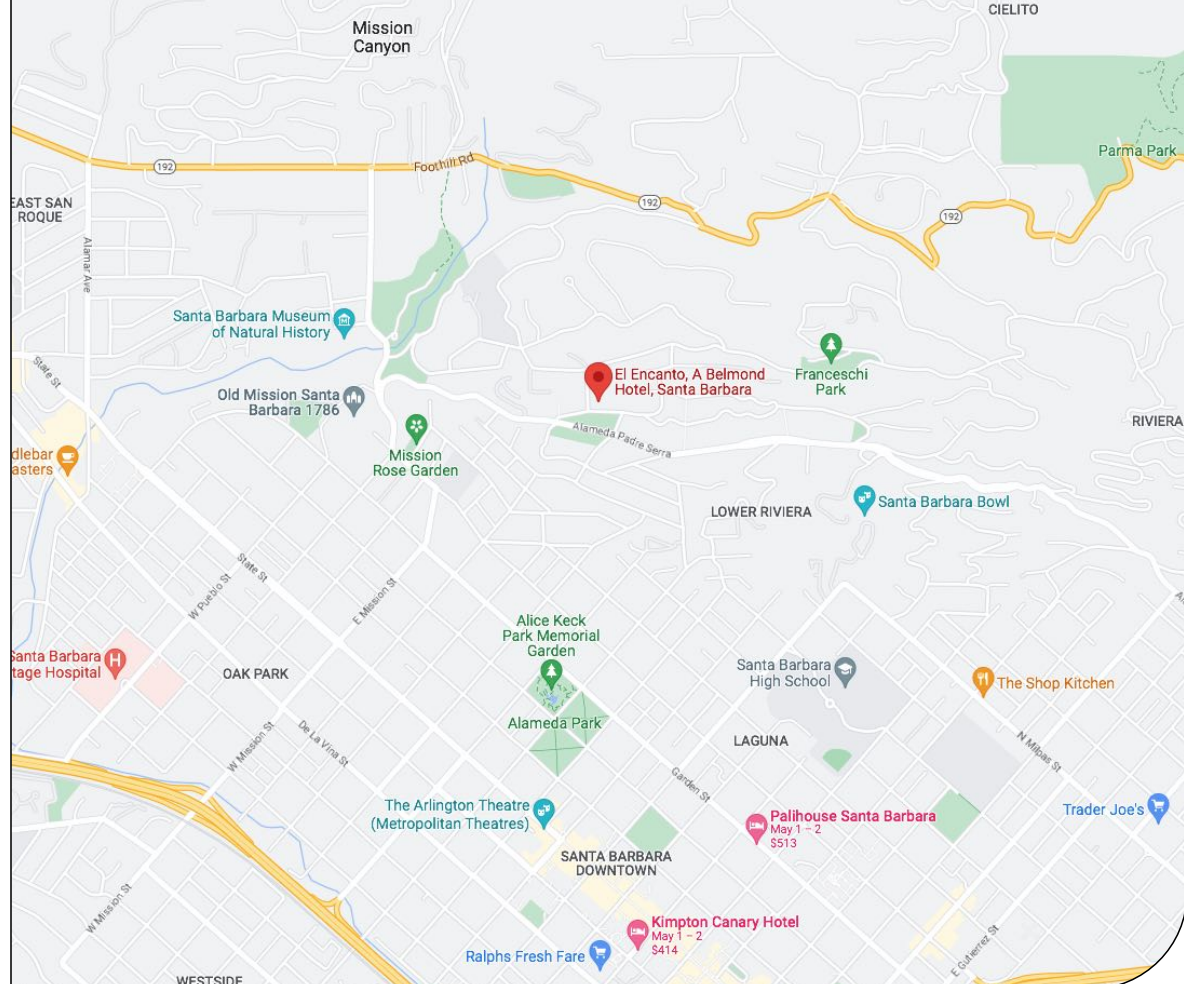
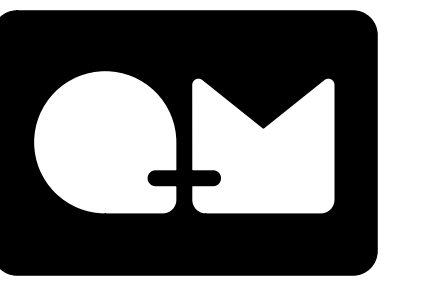


