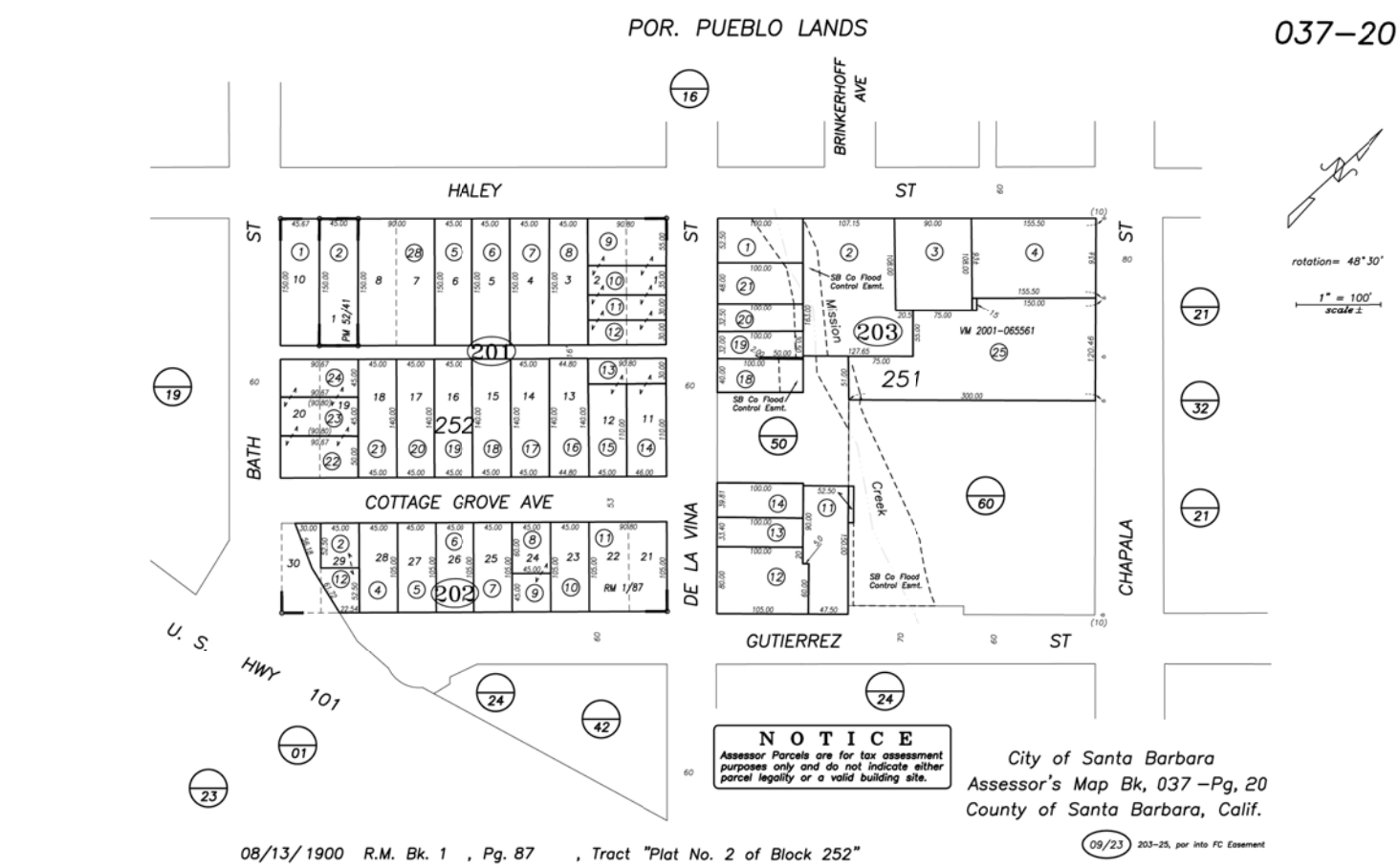
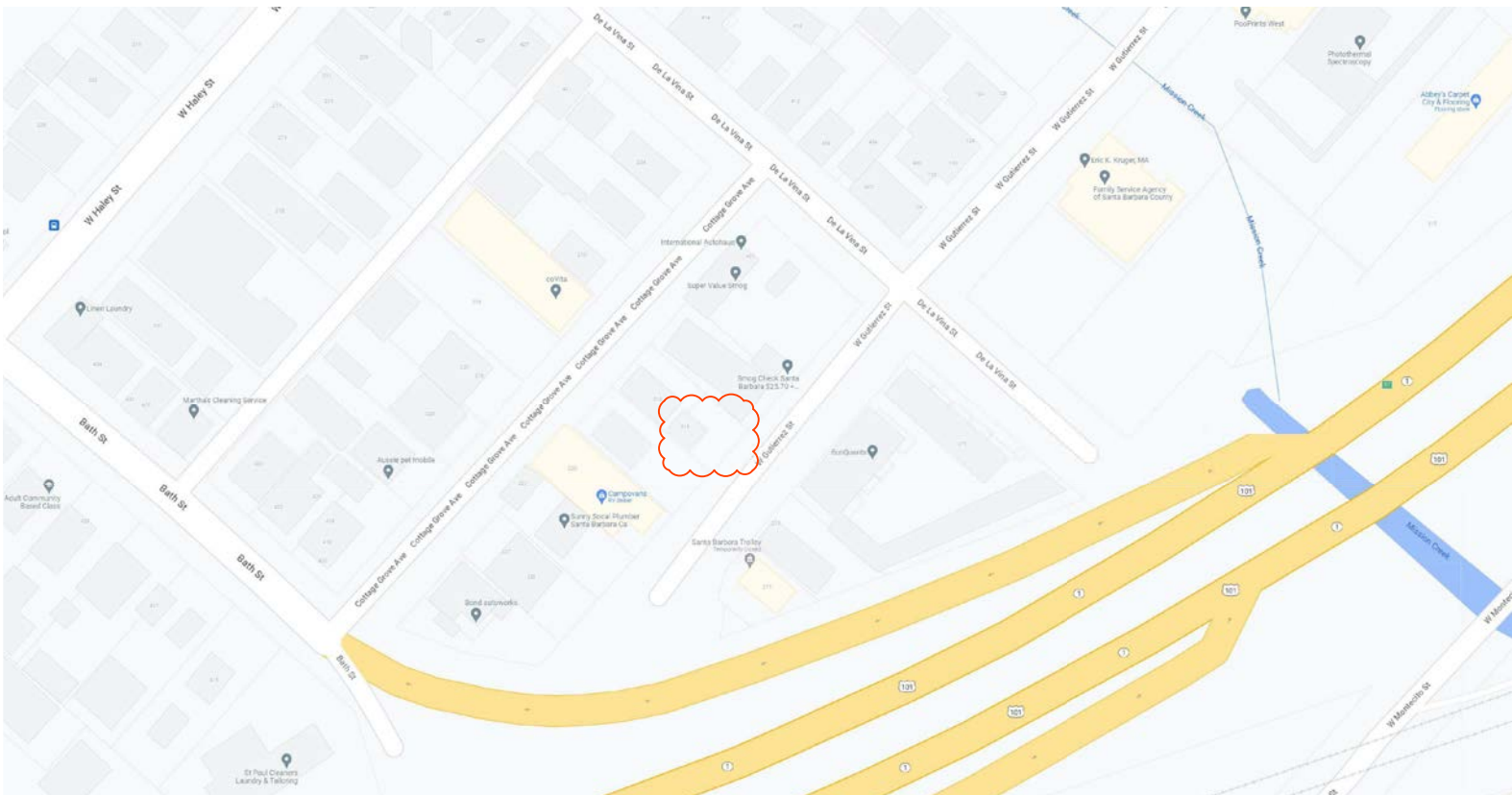


CITY STAMPS:

VICINITY MAP
SCALE: N/A



ASSESSOR MAP
SCALE: N/A

SYMBOLS:

