

HISTORIC LANDMARKS COMMISSION
HISTORIC SIGNIFICANCE REPORT
Prepared by **Nicole Hernandez, MFA, City Architectural Historian**
1238 Nopal Street
Santa Barbara, California

Designation Status: Added to the Historic Resources Inventory by HLC vote on 1-29-2014. Found eligible as a Structure of Merit in Lower Riviera Survey prepared by Post/Hazeltine Associates.

Assessor Parcel Number: 029-150-009

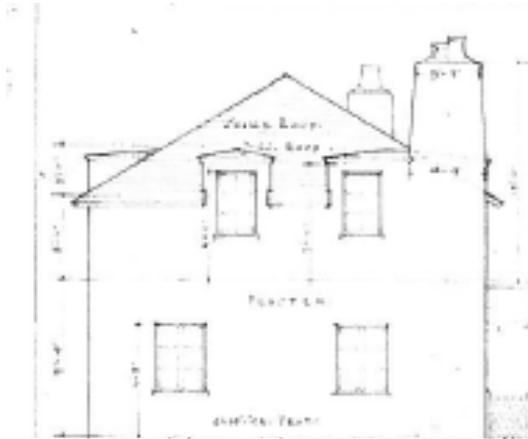
Constructed: 1939

Architect: unknown

Architectural Style: English Vernacular

Property Type: Residence

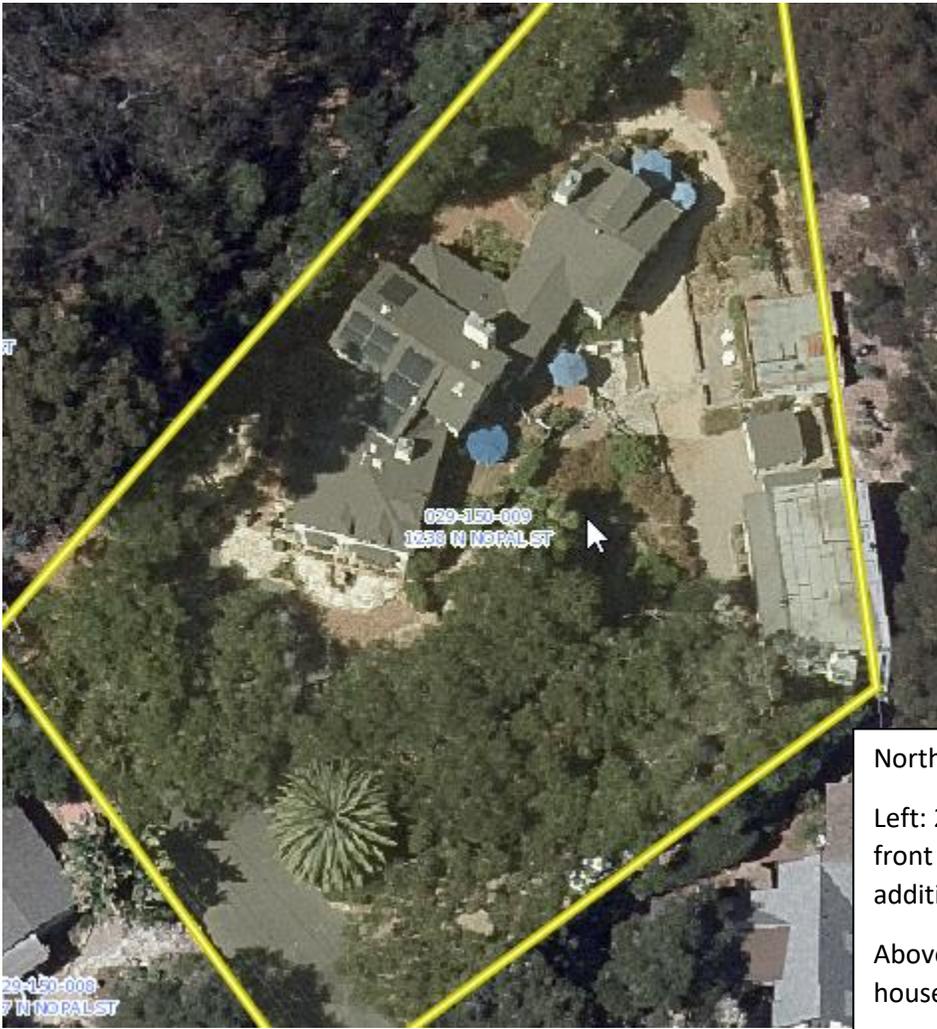
Property Description: Two-story English Vernacular style house with hipped roof punctured by two hipped roof dormers on the front (west) elevation and stucco siding. Fenestration includes wood, casement windows with horizontally divided lights flanked with shutters and capped with ½ hipped covered roofs. The front entrance portico with a new wood plank door is on the west side elevation covered by a front gable portico. The east side is characterized by a large deck and rear addition.



Above Left: 1939 Original Drawings of front (west) elevation.