# El Encanto Hotel - Pergola

## 800 Alvarado Place

ABBREVIATIONS		GENERAL NOTES		CODE ANALYSIS		TABULATIONS		DRAWING INDEX																																																													
<p>@ d #B AC A/C AL AD AW BD BF BLDG BLK(G) BM BN BOT CB CI CLG CL CLR CMU CO COL CONN CONT CS CSK DF DH DIA DN DS DWG E (E) EA EJ ELEV EN EQ EQUIP FAU FBO</p> <p>FD FE(C) FF FG FH FIN FL FLG FLR FN FOC FOF FOM FOP FOS FR FT FX GA GALV GYP HB HCW HM HP HR HTR HVAC</p> <p>HW(R) INV LAG LAM LB</p>	<p>AT PENNY POUND ANCHOR BOLT ASPHALTIC CONCRETE AIR CONDITIONING ALUMINUM ANODIZED AWNING BOARD BIFOLD BUILDING BLOCKING) BEAM BOUNDARY NAILING BOTTOM CATCH BASIN CAST IRON CEILING JOIST CEILING CLOSET CLEAR CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONNECTION CONTINUOUS CASEMENT COUNTERSINK DOUGLAS FIR DOUBLE HUNG DIAMETER DOWN DOWNSPOUT DRAWING EAST EXISTING EACH EXPANSION JOINT ELEVATION EDGE NAIL EQUAL EQUIPMENT FORCED AIR UNIT FURNISHED BY OWNER OR OTHERS, TO BE INSTALLED BY CONTRACTOR FLOOR DRAIN FIRE EXTINGUISHER (&amp; CABINET) FLOOR DRAIN FINISHED FLOOR FINISHED GRADE FLAT HEAD FINISH FLOW LEVEL FLASHING FLOOR FIELD NAILING FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF PLYWOOD FACE OF STUD FRENCH DOOR FOOT OR FEET FIXED GAUGE GALVANIZED GYPSUM HOSE BIBB HOLLOW CORE WOOD HOLLOW METAL HORSE POWER HOUR HEATER HEATING/ VENTILATION/ AIR CONDITIONING HOT WATER (RETURN) INVERT LAMINATED GLASS LAMINATE LAG BOLT</p> <p>LT LIGHT MASONRY MATERIAL MAXIMUM MACHINE BOLT MECHANICAL MEMBRANE METAL MANUFACTURER MINIMUM MISCELLANEOUS NORTH NEW NOT IN CONTRACT NUMBER NOT TO SCALE ON CENTER OVAL HEAD OR OVER HEAD OPENING PERFORATED PRE FINISHED PLATE OR PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PERIMETER PAINT PAIR PRESSURE TREATED DOUGLAS FIR ROOF DRAIN ROUND HEAD ROOM ROUGH OPENING REDWOOD SCHEDULE(D) SOLID CORE WOOD SOUTH SQUARE FEET SINGLE HUNG SHEET SHEATHING SIMILAR RE: THE ARCH SHEET METAL MANUAL STRUCTURAL SPECIFICATION SQUARE STAIN STAINLESS STEEL STAIN STANDARD STEEL TOP OF CURB OR TOP OF CONCRETE TOP OF CATCH BASIN TONGUE AND GROOVE THROUGH TEMPERED TOP OF PAVING TOP OF WALL TYPICAL (ITEMS TYPICAL UNLESS SHOWN OR NOTED OTHERWISE) UNLESS NOTED OTHERWISE ULTRAVIOLET BLOCKING GLASS VINYL COMPOSITION TILE VERTICAL VERTICAL GRAIN DOUGLAS FIR VENT THRU ROOF WEST WATER CLOSET WOOD WATER HEATER WATERPROOF WOOD SCREW WWF WELDED WIRE FABRIC WITH WITHOUT</p>	<p>1. ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES AND REGULATIONS CURRENTLY IN EFFECT. 2. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201, LATEST VERSION, SHALL BE PART OF THESE PLANS AND SPECIFICATIONS. 3. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. INSTALL TEMPORARY BRACING AND SHORING AS REQUIRED TO GUARANTEE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. 4. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES DISCOVERED IN THE DRAWINGS AND/OR SPECIFICATIONS. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE COSTLY OR MORE RESTRICTIVE CONDITION SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE ARCHITECT. 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ALL SUB-CONTRACTORS. 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UNDERGROUND UTILITIES. 7. THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS PRIOR TO BID. ON SITE VERIFICATION OF ALL (E) DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR. 8. GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY TO ALL PARTS OF THE JOB, EXCEPT WHERE THEY MAY CONFLICT WITH SPECIFIC DETAILS AND NOTES. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED AND TYPICAL DETAILS DO NOT APPLY, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. 9. ALL DIMENSIONS TYPICALLY TO FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE. ALL OPENINGS DIMENSIONED TO CENTERLINE OF OPENING. PLYWOOD AT EXTERIOR WALLS SHALL ALIGN WITH FACE OF CONCRETE FOOTING. *FINISHED FLOOR* INDICATES TOP OF STRUCTURAL CONCRETE SLAB OR PLYWOOD DECK. 10. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE. 11. CARPENTRY SHALL BE IN ACCORDANCE WITH CHAPTER 23, C.B.C. 12. ALL COVER PLATES, GRILLS, AND EXPOSED ELECTRICAL FITTINGS TO BE WHITE, UNLESS NOTED OTHERWISE. 13. ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES. 14. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING, BASEMENT, UNDERFLOOR OR WALL ACCESS PANELS AS REQUIRED BY GOVERNING AGENCIES FOR VENTILATION, CRAWLSPACE AND ATTIC ACCESS, AIR CONDITIONING, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. PROVIDE RATED ASSEMBLIES WHERE REQUIRED. 15. ARCHITECT IS NOT RESPONSIBLE FOR MOLD ENCOUNTERED DURING OR AFTER CONSTRUCTION. MOLD &amp; MILDEW OCCURS NATURALLY IN THE ENVIRONMENT. CONTRACTOR TO PROVIDE PROPER VENTILATION, PROPERLY DRIED WOOD, VAPOR BARRIERS, AS WELL AS MATERIALS THAT "BREATHE" TO AVOID MOLD FROM OCCURRING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS IN PLANS THAT COULD LEAD TO MOLD OCCURANCE PRIOR TO CONSTRUCTION. 16. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN TITLE 24 CAC AND ADA TITLE III STANDARDS. THE SYMBOL SPECIFIED SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FED. STANDARD 595A.  THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORMS. ALL LIGHT SWITCHES AND THERMOSTATS SHALL BE MOUNTED NO MORE THAN 48" ABOVE FINISHED FLOOR ELEVATION.  ALL RAMPS SHALL HAVE A MEDIUM BROOM FINISH UNLESS NOTED OTHERWISE ON PLANS. 17. ALL NEW CONSTRUCTION DETAILS SHALL MATCH EXISTING CONDITIONS TO THE GREATEST EXTENT POSSIBLE. 18. TOILETS SHALL HAVE A MAXIMUM OF 1.28 GALLONS PER FLUSH. SHOWER HEAD FLOW SHALL NOT EXCEED 2 GALLONS PER MINUTE. 19. FIRESTOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: A. CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING/FLOOR LEVELS AND AT 10 FOOT INTERVALS ALONG THE LENGTH OF THE WALL. B. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. C. CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS. C.B.C. SEC. 718.2.4 20. ALL EXTERIOR OPENINGS TO BE FLASHED IN A MANNER TO MAKE THEM WEATHERPROOF. C.B.C. SEC. 1405.4</p>	<p>APPLICABLE CODES: Intent to comply with 2022 CBC, 2022 CPC, 2022 CMC 2022 CEC, TITLE 24 CAC, 2022 CFC, ADA TITLE III, and current engineering and architectural practices</p> <p>MIXED OCCUPANCY? YES</p> <p>SPRINKLERED? YES</p> <p>OCCUPANCY GROUP: R-1</p> <p>TYPE CONSTRUCTION: II-A</p> <p>PROPOSED USE: HOTEL</p> <p>EXISTING USE: HOTEL</p> <p>OCCUPANT LOAD: N/A</p> <p>NEW SF: N/A</p> <p>ALTERATION SF: N/A</p> <p>EXISTING SF: N/A</p> <p>ACCESSORY STRUCTURE SF: N/A</p> <p>NUMBER OF STORIES: 2</p> <p>EROSION CONTROL PLAN: YES</p> <p>GRADING C.Y.: CUT: 0 CY FILL: 0 CY</p> <p>FLOOD ZONE: NO</p> <p>SWMP REQUIREMENTS: NO</p>	<p>PROPERTY OWNER: EL ENCANTO INC 800 ALVARADO PLACE SANTA BARBARA, CA 93103</p> <p>PROJECT ADDRESS: 800 ALVARADO PLACE SANTA BARBARA, CA 93103</p> <p>A.P.N.: 019-170-022</p> <p>HIGH FIRE ZONE? YES</p> <p>FLOOD ZONE? NO</p> <p>LAND USE ZONE (Title 30 Zoning - Inland): R-2-4.0/RH,RS-15</p> <p>GENERAL PLAN: Low Density Residential (3 du/ac)</p> <p>AVG. SLOPE: 17% (est. from City GIS)</p> <p>SETBACKS:</p> <table border="1"> <tr> <th>BUILDING</th> <th>1-STORY</th> <th>2-STORY</th> </tr> <tr> <td>FRONT:</td> <td>30 FT</td> <td>40 FT</td> </tr> <tr> <td>REAR:</td> <td>30 FT</td> <td>40 FT</td> </tr> <tr> <td>INTERIOR:</td> <td>30 FT</td> <td>40 FT</td> </tr> </table> <p>IN-GROUND SWIMMING POOLS</p> <table border="1"> <tr> <td>FRONT:</td> <td>15 FT</td> </tr> <tr> <td>INTERIOR:</td> <td>15 FT *</td> </tr> </table> <p>*To any interior lot line adjacent to property zoned or developed with residential uses</p> <p>LOT SIZE: GROSS: 304,634 SF 6.89 ACRES NET: 291,242 SF 6.69 ACRES</p> <p>LOT COVERAGE:</p> <table border="1"> <tr> <th>BUILDING FOOTPRINT:</th> <th>EXISTING</th> <th>PROPOSED</th> </tr> <tr> <td>GARAGE (ALVARADO):</td> <td>70,768 SF</td> <td>70,768 SF</td> </tr> <tr> <td>GARAGE (MISSION RIDGE):</td> <td>52,241 SF</td> <td>52,241 SF</td> </tr> <tr> <td>LANDSCAPE:</td> <td>169,833 SF</td> <td>169,833 SF</td> </tr> <tr> <td>SWMP:</td> <td>N/A</td> <td>N/A</td> </tr> </table> <p>PARKING (ALL PARKING IS VALET)</p> <table border="1"> <tr> <td>REQUIRED:</td> <td>97</td> </tr> <tr> <td>PROVIDED:</td> <td>100</td> </tr> </table> <p>PARKING BREAKDOWN</p> <table border="1"> <tr> <td>GARAGE (ALVARADO):</td> <td>42</td> </tr> <tr> <td>GARAGE (MISSION RIDGE):</td> <td>52</td> </tr> <tr> <td>ENTRY COURT</td> <td>6 (INCLUDES 2 ADA SPACES)</td> </tr> <tr> <td>TOTAL</td> <td>100</td> </tr> </table>	BUILDING	1-STORY	2-STORY	FRONT:	30 FT	40 FT	REAR:	30 FT	40 FT	INTERIOR:	30 FT	40 FT	FRONT:	15 FT	INTERIOR:	15 FT *	BUILDING FOOTPRINT:	EXISTING	PROPOSED	GARAGE (ALVARADO):	70,768 SF	70,768 SF	GARAGE (MISSION RIDGE):	52,241 SF	52,241 SF	LANDSCAPE:	169,833 SF	169,833 SF	SWMP:	N/A	N/A	REQUIRED:	97	PROVIDED:	100	GARAGE (ALVARADO):	42	GARAGE (MISSION RIDGE):	52	ENTRY COURT	6 (INCLUDES 2 ADA SPACES)	TOTAL	100	<p>GENERAL G-000 TITLE SHEET G-004 SITE PHOTOS</p> <p>ARCHITECTURAL A-100 SITE PLAN A-101 FLOOR PLAN A-201 SOUTH ELEVATION A-202 WEST ELEVATION A-203 EAST ELEVATION A-204 EXISTING EXTERIOR PERSPECTIVES A-205 PROPOSED EXTERIOR PERSPECTIVES A-601 MANUFACTURER DETAILS A-602 PERGOLA DETAILS</p> <p>PROFESSIONALS</p> <p>OWNER: EL ENCANTO INC 800 ALVARADO PLACE SANTA BARBARA, CA 93103 310.259.8945</p> <p>ARCHITECT: ANDRULAITIS+MIXON ARCHITECTS, INC. 2040 ALAMEDA PADRE SERRA, SUITE 107 SANTA BARBARA, CA 93103 805.899.2528</p> <p>JOB NUMBER: 24.009</p> <p>CONTENTS</p> <p>TITLE SHEET</p> <p>ANDRULAITIS+MIXON ARCHITECTS, INC. expressly reserves their common law copyright and other property rights in these plans. 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<p><b>FIRE DEPT NOTES</b></p> <p>PORTABLE FIRE EXTINGUISHERS RATED 2A10BC SHALL BE LOCATED WITHIN 75 FEET TRAVEL DISTANCE.</p>		<p><b>SYMBOLS</b></p> <table border="0"> <tr> <td></td> <td>WORK POINT, CONTROL PT. OR DATUM PT.</td> <td></td> <td>SECTION IDENTIFICATION SHEET WHERE DRAWN</td> </tr> <tr> <td></td> <td>INTERIOR ELEVATION(S) SHEET WHERE DRAWN</td> <td></td> <td>DETAIL REFERENCE</td> </tr> <tr> <td></td> <td>WINDOW TYPE</td> <td></td> <td>DETAIL NUMBER SHEET WHERE DRAWN</td> </tr> <tr> <td></td> <td>DOOR TYPE</td> <td></td> <td>EXIST. CONTOUR</td> </tr> <tr> <td></td> <td>REVISION</td> <td></td> <td>NEW CONTOUR</td> </tr> <tr> <td></td> <td>PARTITION TYPE</td> <td></td> <td>NEW GRADE</td> </tr> <tr> <td></td> <td>ROOM NAME</td> <td></td> <td>EXISTING GRADE</td> </tr> <tr> <td></td> <td>ROOM NUMBER</td> <td></td> <td></td> </tr> <tr> <td></td> <td>REFERENCE NOTE</td> <td></td> <td></td> </tr> </table>			WORK POINT, CONTROL PT. OR DATUM PT.		SECTION IDENTIFICATION SHEET WHERE DRAWN		INTERIOR ELEVATION(S) SHEET WHERE DRAWN		DETAIL REFERENCE		WINDOW TYPE		DETAIL NUMBER SHEET WHERE DRAWN		DOOR TYPE		EXIST. CONTOUR		REVISION		NEW CONTOUR		PARTITION TYPE		NEW GRADE		ROOM NAME		EXISTING GRADE		ROOM NUMBER				REFERENCE NOTE			<p><b>SCOPE OF WORK</b></p> <p>THE SCOPE OF WORK INCLUDES: NEW 2,300 SF PERGOLA W/ RETRACTIBLE COVER ON EXISTING OUTDOOR DINING TERRACE. THE PERGOLA WILL OFFER PROTECTION DURING RAIN SHOWERS AND FOG DRIZZLE AND WILL REMAIN OPEN OTHERWISE.</p>		<p><b>VICINITY MAP</b></p> 																											
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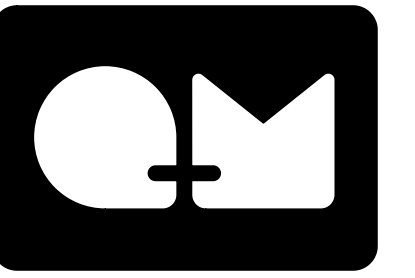
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2040 ALAMEDA PADRE SERRA  
SANTA BARBARA SUITE 107  
CALIFORNIA 805 899 2528

Proposed project/remodel for:  
**El Encanto Hotel - Pergola**  
800 Alvarado Place  
Santa Barbara, CA 93103

