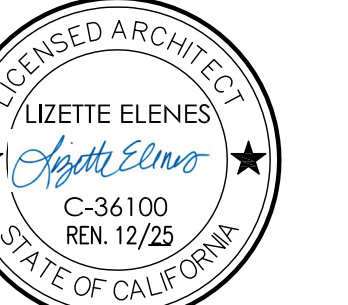


BUILDING RENOVATION AND SECOND FLOOR ADDITION FOR: CHRIST PRESBYTERIAN CHURCH

32 & 36 E. VICTORIA ST.
SANTA BARBARA, CA 93101

ERA ARCHITECTS
Lizette@ERAarchitects.org
805.824.4188
OXNARD CA

BOTTENFIELD
DESIGN + BUILD



SCOPE OF WORK

THE PROJECT PROPOSES AN INTERIOR RENOVATION TO COMBINE TWO EXISTING COMMERCIAL BUILDINGS LOCATED ON TWO SEPARATE PARCELS. THE PROPOSED EXPANSION INCLUDES AN ADDITION AT THE GROUND LEVEL TO INFILL AN EXISTING RECESSED ENTRY (SITE #1), A MEZZANINE ADDITION, AND AN UPPER-LEVEL ADDITION AND ROOF DECK TO THE EXISTING SINGLE STORY BUILDINGS (SITE #2). EXTERIOR ALTERATIONS TO THE BUILDING FACADES ARE PROPOSED TO UNIFY AND ENHANCE THE EXISTING TWO BUILDINGS.

THE PROJECT INCLUDES A PROPOSED LOT MERGER TO COMBINE TWO EXISTING PARCELS RESULTING IN A SINGLE PARCEL. MERGER WILL BE PROCESSED PRIOR TO BUILDING ISSUANCE AND WILL REQUIRE PUBLIC WORKS REVIEW.

PROPOSED WORK WITHIN THE RIGHT OF WAY THAT INCLUDES TRELLIS ABOVE FRONT ENTRY DOORS AND NEW BIKE RACKS (VICTORIA STREET) WILL REQUIRE AN ENCROACHMENT PERMIT WITH PUBLIC WORKS. SEE DEFERRED SUBMITTALS SECTION.

REQUEST FOR PARKING DESIGN WAIVER TO ALLOW NO ON-SITE BICYCLE PARKING WILL BE SUBMITTED DURING BUILDING REVIEW.

TRASH DISPOSAL WILL BE PER EXISTING ACCESS AGREEMENT BETWEEN PROPERTY OWNER AND THE GRANADA GARAGE.

PROJECT ANALYSIS

SITE #1

PROJECT ADDRESS	36 E. VICTORIA ST.	
ASSESSORS PARCEL NO.	039-183-007	
SITE AREA	(0.17 AC) 7,224.0 SF	
AVERAGE SLOPE	2% (EST. FROM GIS)	
ZONING DISTRICT	C-G (COMMERCIAL GENERAL)	
GENERAL PLAN	COMMERCIAL/HIGH DENSITY RESIDENTIAL (28-36 du/ac)	
EXISTING USE	CHURCH / COMMUNITY ASSEMBLY	
EXISTING OCCUPANCY	A-3	
EXISTING NUMBER OF STORIES	(20'-7" TO TOP OF PARAPET) SINGLE STORY	
BUILDING AREAS	NET	GROSS
EXISTING GROUND FLOOR	6,410 SF	6,767 SF
PROPOSED GROUND FLOOR	6,562 SF	6,924 SF
PROPOSED ADDITION	152 SF	157 SF

SITE #2

PROJECT ADDRESS	32 E. VICTORIA ST	
ASSESSORS PARCEL NO.	039-183-006	
SITE AREA	(0.16 AC) 7,120.0 SF	
AVERAGE SLOPE	2% (EST. FROM GIS)	
ZONING DISTRICT	C-G (COMMERCIAL GENERAL)	
GENERAL PLAN	COMMERCIAL/HIGH DENSITY RESIDENTIAL (28-36 du/ac)	
EXISTING USE	RETAIL	
EXISTING OCCUPANCY	M	
EXISTING NUMBER OF STORIES	(20'-7" TO TOP OF PARAPET) SINGLE STORY	
BUILDING AREAS	NET	GROSS
EXISTING GROUND FLOOR	6,691 SF	7,075 SF
PROPOSED GROUND FLOOR	6,606 SF	6,961 SF
PROPOSED ADDITION	85 SF	114 SF

TOTAL PROPOSED COMBINED SITE AND BUILDING

SITE AREA	(0.33 AC) 14,344.0 SF	
PROPOSED USE	CHURCH / COMMUNITY ASSEMBLY	
PROPOSED OCCUPANCY	A-3	
NUMBER OF STORIES	2 STORIES + MEZZANINE	
CONSTRUCTION TYPE	V-B	
FIRE SPRINKLER SYSTEM	YES (EXISTING TO BE MODIFIED)	
FIRE ALARM	YES (NEW)	
OCCUPANT LOAD - ESTIMATED	639 +/-	
NUMBER OF EXITS PROVIDED	4	
FIRE ZONE	NOT HIGH FIRE HAZARD	
PROPOSED BUILDING HEIGHT	34'-6"	
HEIGHT LIMIT	45'-0"	
SETBACKS	NONE	

BUILDING ADDITIONS	NET	GROSS
GROUND FLOOR ADDITION	237 SF	271 SF
MEZZANINE ADDITION	452 SF	480 SF
UPPER LEVEL ADDITION	2,299 SF	2,416 SF
NEW ADDITIONAL BUILDING AREA	2,988 SF NET	3,167 SF GROSS
NON-RESIDENTIAL GROWTH MANAGEMENT PROGRAM (GMP)= SMALL ADDITION		
PROPOSED BUILDING AREAS		
GROUND FLOOR	13,168 SF	13,885 SF
MEZZANINE	452 SF	480 SF
UPPER LEVEL	2,299 SF	2,416 SF
TOTAL PROPOSED BUILDING AREA	15,919 SF NET	16,781 SF GROSS

PROJECT DIRECTORY

PROPERTY OWNER: CHRIST PRESBYTERIAN CHURCH ATTN: JORDAN BENTLEY 36 E. VICTORIA ST. SANTA BARBARA, CA 93101 (805) 957-4200	CIVIL: ASHLEY & VANCE ENGINEERING, INC. ATTN: BRETT VOYLES 210 E. COTA ST. SANTA BARBARA, CA 93101 (805) 962-9966
ARCHITECT: ERA ARCHITECTS ATTN: LIZETTE ELENES OXNARD, CA (805) 824-4188	CONSTRUCTION MANAGER: TYRAN GROUP ATTN: NATE EVANS 121 GRAY AVE. SANTA BARBARA, CA 93101 (805) 453-1723
CONTRACTOR/ DESIGN TEAM: BOTTENFIELD CONSTRUCTION ATTN: JORDAN BOTTENFIELD 24832 APPLE ST. SANTA CLARITA, CA (661) 260-1720	



BOTTENFIELD
DESIGN + BUILD

SHEET INDEX

ARCHITECTURAL		
A0.0	04/01/24	06/20/24
A1.0		
A1.1		
A1.2		
A2.0		
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A3.5		
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A3.7		
A4.1		
A4.2		
A4.3		
A4.4		
A4.5		
CIVIL		
C-2.1		
C-3.1		
C-4.1		

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS WILL NEED TO BE SUBMITTED FOR REVIEW UNDER SEPARATE SUBMITTAL AND PERMIT:

- EXTERIOR BUILDING SIGNAGE
- FIRE SPRINKLER MODIFICATION
- FIRE ALARM SYSTEM

PUBLIC WORKS DEFERRED SUBMITTALS:

- ENCROACHMENT FOR NEW TRELLIS
- ENCROACHMENT FOR NEW BIKE RACKS

PARKING ANALYSIS

AUTOMOBILE PARKING:

SITE LOCATED WITHIN CBD ZONE WITH 100% OF ZONE BENEFIT AND NO AUTOMOBILE PARKING IS REQUIRED. THIS SITE QUALIFIES FOR ASSEMBLY BILL 2097. NO AUTOMOBILE PARKING SPACES ARE REQUIRED.

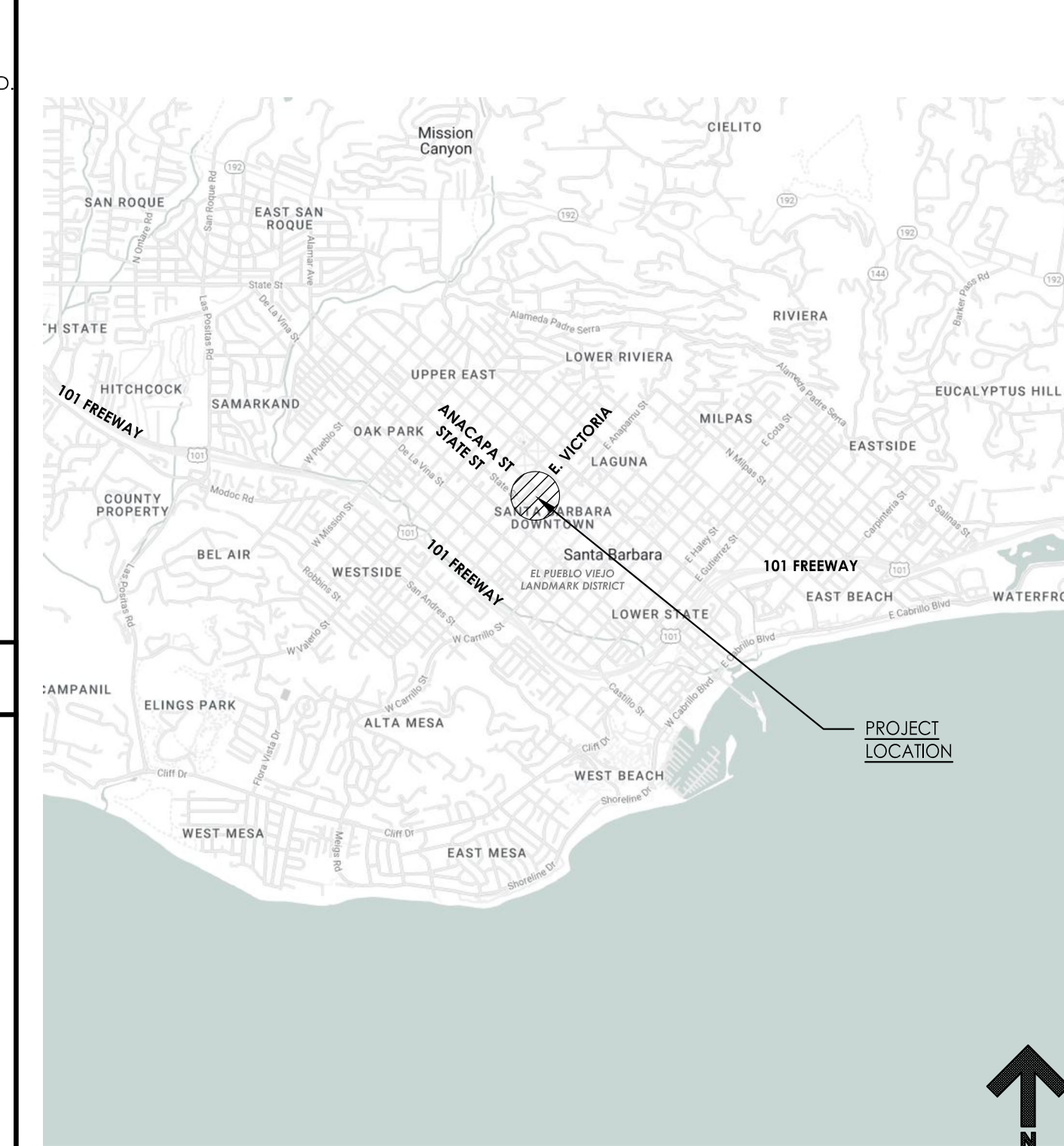
0 PARKING SPACES ARE PROPOSED FOR THIS SITE

BICYCLE PARKING:

EXISTING BICYCLE PARKING: NONE EXISTING
REQUIRED BICYCLE PARKING: 1 PER 1,000 SF, 16 SHORT TERM SPACES REQUIRED
SEE "REQUEST FOR PARKING DESIGN WAIVER TO ALLOW NO ON-SITE BICYCLE PARKING".

PROPOSED BICYCLE PARKING: (ALONG VICTORIA STREET / PUBLIC WAY, UNDER PW PERMIT)
SHORT TERM:
4 EXISTING POSTS, WITH 8 TOTAL SPACES ARE LOCATED ALONG VICTORIA ST.
4 NEW POSTS, FOR ADDITIONAL 8 SPACES ARE PROPOSED
SEE SITE PLAN SHEET A1.2 FOR LOCATION OF BICYCLE PARKING

VICINITY MAP



APPROVAL STAMPS

APPLICABLE CODES

ALL WORK SHALL CONFORM TO:

- 2022 BUILDING STDS. ADMIN. CODE, PT. 1, TITLE 24 C.C.R.
- 2022 CA BUILDING CODE, PT. 2, TITLE 24 C.C.R.
- 2022 CA ELECTRICAL CODE, PT. 3, TITLE 24 C.C.R.
- 2022 CA MECHANICAL CODE, PT. 4, TITLE 24 C.C.R.
- 2022 CA PLUMBING CODE, PT. 5, TITLE 24 C.C.R.
- 2022 CA FIRE CODE, PT. 9, TITLE 24 C.C.R.
- 2022 CA REFERENCED STDS. CODE, PT. 12, TITLE 24 C.C.R.
- 2022 CA BUILDING ENERGY EFFICIENCY STANDARDS
- 2022 CA GREEN BUILDING STANDARDS CODE
- 210 ADA STANDARDS FOR ACCESSIBLE DESIGN
- CITY OF SANTA BARBARA AMENDMENTS #5919
- ZONING ORDINANCE: TITLE 30 OF SANTA BARBARA MUNICIPAL CODE

STORM WATER COMPLIANCE

STORM WATER MANAGEMENT PROGRAM (SWMP) TIER 3, PER CIVIL PLANS

PROPOSED NEW IMPERVIOUS AREA	0 SF
PROPOSED REPLACED IMPERVIOUS AREA	7,392 SF
PROPOSED REMOVED IMPERVIOUS AREA	0 SF
EXISTING IMPERVIOUS AREA TO REMAIN	6,993 SF

COMPLIANCE BMP ANTICIPATED WILL BE ALL NEW ROOF DRAINAGE PIPED TO SUB-SLAB DETENTION CHAMBER THAT WILL BE LOCATED INSIDE THE BUILDING (GALLERY/GATHERING AREA) AND WILL BE CONNECTING TO A SERVICE MANHOLE WITH OVERFLOW PIPING OUT TO ANACAPA STREET. SEE PROPOSED LOCATION ON SITE PLAN AND CIVIL PLANS. REFER TO STORM WATER MANAGEMENT PROGRAM REPORT.