- RECEPTACLES**
- DUPLEX OUTLET - 120V
 - QUADRUPLEX OUTLET
 - DEDICATED APPLIANCE OUTLET
 - DUPLEX OUTLET - HALF-SWITCHED
 - WP WATERPROOF GFCI DUPLEX OUTLET
 - DUPLEX FLOOR OUTLET
 - DUPLEX CEILING OUTLET
 - DUPLEX OUTLET - 220V
 - STANDARD SWITCH
 - VACANCY SENSOR SWITCH - MANUAL ON / AUTO OFF
 - 3-WAY SWITCH
 - SWITCH WITH TIMER
 - DIMMER SWITCH
- MISC. SYMBOLS**
- EXHAUST FAN - CEILING MOUNTED
 - EXHAUST FAN - WALL MOUNTED
 - EXHAUST FAN LIGHT COMBINATION
 - TELEVISION
 - CEILING FAN
 - ATTIC ACCES - 22"x30" MINIMUM SIZE
 - SUPPLY
 - RETURN
 - DATA OUTLET
 - COAXIAL CABLE OUTLET
 - SMOKE DETECTOR - CEILING / WALL MOUNT

- LIGHT FIXTURES**
- WALL MOUNTED FIXTURE, TYP. EXTERIOR
 - FLUSH MOUNTED CEILING FIXTURE
 - WALL MOUNTED FIXTURE, TYP. INTERIOR
 - RECESSED CEILING FIXTURE, X IN. DEEP, TYP.
 - MONOPOINT CEILING FIXTURE
 - DIRECTIONAL CEILING FIXTURE
 - UNDER-CABINET STRIP FIXTURE
 - SURFACE MOUNTED FLUORESCENT STRIP FIXTURE
- GENERAL SYMBOLS**
- DOOR
 - WINDOW
 - EXISTING WALL
 - NEW WALL
 - TO BE DEMO
 - 1-HOUR FIRE RATED ASSEMBLY

2018 AS-BUILT SWMP CALCULATIONS:

| | |
|--------------------------------------|----------|
| ADDED AS-BUILT IMPERVIOUS AREA | NONE |
| AS-BUILT REDEVELOPED IMPERVIOUS AREA | |
| FRONT DRIVE PAVERS | 680 SF |
| MAIN HOUSE/ROOF | 520 SF |
| UTILITY CLOSET | 30 SF |
| TOTAL | 1230 SF |
| REMOVED AS-BUILT IMPERVIOUS AREA | NONE |
| ALTERED AS-BUILT IMPERVIOUS SURFACE: | 1,230 SF |

PER 2013 BMP GUIDANCE MANUAL--TIER 2 (500-4000 SQ FT) REQUIRES THE INSTALLATION OF (1) OR MORE BMPS FROM CHAPTER 5.4. THIS PROJECT RETROACTIVELY USES FLOW SPREADING WITH RAIN DRAINS ATTACHED TO DISCONNECTED DOWNSPOUTS.

PROJECT INFORMATION:

PROJECT ADDRESS: 214 W. GUTIERREZ, SANTA BARBARA, CA. 93101
PROJECT OWNER: JUNJANLIN LLC
APN 037-202-009

SPRINKLERED: NO; NOT REQUIRED PER SBMC TITLE 8 CHAPTER 8.04. 903.2.20.5 CHANGE OF OCCUPANCY TO A HIGHER HAZARD CLASSIFICATION. ANY CHANGE OF OCCUPANCY IN AN EXISTING BUILDING WHERE THE OCCUPANCY CHANGES TO A HIGHER HAZARD CLASSIFICATION. EXCEPTION: FOR PURPOSES OF SPRINKLERS ONLY, THE HIGHER HAZARD CLASSIFICATION WILL NOT BE DEEMED TO INCLUDE LOW HAZARD ASSEMBLY OCCUPANCIES OF 75 OCCUPANTS OR FEWER.

OCCUPANCY: R-3
PARCEL AREA: 0.05 ACRE.
ZONING/LAND USE: C-G/SINGLE FAMILY RESIDENTIAL (PROPOSED CHANGE)

FEMA FLOOD ZONE: AE; THIS SITE IS IN A FEMA REGULATED 'AE' SPECIAL FLOOD HAZARD AREA (SFHA).
BUILDING TYPE: WOODY V-B

FIRE HAZARD ZONE: -
SPECIAL DISTRICT(S): DEMO REVIEW STUDY AREA

OCCUPANCY CLASSIFICATION: R-3/U
TYPE OF CONSTRUCTION: TYPE V-B
SLOPE 7% FROM CITY GIS

PARKING CALCULATIONS:

| | | |
|-----------------------------|--------------------|------------------------|
| (E) SINGLE UNIT RESIDENTIAL | | |
| REQUIRED PARKING | 2 UNCOVERED | 0 BICYCLE |
| PROVIDED PARKING | 2 UNCOVERED | 0 BICYCLE LONG TERM |
| (P) VACATION RENTAL | | |
| REQUIRED PARKING | 1 SPACE PER UNIT | 1 LONG/1 SHORT BICYCLE |
| PROVIDED PARKING | 1 ACCESSIBLE SPACE | 2 BICYCLE LONG TERM |

PROPOSED SWMP CALCULATIONS:

| | |
|--------------------------------------|---------|
| PROPOSED NEW IMPERVIOUS AREA | NONE |
| PROPOSED REDEVELOPED IMPERVIOUS AREA | NONE |
| PROPOSED REMOVED IMPERVIOUS AREA | |
| DRIVE GARDEN | 160 SF |
| BACK PATIO | 215 SF |
| GRAVEL SIDE YARD | 118 SF |
| TOTAL | 493 SF |
| NEW AND REPLACED IMPERVIOUS SURFACE: | -493 SF |
| NO BMPS REQUIRED. | |

PREVIOUS OWNER SOLD RESIDENCE WITHOUT REMEDIATING PREVIOUS ENFORCEMENT CASES FROM 2017

City of Santa Barbara
Community Development Department
www.santabarbara.ca.gov

NOTICE OF VIOLATION WARNING LETTER

Subject: 214 W. Gutierrez St, Santa Barbara, CA 93101
APN: 037-202-009
Enforcement Case Number: ENF2017-00419

Dear James M. Lambert & K Nicole Eubanks Lambert,

Due to a concern filed with the Building & Safety Division, an inspection of the Subject Property was performed by Peter Miklos, Building Inspector, on 4/25/2017. As a result of Peter Miklos's investigation, we have found the Property to be in violation of the Santa Barbara Municipal Code as follows:

Violations: Santa Barbara Municipal Code 22.04.010 Work Without Permit - Residential
CODE SECTION: 2016 California Residential Code § R105.1 Permits Required. Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by the code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

1) New Driveway installed. (See Exhibits 1, 2, and 3)
2) The legal configuration of the structure has been modified without the required building permit in the living room to create a new loft area. (See Exhibits 4, 5, and 6)
3) Replacement of kitchen and bathroom areas. (See Exhibits 7, 8, 9, 10, and 11)
4) Replaced Windows. (See Exhibits 12, 13, 14, and 15)
5) Installation of new On-Demand Water Heater. (See Exhibit 16)

Permitted: New electrical meter panel installed. (See Exhibit 17) - PERMITTED

SHEET INDEX:

- A-000 COVER SHEET
- A-001 SITE PHOTOS
- A-002 SPECS
- A-100 SITE PLANS
- A-150 LANDSCAPE PLAN
- A-200 FLOOR PLANS
- A-300 ROOF PLANS/RPCS ETC...
- A-400 EXTERIOR ELEVATIONS

PROJECT SCOPE: PREVIOUS AS- BUILT WORK

- ABATE VIOLATIONS AS FOLLOWS**
- NEW DRIVEWAY INSTALLED WITHOUT PERMIT.
 - THIS APPLICATION SEEKS TO PERMIT AS-BUILT PAVER DRIVEWAY
 - REMODEL BATHROOM/SHOWER
 - THIS APPLICATION SEEKS TO PERMIT THE AS-BUILT BATHROOM
 - REPLACEMENT OF ALL WINDOWS AND EXTERIOR DOORS
 - THIS APPLICATION SEEKS TO PERMIT ALL AS-BUILT DOORS AND WINDOWS, WOOD DOORS AND VINYL WINDOWS
 - CREATED LOFTS AND ACCESS OPENINGS IN LIVING ROOM
 - THIS APPLICATION SEEKS TO PERMIT THE AS-BUILT LOFT SPACE AS STORAGE SPACE
 - INSTALLED NEW ON-DEMAND WATER HEATER
 - THIS APPLICATION SEEKS TO PERMIT THE EXISTING AS-BUILT ON-DEMAND TANKLESS WATER HEATER
 - KITCHEN REMODEL
 - THIS APPLICATION SEEKS TO PERMIT THE AS-BUILT KITCHEN AS THE ORIGINAL STATE OF THE KITCHEN CANNOT BE DETERMINED.
 - ALTERATION OF ELECTRICAL LIGHTING AND OUTLETS
 - THIS APPLICATION SEEKS TO PERMIT ALL AS-BUILT ELECTRICAL WORK.
- ABATE ZONING COMMENTS AS FOLLOWS**
- WATER HEATER/WASHER DRYER CLOSET ADDED W/OUT PERMIT. SATELLITE IMAGERY SHOWS IT AS FAR BACK AS 2007.
 - THIS APPLICATION SEEKS TO PERMIT AS-BUILT EXTERIOR CLOSET.
 - ROOFING REPLACED/RAISED AND DORMER ADDED ALONG WITH ROOF VENTING.
 - THIS APPLICATION SEEKS TO PERMIT AS-BUILT ROOFING CHANGES.
 - AS-BUILT CHANGES IN EXTERIOR CLADDING AND PAINT COLOR
 - THIS APPLICATION SEEKS TO PERMIT EXTERIOR BUILDING CHANGES.
 - AS-BUILT ADJUSTMENT TO ROOF HEIGHT PER GOOGLE MAPS IN 2018.
 - THIS APPLICATION SEEKS TO PERMIT AS-BUILT ROOF CHANGES.