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24.009		
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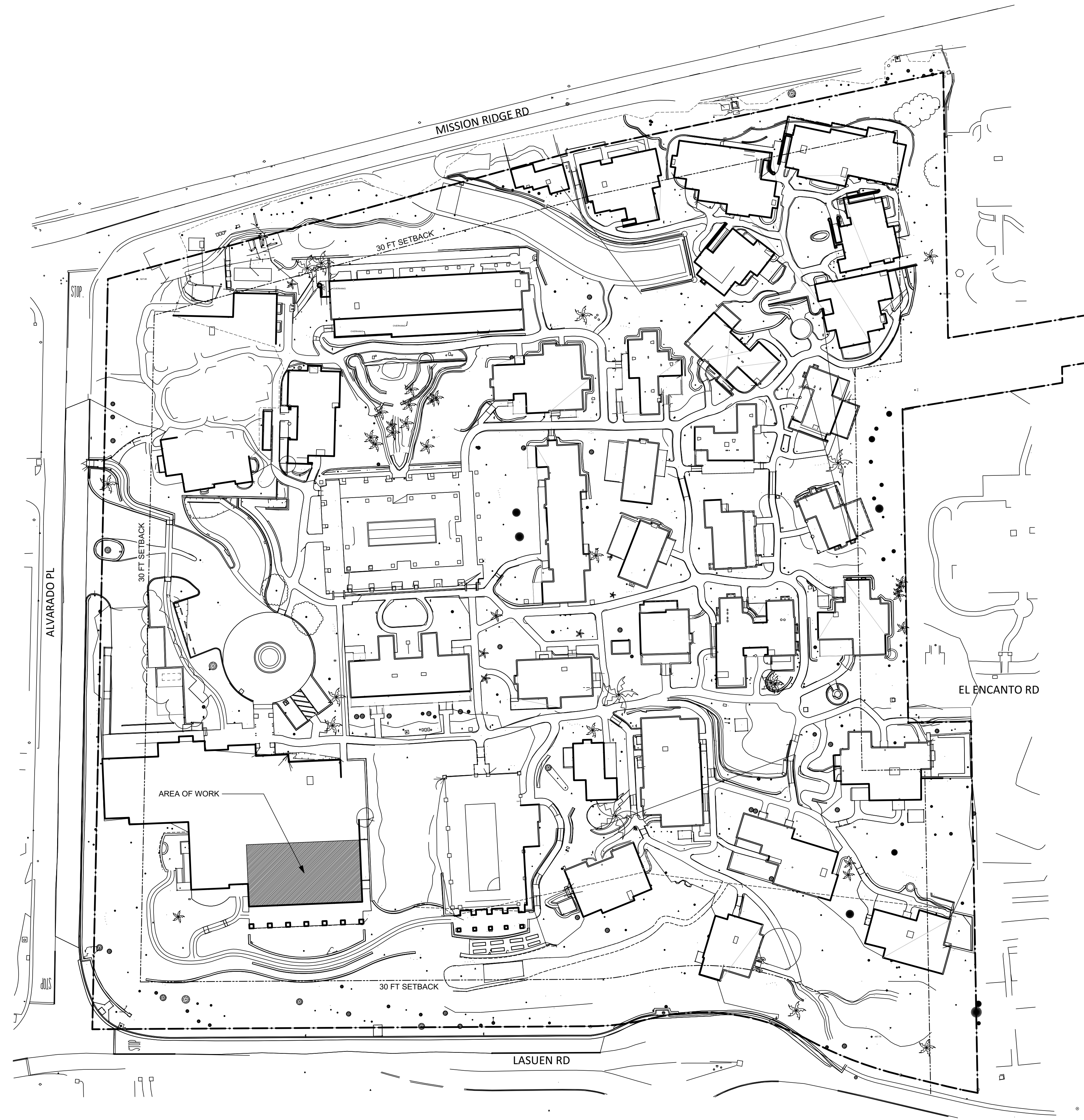




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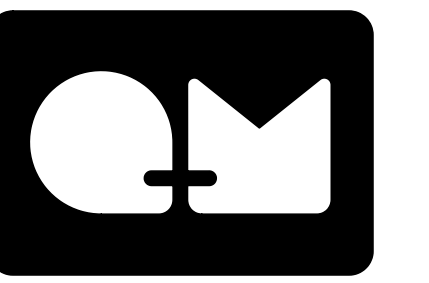
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1 Site Plan  
Scale: 1" = 40'-0" ↑

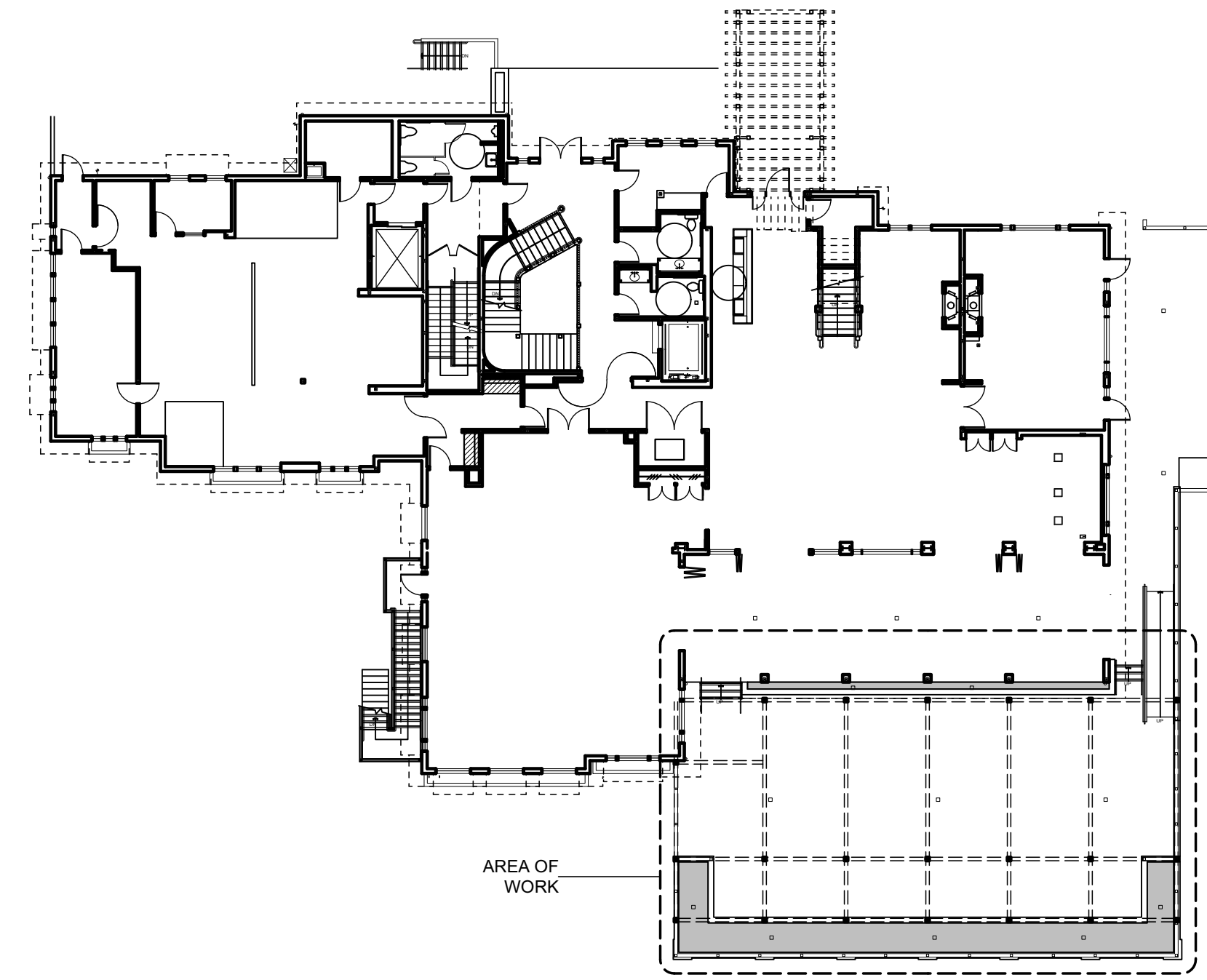
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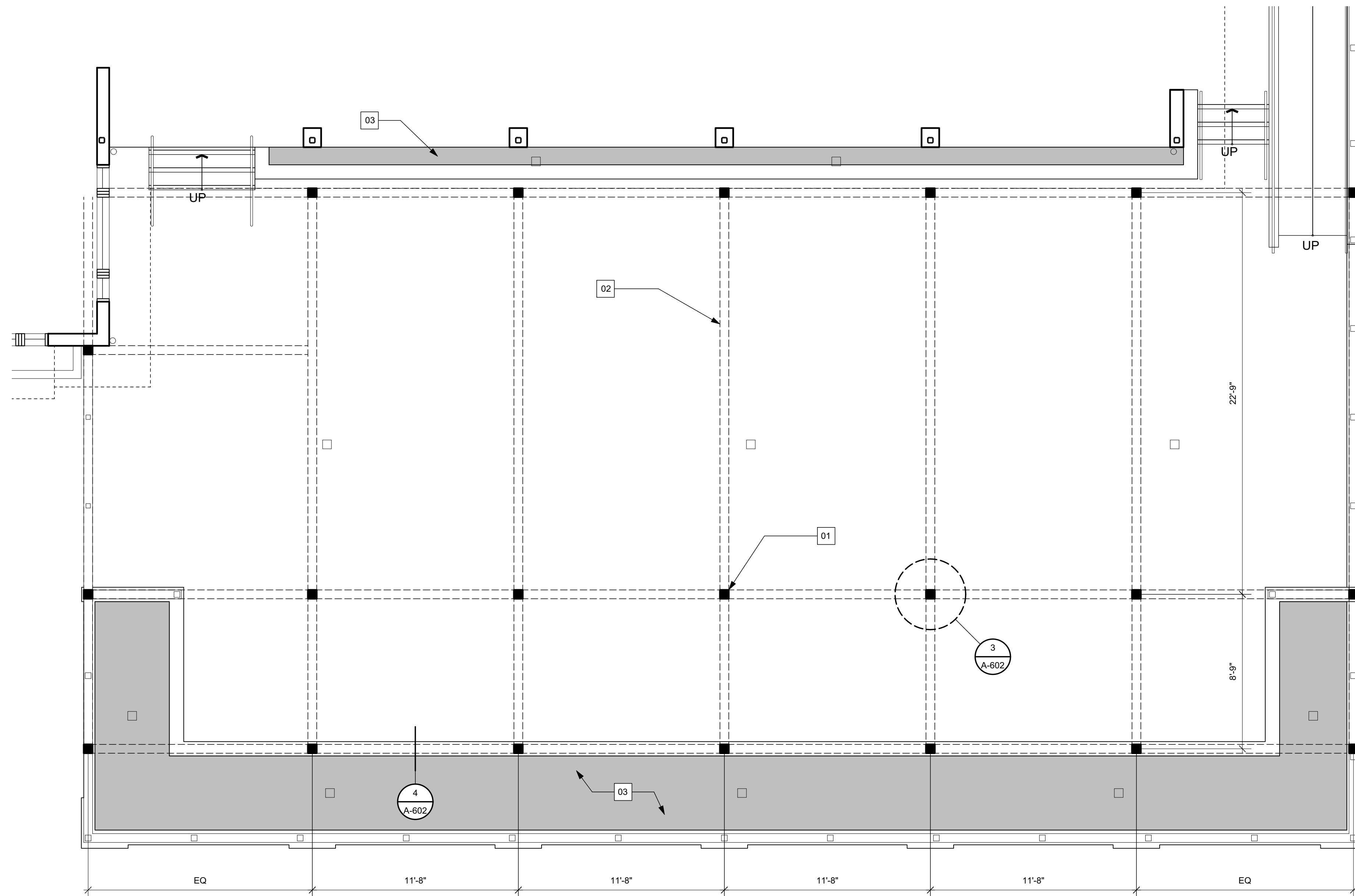
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2040 ALAMEDA PADRE SERRA  
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CALIFORNIA 805 899 2528

Proposed project/remodel for:  
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**Key Floor Plan**  
Scale: 1" = 20'-0"



**PLAN NOTES**

- 01 6" SQ. PERGOLA BASE COLUMN
- 02 6"X9" PERGOLA BEAM ABOVE
- 03 EXISTING RAISED PLANTER

**1 Pergola Plan**  
Scale: 1/4" = 1'-0"

**LICENSE**

**JOB NUMBER**

24.009

**CONTENTS**

FLOOR  
PLAN

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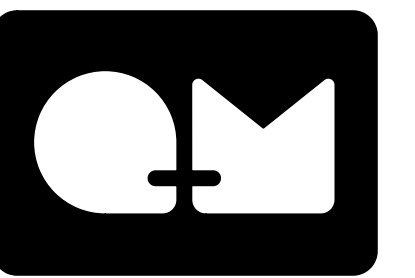
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**A-101**