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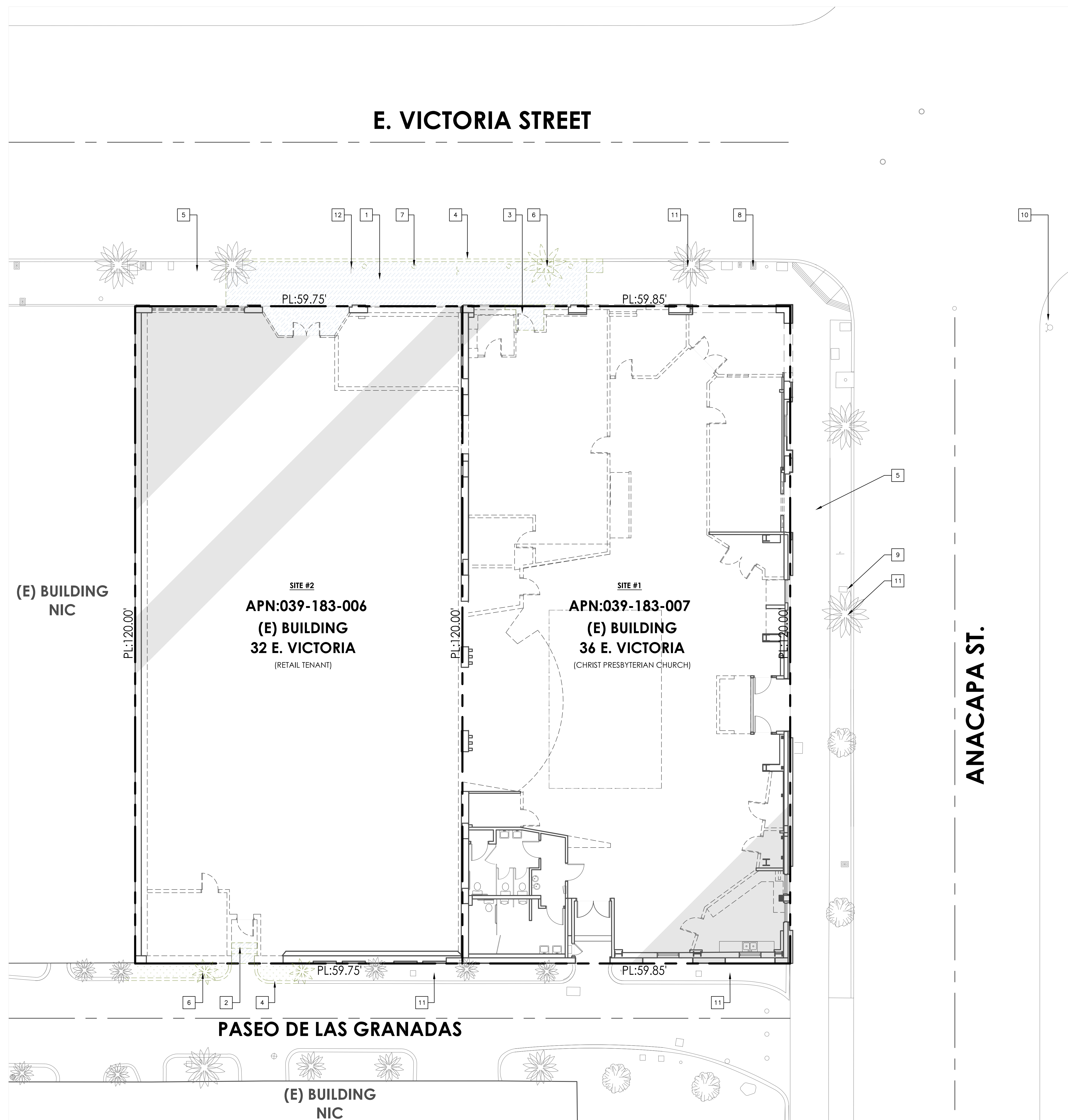
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COVER SHEET

A0.0

SHEET X OF XX

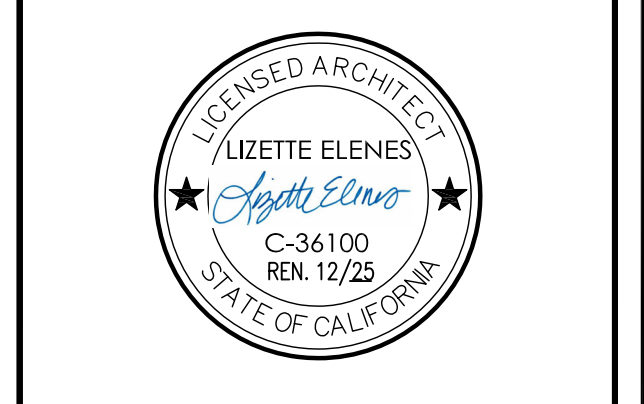


KEY NOTES

- 1 EXISTING PUBLIC SIDEWALK TO BE DEMOLISHED
- 2 EXISTING STAIRS TO BE DEMOLISHED
- 3 EXISTING EXTERIOR SLAB TO BE DEMOLISHED
- 4 EXISTING CONCRETE CURB BE DEMOLISHED
- 5 EXISTING PUBLIC SIDEWALK AND GUTTER TO REMAIN
- 6 EXISTING PLANTER AND PALM TREE TO BE REMOVED - RELOCATED
- 7 EXISTING BICYCLE POSTS TO BE REMOVED, TYP.
- 8 EXISTING WATER METER TO REMAIN
- 9 EXISTING GAS METER TO REMAIN
- 10 EXISTING FIRE HYDRANT
- 11 EXISTING TREES / LANDSCAPE AREA TO REMAIN, TYP.
- 12 EXISTING STREET SIGN TO BE REMOVED /RELOCATED

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 OXNARD CA

BOTTENFIELD
 DESIGN + BUILD



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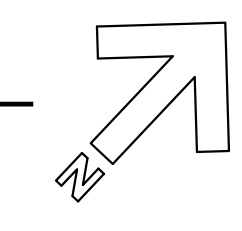
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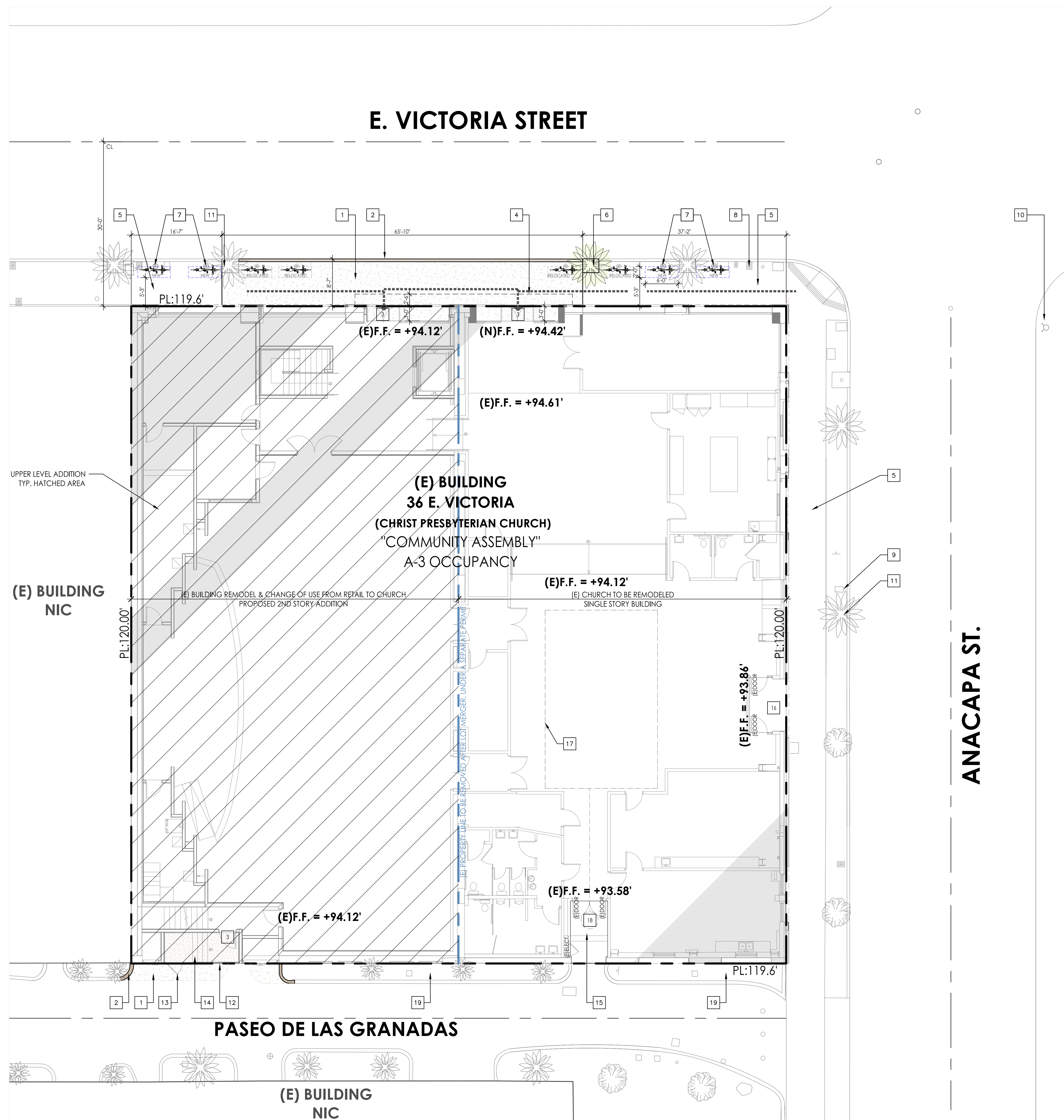
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EXISTING/DEMO
 SITE PLAN

A1.1
 SHEET X OF XX

1 EXISTING & DEMOLITION SITE PLAN
 1/8" = 1'-0"





1 PROPOSED SITE PLAN
1/8" = 1'-0"

KEY NOTES

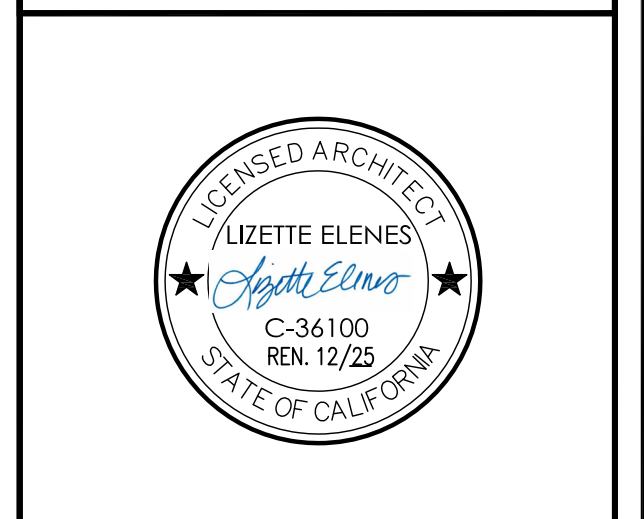
- 1 NEW SIDEWALK PER CITY STANDARDS. SEE CIVIL PLANS
- 2 NEW CURB AND GUTTER PER CITY STANDARDS. SEE CIVIL PLANS
- 3 NEW BUILDING ENTRANCE
- 4 EXTENTS OF STEEL TRELLIS ABOVE. PER EXTERIOR ELEVATIONS
- 5 EXISTING PUBLIC SIDEWALK AND GUTTER TO REMAIN
- 6 NEW PLANTER AND PALM TREE LOCATION (RELOCATED, SEE A1.1)
- 7 NEW OR RELOCATED SHORT TERM BICYCLE POSTS. 32" HI. MIN. STYLE TO MATCH EXISTING POSTS ALONG VICTORIA ST. (PER CITY STANDARDS). DASHED AREA SHOWS CLEAR SPACE OF 2'X6' FOR EACH BICYCLE STALL.
- 8 EXISTING WATER METER TO REMAIN
- 9 EXISTING GAS METER TO REMAIN
- 10 EXISTING FIRE HYDRANT
- 11 EXISTING TREES / LANDSCAPE AREA TO REMAIN. TYP.
- 12 NEW PERFORATED METAL SCREEN FENCE. PER EXTERIOR ELEVATIONS
- 13 NEW PERFORATED METAL PANEL GATE. PER EXTERIOR ELEVATIONS
- 14 NEW CONCRETE STAIRS WITH HANDRAILS AT BOTH SIDES
- 15 EXISTING CONCRETE STAIRS TO BE REPAIRED WITH NEW FINISH MATERIAL AND HANDRAILS AT EACH SIDE
- 16 EXISTING COVERED ENTRY TO REMAIN. NO CHANGE
- 17 PROPOSED LOCATION OF STORM DRAIN CHAMBER STORAGE INFILTRATION SYSTEM. PER CIVIL PLANS
- 18 STORM WATER SERVICE MANHOLE. PER CIVIL PLANS
- 19 EXISTING LANDSCAPE AREA TO BE IMPROVED ALONG PASEO. PLANTING SELECTION PER CITY OF S.B. GUIDELINES (PUBLIC PROPERTY)

SITE LEGEND

- INDICATES ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY AND FROM PARKING STALL TO BUILDING ENTRANCE. CONTINUOUS WALKWAY 48" MIN. WIDTH, WITH NO ABRUPT CHANGES IN ELEV. 5% MAX. SLOPE IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.

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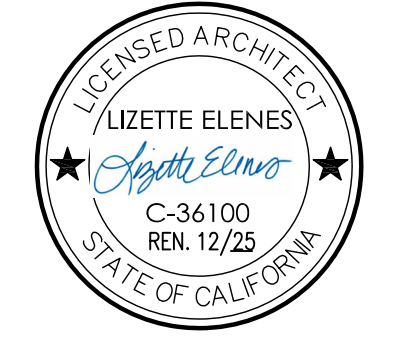
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PROPOSED
SITE PLAN

A1.2
SHEET X OF XX



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EXISTING/DEMO
FIRST FLOOR
PLAN

KEY NOTES

- 1 EXISTING INTERIOR SLAB TO BE DEMOLISHED, TYP.
- 2 EXISTING WALL TO BE DEMOLISHED, TYP.
- 3 EXISTING COLUMN TO REMAIN, TYP.

DEMOLITION NOTES

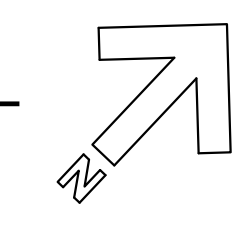
1. DASHED LINES INDICATE A WALL, DOOR OR WINDOW ELEMENT TO BE REMOVED. ONLY REMOVE PORTIONS OF EXISTING CONSTRUCTION AFTER A COMPLETE REVIEW OF PROPOSED FLOOR PLANS AND DETAILS TO UNDERSTAND DESIGN INTENT.
2. CONTRACTOR TO PATCH AND REPAIR AREAS OF DEMOLITION: FLOOR, WALL, CEILING AND FIXED FURNITURE TO MATCH EXISTING FINISHES.
3. SEE PLUMBING AND ELECTRICAL PLANS FOR DEMOLITION PLANS OF DIFFERENT UTILITIES AND CONNECTIONS.
4. CONTRACTOR TO VERIFY SITE CONDITIONS AND REVIEW COMPLETE SET OF PLANS BEFORE COMMENCING DEMOLITION.
5. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2 & 4.408.3 OR 4.408.4.

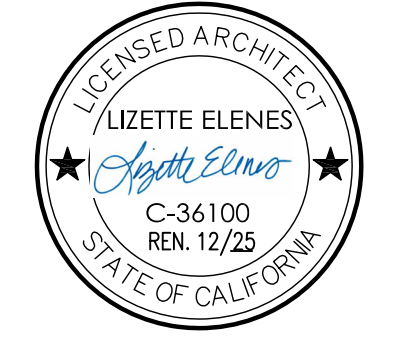
WALL LEGEND

- (E) MASONRY WALL TO REMAIN
- (E) STUD WALL TO REMAIN
- WALL TO BE DEMOLISHED



1 EXISTING/DEMO FIRST FLOOR PLAN
 3/16" = 1'-0"





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PROPOSED FIRST FLOOR PLAN

KEY NOTES

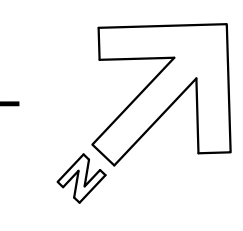
- 1 LIMITS OF METAL TRELLIS ABOVE. PER EXTERIOR ELEVATIONS
- 2 NEW WALL FURRING, WITH PLASTER FINISH. SEE EXTERIOR ELEVATIONS
- 3 NEW STOREFRONT SYSTEM, TYP., PER EXTERIOR ELEVATIONS
- 4 NEW PERFORATED METAL GATE / FENCE

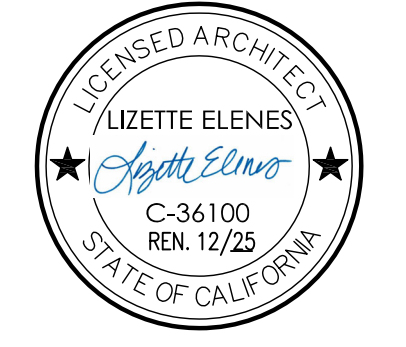
WALL LEGEND

- 4" METAL STUD WALL
- 6" METAL STUD WALL
- (N) SHOTCRETE WALL PER STRUCTURAL
- (E) MASONRY WALL TO REMAIN
- (E) STUD WALL TO REMAIN



1 PROPOSED 1ST FLOOR PLAN
 3/16" = 1'-0"





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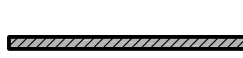




