
14-1	Storage	Yes									D	Replace hardware only
21-1	Utility	No	Swing	3'-0" x 6'-8"	SC Wood - Single Panel	WD	1 3/4"	N/A	1 1/2 HR	TruStille, T.M. Cobb or equal	D	
22-1	Trash Enclosure	No	Swing - Gate	3'-0" x 6'-8"	Metal - Flat Panel	MTL	1 1/2"	N/A	None		H	
22-2	Trash Enclosure	No	Swing - Gate	7'-0" X 6'-8"	Metal - Flat Panel	MTL	1 1/2"	N/A	None		H	
22-3	Trash Enclosure	No	Swing - Gate - Double	14'-0" X 6'-8"	Metal - Flat Panel	MTL	1 1/2"	N/A	None		H	

Hardware group A:	Hardware group B:
3 - Butt Hinge - 4.5" x 4.5"	3 - Butt Hinge - 4.5" x 4.5"
1 - Classroom Lock	1 - Classroom Lock
1 - FS Interchangeable Core	1 - FS Interchangeable Core
1 - Rim Cylinder	1 - Surface Closer
1 - Surface Closer	1 - Gasketing
1 - Gasketing	1 - Door Sweep
1 - Door Sweep	1 - ADA Threshold
1 - ADA Threshold	Keyless Entry Optional, per Owner's requirements
Keyless Entry Optional, per Owner's requirements	
Hardware group C:	Hardware group D:
3 - Butt Hinge - 4.5" x 4.5"	3 - Butt Hinge - 4.5" x 4.5"
1 - Deadbolt	1 - Storeroom Lock
1 - Passage Latch	1 - FS Interchangeable Core
1 - Gasketing	1 - Gasketing
1 - Door Sweep	1 - Door Sweep
1 - Threshold	1 - Threshold
Hardware group E:	Hardware group F:
3 - Butt Hinge - 4.5" x 4.5"	3 - Butt Hinge - 4.5" x 4.5"
1 - Classroom Lock	1 - Passage Latch
1 - FS Interchangeable Core	1 - Surface Closer
1 - Rim Cylinder	1 - Gasketing
1 - Gasketing	1 - Door Sweep
1 - Door Sweep	1 - ADA Threshold
1 - Threshold	
Hardware group G:	Hardware group H:
3 - Butt Hinge - 4.5" x 4.5"	3 - Butt Hinge - 4.5" x 4.5"
1 - Privacy Lock	1 - Gate Latch w padlock capacity
1 - Gasketing	

GENERAL NOTES - DOORS

- REFER TO PLAN DRAWINGS FOR SWINGS OF DOORS.
- ALL GLAZING IN DOORS TO BE 1/2" MIN. AND TEMPERED.
- FIELD VERIFY ALL CONDITIONS FOR PLACEMENT, SIZE, DETAILS.
- UNDERCUT DOOR FOR MINIMUM CLEARANCE ABOVE FINISH FLOOR.
- PROVIDE DOOR SCHEDULE SHOP DRAWINGS AND HARDWARE SPECIFICATIONS FOR ARCHITECT'S APPROVAL.
- PER CBC 1010.1.9 ALL EXIT DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A SPECIAL KEY.
- PER CBC 1010.1.10 DOORS SERVING A SPACE WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OCCUPANCY SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OR FIRE EXIT HARDWARE.
- THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON DOORS UNTIL FINAL INSPECTION.