**ELEVATION NOTES**

- 01 PREFAB METAL PERGOLA 6" COLUMN W/ APPLIED TRIM TO MATCH EXISTING TRELLIS ON 2ND FLOOR
- 02 DECORATIVE WOOD TRELLIS MEMBERS OVER PERGOLA TO MATCH EXISTING TRELLIS ON 2ND FLOOR



**andrulaitis+mixon**

2040 ALAMEDA PADRE SERRA  
SANTA BARBARA SUITE 107  
CALIFORNIA 805 899 2528



**1 Existing South Elevation**  
Scale: 1/8" = 1'-0"



**2 Proposed South Elevation**  
Scale: 1/8" = 1'-0"

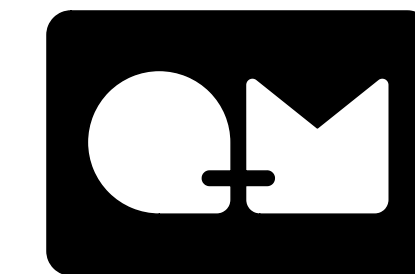
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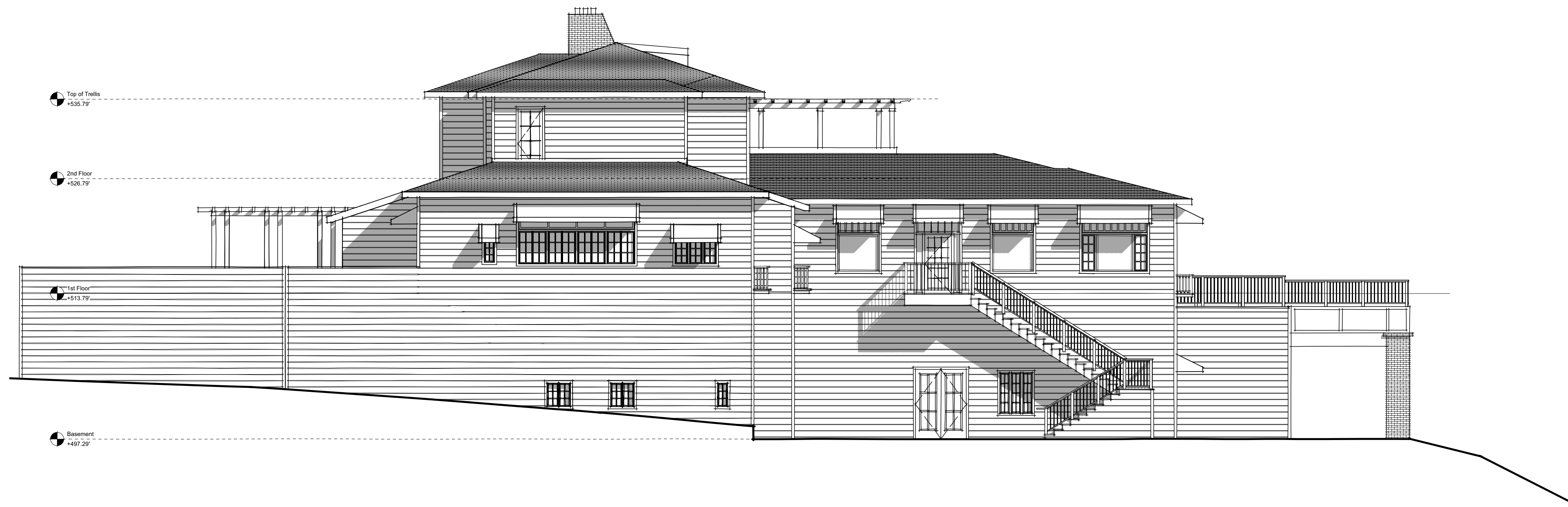
**ELEVATION NOTES**

- 01 PREFAB METAL PERGOLA 6" COLUMN W/ APPLIED TRIM TO MATCH EXISTING TRELLIS ON 2ND FLOOR
- 02 DECORATIVE WOOD TRELLIS MEMBERS OVER PERGOLA TO MATCH EXISTING TRELLIS ON 2ND FLOOR

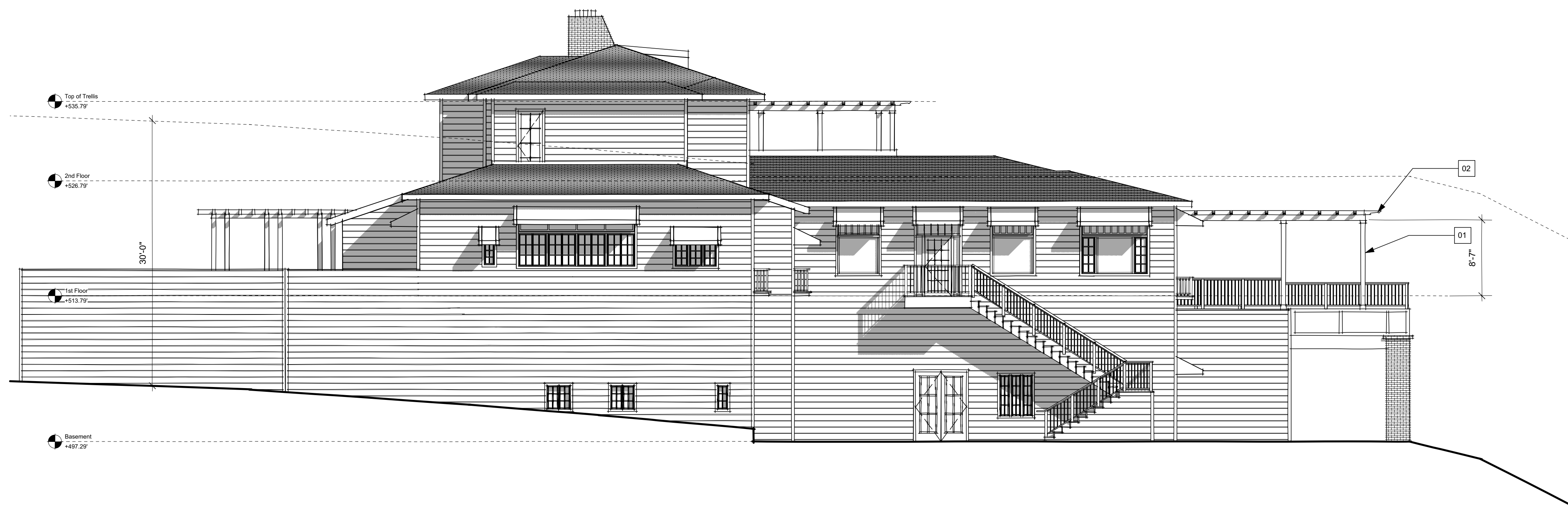


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2040 ALAMEDA PADRE SERRA  
SANTA BARBARA SUITE 107  
CALIFORNIA 805 899 2528



**1 Existing West Elevation**  
Scale: 1/8" = 1'-0"



**2 Proposed West Elevation**  
Scale: 1/8" = 1'-0"

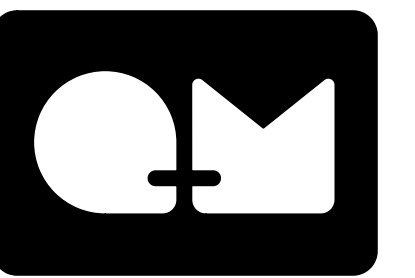
Proposed project/remodel for:  
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 Santa Barbara, CA 93103

<b>LICENSE</b>																		
<b>JOB NUMBER</b>																		
24.009																		
<b>CONTENTS</b>																		
WEST ELEVATION																		
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<b>A-202</b>																		



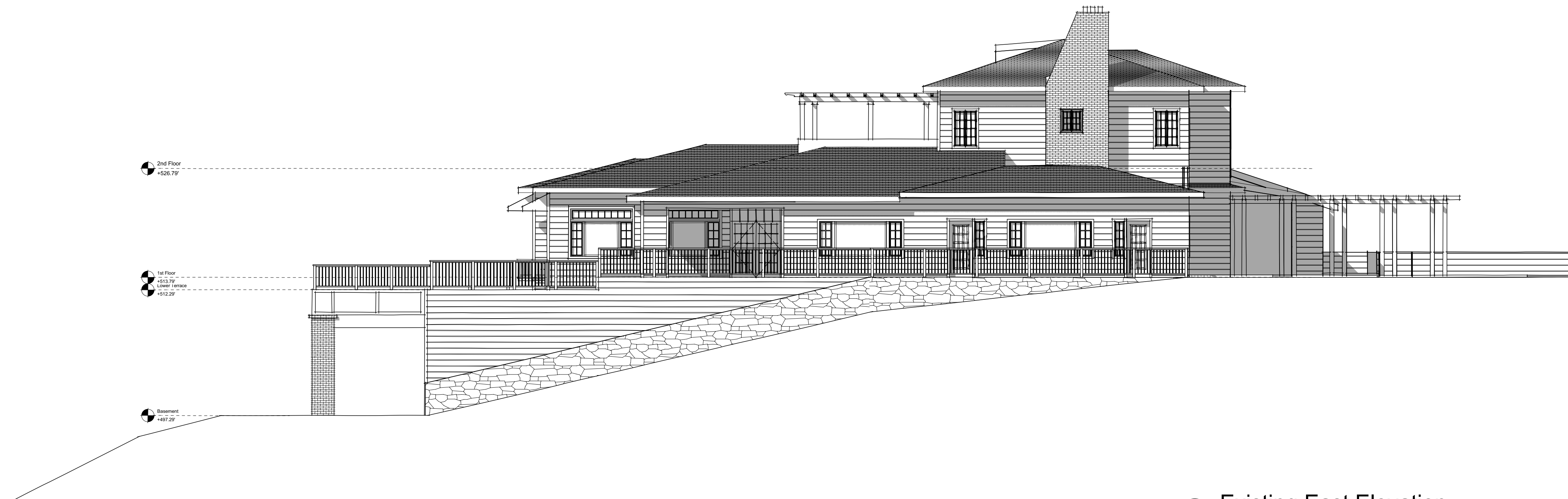
**ELEVATION NOTES**

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- 02 DECORATIVE WOOD TRELLIS MEMBERS OVER PERGOLA TO MATCH EXISTING TRELLIS ON 2ND FLOOR