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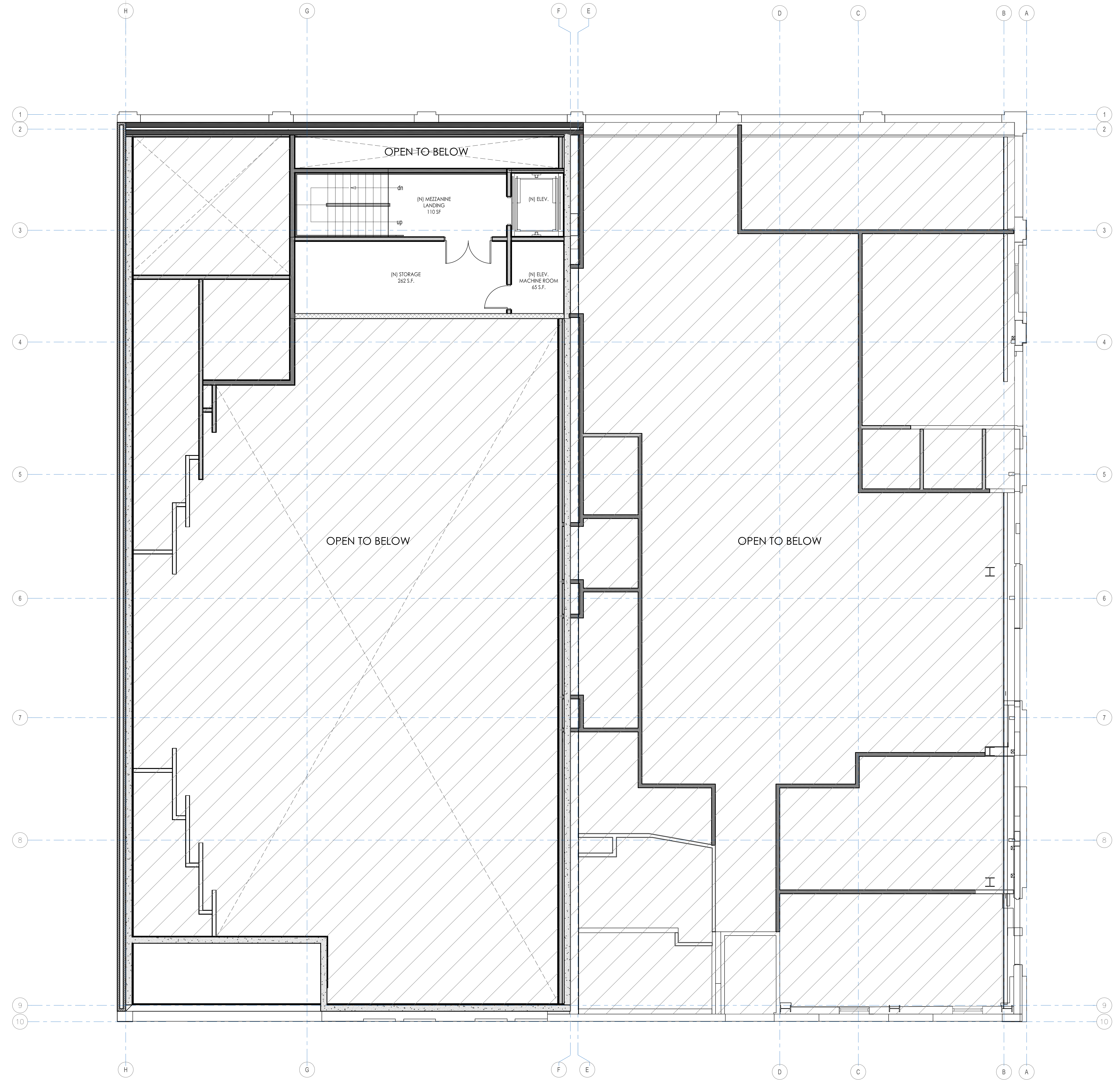
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MEZZANINE FLOOR PLAN

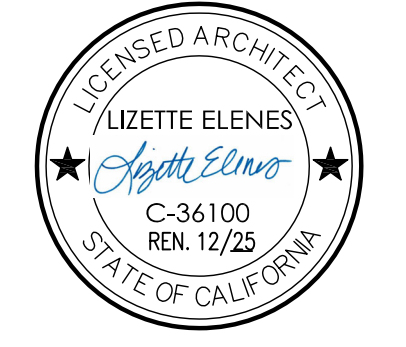
KEY NOTES

WALL LEGEND

-  4" METAL STUD WALL
-  6" METAL STUD WALL
-  (N) SHOTCRETE WALL PER STRUCTURAL
-  (E) MASONRY WALL TO REMAIN
-  (E) STUD WALL TO REMAIN



1 PROPOSED MEZZANINE FLOOR PLAN
 3/16" = 1'-0"



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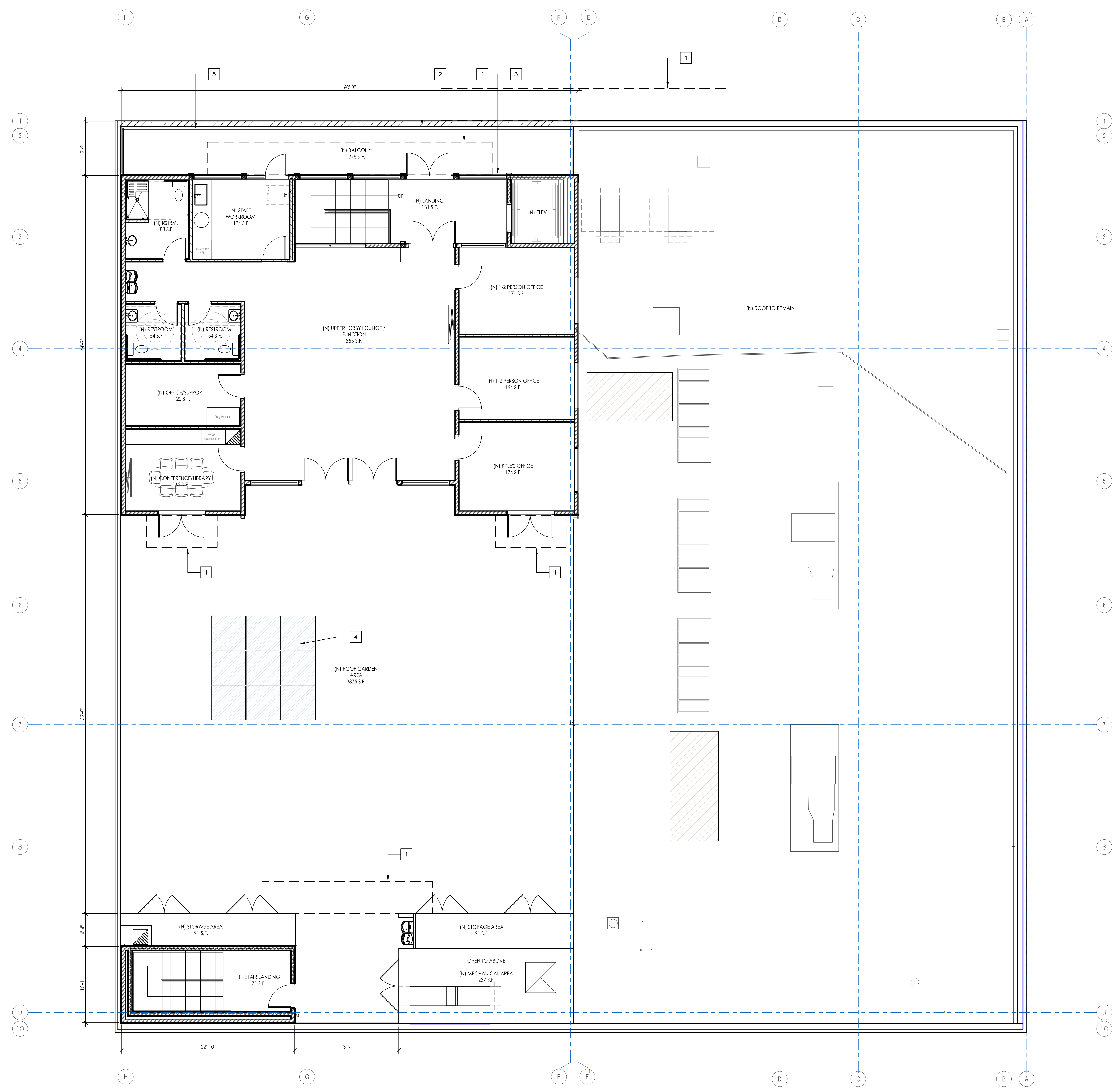
UPPER LEVEL FLOOR PLAN

KEY NOTES

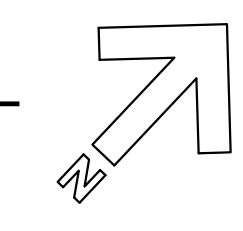
- 1 LIMITS OF METAL TRELLIS ABOVE. PER EXTERIOR ELEVATIONS
- 2 PARAPET EXTENSION WITH CORNICE. PER EXTERIOR ELEVATIONS
- 3 NEW WINDOW/ STOREFRONT SYSTEM. PER EXTERIOR ELEVATIONS
- 4 NEW WALK-ABLE SKYLIGHT
- 5 NEW GUARDRAIL. PER EXTERIOR ELEVATIONS

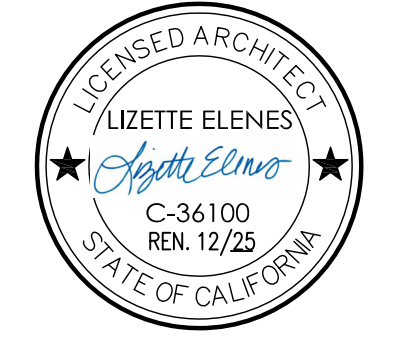
WALL LEGEND

- 4" METAL STUD WALL
- 6" METAL STUD WALL
- (N) SHOTCRETE WALL PER STRUCTURAL
- (E) MASONRY WALL TO REMAIN
- (E) STUD WALL TO REMAIN



1 PROPOSED FLOOR PLAN - UPPER LEVEL
 3/16" = 1'-0"





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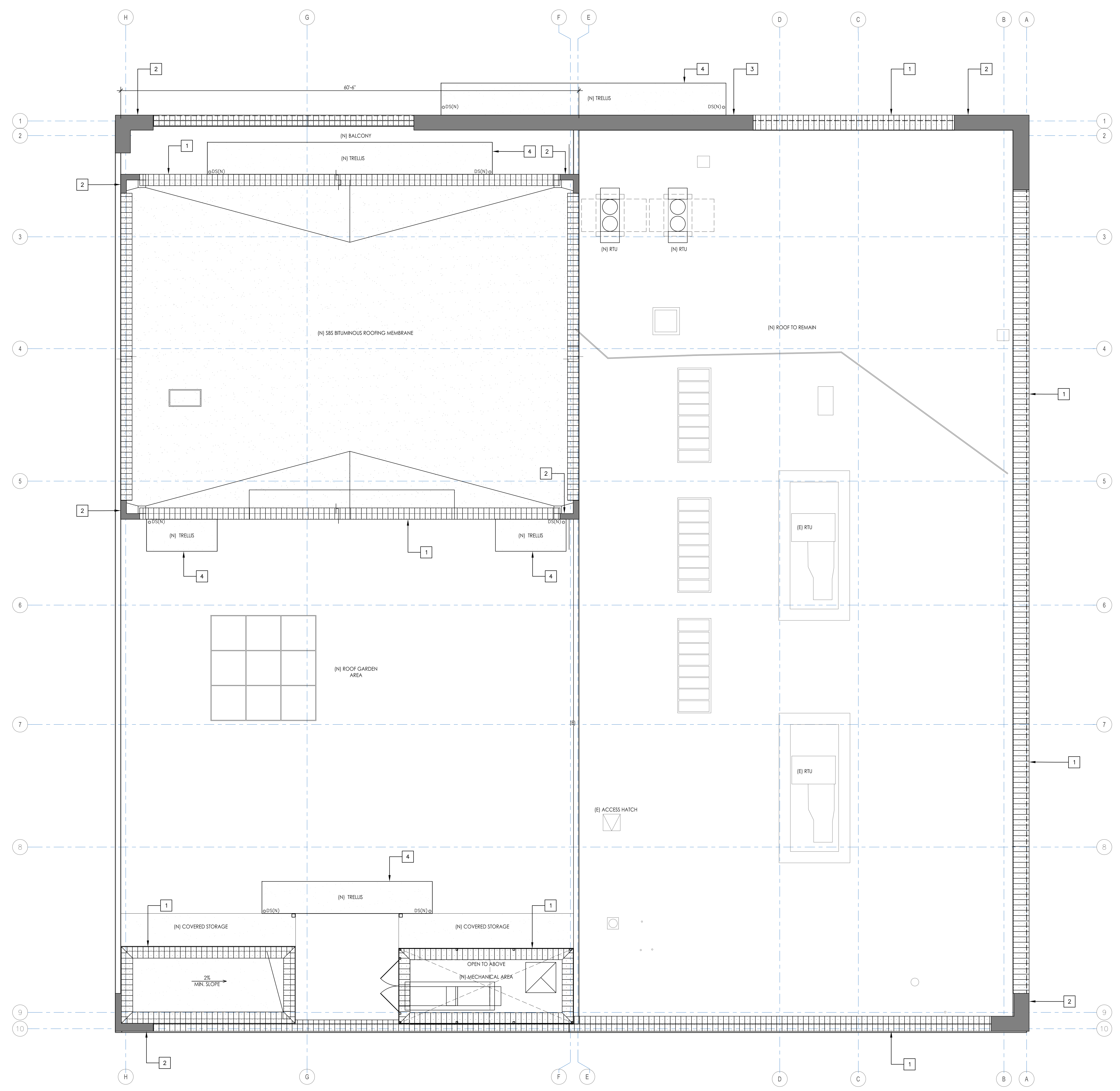
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KEY NOTES

- NEW ROOF TILE AT PARAPET
- EXTEND ROOF PARAPET TO PROVIDE DECORATIVE CORNER DETAIL FINISHED WITH PLASTER TO MATCH WALL. PATCH WALL TO PROVIDE A SMOOTH TRANSITION. SEE SHEET A3.7. FOR DETAILS
- PARAPET EXTENSION FINISHED WITH SURROUNDING CORNICE FINISHED WITH PLASTER TO MATCH WALL. PATCH WALL TO PROVIDE A SMOOTH TRANSITION.
- NEW WALL MOUNTED METAL TRELLIS



1 PROPOSED FLOOR PLAN - UPPER LEVEL
 3/16" = 1'-0"

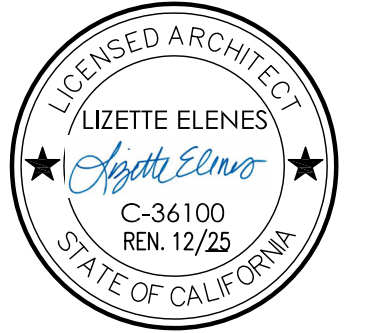
KEY NOTES

- 1 EXISTING WALL TO BE DEMOLISHED FOR NEW OPENING
- 2 EXISTING WINDOW / DOOR TO BE DEMOLISHED
- 3 EXISTING VENT TO BE DEMOLISHED
- 4 EXISTING CORNICE AND PARAPET TO BE MODIFIED WITH NEW CORNICE
- 5 EXISTING PARAPET TO REMAIN
- 6 EXISTING PLASTER TO REMAIN, REMOVE TOP CAP, TO BE FLUSH WITH EXISTING FURRED WALL
- 7 EXISTING PLASTER FINISH TO REMAIN, PATCH AND REPAIR WHERE NEEDED AFTER DEMOLITION FOR NEW OPENINGS
- 8 EXISTING WALL TO BE FURRED WITH PLASTER FINISH TO MATCH ADJACENT WALL TEXTURE AND THICKNESS
- 9 NEW WALL MOUNTED METAL TRELLIS (COVERED) WITH 12" WIDE ORNAMENTAL FASCIA AND OVERHEAD METAL BRACES PER SHEET A3.4
- 10 NEW STOREFRONT SYSTEM / WINDOW / DOOR W/GLASS
- 11 NEW METAL GUARDRAIL
- 12 NEW WALLS WITH PLASTER FINISH, TO MATCH EXISTING WALLS
- 13 NEW CORNICE, TO MATCH EXISTING CORNICE
- 14 WALL BASE, SMOOTH PLASTER FINISH, PAINT
- 15 NEW PROJECTING SIGNAGE, UNDER SEPARATE SUBMITTAL AND PERMIT
- 16 NEW BUILDING SIGNAGE, UNDER SEPARATE SUBMITTAL AND PERMIT
- 17 NEW METAL FENCE WITH HORIZONTAL SLATS
- 18 NEW ROOF TILE AT PARAPET
- 19 NEW WALL MOUNTED LIGHT, METAL BRONZE FINISH
- 20 EXTEND ROOF PARAPET TO PROVIDE DECORATIVE CORNER DETAIL, FINISHED WITH PLASTER TO MATCH WALL, PATCH WALL TO PROVIDE A SMOOTH TRANSITION, SEE SHEET A3.7, FOR DETAILS
- 21 PARAPET EXTENSION FINISHED WITH SURROUNDING CORNICE FINISHED WITH PLASTER TO MATCH WALL, PATCH WALL TO PROVIDE A SMOOTH TRANSITION.
- 22 RECESSED MEDALLION WALL DETAIL, FINISHED WITH TILE
- 23 CHURCH BELL, COPPER, HUNG FROM EXPOSED WOOD BEAM

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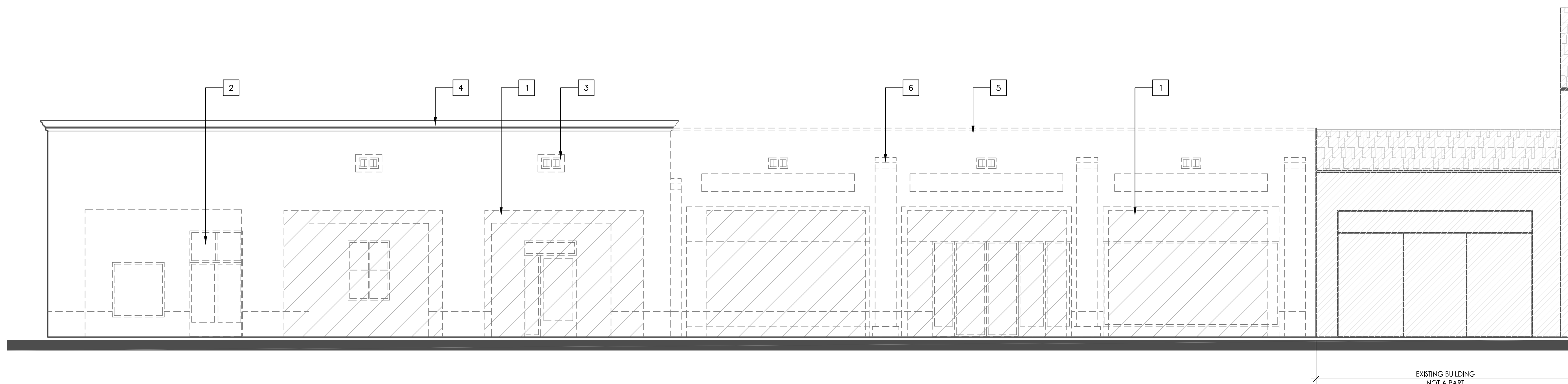
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EXTERIOR ELEVATIONS NORTH