GENERAL NOTES-DOOR HARDWARE

- ALL LOCKSETS SHALL BE CODED AND/OR KEYS IN ACCORDANCE WITH THE BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO TENANT PROPERLY TESTED AND/OR TAGGED. THE NUMBER OF MASTER AND PASS KEYS SHALL BE COORDINATED WITH BUILDING MANAGEMENT.
- CONTRACTOR SHALL SUBMIT A DETAILED HARDWARE LIST WHICH INDICATES THE QUANTITIES, TYPES, MANUFACTURERS, CATALOG NUMBERS AND LOCATIONS OF THE VARIOUS ARTICLES OF HARDWARE REQUIRED. HARDWARE LIST SHALL BE SUBMITTED NO LATER THAN (30) DAYS BEFORE THE DATE THE SUPPLIER MUST PLACE THE ORDER WITH THE MANUFACTURERS IN ORDER TO MEET THE PROJECT SCHEDULE. REVIEW OF THE HARDWARE LIST BY ARCHITECT SHALL NOT BE CONSTRUED AS CERTIFYING THAT THE LIST IS COMPLETE AND DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT.
- EACH ARTICLE OF HARDWARE SHALL BE INDIVIDUALLY PACKAGED IN ITS MANUFACTURERS CONTAINER, PROPERLY MARKED OR LABELED IN CONFORMITY WITH THE APPROVED HARDWARE LIST.
- ALL HARDWARE APPLIED TO METAL DOORS OR JAMBS SHALL BE MADE TO TEMPLATE AND SHALL BE SECURED BY MACHINE SCREWS.
- FURNISH TWO BUTT HINGES FOR DOORS UP TO 5 FT. HIGH AND ONE ADDITIONAL BUTT FOR EACH 2 1/2 FT.
- CONTRACTOR SHALL FURNISH STANDARD STRIKE PLATES WITH EXTENDED LIPS WHERE REQUIRED TO PROTECT TRIM FROM BEING MARRED OR DAMAGED BY THE LATCH BOLT.
- CONTRACTOR SHALL PROVIDE DUST COVERS AT ALL STRIKE PLATES.
- HARDWARE SUPPLIER SHALL PROVIDE GRANDMASTER KEY MASTER KEY, KEY ALIKE AND/OR KEY DIFFERENT ALL LOCKS IN ACCORDANCE WITH KEYING SCHEDULE PROVIDED BY THE TENANT.
- ALL FASTENERS SHALL MATCH THE HARDWARE MATERIAL AND FINISH.
- THE ATTACHED HARDWARE SCHEDULE IS INTENDED TO COVER ALL DOORS IN THE PROJECT AND ESTABLISH A TYPE AND STANDARDS OF QUALITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH A COMPLETE AND OPERATIONAL SYSTEM OF DOOR FINISH HARDWARE ITEMS, ENCOMPASSING ALL OPENINGS WITHIN THE PROJECT AREA.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED NOT LESS THAN 34" NOR MORE THAN 44" HIGH AND SHALL BE OPERABLE WITH SINGLE EFFORT NOT REQUIRING GRASping OF THE OPENING HARDWARE.
- PER CBC 11B-404.2.5 THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE 5 POUNDS FOR BOTH EXTERIOR AND INTERIOR LOCATIONS. PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- CLOSERS, WHERE REQUIRED, SHALL HAVE AN OPENING FORCE NOT EXCEEDING 5 LBS FOR EXTERIOR DOORS AND INTERIOR DOORS. PER 11B-404.2.8.1 DOOR CLOSERS AND DEGREES THE TIME REQUIRED TO MOVE A DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 3 SECONDS MINIMUM. PER 11B-404.2.8.2 DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION IN 1.5 SECONDS MINIMUM.
- THRESHOLDS SHALL NOT BE GREATER THAN 1/2" IN TOTAL HEIGHT WITH THE LEADING EDGES REVEALED OR SLOPED AT AN ANGLE NOT EXCEEDING 45 DEGREES SO THAT NO SINGLE VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4". THE BOTTOM 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF THE DOOR.
- ALL LEVERS ON FIRE EGRESS DOORS MUST BE CURVED AND SHALL RETURN TO WITHIN 1/2 INCH OF THE DOOR.