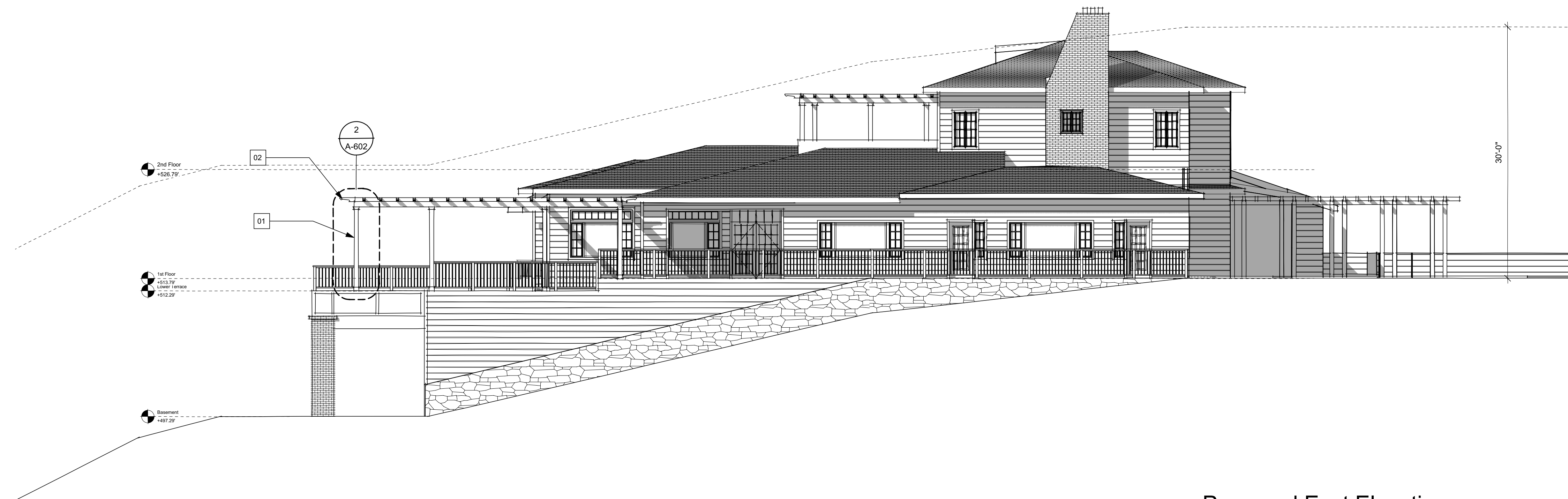


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CALIFORNIA 805 899 2528



**1 Existing East Elevation**  
Scale: 1/8" = 1'-0"

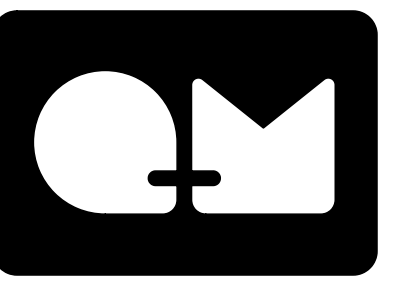


**2 Proposed East Elevation**  
Scale: 1/8" = 1'-0"

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 Santa Barbara, CA 93103

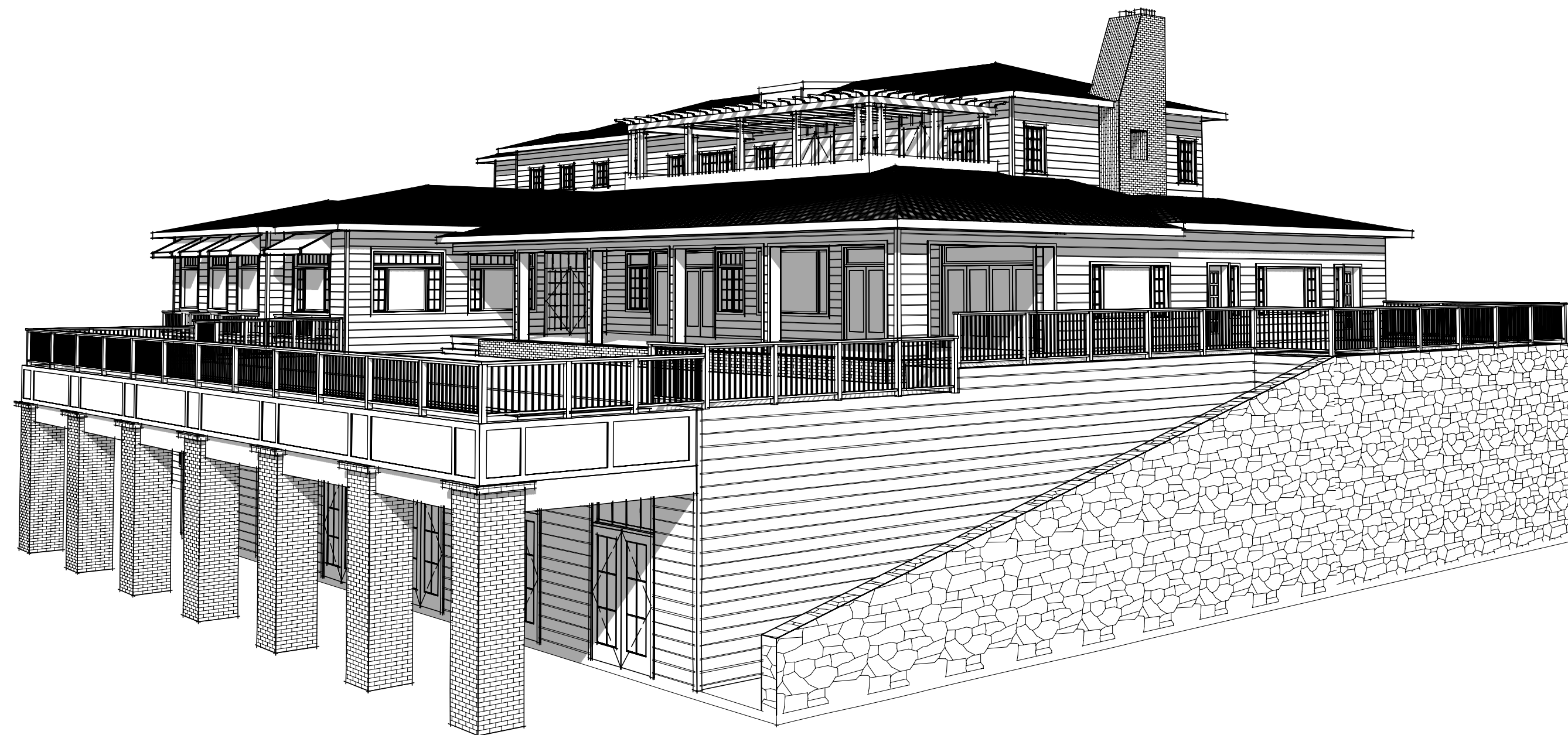
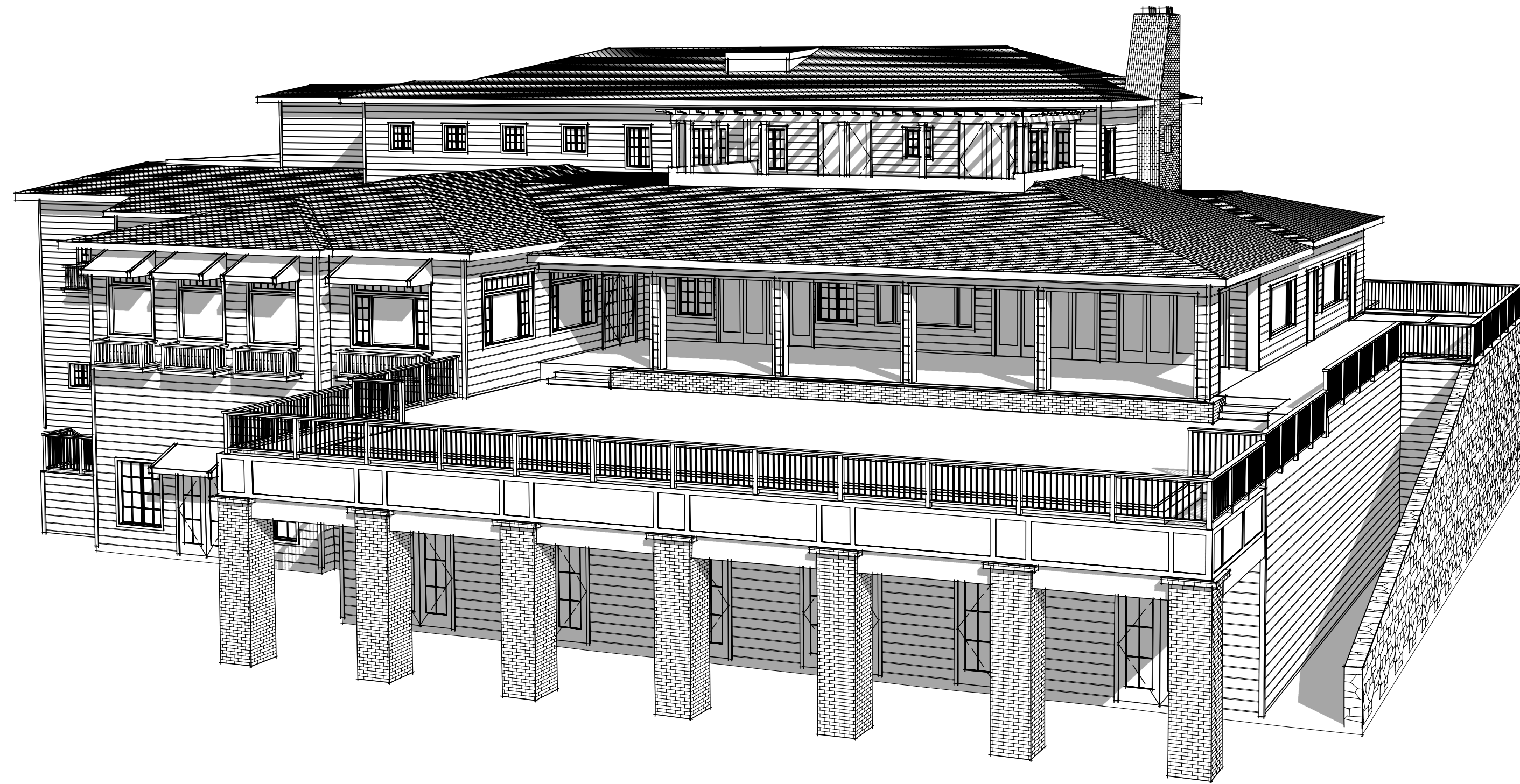
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JOB NUMBER															
24.009															
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EAST ELEVATION															
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<b>A-203</b>															