A3.1

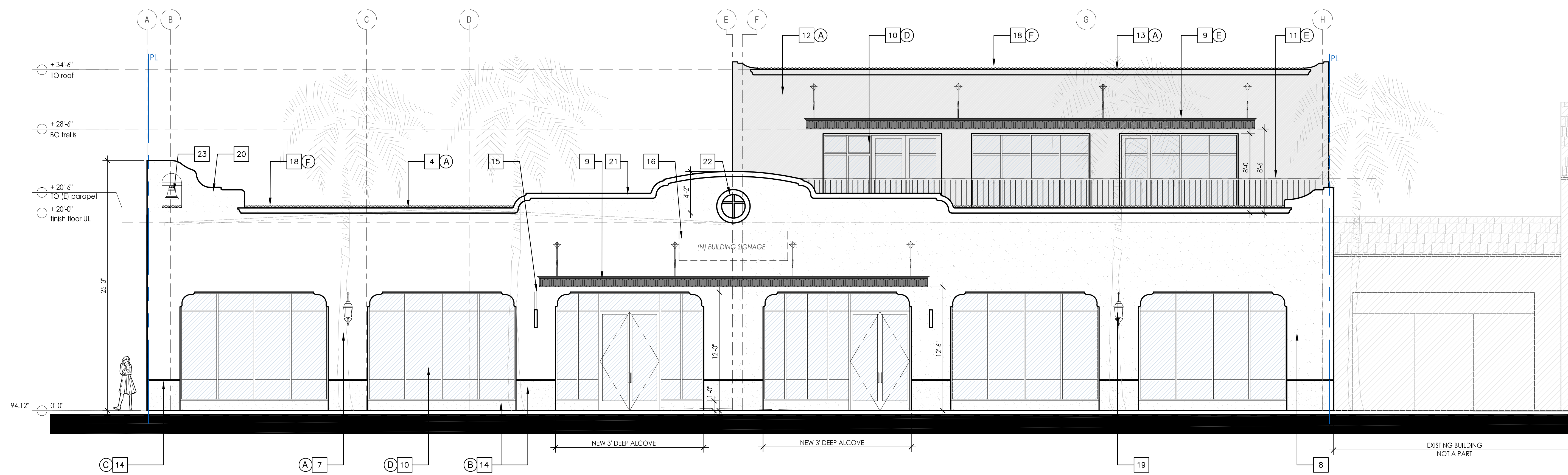
SHEET X OF XX



1 EXISTING/ DEMOLITION ELEVATION - NORTH
3/16" = 1'-0"

VICTORIA STREET

HEIGHT LIMIT ALLOWED: 45'



2 PROPOSED ELEVATION - NORTH
3/16" = 1'-0"

VICTORIA STREET

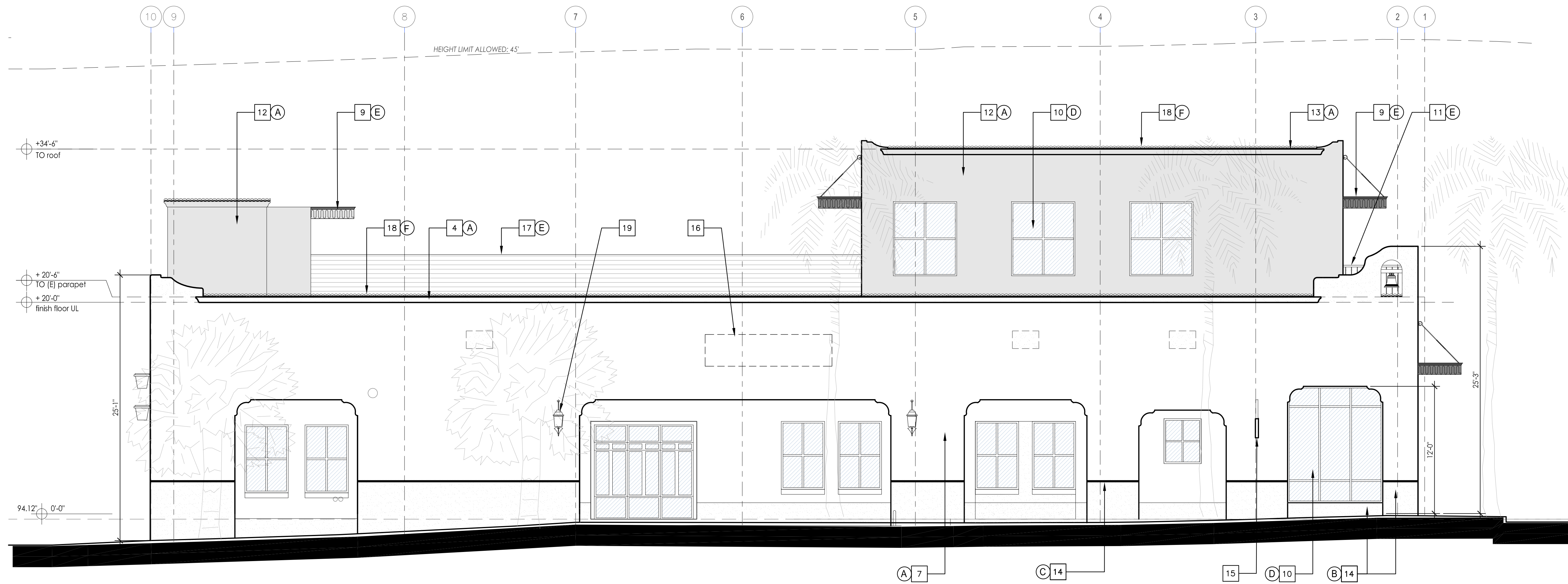
COLOR & MATERIALS LEGEND

- A** EXTERIOR PLASTER, SMOOTH FINISH - INTEGRAL PLASTER COLOR OR NEW PAINT TO MATCH DUNN-EDWARDS, DE6212 CRISP MUSUM
- B** EXTERIOR PLASTER, SMOOTH FINISH - (ACCENT) INTEGRAL PLASTER COLOR OR NEW PAINT TO MATCH DUNN-EDWARDS, DE6172 BUNGALOW TAUPE
- C** EXTERIOR PLASTER, SMOOTH FINISH - (ACCENT) INTEGRAL PLASTER COLOR OR NEW PAINT TO MATCH DUNN-EDWARDS, DE5774 THUNDERCLOUD
- D** STOREFRONT SYSTEM / WINDOWS: ALUMINUM FRAME TO MATCH DUNN-EDWARDS, DE5774 THUNDERCLOUD WITH INSULATED GLASS - CLEAR FINISH
- E** METAL TRELLIS / RAILING: DARK BRONZE
- F** SPANISH TILE: TWO-PIECE CAP AND PAN DARK TERRA COTTA CLAY TILE



1 EXISTING / DEMOLITION ELEVATION - EAST
3/16" = 1'-0"

ANACAPA STREET



2 PROPOSED ELEVATION - EAST
3/16" = 1'-0"

ANACAPA STREET

KEY NOTES

- 1 EXISTING WALL TO BE DEMOLISHED FOR NEW OPENING
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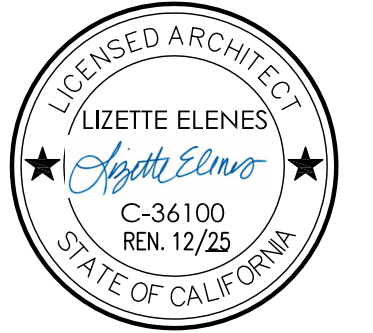
COLOR & MATERIALS LEGEND

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-  C EXTERIOR PLASTER, SMOOTH FINISH - (ACCENT) INTEGRAL PLASTER COLOR OR NEW PAINT TO MATCH DUNN-EDWARDS, DE5774 THUNDERCLOUD
-  D STOREFRONT SYSTEM / WINDOWS, ALUMINUM FRAME TO MATCH DUNN-EDWARDS, DE5774 THUNDERCLOUD WITH INSULATED GLASS - CLEAR FINISH
-  E METAL TRELLIS / RAILING - DARK BRONZE
-  F SPANISH TILE - TWO-PIECE CAP AND PAN DARK TERRA COTTA CLAY TILE

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EXTERIOR
ELEVATIONS
EAST

A3.2

SHEET X OF XX



SIDE ELEVATION - EAST
ANACAPA STREET

3

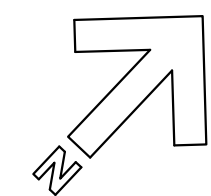


CORNER VIEW - NORTH/EAST

4



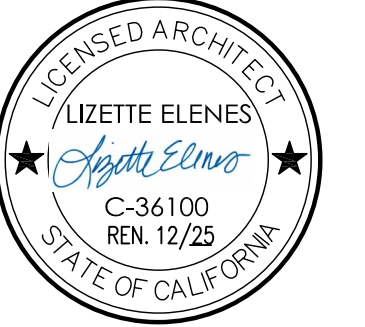
KEY PLAN - SITE



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PERSPECTIVES

A3.5

SHEET X OF XX



REAR VIEW - SOUTH
PASEO DE LAS GRANADAS

5



BIRD'S EYE ALONG PASEO DE LAS GRANADAS

6

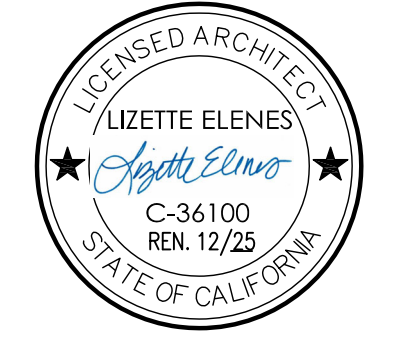


BIRD'S EYE ALONG VICTORIA ST AND ANACAPA ST.

7

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PERSPECTIVES

A3.6

SHEET X OF XX



STORE FRONT ENLARGED VIEW ①



CHURCH BELL AND PARAPET CORNER DETAIL ②



TRELLIS DETAIL ③

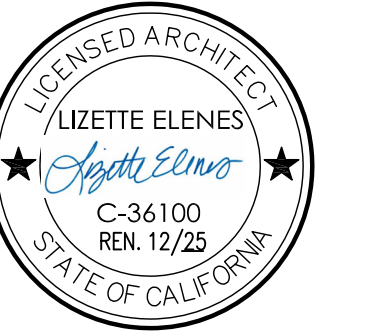


SECONDARY CORNER PARAPET DETAIL ④

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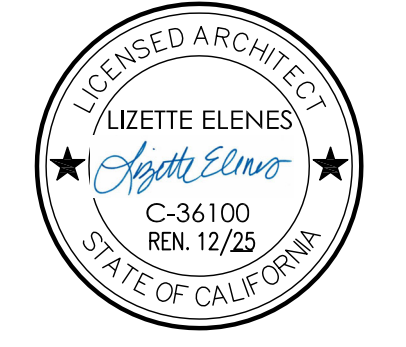
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SHEET X OF XX

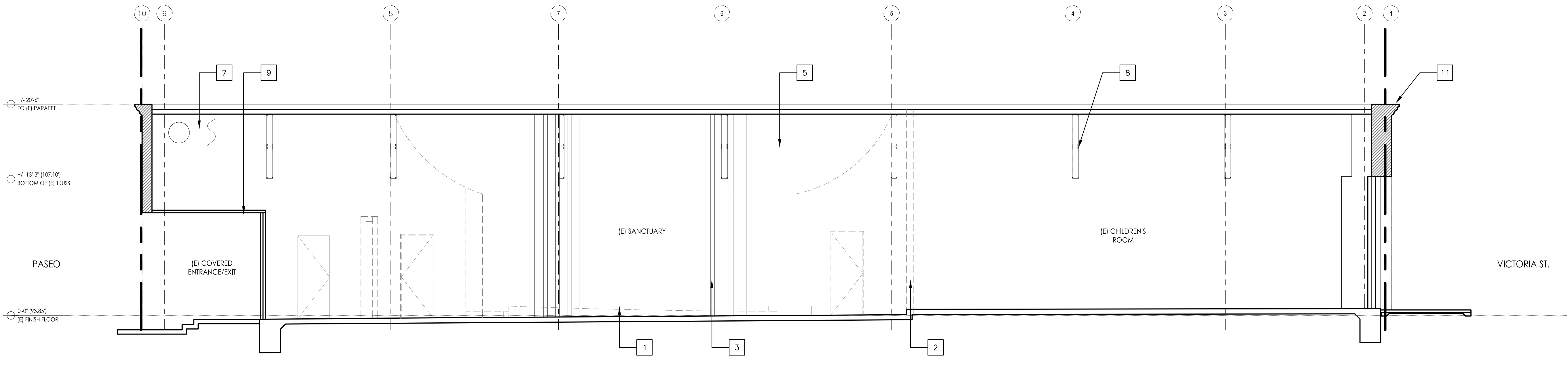
- KEY NOTES
- 1 EXISTING FRAMED STAGE TO DEMOLISHED, TYP.
 - 2 EXISTING WALL TO BE DEMOLISHED, TYP.
 - 3 EXISTING COLUMN TO REMAIN, TYP.
 - 4 EXISTING ENTIRE ROOF STRUCTURE, TRUSSES, CEILING, LIGHT FIXTURES, MECHANICAL DUCTING, TO BE REMOVED
 - 5 EXISTING HARDJID CEILING TO BE DEMOLISHED
 - 6 EXISTING SKYLIGHT TO BE REMOVED, PATCH OPENING
 - 7 EXISTING MECHANICAL DUCTING TO REMAIN, TYP.
 - 8 EXISTING TRUSSES TO REMAIN, TYP.
 - 9 EXISTING DROPPED CEILING TO REMAIN
 - 10 EXISTING MECHANICAL DUCTING TO BE REMOVED OR RELOCATE, TYP.
 - 11 EXISTING CORNICE AND PARAPET TO REMAIN

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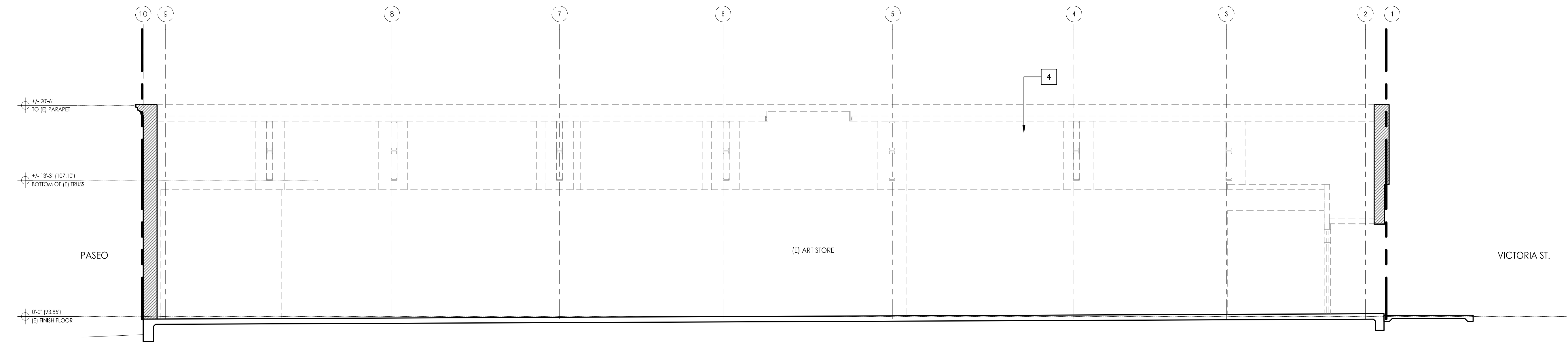
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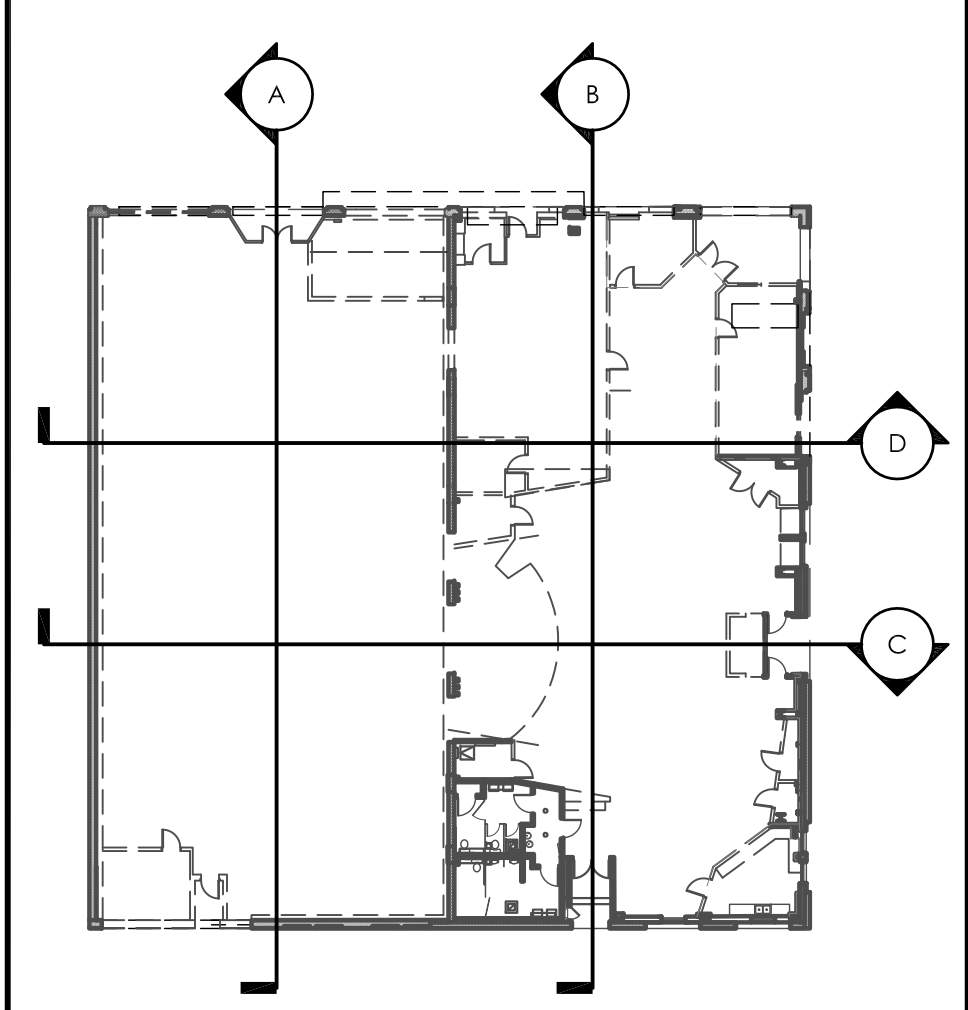
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2 (E) SECTION - B
 3/16" = 1'-0"