Above Right: 2022 Front elevation, with hipped hoods and shutters added to first floor windows

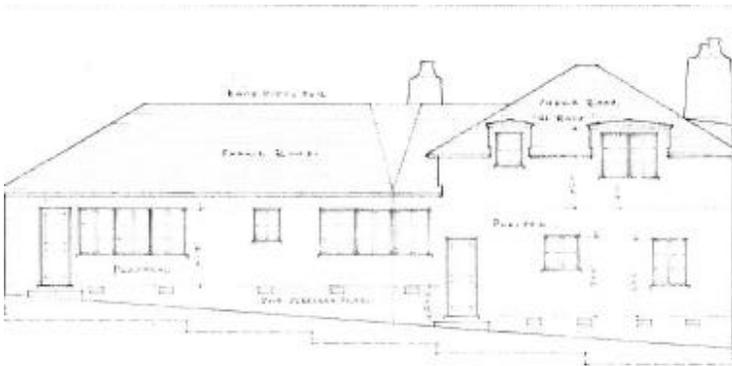




North

Left: 2020 Aerial of the site, showing front elevation facing south and additions behind the building.

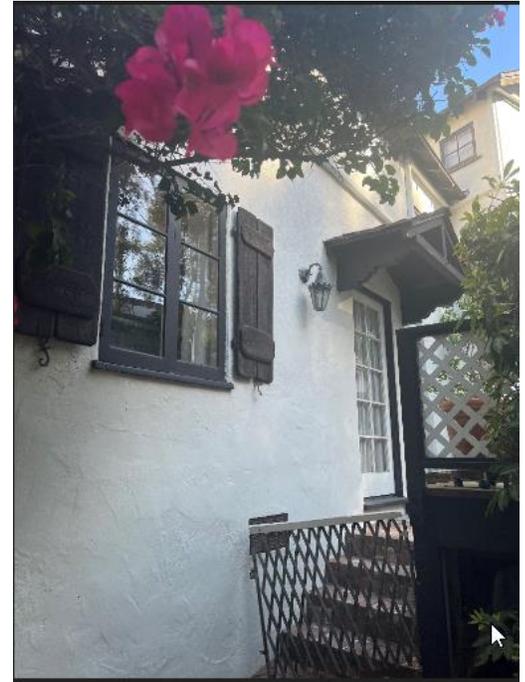
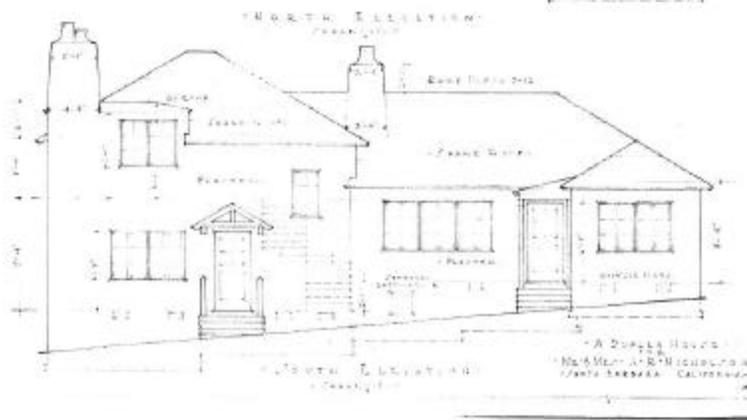
Above: Original foot print of the house.



Above: 1939 Original Drawing of south elevation.

Above: 2022 South elevation, showing addition of bay window, front door with gable portico and rear 2 story addition.





Top left: 1939 Original Drawing of North Elevation.
Bottom left and top right: 2022 North elevation with addition of deck and shutters and rear addition.

Significance

Historic Integrity: Starting in 1979 a series of renovations to convert the duplex into a single family home included adding a master bedroom suite and altering the exterior design of the house. The design moved the main entrance from the north elevation to the south elevation, the opposite side of the property, which had been the back door into the duplex apartment washroom. A large gable portico covering with stone walls was created to the new south facing entrance with new plank wood front door. The new design added a bay window on the south entrance as well, making this the dominant façade of the building. The new design added shutters and partial roofs over the west facing windows. The additions also included a large deck around the north façade, creating a back yard feel to what was once the front entrance. Although the house retains integrity of location and setting on a quiet street. The house has lost its integrity of design with the installation of the new front entrance on the south facade, shutters, bay window and roofs over the casement windows. The additions of these conjectural features, have created a false sense of historical development so that this house cannot be recognized as a physical record of its time. The house has retained some of the original materials in the casement windows, but has lost some like the original spatial relationships. The building does not retain integrity of design, workmanship, association or feeling as it no longer conveys its 1939 appearance. Thus, the building does not retain enough integrity to qualify as a historic resource under the criteria provided by the Municipal Code.



Above: 1974 photographs of the South and North elevations prior to renovations. Note: there are no shutters on windows, no roofs over windows, and no large deck on North elevation



Above: The south elevation was not the original front entrance. The new entrance with sandstone walls, gable covered portico, and new plank door were recent installations and not original, impacting the historic integrity of the house.

Architectural Historian Conclusion: Due to the extensive exterior alterations on the building, it no longer retains the required Historical Integrity to convey its 1939 appearance and does not qualify to be considered a historic resource.