PROJECT SCOPE: PROPOSED WORK

CHANGE OF EXISTING 1 BEDROOM/ 1 BATH SINGLE FAMILY RESIDENCE TO COMMERCIAL VACATION RENTAL.
SHORT-TERM RENTAL WILL BE FOR ONE RENTAL ONLY AND PORTIONS OF THE UNIT WILL NOT BE RENTED OUT SEPARATELY

- NEW ACCESSIBILITY STANDARDS APPLIED FOR PARKING (TURNAROUND INCLUDED)
 - REQUIRED MINOR DEMOLITION OF FRONT YARD LANDSCAPING
 - REQUIRED MINOR DEMOLITION OF PROPERTY FRONT FENCE
 - REPLACEMENT OF LANDSCAPING
- NEW ACCESSIBILITY STANDARDS APPLIED FOR INGRESS
 - ACCESSIBLE RAMP ADDED TO BACK ENTRANCE ADJACENT TO NEW PARKING SPACE.
 - EXISTING EXTERIOR DOOR REPLACED TO BE 3'-0" WIDE PER ACCESSIBLE ENTRY STANDARDS.
 - NEW BIKE STORAGE REQUIREMENTS.
 - SEE PARKING CALCULATIONS
- NEW LANDSCAPE BUFFERS CREATED PER PARKING REQUIREMENTS.
 - APPLICATION FOR DESIGN WAIVER ON LANDSCAPE BUFFER REQUIREMENTS

ENTITLEMENTS REQUIRED

- REVIEW BY THE ARCHITECTURAL BOARD OF REVIEW (ABR) IS REQUIRED PER SBMC §22.68.020.B. TO CONSTRUCT, ALTER, OR ADD TO THE EXTERIOR OF A NONRESIDENTIAL, MULTI-UNIT RESIDENTIAL, TWO-UNIT RESIDENTIAL, OR MIXED USE DEVELOPMENT. NEW ACCESSIBILITY STANDARDS APPLIED FOR PARKING (TURNAROUND INCLUDED)
- CONSIDERATION OF A WAIVER BY THE ARCHITECTURAL BOARD OF REVIEW (ABR) IS REQUIRED PER SBMC §30.175.080.E - ALTERNATIVE LANDSCAPE DESIGNS: VARIATIONS TO PARKING AREA LANDSCAPE AND FENCE STANDARDS.
- CONSIDERATION OF A WAIVER OR EXCEPTION BY THE ARCHITECTURAL BOARD OF REVIEW (ABR) IS REQUIRED PER SBMC §30.140.130.D - MECHANICAL EQUIPMENT: WAIVER FOR DISTANCE OR SCREENING REQUIREMENTS.

FLOOR AREA CALCULATIONS

EXISTING FLOOR AREA:
EXISTING 1-STORY RESIDENCE: 400 NET/ 420 GROSS
PROPOSED UNCONDITIONED LAUNDRY CLOSET: 7 NET/ 10 GROSS
TOTAL PROPOSED FLOOR AREA: 400 NET/ 420 GROSS

ZONING CHANGE IMPLICATIONS

SETBACKS: THE SETBACKS FOR NON-RESIDENTIAL DEVELOPMENT IN THE C-G ZONE IS 0' FOR BOTH FRONT AND INTERIOR. PLEASE NOTE THAT THE EXISTING PERMITTED RESIDENTIAL USE FOLLOWS THE SETBACKS FOR THE R-MH ZONE. SECTION 30.25.030

GROWTH MANAGEMENT PROGRAM:

PROPOSED CONVERTED NEW NONRESIDENTIAL NET FLOOR AREA
400 NET/420 GROSS
MINOR ADDITION

NOTES:

- THE COPYRIGHT OF THIS DRAWING IS VESTED IN MCGUIRE PROJECT MANAGEMENT AND IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR USED FOR THE MANUFACTURE OF ANY ARTICLE WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.
- WORK TO FIGURED DIMENSIONS ONLY.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, SERVICE ENGINEERS' AND MCGUIRE PROJECT MANAGEMENT DRAWINGS AND SPECIFICATIONS.
- ALL WORK ON THIS PROJECT SHALL COMPLY WITH ALL GOVERNING AGENCIES, APPLICABLE CODES, ORDINANCES, AND THEIR AMENDMENTS ARE AS FOLLOWS:
 - 2021 CA BUILDING CODE
 - 2021 CA GREEN BUILDING CODE
 - 2021 CA RESIDENTIAL CODES
 - 2021 CA FIRE CODES
 - 2021 CA MECHANICAL CODES
 - 2021 CA PLUMBING CODE
 - 2021 CA ELECTRICAL CODE
- UNLESS OTHERWISE SHOWN OR INDICATED, DIMENSIONS SHOWN ON ARCHITECTURAL PLAN DRAWINGS ARE INDICATED TO THE FINISH FACE OF WALL. REFER TO CONTRACT DOCUMENTS FOR THICKNESS OF APPLIED WALL FINISHES.
- DIMENSIONS NOTED "CLEAR" OR "CLR" MUST ALLOW FOR THICKNESS OF ALL WALL FINISHES, BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN APPROVAL FROM DESIGNER.
- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. PARTITION PLAN BY DESIGNER TAKES PRECEDENCE OVER ALL OTHER PLANS.
- TRIM THE BOTTOMS OF DOORS TO CLEAR THE TOP OF FINISHED FLOOR, AS APPLICABLE, BY 1/4" INCH MAXIMUM, UNLESS OTHERWISE NOTED. VERIFY SLAB CONDITIONS. TRIM EACH DOOR TO FIT CONDITION. WHERE RADICAL VARIATIONS IN FLOOR ELEVATION EXIST, DOORS SHALL BE ORDERED WITH BOTTOM STILE SIZED TO ACCOMMODATE THESE UNDERCUT CONDITIONS.
- ALL EXISTING & NEW FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED WITH FIRE-RATED MATERIALS IN ACCORDANCE WITH APPLICABLE BUILDING AND FIRE CODES.
- ALL CONSTRUCTION TO ADJACENT FLOORS & CEILINGS OUTSIDE THE LEASED PREMISES SHALL BE PATCHED & RESTORED AS REQUIRED TO MATCH ORIGINAL CONDITIONS.
- ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS, PARTITIONS OR GYP BOARD SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.
- UNDERSIDE OF SOFFITS TO RECEIVE FINISH TO MATCH ADJACENT VERTICAL FINISH, UNLESS OTHERWISE NOTED.
- ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALLCOVERINGS & CARPETS SPECIFIED.
- MODIFY EXISTING FLOOR SURFACES AS REQUIRED TO INSTALL NEW FLOORING MATERIAL, TO PREVENT IMPERFECTIONS.
- PAINT CEILING ACCESS PANELS TO MATCH ADJACENT CEILING FINISH.
- ALL MATERIALS, METHODS OF INSTALLATION AND FINISHING OF CONSTRUCTION SYSTEMS (PARTITIONS, CEILINGS, DOORS, FRAMES, FLOORS, ETC.) SHALL CONFORM TO THE MANUFACTURERS' SPECIFICATIONS & INSTALLATION INSTRUCTIONS FOR THE EXPECTED USE.

| | | | |
|------|--------------|-----|------------|
| C | | MM | - |
| B | | MM | - |
| A | ABR | MM | 07/01/2024 |
| REV: | DESCRIPTION: | BY: | DATE: |