1 (E) SECTION - A
 3/16" = 1'-0"



KEY PLAN
 EXISTING GROUND FLOOR

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EXISTING/DEMO
 SECTIONS
 A & B

A4.1

SHEET X OF XX

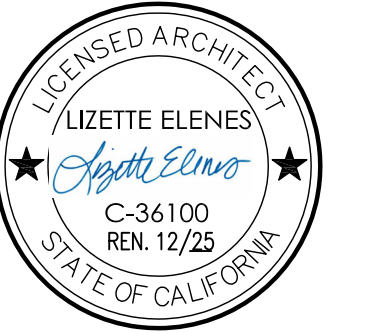
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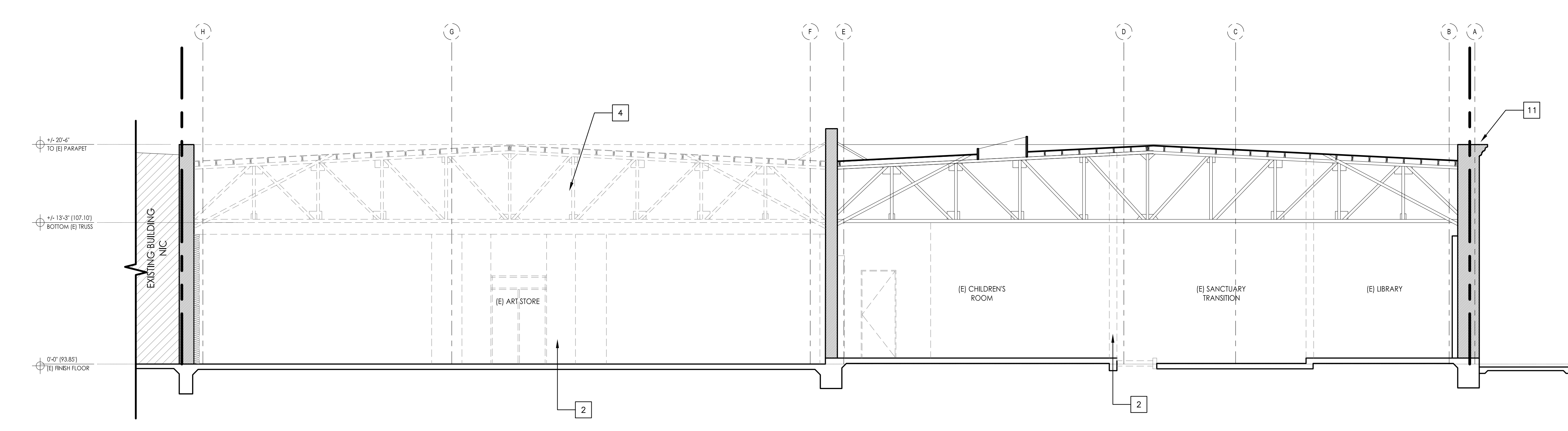
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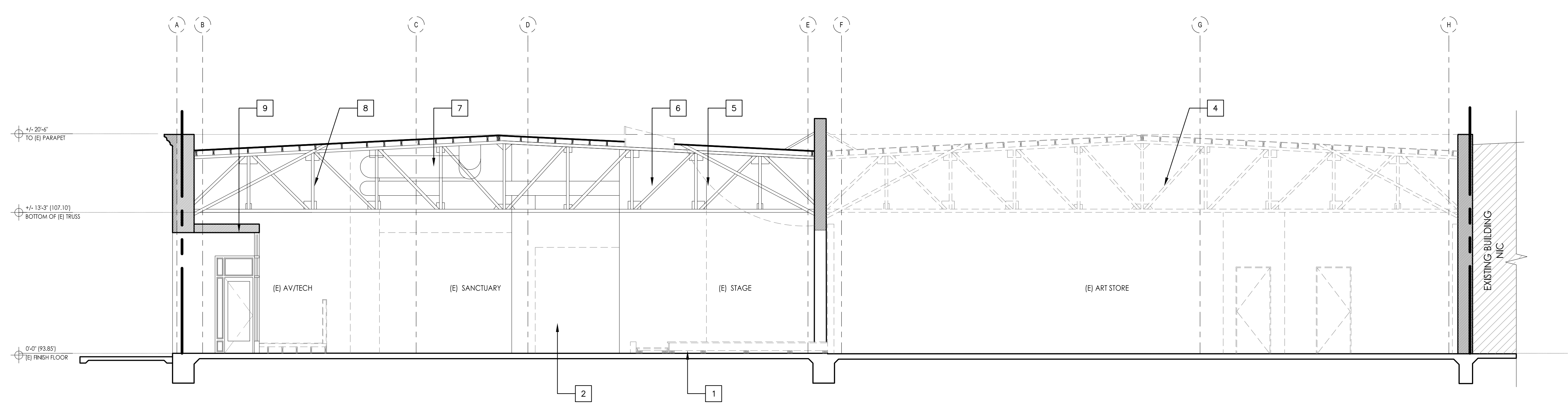
EXISTING/DEMO
SECTIONS
C & D

A4.2

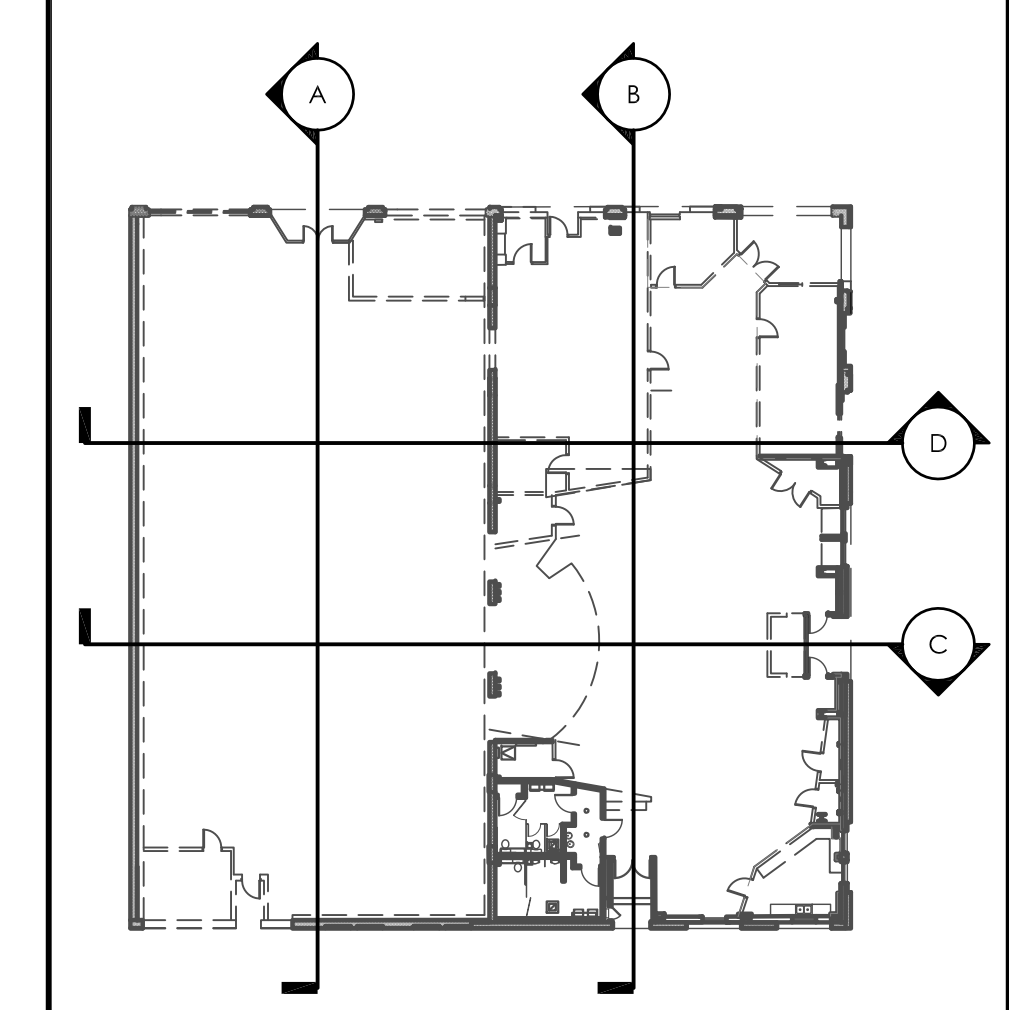
SHEET X OF XX



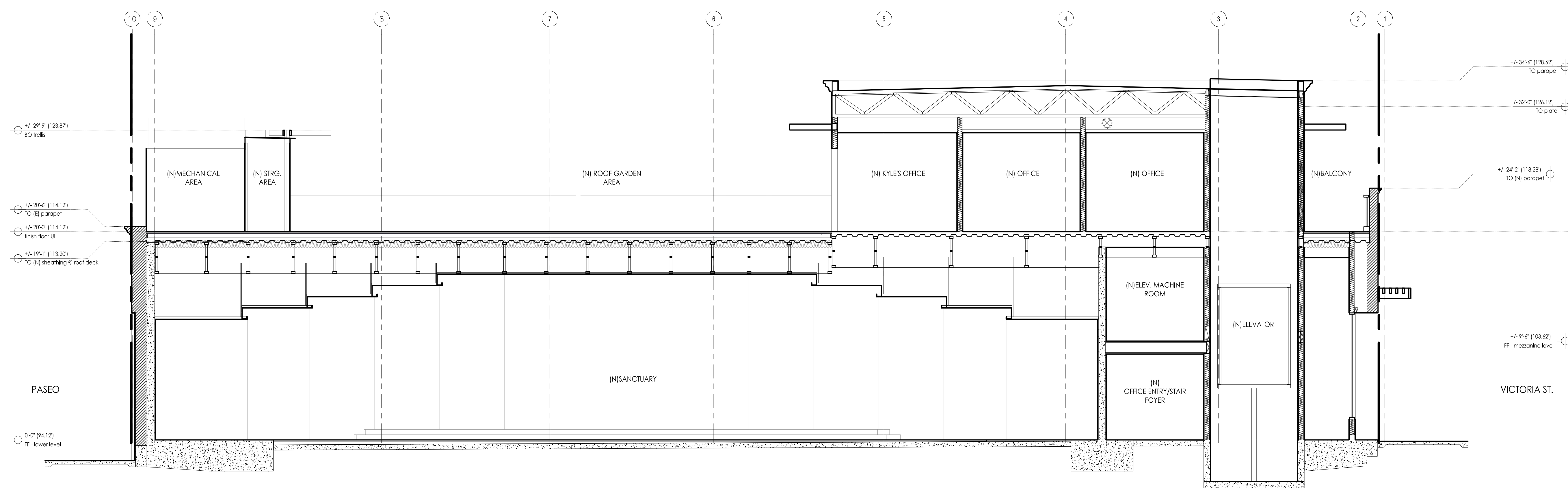
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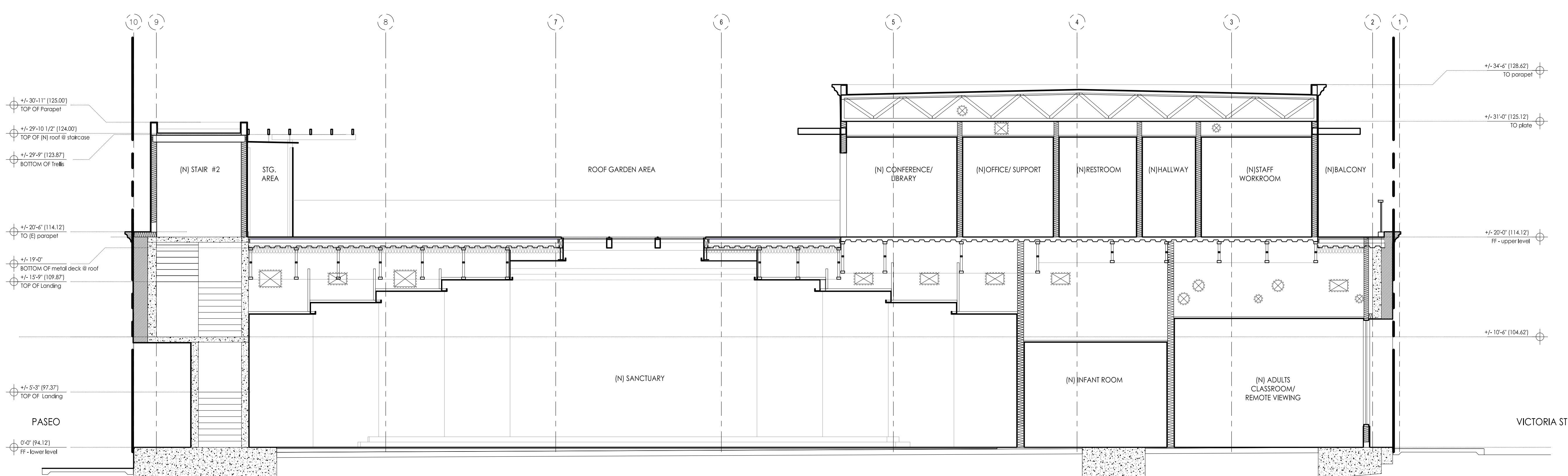
1 (E) SECTION - C
3/16" = 1'-0"