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DOOR SCHEDULE

FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING	COMMENTS
1	Reception	Wood - ETR	Wood - ETR, Paint, (semi-gloss)	Patch and Paint (semi-gloss)	Paint	Patch as required at wall removal, refurbish windows, paint wood frame and sill
2	Communal Space	Tile - ETR	Wood - ETR, Paint, (semi-gloss)	Patch and Paint (semi-gloss)	Paint	Patch as required at wall removal, refurbish windows, paint wood frame and sill
3	Toilet	Wood - ETR	Wood - ETR, Paint, (semi-gloss)	Patch and Paint (semi-gloss)	Paint (semi-gloss)	Remove wallpaper, prep walls for paint
4	Room	Wood - ETR	Wood - ETR, Paint, (semi-gloss)	Paint (semi-gloss) - see comments	Paint (semi-gloss)	Patch open or uneven areas of existing walls. (Existing finishes to remain) Prep and paint new GYB areas, semi-gloss
4A	Janitor	(E) Concrete - patch, polish and seal	Resilient	Paint (semi-gloss) - see comments	Paint (semi-gloss)	Patch open or uneven areas of existing walls / ceiling. Prep and paint new GYB, semi-gloss
5	Dormitory	(E) Concrete - patch, polish and seal	Wood - ETR, Paint, (semi-gloss)	Paint (semi-gloss)	Foil Faced insulation	Provide new wood base to match existing where missing.
6	Room	VCT, ETR, - refinish & seal	Wood - ETR, Paint, (semi-gloss)	Paint (semi-gloss) - see comments	Paint (semi-gloss)	Patch open or uneven areas of existing walls. (Existing finishes to remain) Prep and paint new GYB areas, semi-gloss
7	Room	VCT, ETR, - refinish & seal	Wood - ETR, Paint, (semi-gloss)	Paint (semi-gloss) - see comments	Paint (semi-gloss)	Patch open or uneven areas of existing walls. (Existing finishes to remain) Prep and paint new GYB areas, semi-gloss
8	Common Room	VCT	Resilient	Patch and Paint (semi-gloss)	Patch and Paint (semi-gloss)	
9	Water Heater Room	VCT	Resilient	Patch and Paint (semi-gloss)	Patch and Paint (semi-gloss)	
10	Women Bathroom	VCT	Resilient	Patch and Paint (semi-gloss)	Patch and Paint (semi-gloss)	
11	Men Bathroom	VCT	Resilient	Patch and Paint (semi-gloss)	Patch and Paint (semi-gloss)	
12	Communal Space	VCT	Resilient	Patch and Paint (semi-gloss)	Patch and Paint (semi-gloss)	
13	Bath	ETR	Wood - ETR, Paint, (semi-gloss)	Patch and Paint (semi-gloss)	Patch and Paint (semi-gloss)	
13A	Storage	ETR	Wood - ETR, Paint, (semi-gloss)	Patch and Paint (semi-gloss)	Patch and Paint (semi-gloss)	Provide new wood base to match existing where missing.
14	Storage	ETR	None	Patch and Paint (semi-gloss)	Foil Faced insulation	Insulate exterior wall, 5/8" GWB finish, paint
15	Room	VCT	Resilient	Paint (semi-gloss)	Foil Faced insulation	
16	Room	VCT	Resilient	Paint (semi-gloss)	Foil Faced insulation	
17	Room	VCT	Resilient	Paint (semi-gloss)	Foil Faced insulation	
18	Room	VCT	Resilient	Paint (semi-gloss)	Foil Faced insulation	
19	Hallway	VCT	Resilient	Paint (semi-gloss)	Foil Faced insulation	
20	Hallway	VCT	Resilient	Paint (semi-gloss)	Foil Faced insulation	
21	Utility	ETR	Wood - ETR, Paint, (semi-gloss)	Paint (semi-gloss)	Foil Faced insulation	