STATUS: DRAWING SET

MCGUIRE PROJECT MANAGEMENT
604 E COTA ST. SANTA BARBARA
UNIT 306
805.501.8056

CLIENT: JUNJANLIN INC.
214 W. GUTIERREZ
SANTA BARBARA, CA
93101

DESIGNER: MICHAEL MCGUIRE
SANTA BARBARA
CALIFORNIA
93101

| | |
|--------------|---------------------------------|
| SITE: | 214 W. GUTIERREZ 037-202-009 |
| TITLE: | COVER SHEET |
| SCALE AT A1: | N/A |
| DATE: | 6/30/2024 |
| DRAWN: | MM |
| CHECKED: | MM |
| PROJECT NO: | MPM02 |
| DRAWING NO: | A-000 |
| REVISION: | 0 |



NORTH WEST ELEVATION



SOUTH WEST ELEVATION



NORTH EAST ELEVATION



SOUTH EAST ELEVATION



AS-BUILT CONDENSER



211 W GUTIERREZ MIXED USE BUILDING ACROSS THE STREET

NOTES:

INFORMATION FOR THIS SITE PLAN HAS COME FROM MULTIPLE SOURCES. THIS DRAWING SHALL NOT BE CONSTRUED AS A SITE SURVEY DOCUMENT AND IS FOR REFERENCE PURPOSES ONLY.

| | | | |
|---------------------|--------------|-----|------------|
| C | | MM | - |
| B | | MM | - |
| A | ABR | MM | 07/01/2024 |
| REV: | DESCRIPTION: | BY: | DATE: |
| STATUS: DRAWING SET | | | |


MCGUIRE PROJECT MANAGEMENT
 604 E COTA ST. SANTA BARBARA
 UNIT 306
 805.501.8056

CLIENT: JUNJANLIN INC.
 214 W. GUTIERREZ
 SANTA BARBARA, CA
 93101
 DESIGNER: MICHAEL MCGUIRE
 SANTA BARBARA
 CALIFORNIA
 93101

SITE: 214 W. GUTIERREZ
 037-202-009

TITLE: SITE PHOTOS

| | | | |
|--------------|-------------|-----------|----------|
| SCALE AT A1: | DATE: | DRAWN: | CHECKED: |
| N/A | 6/30/2024 | MM | MM |
| PROJECT NO: | DRAWING NO: | REVISION: | |
| MPM02 | A-001 | 0 | |

CONDENSER SPEC

FUJITSU
 THE LEADER IN CONDENSING TECHNOLOGY
 Hybrid Inverter
 18,000 BTU Multi-Zone System
 Inverter Driven Heat Pump

Job Name: _____ Date: _____
 Location: _____ Approval: _____
 Engineer: _____ Construction: _____
 Submitted to: _____ Unit #: _____
 Submitted by: _____ Drawing #: _____
 Reference: _____

General Features
 •Wind or wireless remote
 •Apple CarPlay filter
 •Auto lowering up/down
 •Auto lowering 6-way
 •Low ambient cooling
 •Cold prevention
 •Blue film coating

Model Information
 Condenser: AOU18RLXZF
 Evaporator: (ASD) (ARD) (AGR) (ATU) 7.9, 12R1U1)
 Connectable indoor units: 2
 Total capacity range: 14,000 - 21,000 Btu/h
Electrical
 COP (heating): (wall-mount) 3.44 W/W (duct) 3.52 W/W (mix) 3.48 W/W
 COP (cooling): (wall-mount) 12.50 Btu/W (duct) 12.10 Btu/W (mix) 12.30 Btu/W
 Minimum Circuit Ampacity: 13 A
 Max Fuse Size: 15 A
 Max Starting Current: 8.2 A

Input Power
 Cooling: (non-duct) 1.44 kW (ducted) 1.49 kW (mix) 1.46 kW
 Heating: (non-duct) 1.87 kW (ducted) 1.83 kW (mix) 1.84 kW

Current
 Cooling: (non-duct) 6.3 A / (ducted) 6.6 A / (mix) 6.4 A
 Heating: (non-duct) 8.2 A / (ducted) 8.0 A (mix) 8.1 A

Capacity
 Nominal Cooling: 18,000 Btu/h
 Min-Max Cooling: 6,100 - 21,000 Btu/h
 Nominal Heating: 6,300 - 24,400 Btu/h
 Min-Max Heating: 6,300 - 24,400 Btu/h

Compressor
 Motor Output: Rotary (in 11)
 Refrigerant: R410A
 Charge: 4 lbs. 14 oz.
 Oil: 190E
 Fan Motor
 (Condenser) Type: DC Propeller 13
 (Condenser) Motor Output: 100 W
 (Evaporator) Type: DC
 (Evaporator) Motor Output: (wall-mount) Cross Flow
 (compact cassette) Turbo (duct) Stainless 32 (1.5)
 (Box) Cross Flow 32
 (Box) Cross Flow 32

Heat Exchanger
 (wall-mount) 40W (compact cassette) 54W (duct) 60W (box) 10W

Dimensions
 (H x W x D) in. (mm): 26-7/16 x 35-7/16 x 1-7/16 (672x906x36.5)
 Fin Pitch: 18 FPI
 Rows x Stages: 2 x 32
 Pipe Type (Material): Copper
 Fin Type (Material): Aluminum (Blue Fin)

WATER HEATER SPEC

NAVIENT
 THE LEADER IN CONDENSING TECHNOLOGY
 Premium Condensing Tankless Gas Water Heater

NPE-2 Series Tankless Water Heaters Specification Sheet

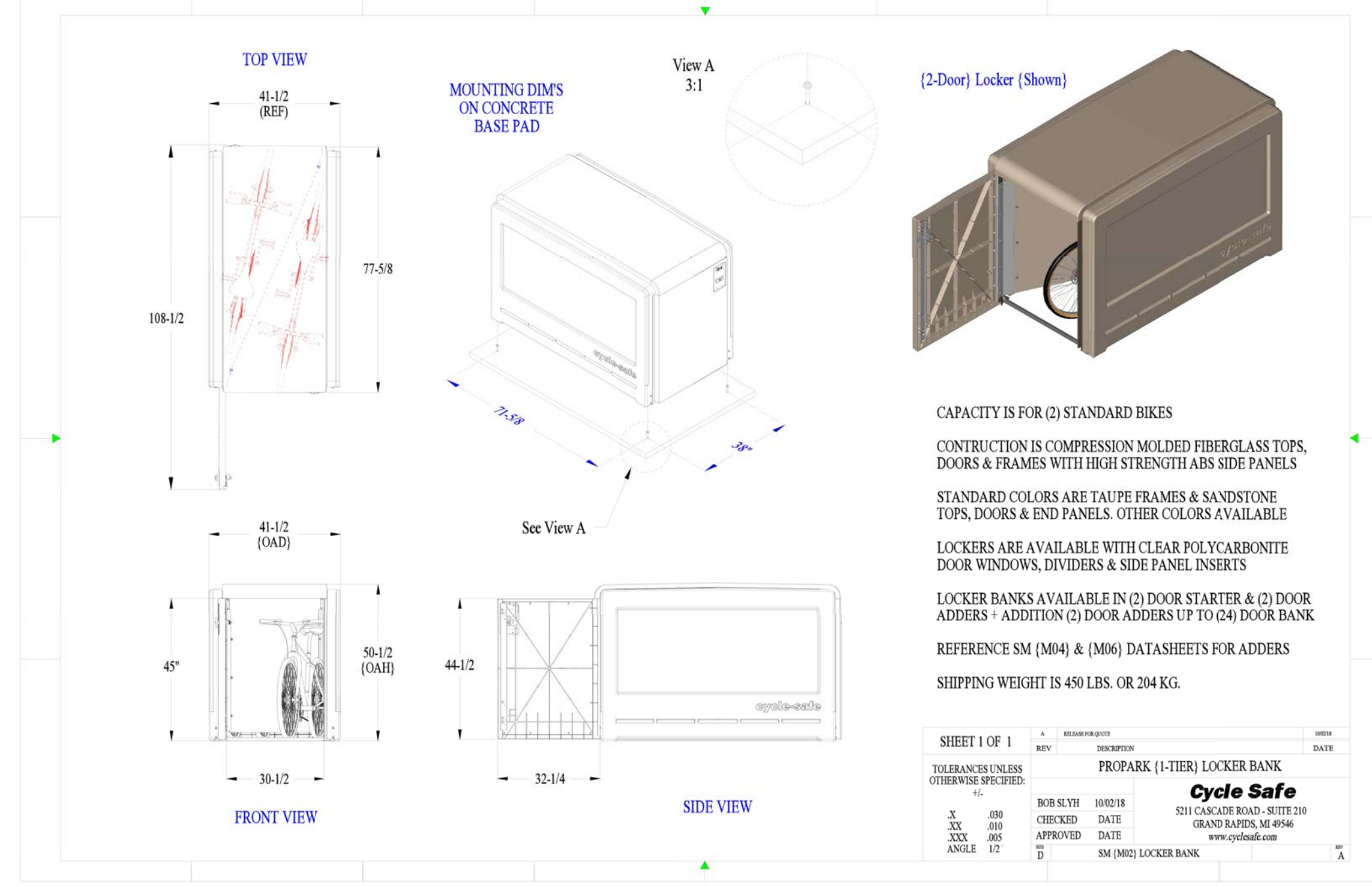
| Item | NPE-11002 | NPE-15002 | NPE-18002 | NPE-21002 | NPE-25002 | NPE-30002 | NPE-36002 |
|-------------------------|-----------------------------|-----------------------------|-----------------------------|-----------------------------|-----------------------------|-----------------------------|-----------------------------|
| Rated Capacity (BTU/hr) | 10,000 | 15,000 | 18,000 | 21,000 | 25,000 | 30,000 | 36,000 |
| Input (BTU/hr) | 10,000 | 15,000 | 18,000 | 21,000 | 25,000 | 30,000 | 36,000 |
| Flow Rate (GPM) | 1.5 | 2.0 | 2.5 | 3.0 | 3.5 | 4.0 | 4.5 |
| Dimensions (H x W x D) | 24 1/2" x 17 1/2" x 11 1/2" | 24 1/2" x 17 1/2" x 11 1/2" | 24 1/2" x 17 1/2" x 11 1/2" | 24 1/2" x 17 1/2" x 11 1/2" | 24 1/2" x 17 1/2" x 11 1/2" | 24 1/2" x 17 1/2" x 11 1/2" | 24 1/2" x 17 1/2" x 11 1/2" |