KEY PLAN
EXISTING GROUND FLOOR

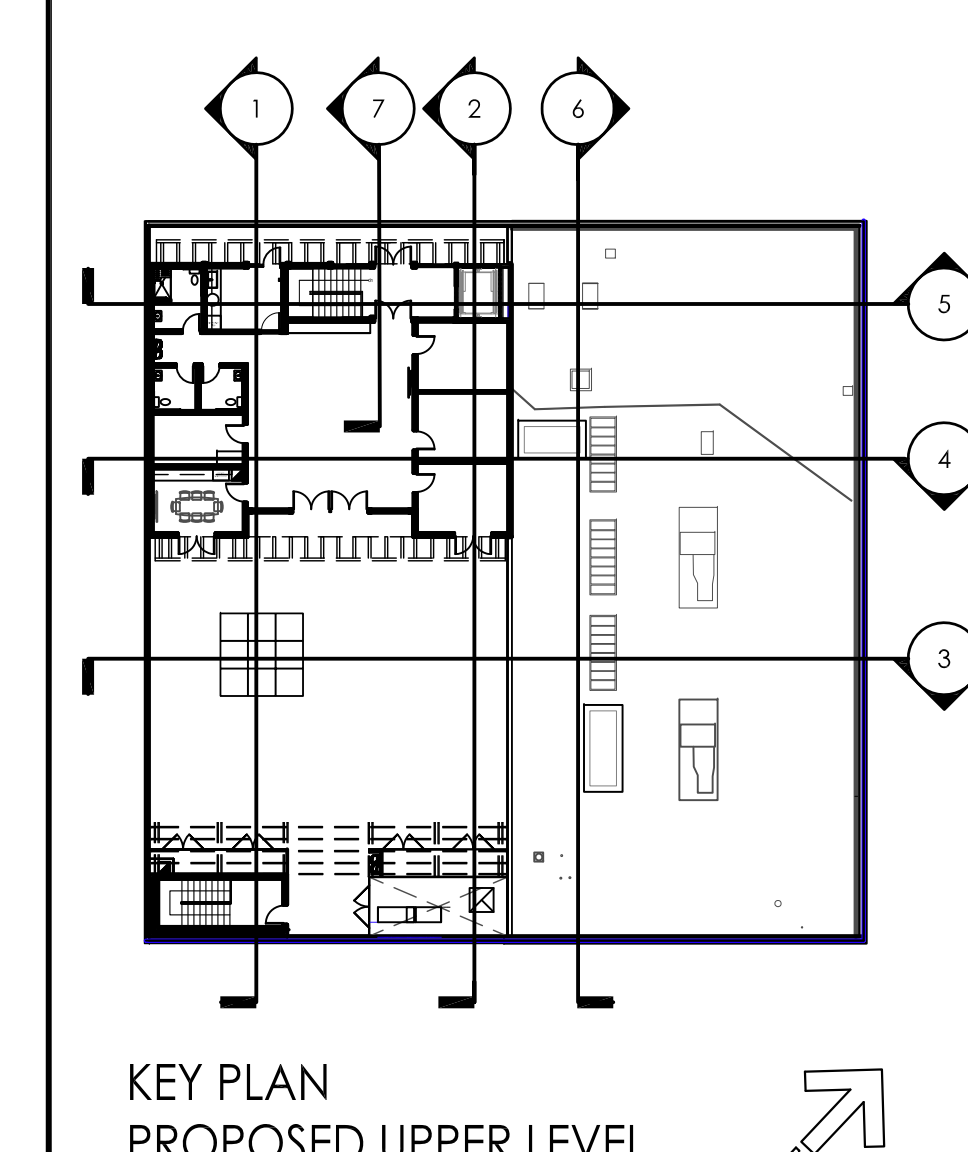
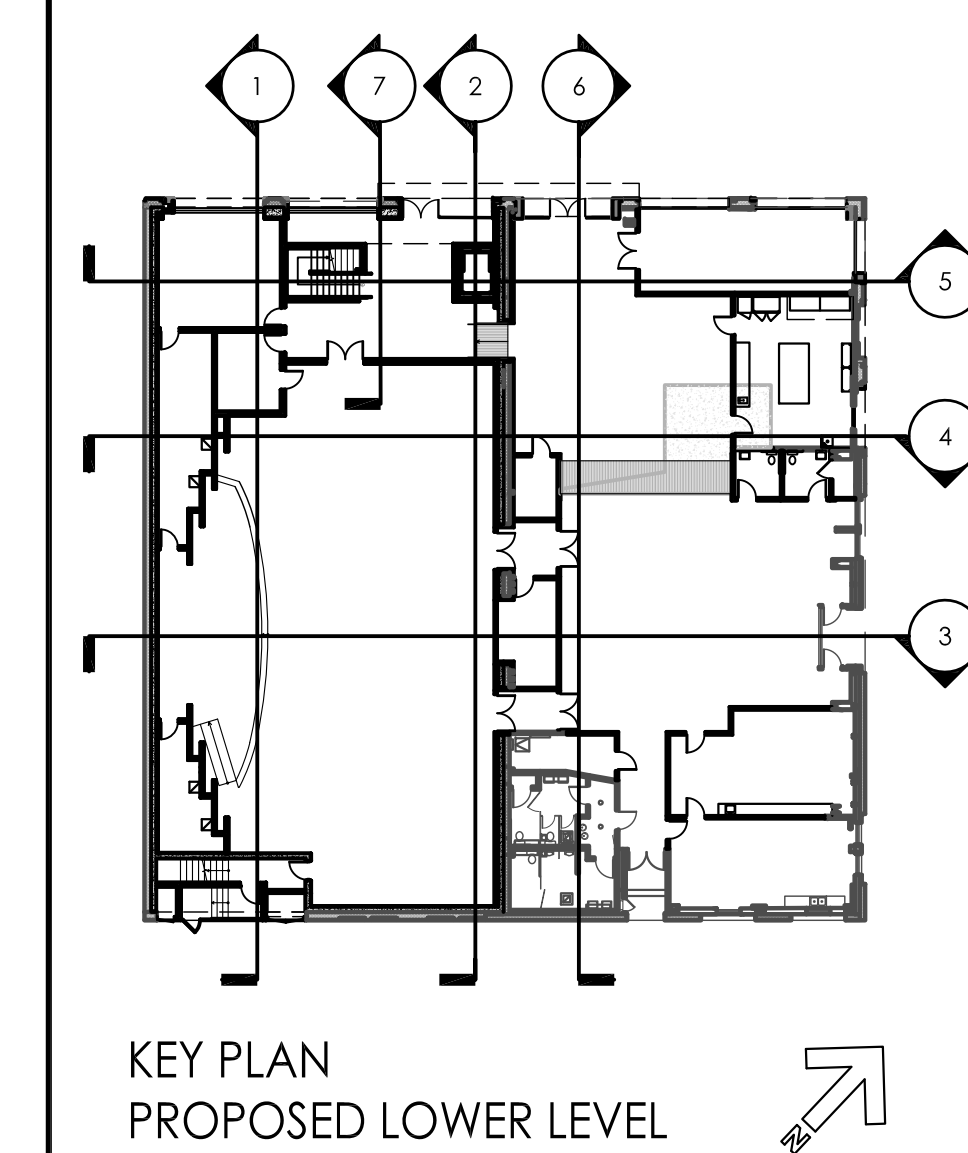


2 PROPOSED SECTION - 2
3/16" = 1'-0"



1 PROPOSED SECTION - 1
3/16" = 1'-0"

KEY NOTES



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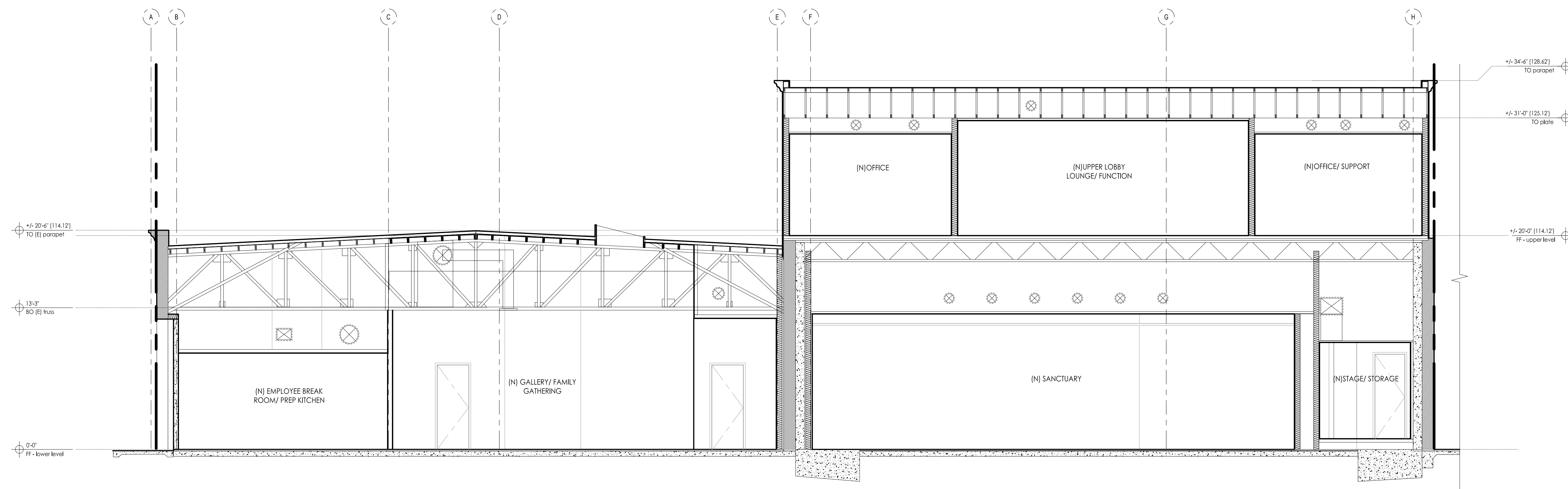
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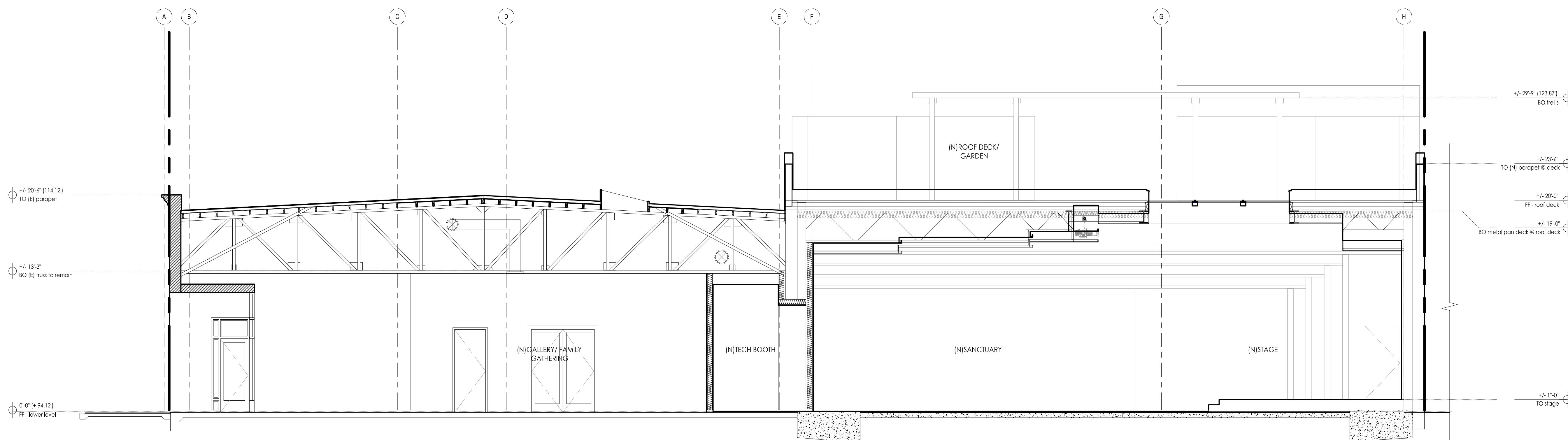
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PROJECT: 231202
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PROPOSED SECTIONS
1 & 2

A4.3
SHEET X OF XX



2 PROPOSED SECTION - 4
3/16" = 1'-0"



1 PROPOSED SECTION - 3
3/16" = 1'-0"

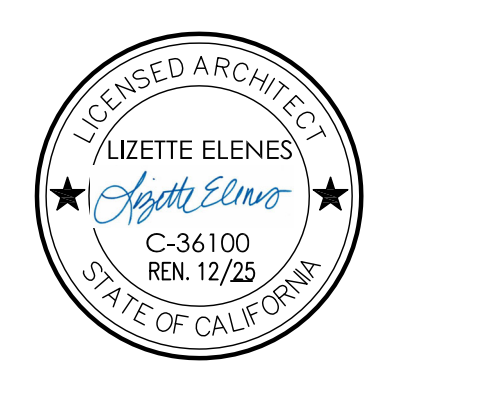
KEY NOTES

KEY PLAN PROPOSED LOWER LEVEL

KEY PLAN PROPOSED UPPER LEVEL

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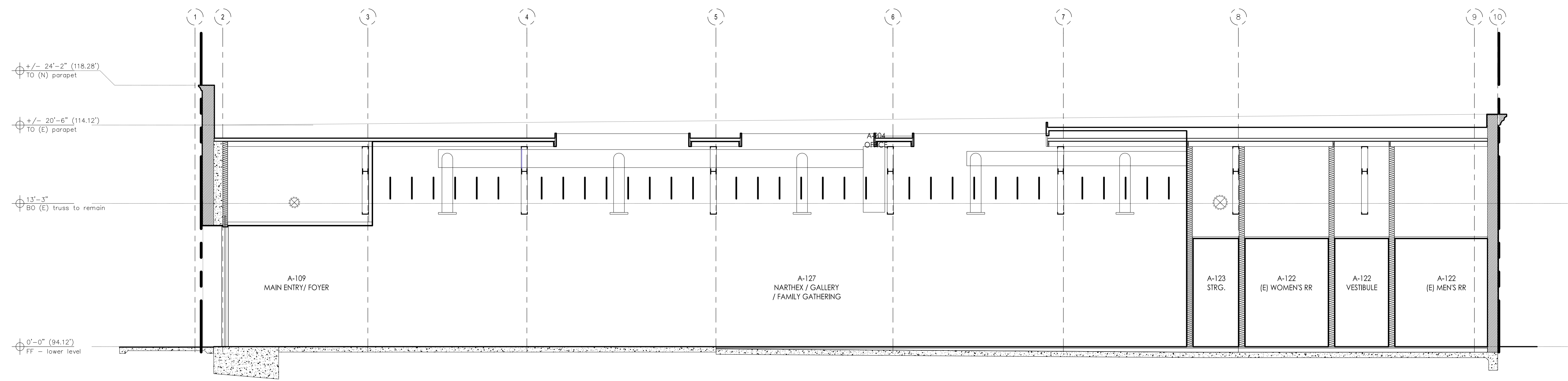
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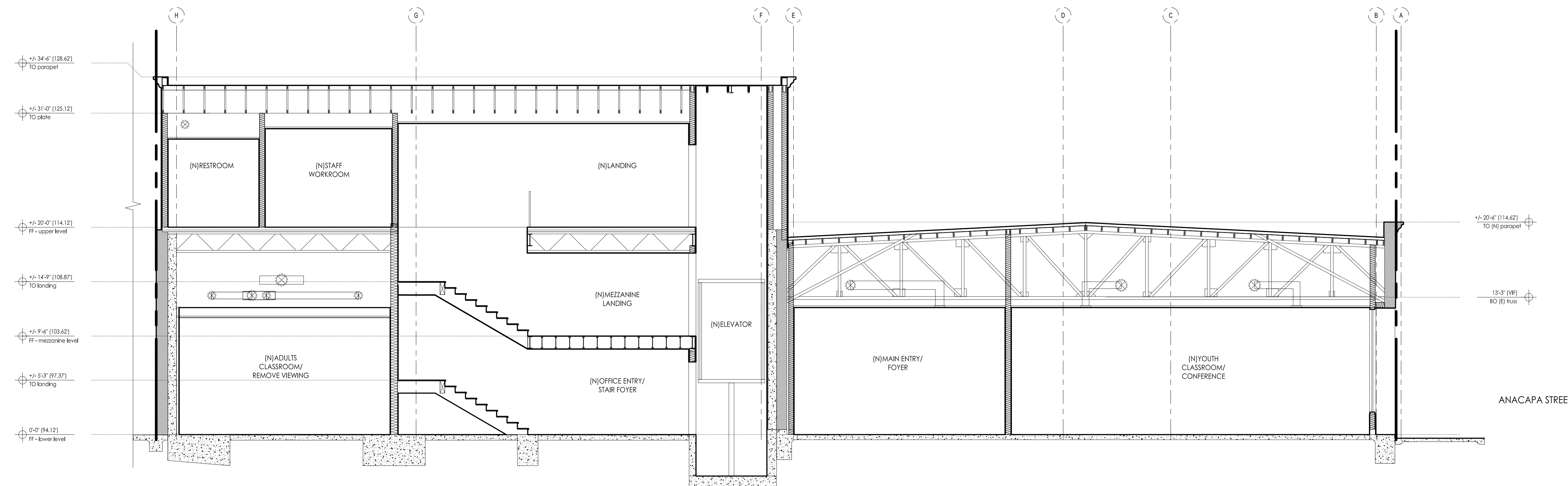
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PROPOSED SECTIONS
3 & 4