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EXISTING  
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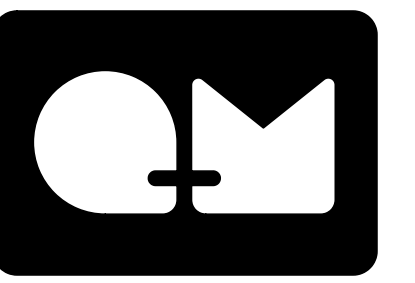
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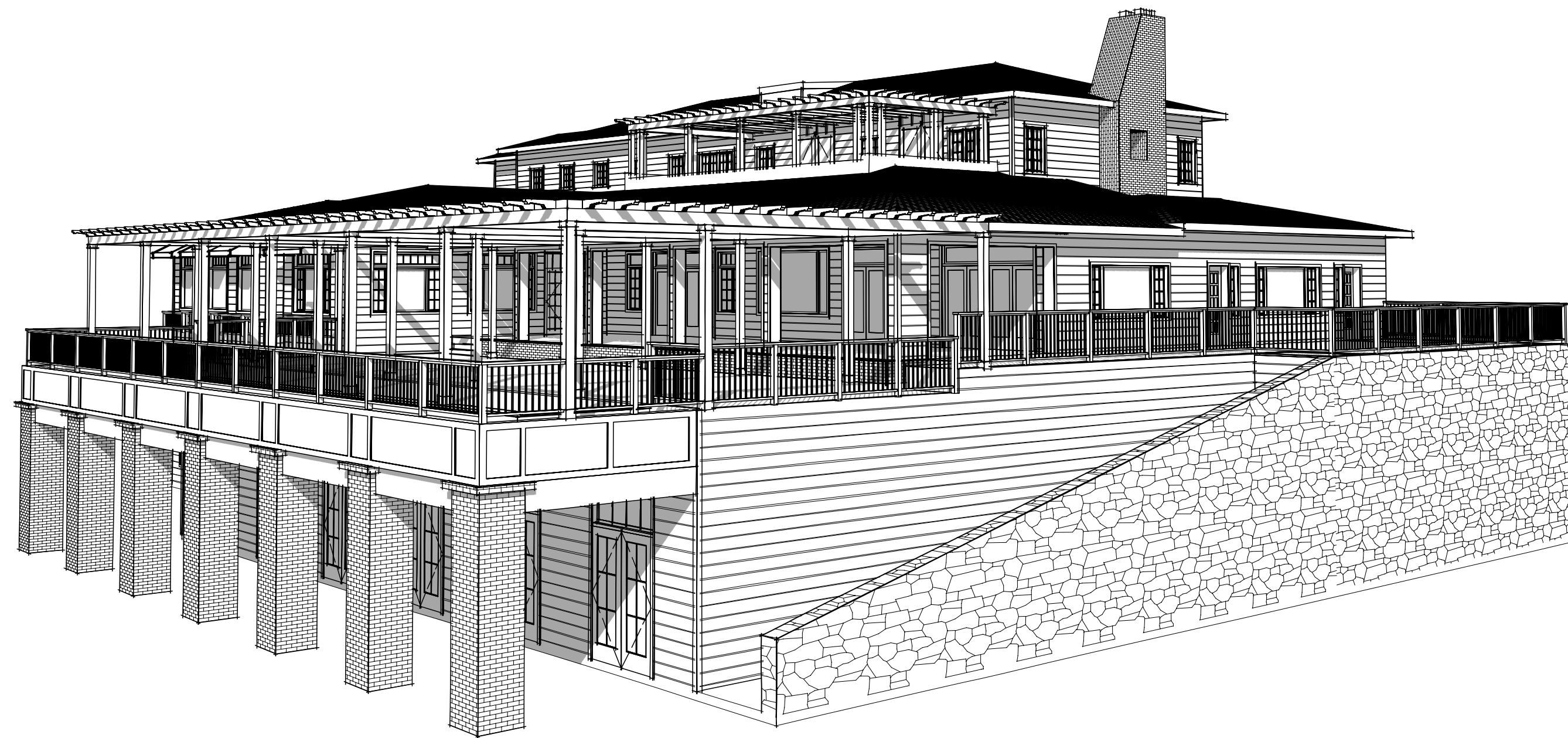
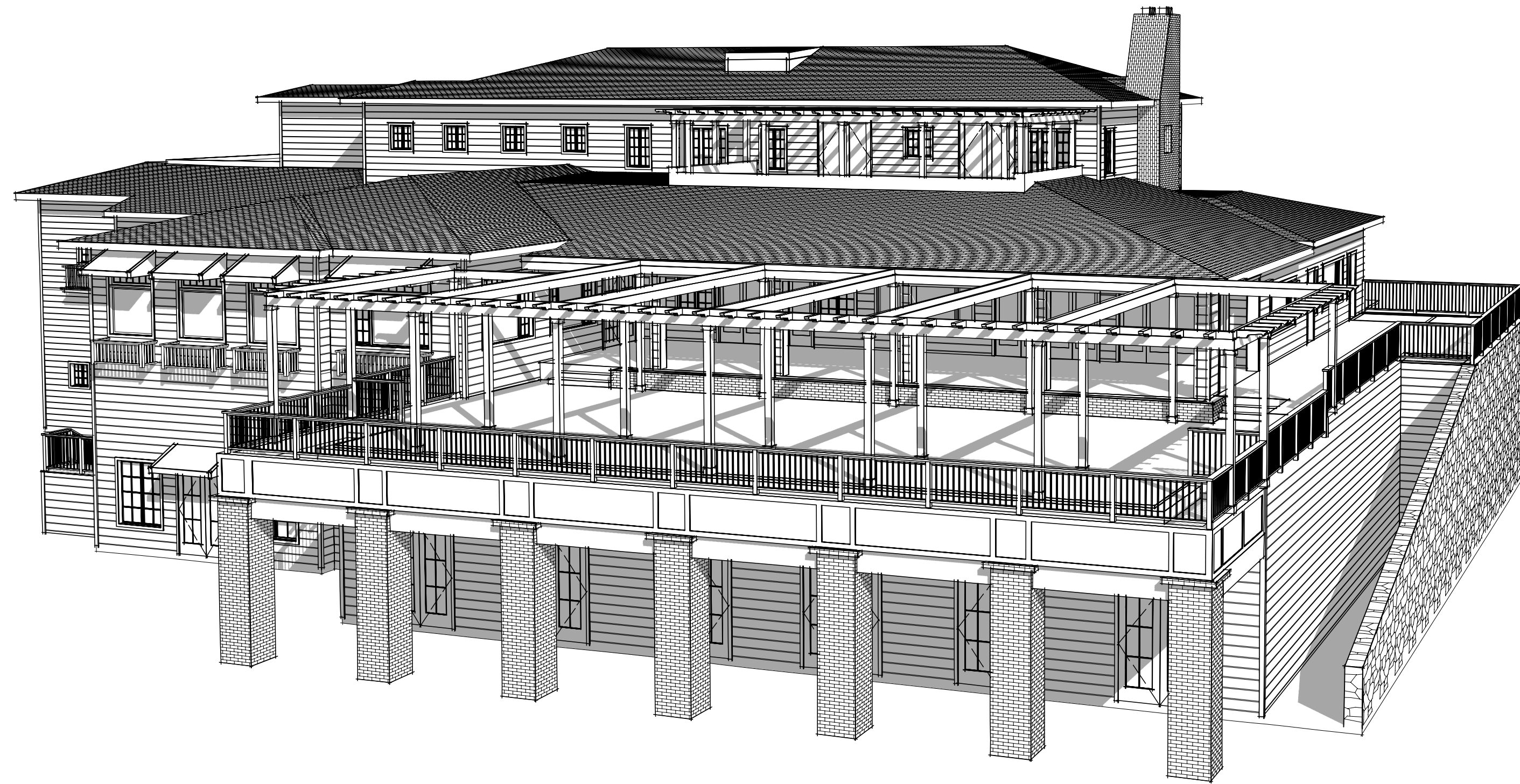
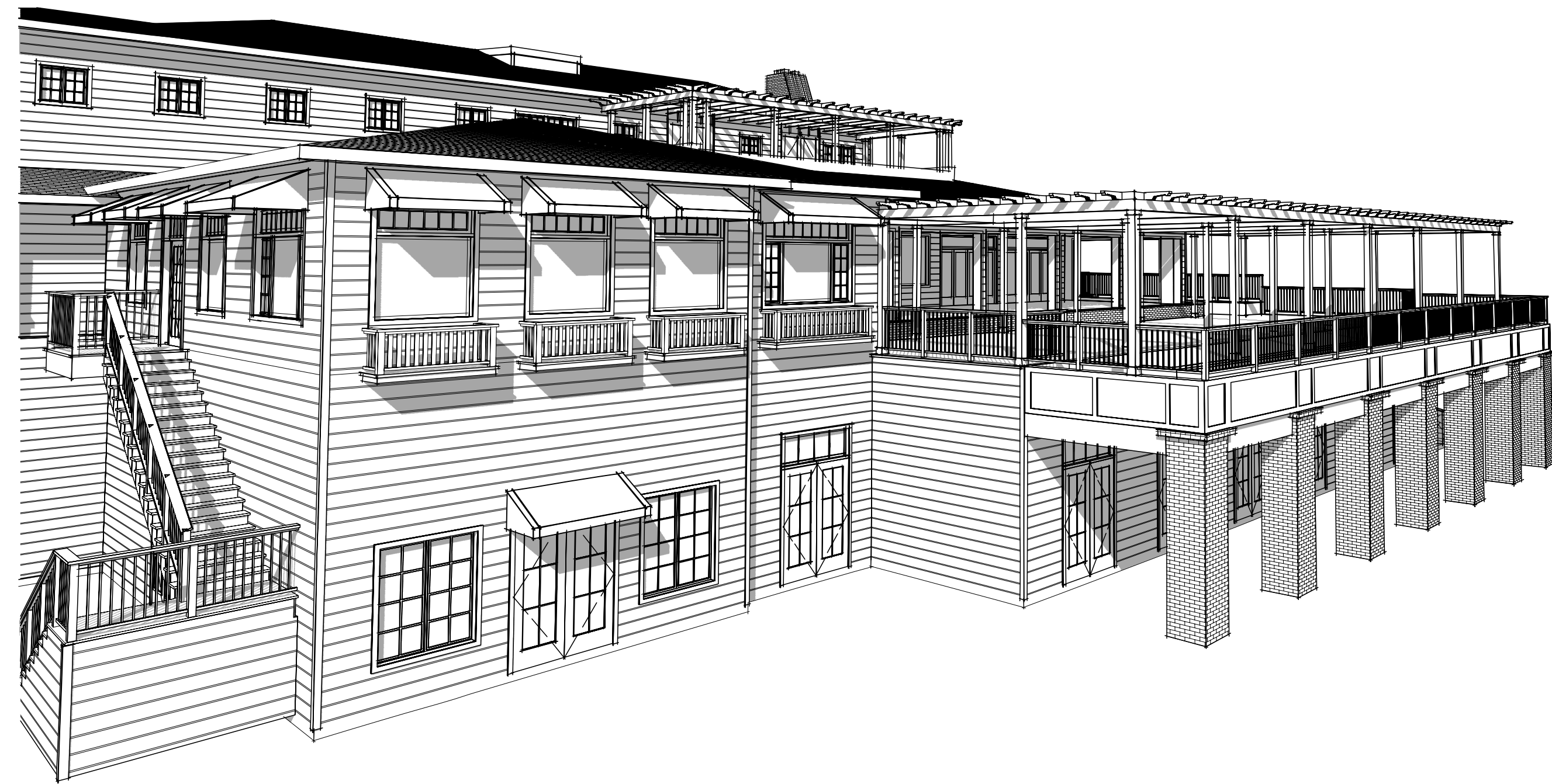
**A-204**