General Features
 •Standard 10-year warranty
 •Energy Star certified
 •Compact design
 •Quiet operation

Dimensions
 H: 24 1/2" (621mm)
 W: 17 1/2" (443mm)
 D: 11 1/2" (293mm)

Connections
 Gas: 3/4" NPT
 Water: 1/2" NPT
 Vent: 2" Dia. PVC

BIKE STORAGE



CAPACITY IS FOR (2) STANDARD BIKES
 CONSTRUCTION IS COMPRESSION MOLDED FIBERGLASS TOPS, DOORS & FRAMES WITH HIGH STRENGTH ABS SIDE PANELS
 STANDARD COLORS ARE TAUPE FRAMES & SANDSTONE TOPS, DOORS & END PANELS. OTHER COLORS AVAILABLE
 LOCKERS ARE AVAILABLE WITH CLEAR POLYCARBONATE DOOR WINDOWS, DIVIDERS & SIDE PANEL INSERTS
 LOCKER BANKS AVAILABLE IN (2) DOOR STARTER & (2) DOOR ADDERS + ADDITION (2) DOOR ADDERS UP TO (24) DOOR BANK
 REFERENCE SM (M04) & (M06) DATASHEETS FOR ADDERS
 SHIPPING WEIGHT IS 450 LBS. OR 204 KG.

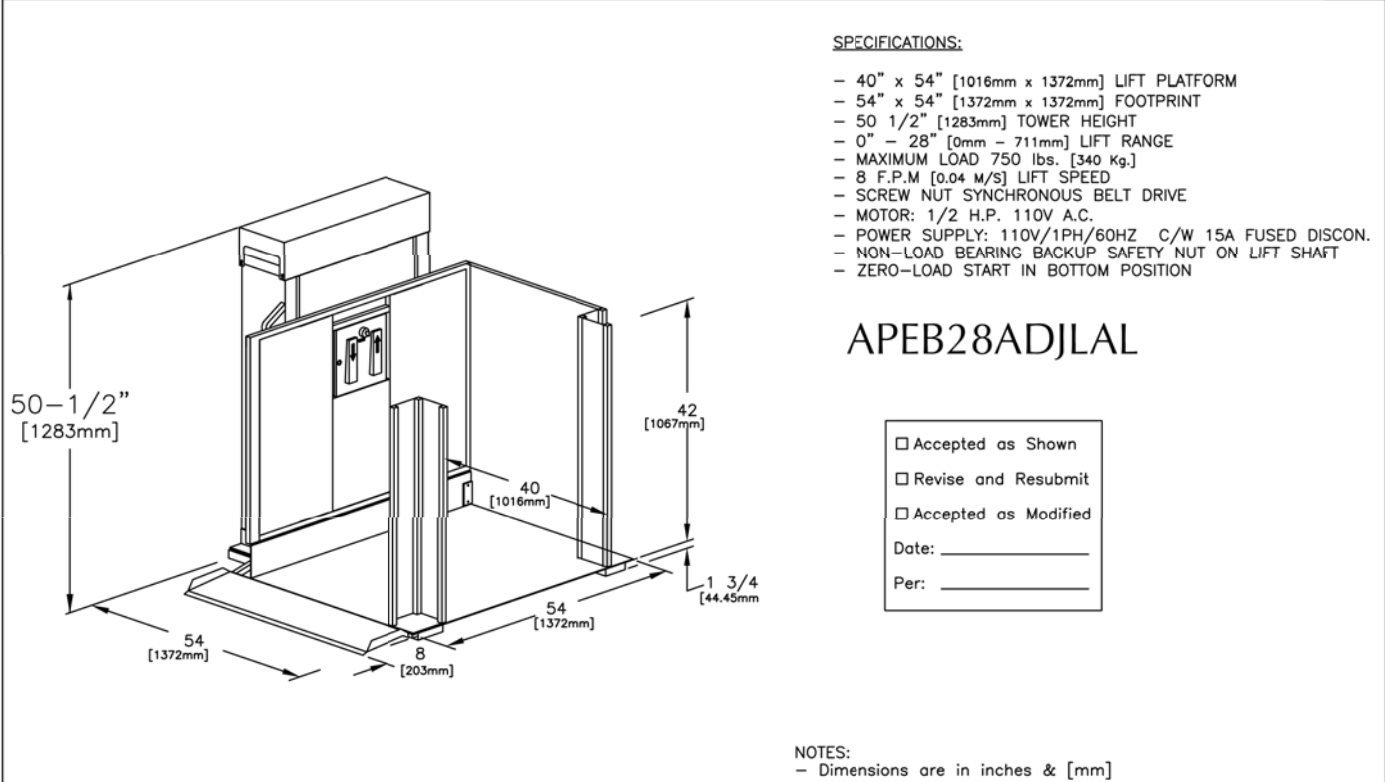
SHEET 1 OF 1

| | | |
|-----|------------|------------------------------|
| REV | DATE | DESCRIPTION |
| 1 | 08/20/2024 | PROPARK (1-TIER) LOCKER BANK |
| 2 | 09/05/2024 | ADD ADDERS |

TOILETS/STALLS OTHERWISE SPECIFIED:
 -1-
 -2-
 -3-
 -4-
 -5-
 -6-
 -7-
 -8-
 -9-
 -10-

Bob Slye 10/02/18
 APPROVED DATE
 Cycle Safe
 5211 CALLEJA ROAD, SUITE 210
 GRAND RAPIDS, MI 49546
 www.cycle-safe.com

CHAIR LIFT SPEC



| | | | | | | | |
|--------------------|---------------------------------|----|-----|--------|----|-----------------|---|
| JOB No. | TOTAL TRAVEL | 28 | 711 | INCHES | mm | No. OF LANDINGS | 2 |
| LOCATION | ADJACENT ACCESS SAMPLE DRAWINGS | | | | | | |
| ARCHITECT | | | | | | | |
| GENERAL CONTRACTOR | | | | | | | |

FREEOM LIT Systems
 by Accessibility Professionals

DWN. BY: A.K.
 CHECKED BY: A.K.
 SCALE: N.T.S. DATE: 05 Jul 2021 DRAWING No.: 1/22 REV A
 INSTALLATION DETAILS AND SPECIFICATIONS