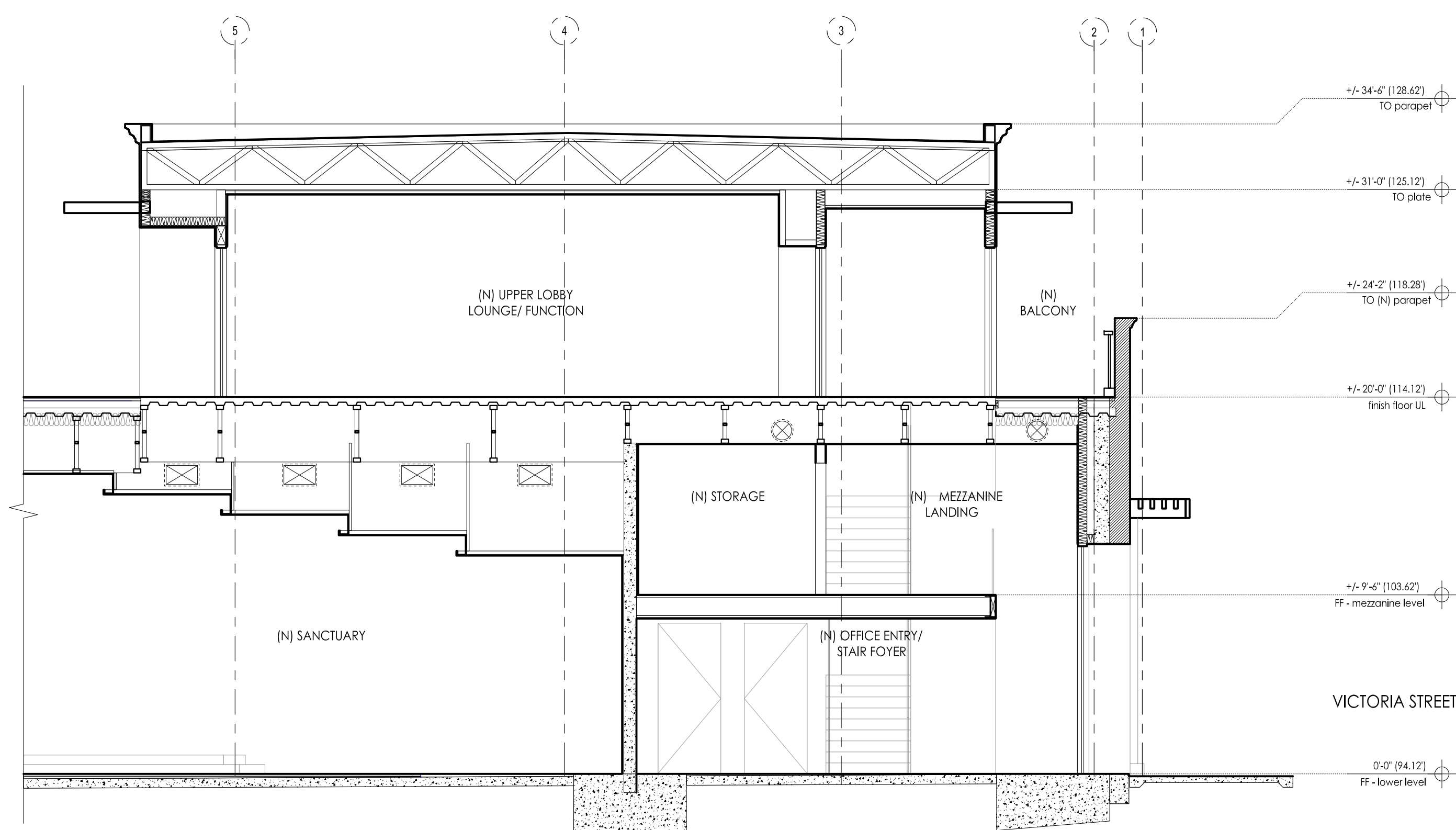
A4.4
SHEET X OF XX



2 PROPOSED SECTION - 6
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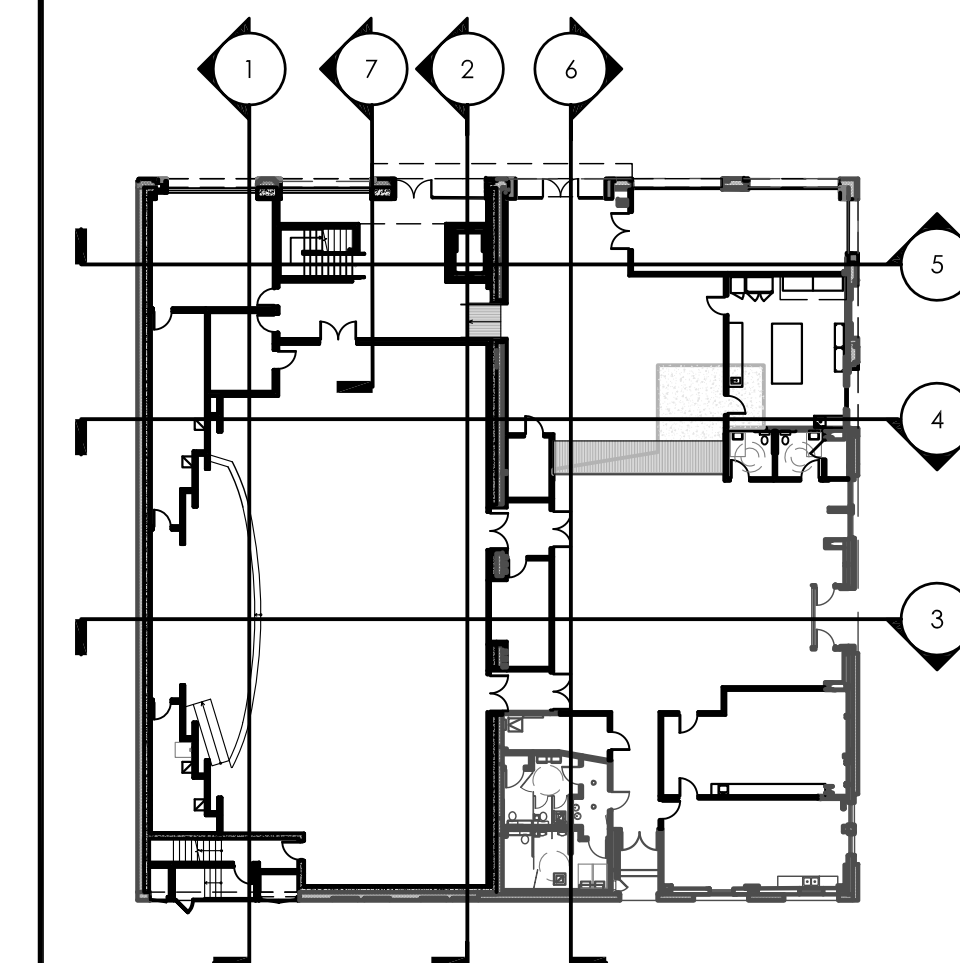


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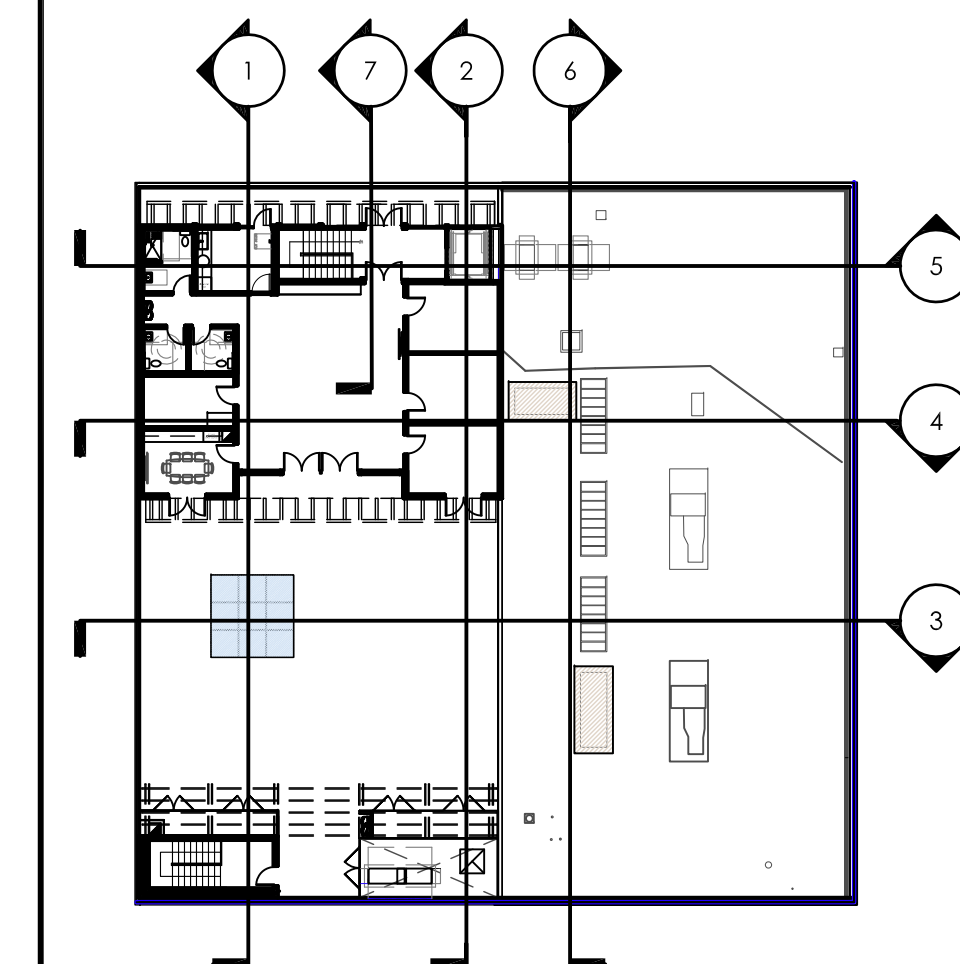


3 PROPOSED SECTION - 7
3/16" = 1'-0"

KEY NOTES



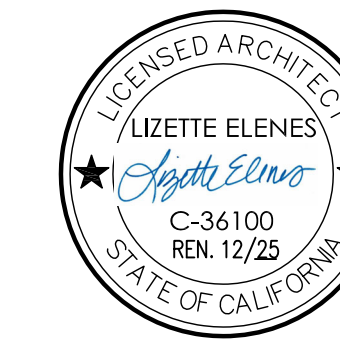
KEY PLAN
PROPOSED LOWER LEVEL



KEY PLAN
PROPOSED UPPER LEVEL

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805.824.4188
OXNARD CA

BOTTENFIELD
DESIGN + BUILD



DATE	REVISIONS
04/01/24	1st SUBMITTAL TO PLANNING DEPT.
06/20/24	2nd SUBMITTAL TO PLANNING DEPT.

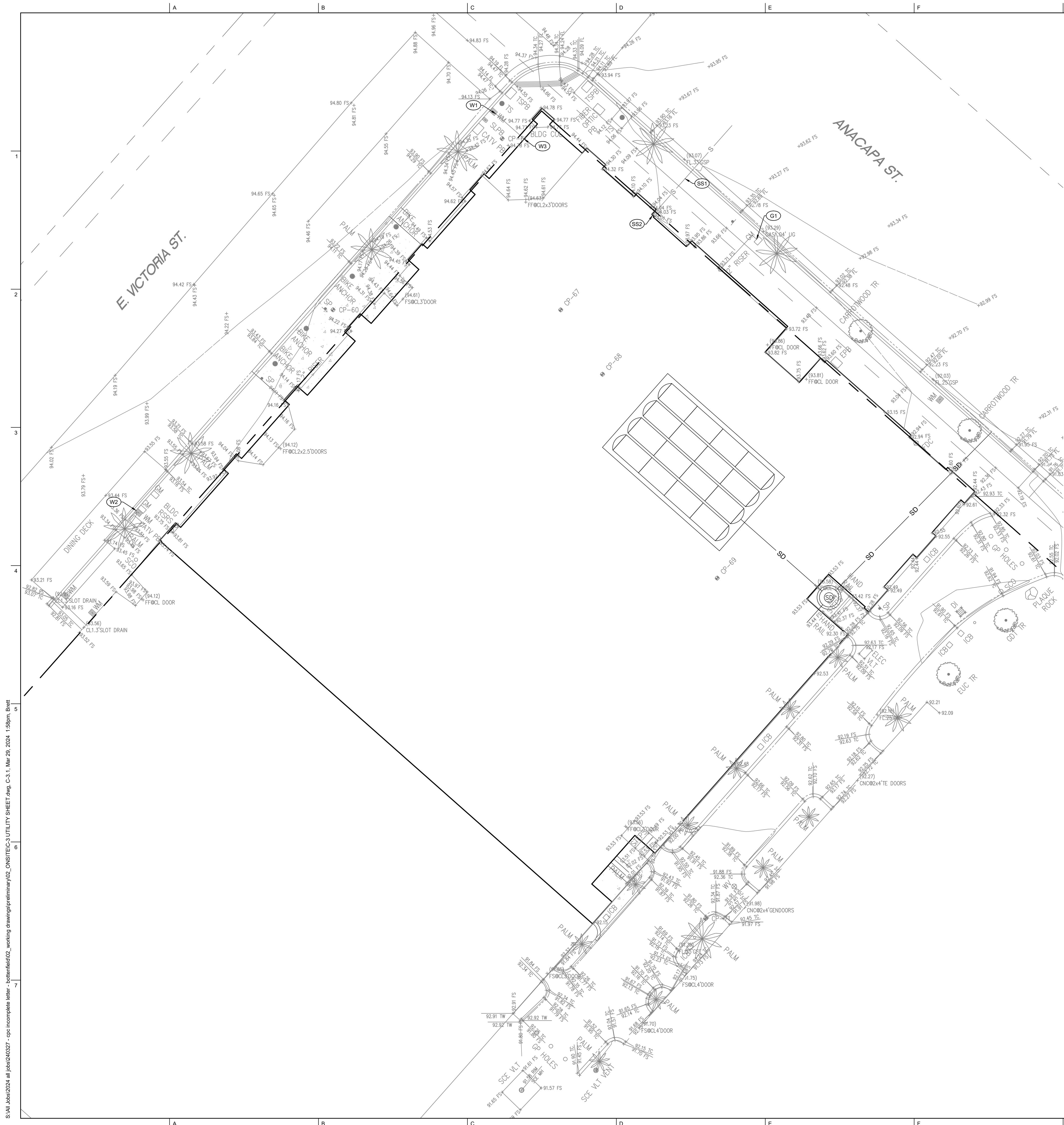
CHRIST PRESBYTERIAN CHURCH
BUILDING RENOVATION & 2ND FLOOR ADDITION
32 & 36 EAST VICTORIA ST.
SANTA BARBARA, CA 93101

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SCALE: AS SHOWN
DATE: 06-20-2024
PROJECT: 231202
DRAWN BY: LE

PROPOSED SECTIONS
5, 6 & 7

A4.5
SHEET X OF XX



GENERAL NOTES:

ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR TO POTHOLE ALL POINTS OF CONNECTION AND VERIFY ALL CLEARANCES. MATERIAL DEPTH AND LOCATION SHALL BE IDENTIFIED BY CONTRACTOR. IF THERE ARE ANY DIFFERENCES FROM PLAN WITH ANY OF THESE ITEMS, ENGINEER OF WORK SHALL BE NOTIFIED IMMEDIATELY.

GAS NOTES:

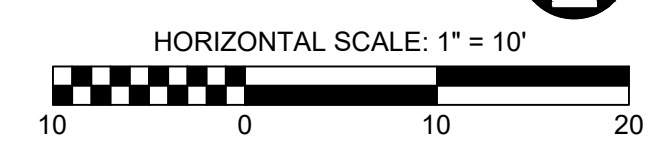
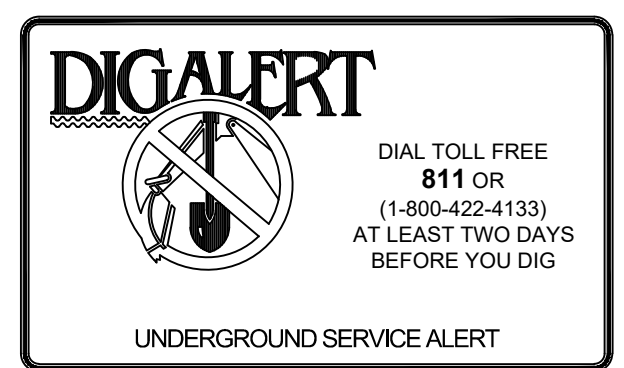
G1 EXISTING GAS METER AND GAS SERVICE LINE. SEE MECHANICAL PLANS FOR POINT OF CONNECTION AT BUILDING.

SANITARY SEWER CONSTRUCTION NOTES:

SS1 EXISTING SANITARY SEWER SERVICE LINE TO BE RECONNECTED. LOCATION AND ELEVATION TO BE FIELD VERIFIED.
 SS2 SEWER POINT OF CONNECTION AT BUILDING. SEE MECHANICAL PLANS.

WATER CONSTRUCTION NOTES:

W1 CONNECT TO EXISTING 1-INCH METER.
 W2 ABANDON EXISTING WATER METER.
 W3 WATER POINT OF CONNECTION AT BUILDING. SEE PLUMBING PLANS.