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07.08.24

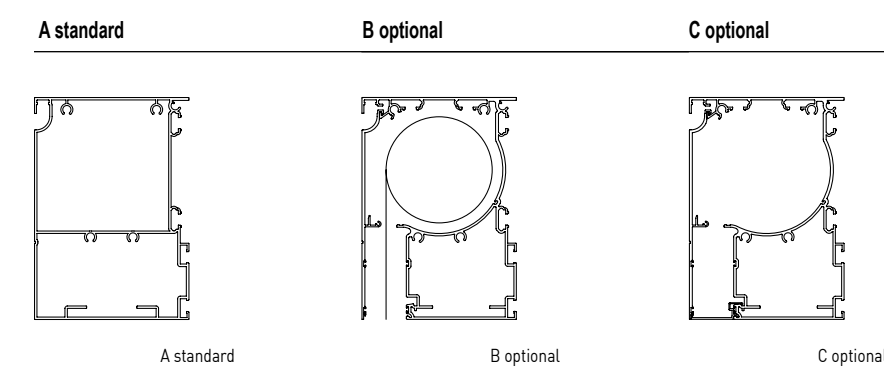
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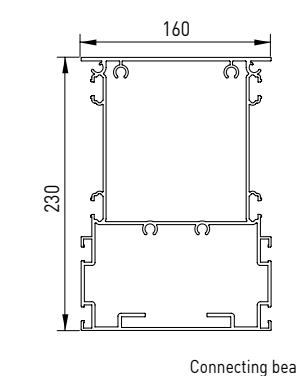
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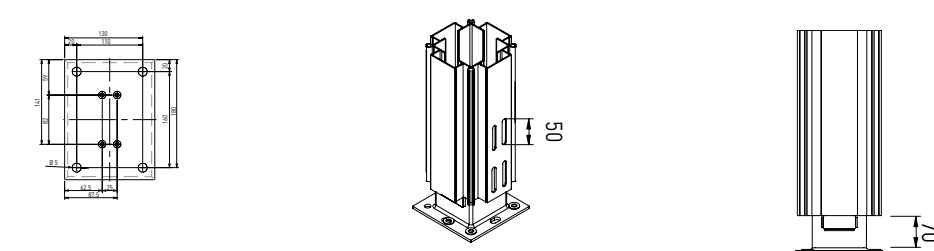
TECHNICAL INFORMATION



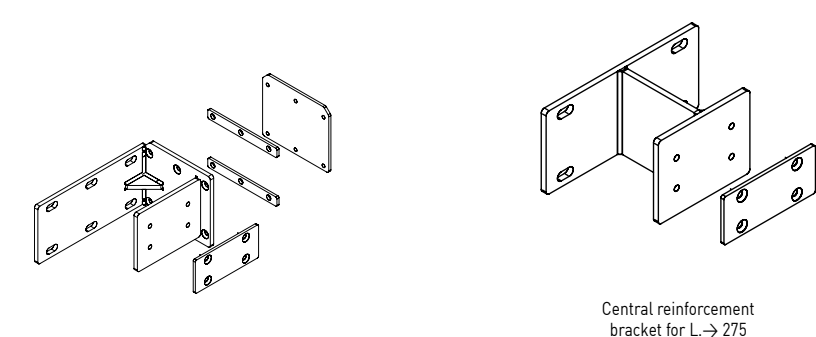
Connecting beam



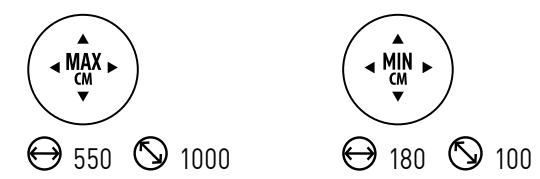
Ground connection



Wall installation



ISOLA 3



Aluminium shade structure with folding retractable awning.  
The curtain, which is stretched at maximum opening, is fixed on arched crossbars and slides horizontally by means of trolleys on guides thanks to the insertion of tubular motors.  
The maximum dimensions allowed are 550x1000 with 300 cm. high pillars. 55 mq coverage area for single module.  
The profiles are made of EN AW-6060 extruded aluminium alloy (with 16 x 23 cm guides and 16 x 16 cm columns).  
Each module is motorised separately.  
Freestanding or wall-mounted versions are available with steel brackets and screws.  
The painting of the interested parties is carried out with epoxy powders based on polyester resin.  
The standard colors are RAL 9010 White, RAL 1013 Off-white, RAL 7016 Iron, rough Carbon and rough Corten.  
Opallex Flat are the fabrics available as standard.  
Among the options shown, there are others available as displayed in the samples. Possibility of both internal lighting on calendered arches and perimeter, and external lighting on the girder, through the installation of LED strips.  
Moreover, it is foreseen the insertion of light sensors, rain sensors and anemometers with the possibility of remote management through connection devices that make it integrable with the home automation of the house.  
Wind resistance guaranteed up to class 6 (EN 13561:2015).  
Wind-resistant up to Class 6 (EN 13561:2015).  
Product certified with CE marking according to EN 13561:2015

OPTIONAL



keoutdoor design.com



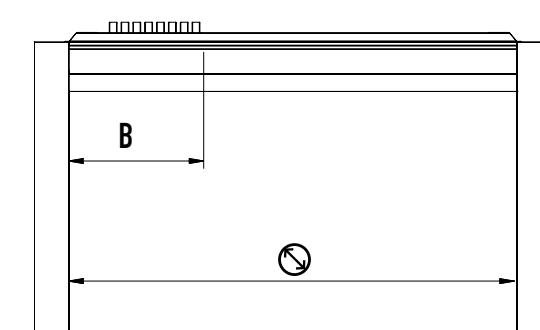
ISOLA 3

29.04.24\_rev.01



TECHNICAL INFORMATION

Cloth dimensions



Indicative values of the fabric encumbrance and the number of the fabric carrying crossbar profiles.

Traverse movement

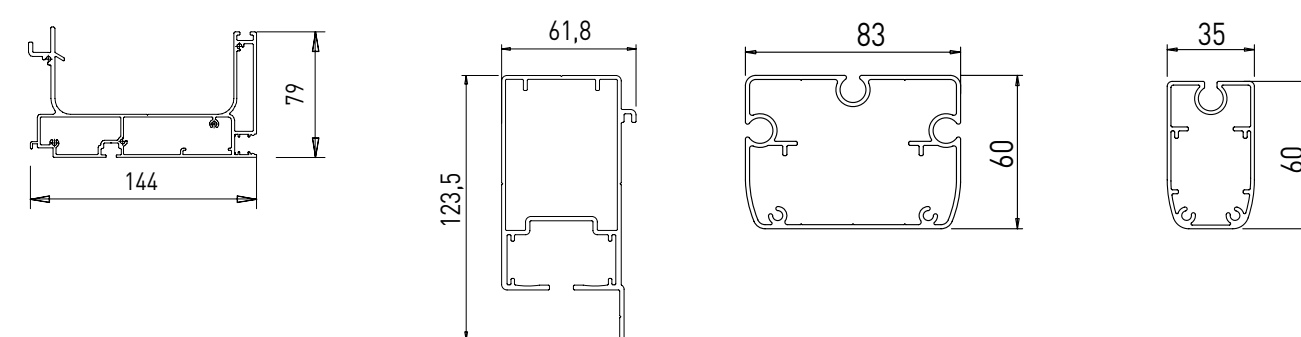
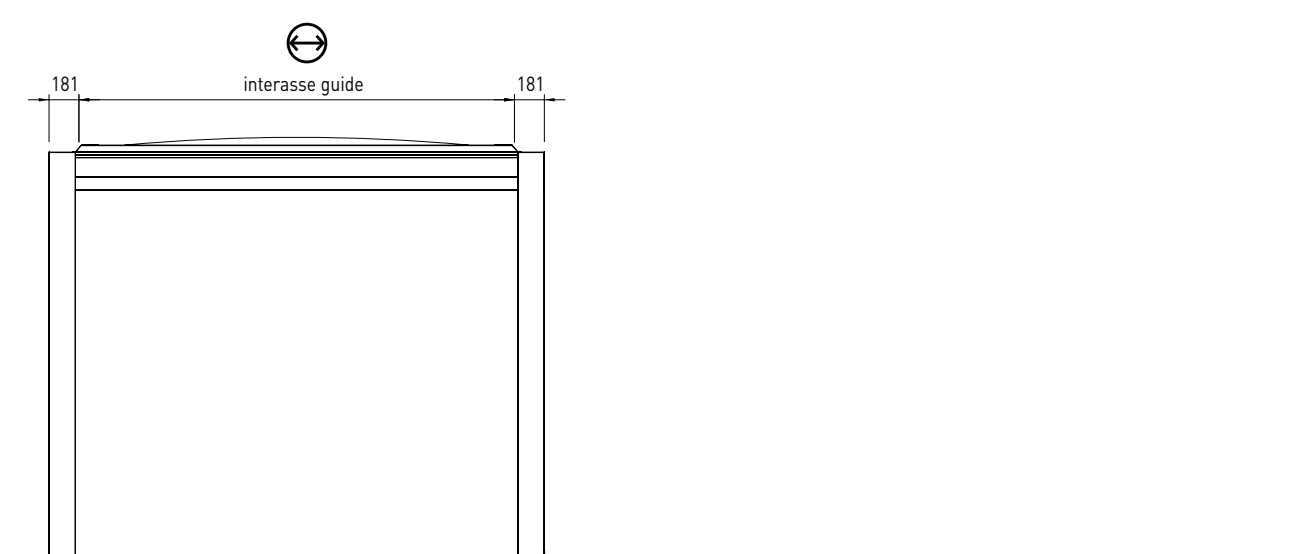
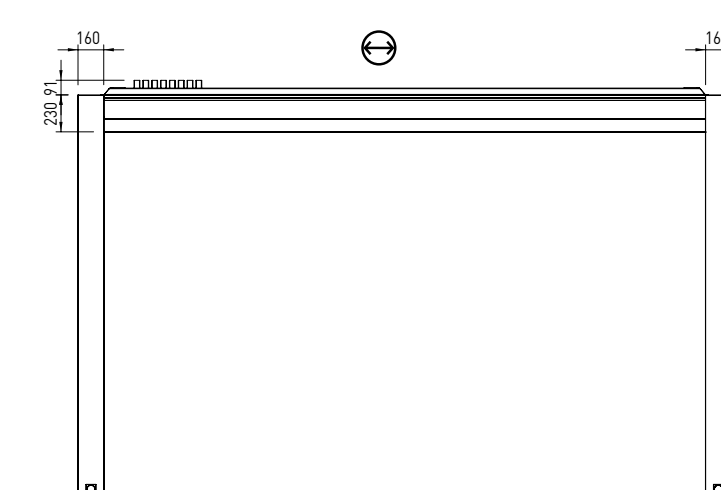
↻	B cm	N
250	65	7
300	70	8
350	76	9
400	82	10
450	94	12
750	136	13
500	100	14
800	142	15
550	106	17
850	154	18
600	112	19
900	160	20
650	124	22
950	166	23
700	130	24
1000	172	25

Crossbar profile numbers (terminals included). Maximum interaxis fabric carrying cross bar profiles measure cm 40.



TECHNICAL INFORMATION

General technical plan



PLUS PRODUCT

**SCREWS**  
Hidden and included Screws and fasteners into the design.

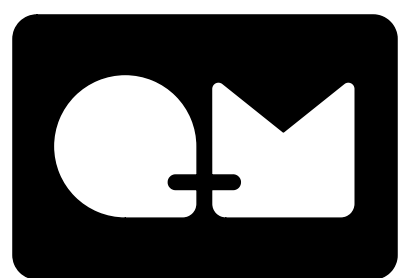
**ARCHED ROOF**  
The arched shaped roof allows maximum height overall dimensions and enhances the structure design.

The integrated LED spotlights ensure an illumination with reflected light, external, internal.