ROOFING SPEC

Timberline HDZ® Shingles

Benefits:
 • LayerLock™ Technology — mechanically fuses the common bond between overlapping shingle layers
 • Up to 99.9% nailing accuracy — the StrikeZone™ nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test!
 • WindProven™ Limited Wind Warranty — when installed with the required combination of GAF Accessories, Timberline HDZ® Shingles are eligible for a wind warranty with no maximum wind speed limitation!
 • Duro Grip™ sealant pairs with the microgranule surface of the StrikeZone™ nailing area. Then, an asphalt-to-asphalt monolithic bond cures for durability, strength, and exceptional wind uplift performance.
 • 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration! Proprietary GAF Time-Release Algae-Fighting Technology helps protect your shingles from unsightly stains.
 • For the best look — Use Timberline® Premium Ridge Cap Shingles or TimberCrest® Premium SBS-Modified Ridge Cap Shingles

Colors:
 Berkshire, Highland, Bluegrass Blue, Charcoal, Copper Canyon, Darkwood, Fox Hollow Gray, Golden Amber, Hickory, Hunter Green, Mosswood Brown, Crystal Gray, Pristine Blue, Pewter Gray, White-on-Black, Slate, Sunset Brick, Woodland Wood, and White-on-Black
 Harvest Blend Colors®: Appalachian Bay, Monticelli Morning, Golden Harvest, Cocoa Falls

Product details:
 Product/Systems Specifics:
 • Fiberglass asphalt construction
 • Dimensions: approximately 33 1/2" x 39 1/2" (857 x 1000 mm)
 • Exposure: 5" (127 mm)
 • Bundles/Squares: 3
 • Pieces/Square: 64
 • StainGuard Plus™ Algae Protection Limited Warranty
 • High/Ridge Timberline®/TimberCrest®/StrikeZone™/Midridge®/Bridgeline™/Shielder™/Pro-Start™/GuardStart™
 • Applicable Accessories & Protocols:
 • GAF Underlayment (GAF Class A)
 • Classified for use in accordance with ICC-ES ESR-2858
 • Meets ASTM D7158, Class II
 • Meets ASTM D3281, Class 5
 • Meets ASTM D3281, Type 1
 • Meets ASTM D3281
 • Miami-Dade County Product Control approved
 • ICC-ES Evaluation Reports
 • ESR-2858 and ESR-2859
 • Meets Florida Department of Insurance Requirements
 • Backed by the GAF GAF-ORC. Can be used to comply with Title 24 Cool Roof requirements (Exterior colors)
 • Meets when to the length of warranty coverage period and means to keep the original manufacturer's warranty intact and valid. All GAF products are warranted for the entire warranty period, unless otherwise stated. All GAF products are warranted for the entire warranty period, unless otherwise stated. All GAF products are warranted for the entire warranty period, unless otherwise stated.
 • Meets when to the length of warranty coverage period and means to keep the original manufacturer's warranty intact and valid. All GAF products are warranted for the entire warranty period, unless otherwise stated. All GAF products are warranted for the entire warranty period, unless otherwise stated.
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Horizontal Slider

| PRODUCT | GLAZING | No. Glaz. | U-Value | SHGC | WT | CS | Qualifies for ENERGY STAR® | Flat or Curved Glaz. | Qualifies for ENERGY STAR® |
|--------------------------------|---------|-----------|---------|------|------|-----|----------------------------|----------------------|----------------------------|
| Clear | 0.4 | 0.6 | 0.65 | 0.8 | 1.7 | 0.9 | Yes | Yes | Yes |
| BlueTint™ | 0.33 | 0.33 | 0.27 | 0.3 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ | 0.33 | 0.33 | 0.27 | 0.3 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |

WINDOW/DOOR SCHEDULE

| TAG | LOCATION | ITEM | MANUF. | ITEM CODE | QTY | NOTES | FINISH | DIMENSIONS | HW | TRIM | U-VALUE | SFGH | NOTES |
|----------------|-------------|-----------------------|----------|-----------|-----|------------------------------|---------|------------|----------|------------------------|---------|------|-------------------|
| D1 | SIDE YARD | 3068 FRONT ENTRY DOOR | TRUSTILE | PL43 | 1 | SEE ELEVATIONS FOR CUTSHEET | STAINED | 36" X 80" | EXISTING | WOOD CASING | | | EXISTING |
| D2 | FRONT YARD | 3068 SIDE ENTRY DOOR | TRUSTILE | PL43 | 1 | SEE ELEVATIONS FOR CUTSHEET | STAINED | 36" X 80" | TBD | WOOD CASING | | | TO MATCH EXISTING |
| ID1 | BATHROOM | 2668 SPOCK DOOR | TBD | | | | | | | | | | |
| ID2 | BATHROOM | 2668 SWING DOOR | TBD | | | | | | | | | | |
| ID3 | BEDROOM | 2668 SWING DOOR | TBD | | | | | | | | | | |
| WINDOWS | | | | | | | | | | | | | |
| W1 | BATHROOM | 2020 SLIDER | JELDOWEN | V-4500 | 1 | PREMIUM VINYL WINDOW SLIDING | WHITE | 24" X 24" | EXISTING | Drywall/Plaster Return | 0.33 | 0.22 | EXISTING |
| W2 | BEDROOM | 3030 SLIDER | JELDOWEN | V-4500 | 1 | PREMIUM VINYL WINDOW SLIDING | WHITE | 36" X 36" | EXISTING | Drywall/Plaster Return | 0.33 | 0.22 | EXISTING |
| W3 | LIVING ROOM | 3030 SLIDER | JELDOWEN | V-4500 | 1 | PREMIUM VINYL WINDOW SLIDING | WHITE | 36" X 36" | EXISTING | Drywall/Plaster Return | 0.33 | 0.22 | EXISTING |
| W4 | LIVING ROOM | 3030 SLIDER | JELDOWEN | V-4500 | 1 | PREMIUM VINYL WINDOW SLIDING | WHITE | 36" X 36" | EXISTING | Drywall/Plaster Return | 0.33 | 0.22 | EXISTING |
| W5 | KITCHEN | 2015 SLIDER | JELDOWEN | V-4500 | 1 | PREMIUM VINYL WINDOW SLIDING | WHITE | 24 X 18" | EXISTING | Drywall/Plaster Return | 0.33 | 0.22 | EXISTING |
| W6 | LOFT DORMER | 2020 SLIDER | JELDOWEN | V-4500 | 1 | PREMIUM VINYL WINDOW SLIDING | WHITE | | EXISTING | Drywall/Plaster Return | 0.33 | 0.22 | EXISTING |
| W7 | LOFT | 2020 SLIDER | JELDOWEN | V-4500 | 1 | PREMIUM VINYL WINDOW SLIDING | WHITE | | EXISTING | Drywall/Plaster Return | 0.33 | 0.22 | EXISTING |

Premium™ Vinyl (V-4500) Window: Sliding WINDOW SPEC

JELDOWEN Premium™ Vinyl (V-4500™)

Explore the options

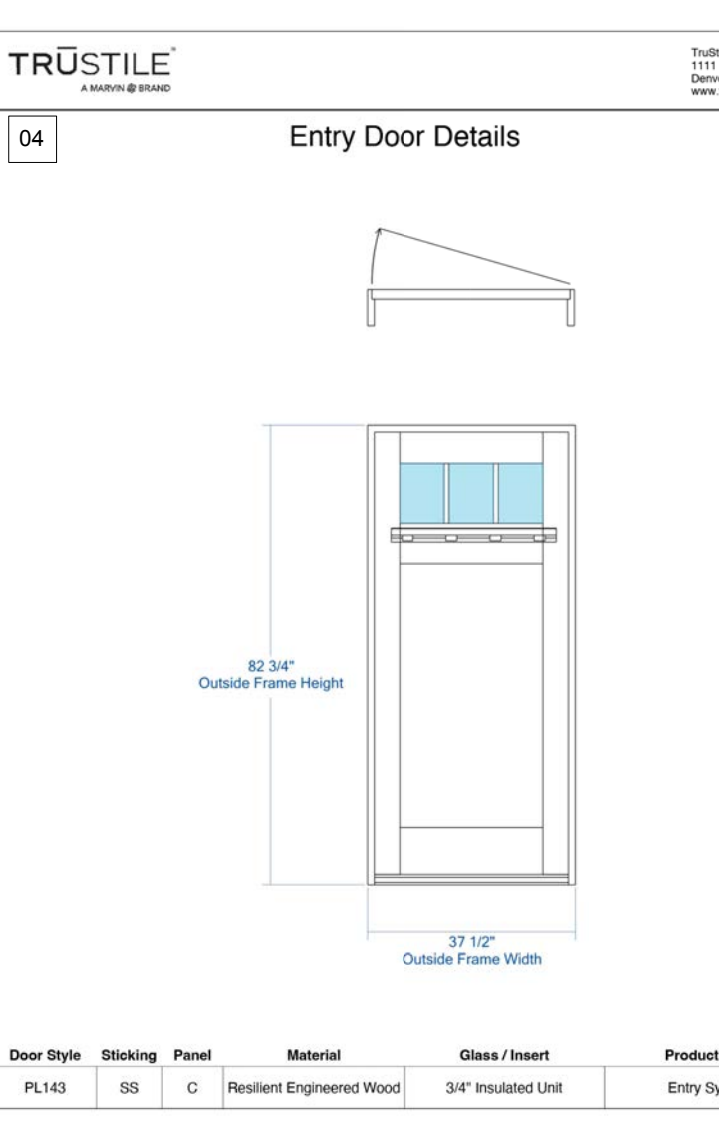
Grille Designs
 Color Combinations
 White / White