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02/28/2018
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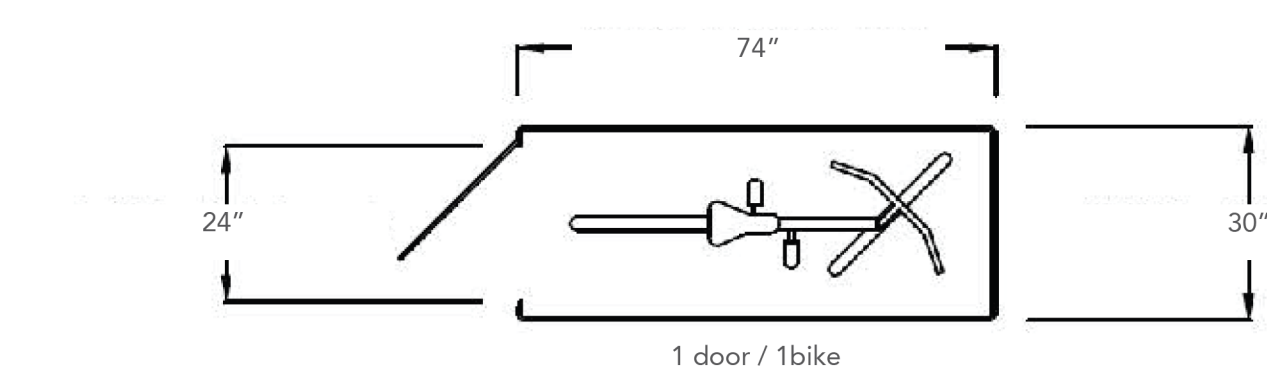