**MODULAR SYSTEM**  
Infinite number of modules can be installed side by side.

**CLOSURE**  
Possibility of side closures with vertical drop down screens, sliding glass doors and draped curtains.

**AUTOMATION**  
wind, rain and temperature sensors, together with cutting-edge automation.



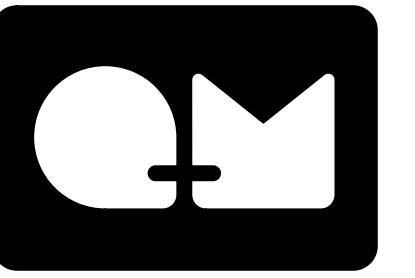
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2040 ALAMEDA PADRE SERRA  
SANTA BARBARA SUITE 107  
CALIFORNIA 93101-2528

Proposed project/remodel for:  
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800 Alvarado Place  
Santa Barbara, CA 93103

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NO.	DATE	TYPE
<b>A-601</b>		





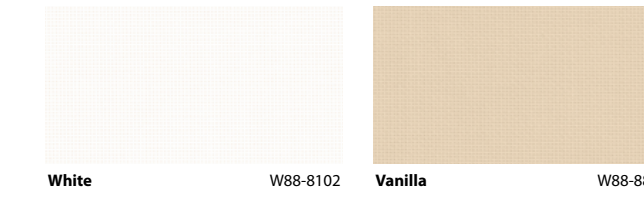
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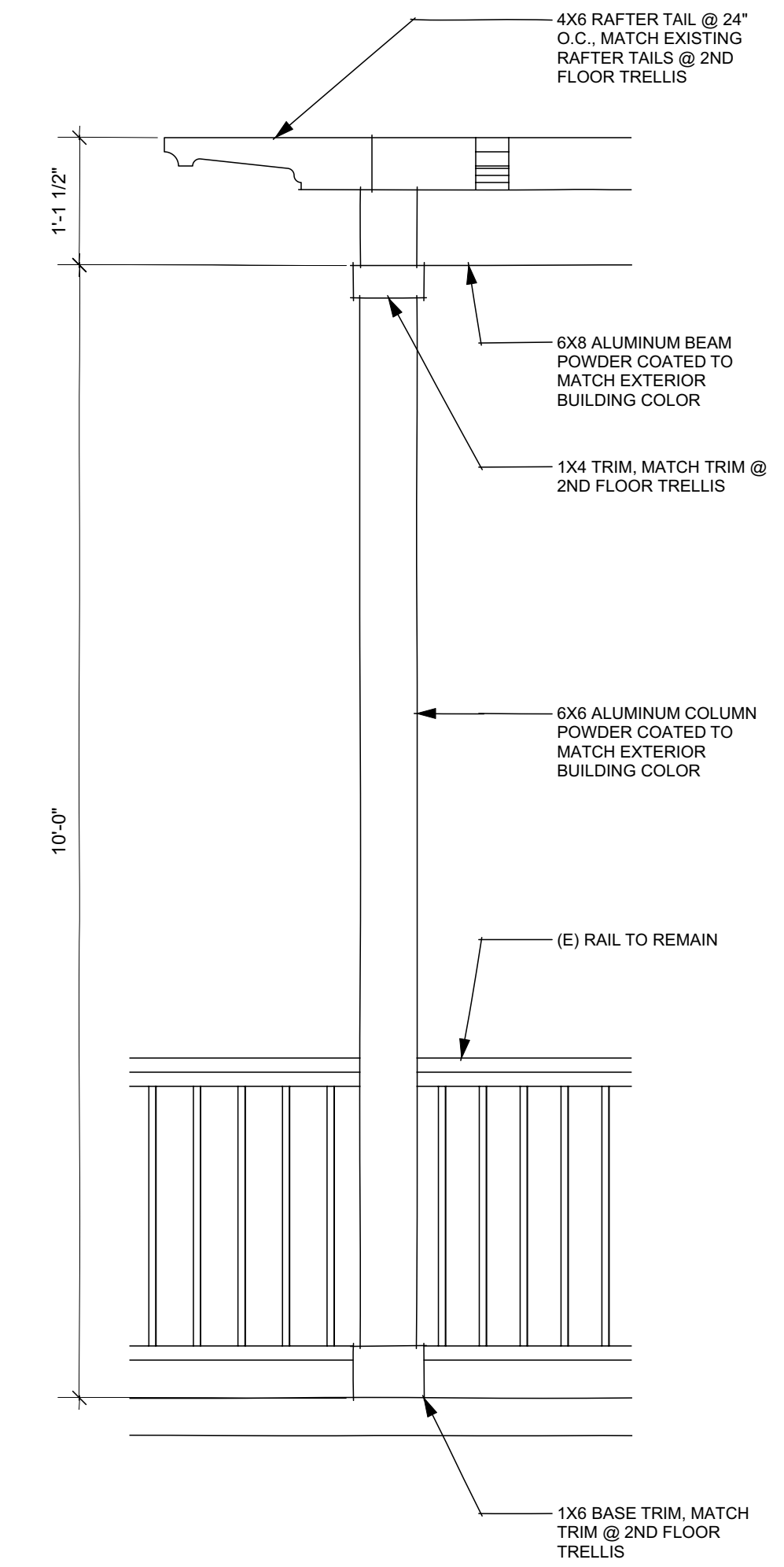
**Soltis**  
ProofW88

Waterproof, highly translucent, lightweight and rollable membrane.  
The ideal solution for pergola or awning roofs. It combines high translucency with total waterproofing against bad weather. Furthermore, its light and slim design makes it easy to roll up.



**Soltis**  
ProofW96

Waterproof, translucent and resistant membrane.  
Provides the ultimate in comfort on terraces, allowing them to be used in all seasons. Using outdoor areas throughout the year quickly repays the original investment.



PERGOLA FABRIC

NO SCALE

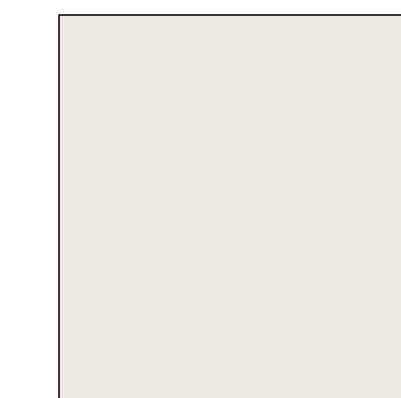
6

TYPICAL PERGOLA COLUMN

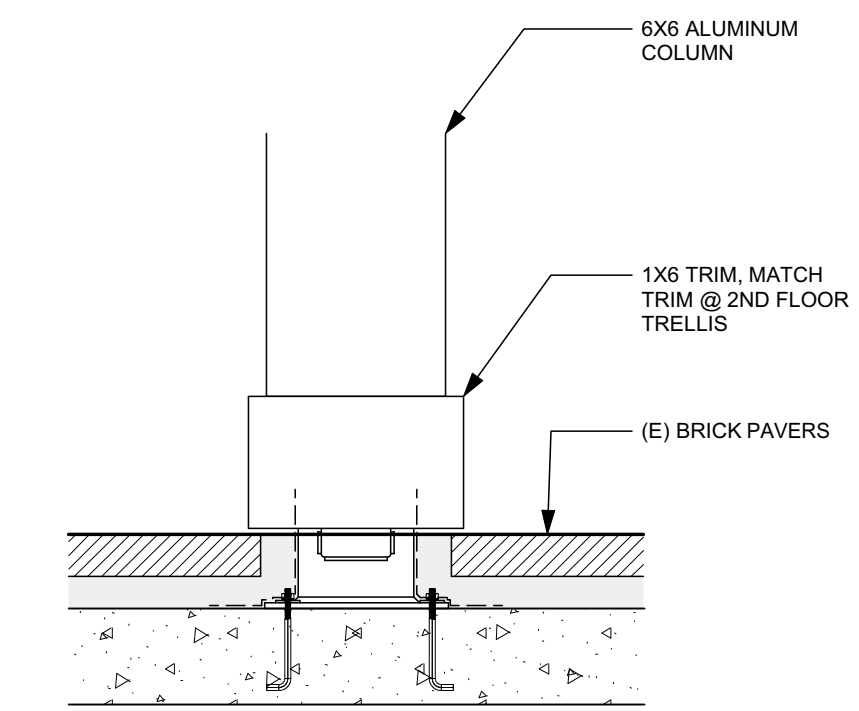
3/4"=1'-0"

2

SHERWIN WILLIAMS



SW 8917 "SHELL WHITE"



PERGOLA COLOR

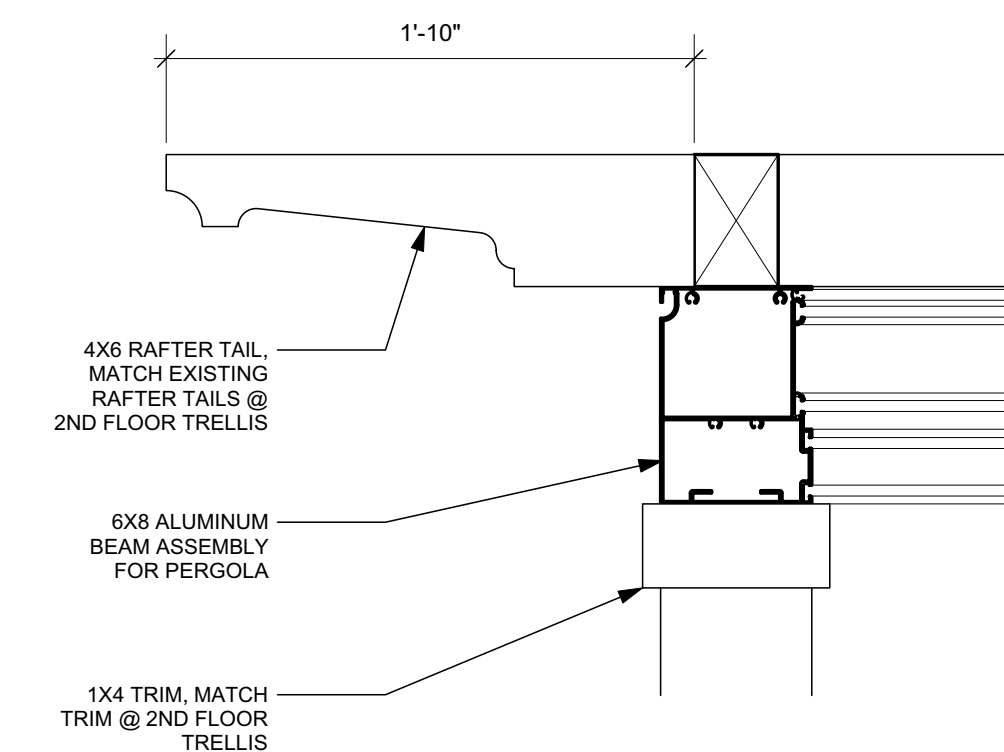
NO SCALE

7

COLUMN BASE @ DECK

1 1/2"=1'-0"

3



RAFTER TAIL @ COLUMN CAPITOL

1 1/2"=1'-0"

4

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PERGOLA  
DETAILS

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NO.	DATE	TYPE

**A-602**