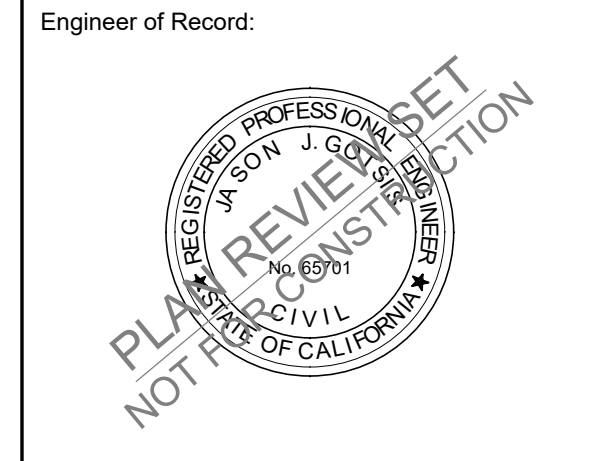


Plan Prepared By:

Ashley & Vance
ENGINEERING, INC.
210 East Costa Street
Santa Barbara, CA 93101
(805) 962-9966
www.ashleyvance.com

CIVIL • STRUCTURAL

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CHRIST PRESBYTERIAN CHURCH
36 E VICTORIA STREET
SANTA BARBARA, CA 93101

Revisions:

1	.
2	.
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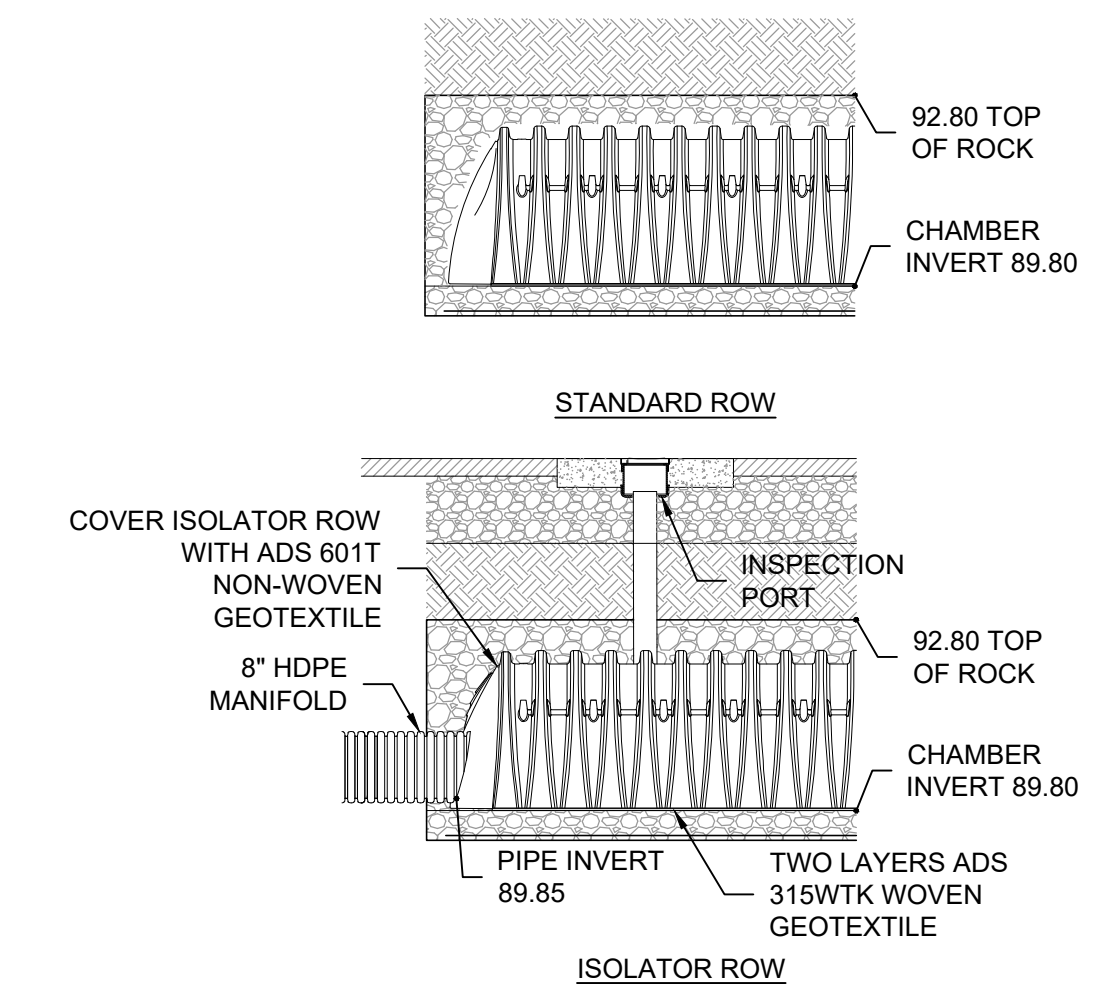
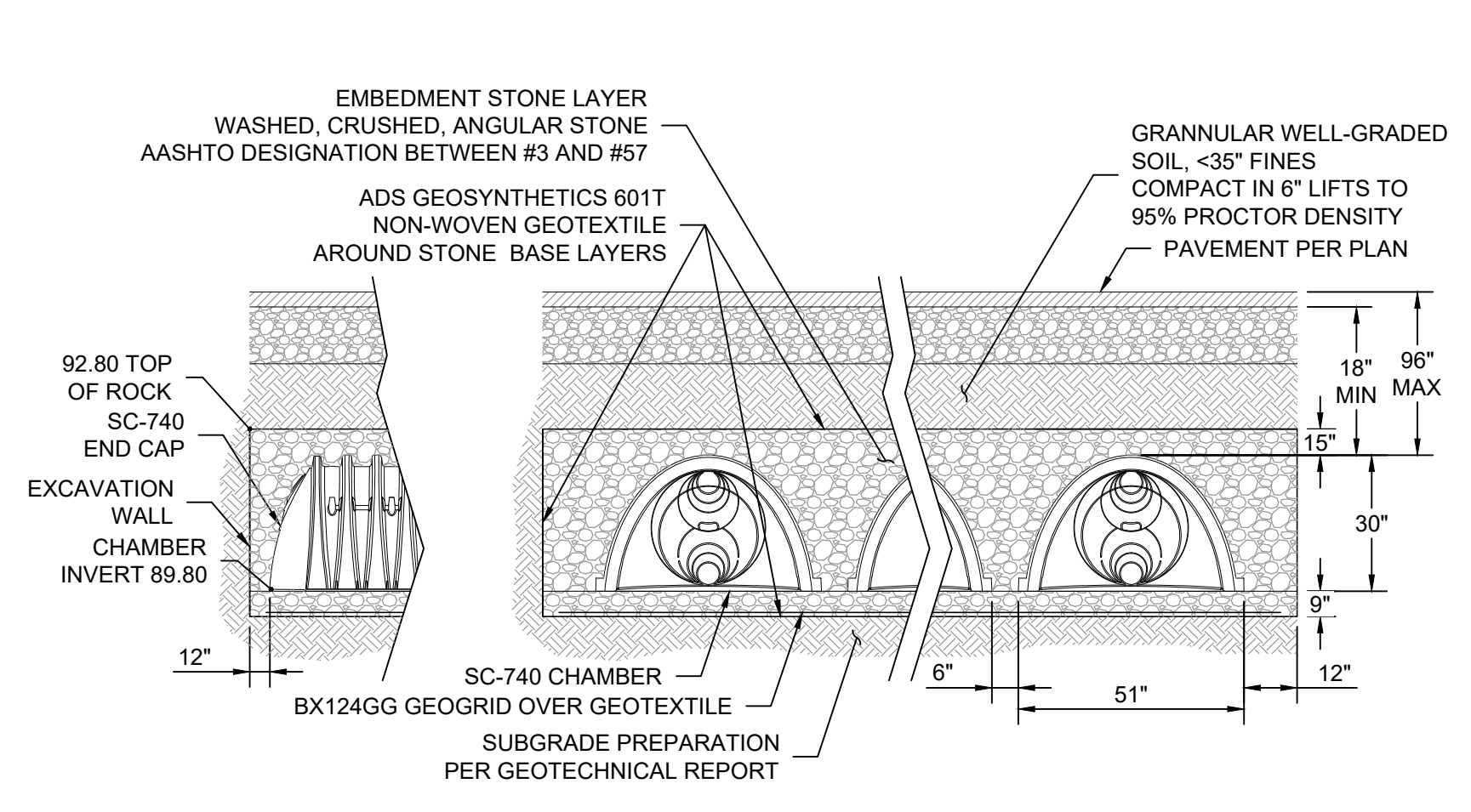
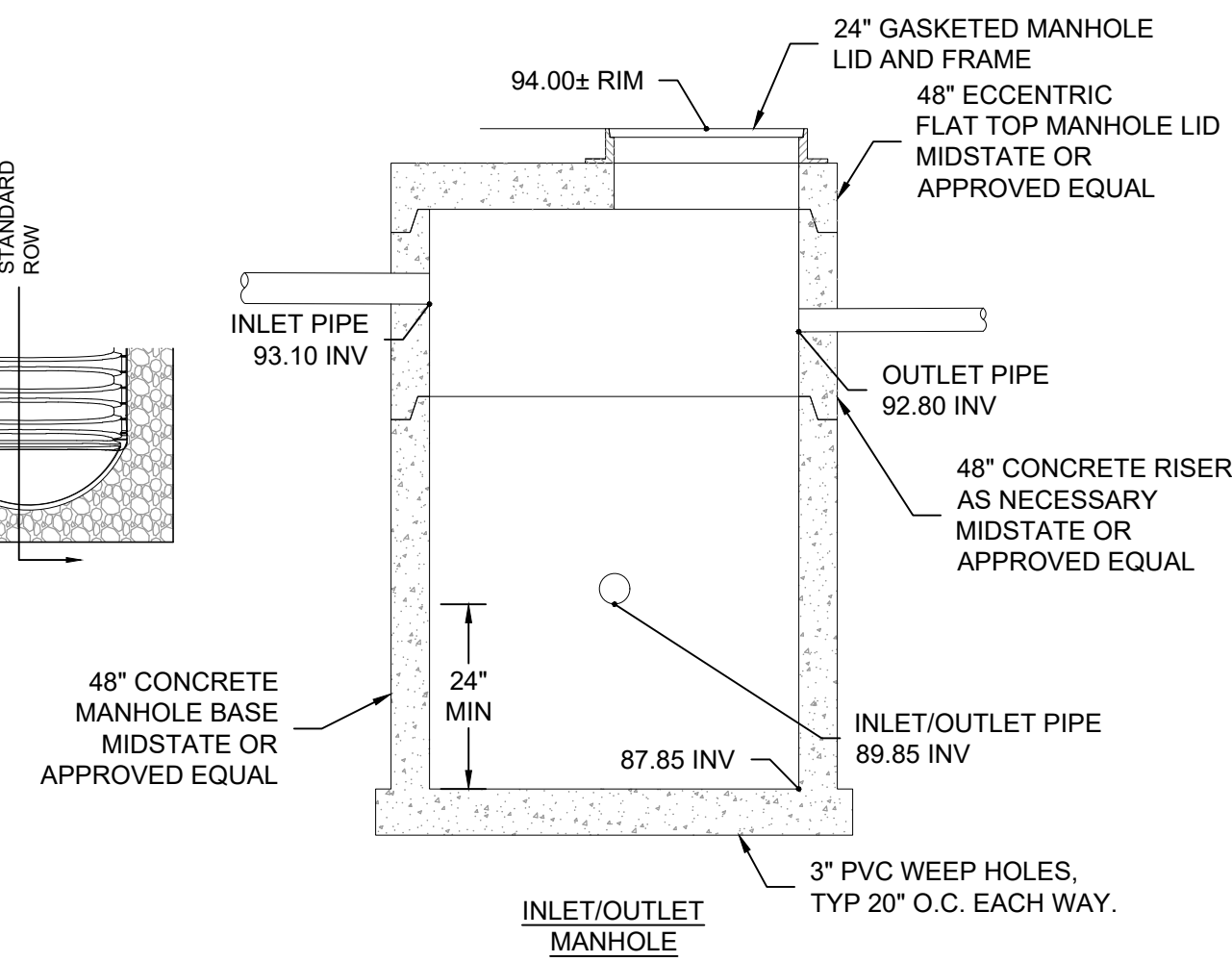
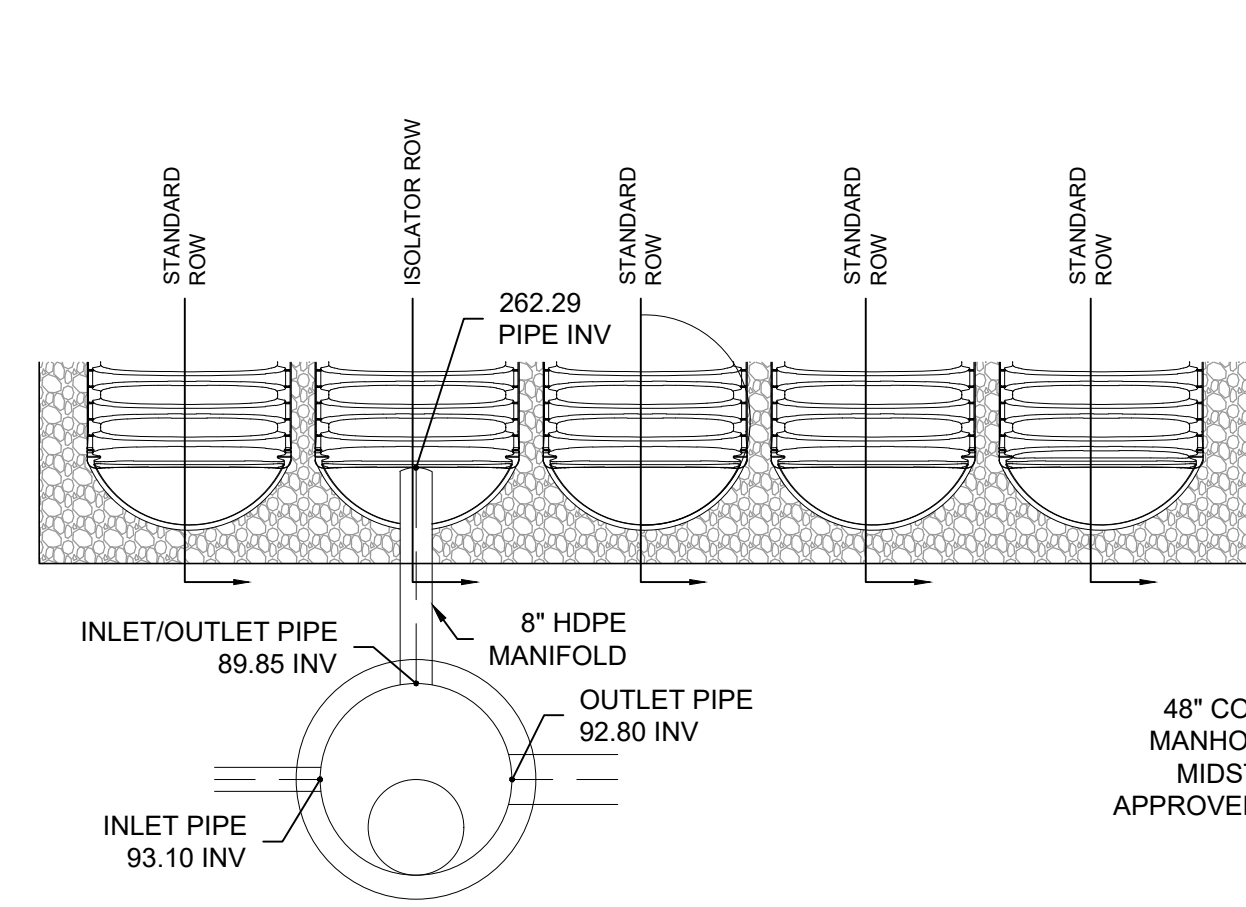
Project Engineer: BWV Ext: 130
 Project Manager: JJG
 Date: 03/29/2024 Scale: PER PLAN
 AV Job No: 240327 Sheet Size: 24" x 36"

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

UTILITY PLAN

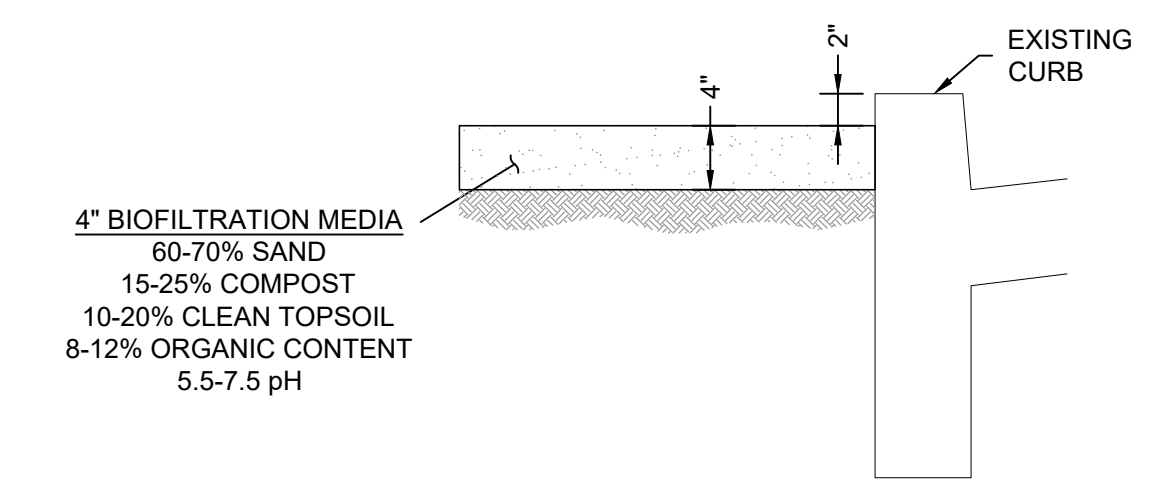
C-3.1

S:\All Jobs\2024\all jobs\240327 - cpc incomplete letter - bottom\c3.1\UTILITY SHEET.dwg, C-3.1, Mar 29, 2024, 1:58pm, Brett



1 STORMTECH RETENTION CHAMBER DETAIL

NTS



2 PARKWAY BIO-RETENTION AMENDMENT DETAIL

NTS

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Engineer of Record:



CHRIST PRESBYTERIAN CHURCH
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SANTA BARBARA, CA 93101

Revisions:

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Project Engineer: BWV Ext: 130
Project Manager: JJG
Date: 03/29/2024 Scale: PER PLAN
AV Job No: 240327 Sheet Size: 24" x 36"

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

DETAIL SHEET

C-4.1

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