See all options and features >

Horizontal Slider

| PRODUCT | GLAZING | No. Glaz. | U-Value | SHGC | WT | CS | Qualifies for ENERGY STAR® | Flat or Curved Glaz. | Qualifies for ENERGY STAR® |
|--------------------------------|---------|-----------|---------|------|------|-----|----------------------------|----------------------|----------------------------|
| Clear | 0.4 | 0.6 | 0.65 | 0.8 | 1.7 | 0.9 | Yes | Yes | Yes |
| BlueTint™ | 0.33 | 0.33 | 0.27 | 0.3 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ | 0.33 | 0.33 | 0.27 | 0.3 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |
| BlueTint™ with HeatSave™ Argon | 0.27 | 0.27 | 0.27 | 0.27 | 1.47 | 0.9 | Yes | Yes | Yes |

EXT. DOOR SPEC



NOTES:

INFORMATION FOR THIS SITE PLAN HAS COME FROM MULTIPLE SOURCES. THIS DRAWING SHALL NOT BE CONSTRUED AS A SITE SURVEY DOCUMENT AND IS FOR REFERENCE PURPOSES ONLY.

| | | | | |
|------|--------------|--|-----|------------|
| C | | | MM | - |
| B | | | MM | - |
| A | ABR | | MM | 07/01/2024 |
| REV: | DESCRIPTION: | | BY: | DATE: |

STATUS: DRAWING SET

MCGUIRE PROJECT MANAGEMENT
 604 E COTA ST. SANTA BARBARA
 UNIT 306
 805.501.8056

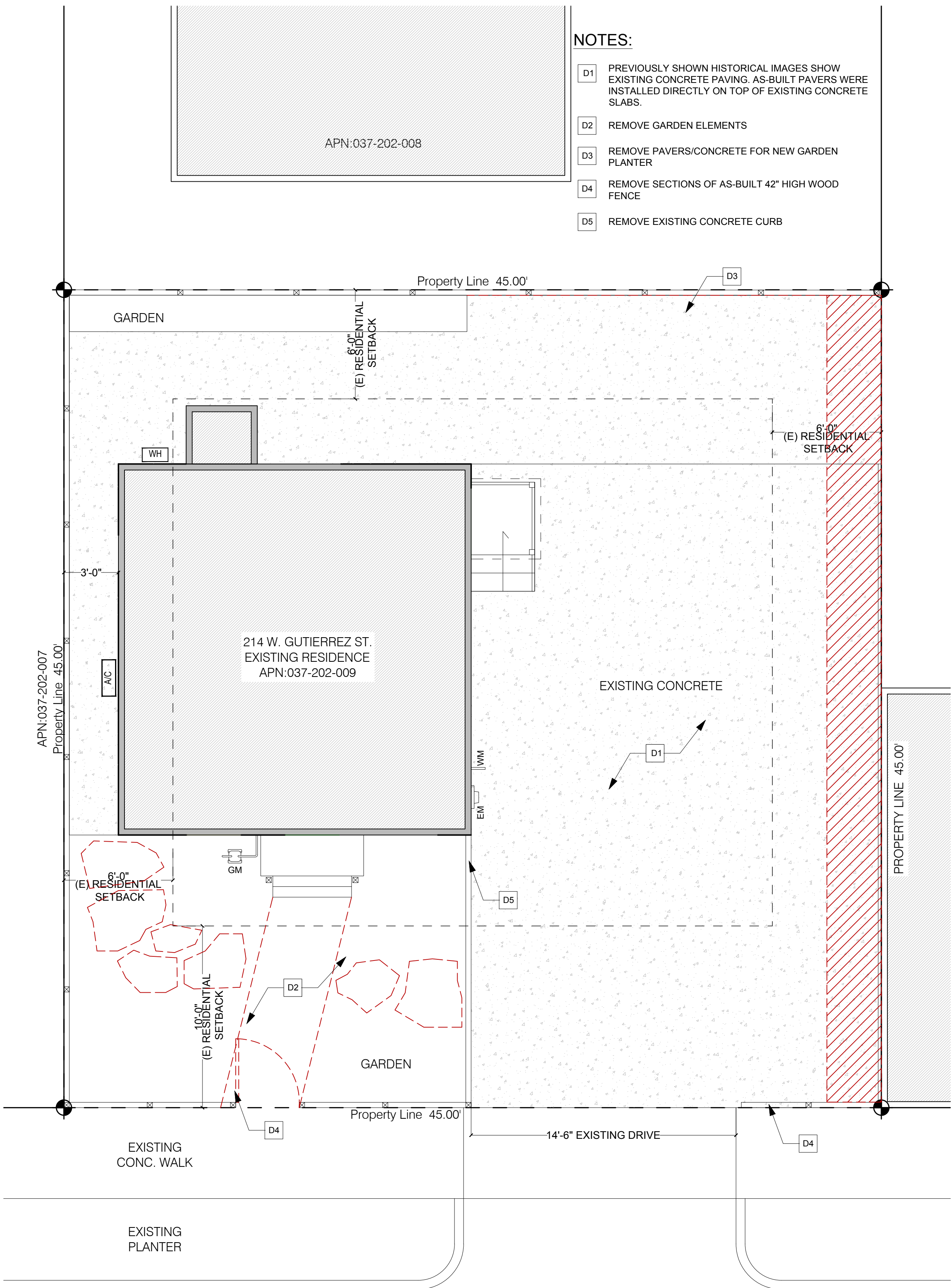
CLIENT: JUNJANLIN INC.
 214 W. GUTIERREZ
 SANTA BARBARA, CA
 93101