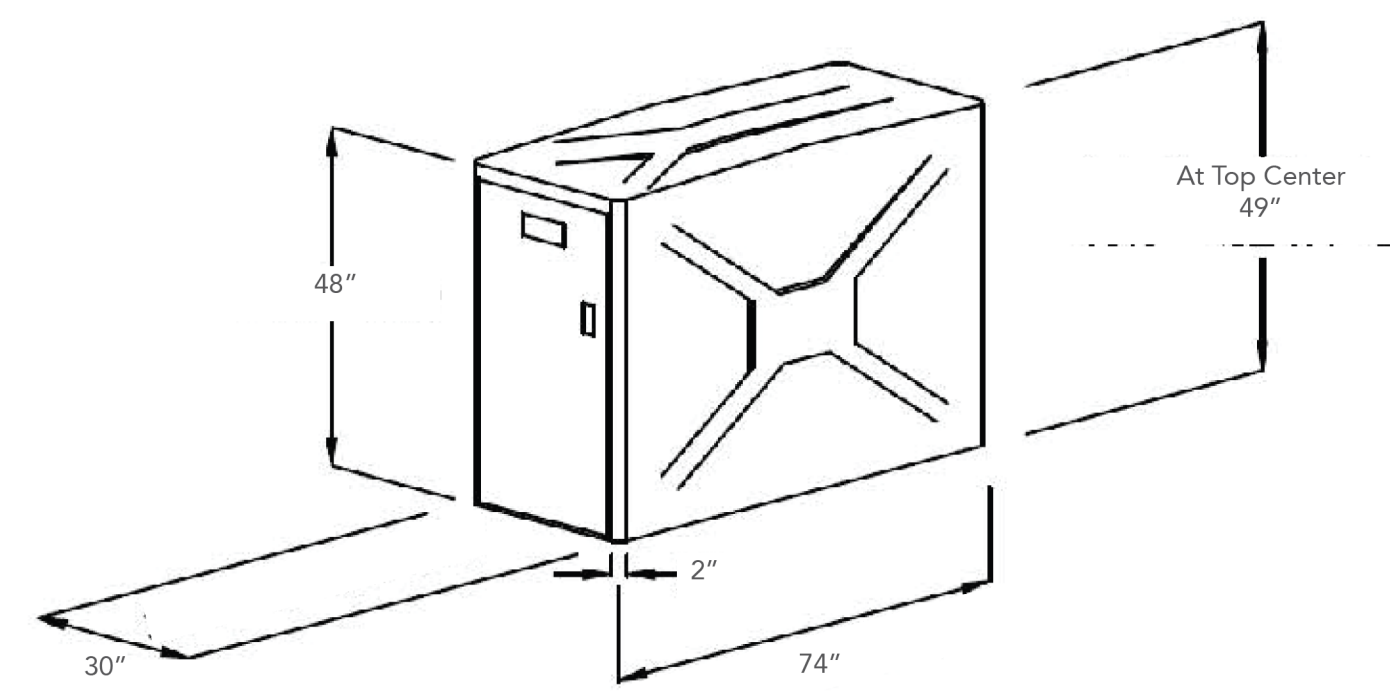
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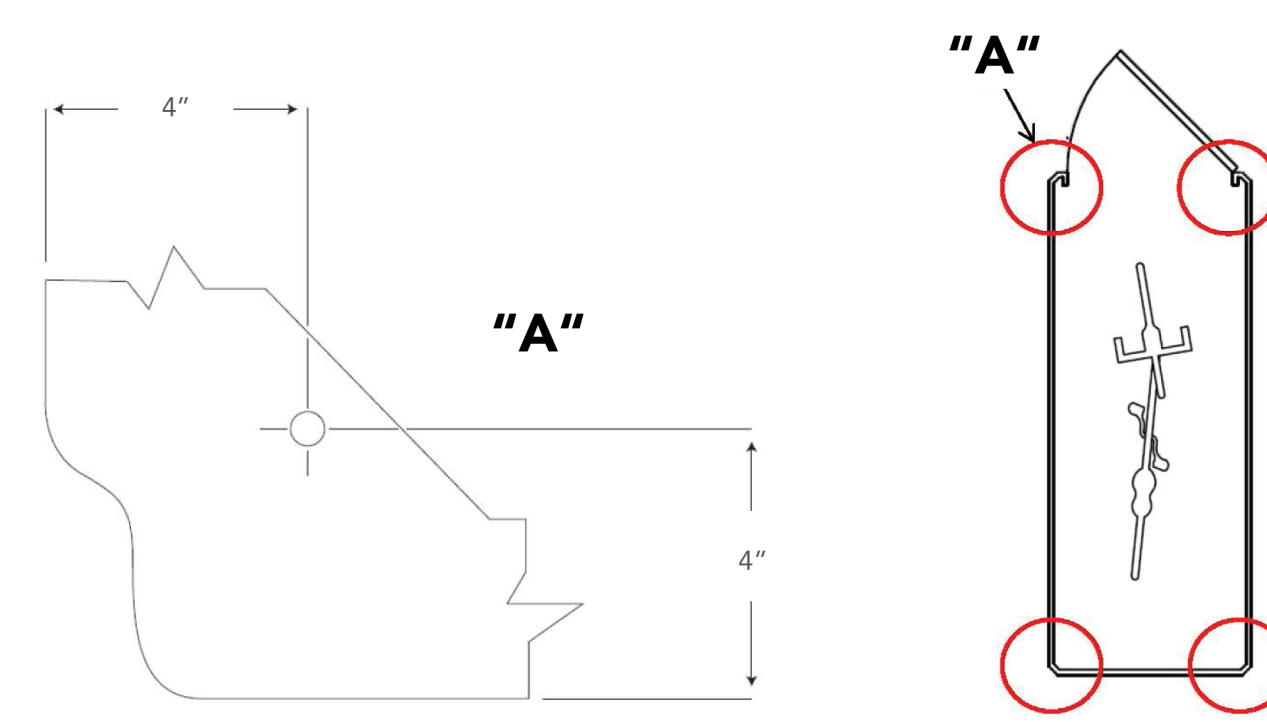
FINISH SCHEDULE

Standard Specifications Model: 537-1052

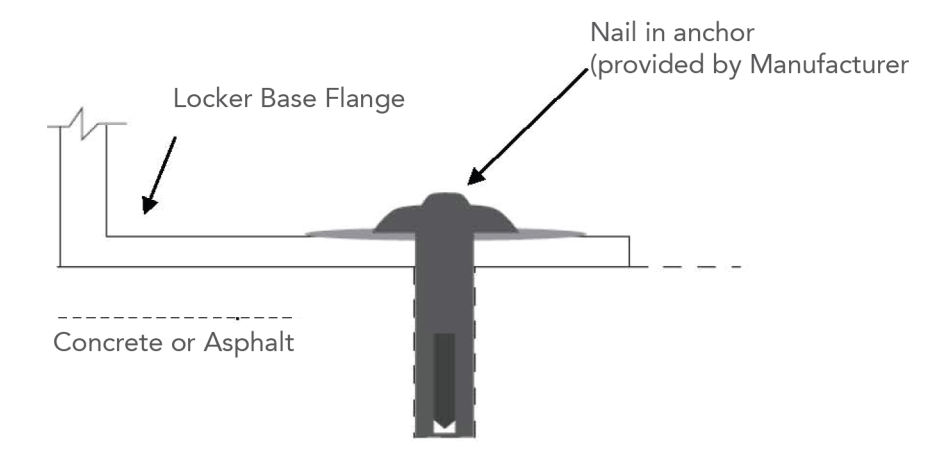


*Subject to change without notice

Standard Anchoring Information Model: 537-1052



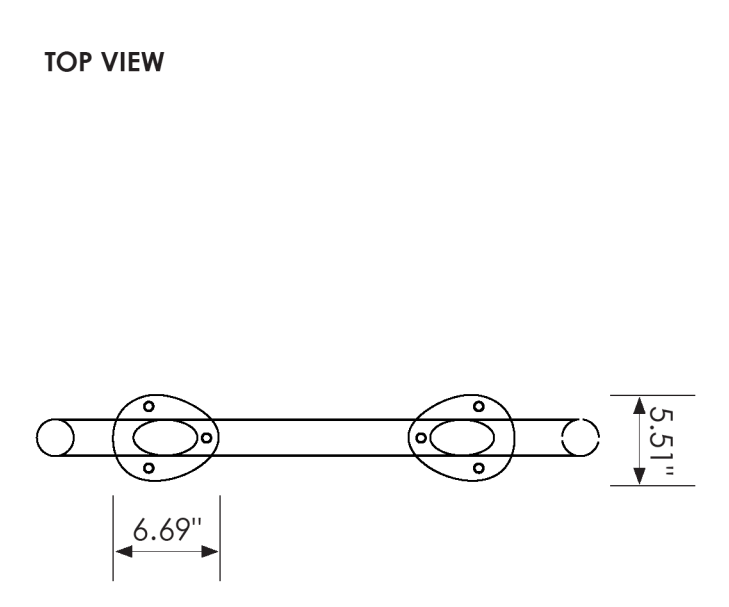
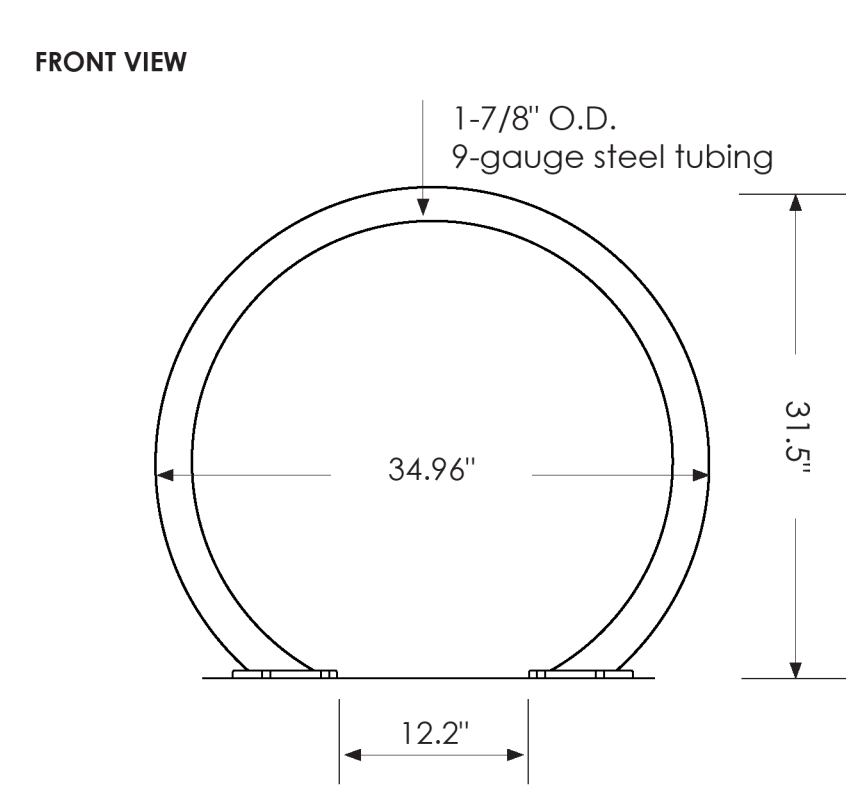
Top View Anchoring Flange Inside Locker
NOTE:
Hole position is only approximate and not critical



*Subject to change without notice

BIKE LOCKER DETAIL 1
SCALE: 1/2" = 1'-0"

CIRCLE BIKE RACK SPECIFICATIONS



TOTAL WEIGHT: 29 lbs
NOTES:
1) 7/16" Dia. Mounting Hole
2) Mounting hardware sold separately
3) Drawing not to scale

CIRCLE BIKE RACK DETAIL 2
SCALE: 1/2" = 1'-0"

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A9.01
BICYCLE RACK
SPECIFICATIONS