DESIGNER: MICHAEL MCGUIRE
 SANTA BARBARA
 CALIFORNIA
 93101

SITE: 214 W. GUTIERREZ
 037-202-009

TITLE: SPECS

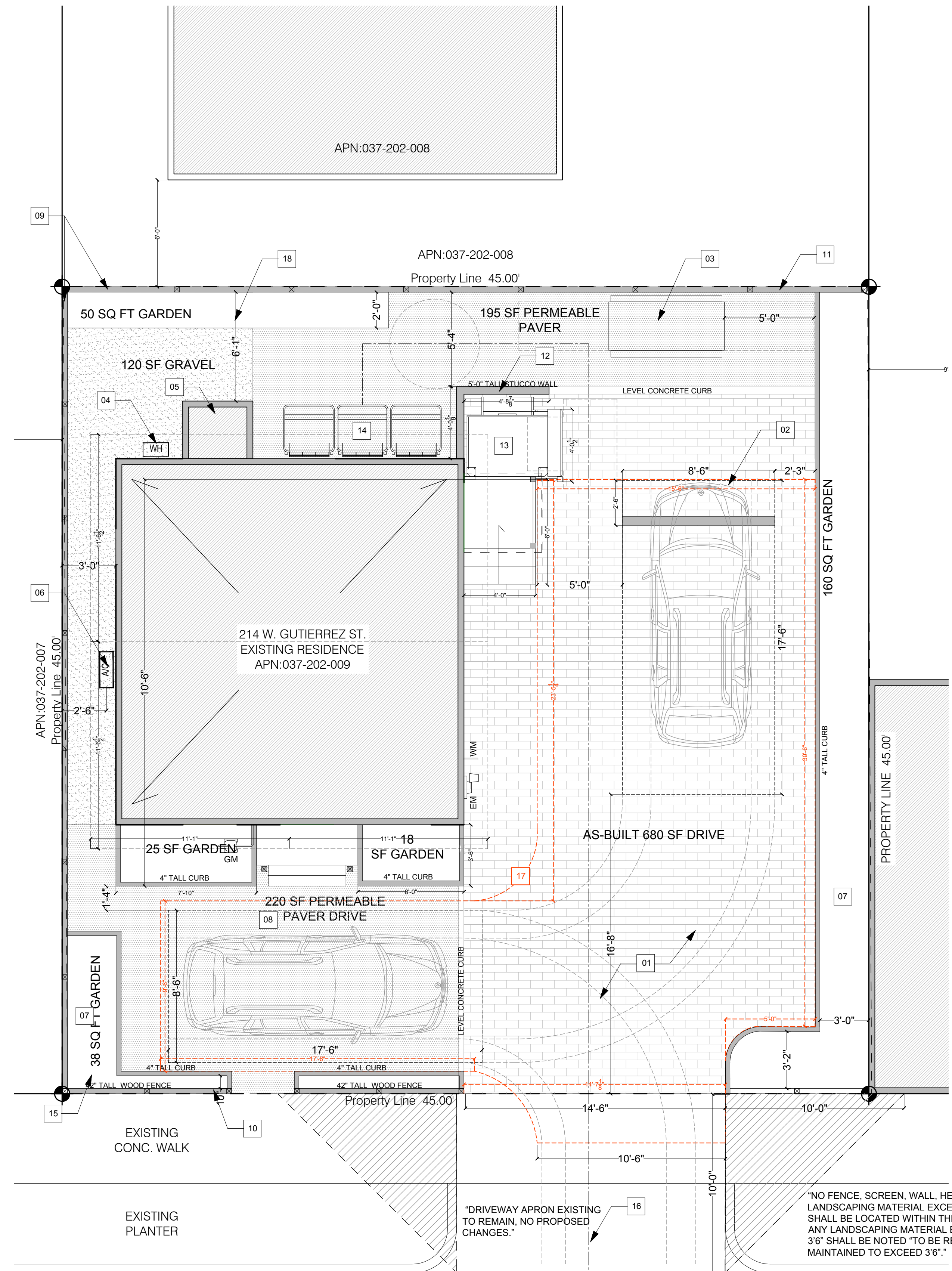
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| SCALE AT A1: | DATE: | DRAWN: | CHECKED: |
| N/A | 6/30/2024 | MM | MM |
| PROJECT NO: | DRAWING NO: | REVISION: | |
| MPM02 | A-002 | 0 | |



NOTES:

- D1 PREVIOUSLY SHOWN HISTORICAL IMAGES SHOW EXISTING CONCRETE PAVING. AS-BUILT PAVERS WERE INSTALLED DIRECTLY ON TOP OF EXISTING CONCRETE SLABS.
- D2 REMOVE GARDEN ELEMENTS
- D3 REMOVE PAVERS/CONCRETE FOR NEW GARDEN PLANTER
- D4 REMOVE SECTIONS OF AS-BUILT 42\"/>

W. GUTIERREZ STREET



WALKS/SIDEWALKS ARE TO COMPLY WITH CBC 11B-403, ALL SUBSECTIONS INCLUSIVE (WIDTHS, SLOPES, SLIP RESISTANT SURFACES, GRATINGS, LEVEL CHANGES, ETC.).

W. GUTIERREZ STREET

NOTES:

INFORMATION FOR THIS SITE PLAN HAS COME FROM MULTIPLE SOURCES. THIS DRAWING SHALL NOT BE CONSTRUED AS A SITE SURVEY DOCUMENT AND IS FOR REFERENCE PURPOSES ONLY.

- 01 AS-BUILT PAVERS INSTALLED ON TOP OF EXISTING CONCRETE SLAB
- 02 PROPOSED UNCOVERED PARKING SPOT.
- 03 PROPOSED (2) LONG TERM BIKE STORAGE
- 04 PROPOSED/AS-BUILT ON DEMAND WATER HEATER.
- 05 EXISTING WATER HEATER CLOSET CONVERTED TO PROPOSED WASHER AND DRYER CLOSET.
- 06 PROPOSED/AS-BUILT A/C CONDENSER. PER SBMC 30.140.130C NONRESIDENTIAL AND MIXED-USE. ON LOTS DEVELOPED WITH NONRESIDENTIAL USES OR MIXED-USE, FREESTANDING EQUIPMENT AND ENCLOSURES SHALL BE NO CLOSER THAN FIVE FEET TO ANY FRONT LOT LINE, AND NO CLOSER THAN FIVE FEET TO ANY INTERIOR LOT LINE ADJACENT TO PROPERTY ZONED OR DEVELOPED WITH RESIDENTIAL USES. THE PROPERTY ADJACENT IS A BUSINESS. ALTHOUGH IT IS ZONED RESIDENTIAL THEREFORE THIS PROJECT SEEKS A WAIVER FROM SBMC30.140.130D FROM ABR, DECIBEL READING FOR CONDENSER IS 53.
- 07 GARDEN AREAS TO PROVIDE PARKING BUFFER. PROPOSED GARDEN AREAS REQUIRE A WAIVER BY THE ABR FOR ALTERNATIVE LANDSCAPE DESIGNS PER SBMC30.175.080.E.
- 08 REMOVE EXISTING PLANTER AND FLAGSTONES AND REPLACE WITH PERMEABLE PAVERS
- 09 PERMIT EXISTING 6'-0" HIGH WOOD PERIMETER FENCE; SEE SITE PHOTOS FOR CONSTRUCTION
- 10 CUT DOWN WOOD AND PERMIT AS-BUILT FENCE TO 42" HIGH
- 11 ZONE IS MIXED USE AND PROPERTY IS NOT ADJACENT TO A RESIDENTIAL ZONE. FRONT AND INTERIOR SETBACKS ARE 0.
- 12 5'-0" HALF WALL TO ENCLOSE CHAIR LIFT FOR ACCESSIBLE ENTRY. WALL TO BE STUCCO TO MATCH EXTERIOR HOUSE COLOR.
- 13 ACCESSIBLE CHAIR LIFT TO MEDIATE 1'-6" GRADE INCREASE AT ENTRY.
- 14 WASTE CONTAINERS SHOWN SCREENED FROM STREET VIEW PER SBMC. 95 GALLON SHOWN
- 15 (2) LONG TERM BIKE STORAGE SPACES FOR HOTEL USE. (1 ROOM REQUIRES 1 LONG TERM AND 1 SHORT TERM MINIMUM. 2 LONG TERM PROVIDED.)
- 16 PATH OF TRAVEL FROM WASTE CAN STORAGE AREA TO STREET
- 17 PARKING AREA SHOWN OUTLINED AND DIMENSIONED IN RED.
- 18 NO STRUCTURE TO ENCROACH ON PROPERTY LINE MORE THAN 5'-0"

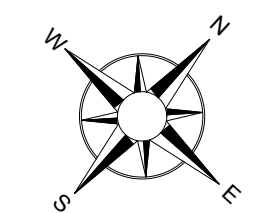
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| C | | MM | - |
| B | | MM | - |
| A | ABR | MM | 07/01/2024 |
| REV: | DESCRIPTION: | BY: | DATE: |
| STATUS: DRAWING SET | | | |

MCGUIRE PROJECT MANAGEMENT
604 E COTA ST. SANTA BARBARA
UNIT 306
805.501.8056

CLIENT: JUNJANLIN INC.
214 W. GUTIERREZ
SANTA BARBARA, CA
93101

DESIGNER: MICHAEL MCGUIRE
SANTA BARBARA
CALIFORNIA
93101

| | | | |
|---------------------------------------|----------------------|----------------|----------------|
| SITE: 214 W. GUTIERREZ 037-202-009 | | | |
| TITLE: SITE PLANS | | | |
| SCALE AT A1: N/A | DATE: 6/30/2024 | DRAWN: MM | CHECKED: MM |
| PROJECT NO: MPM02 | DRAWING NO: A-100 | REVISION: 0 | |





Sherwin Williams French Roast SW 6069
WOOD ACCENT COLOR PAINT



INTEGRATED PLASTER COLOR



PROPOSED PAVERS ARE PERMEABLE
AQUALINE SERIES BY BELGARD IN VICTORIAN
FINISH



AS-BUILT PAVERS ARE BELGARD CATALINA
GRANA IN THE VICTORIAN FINISH

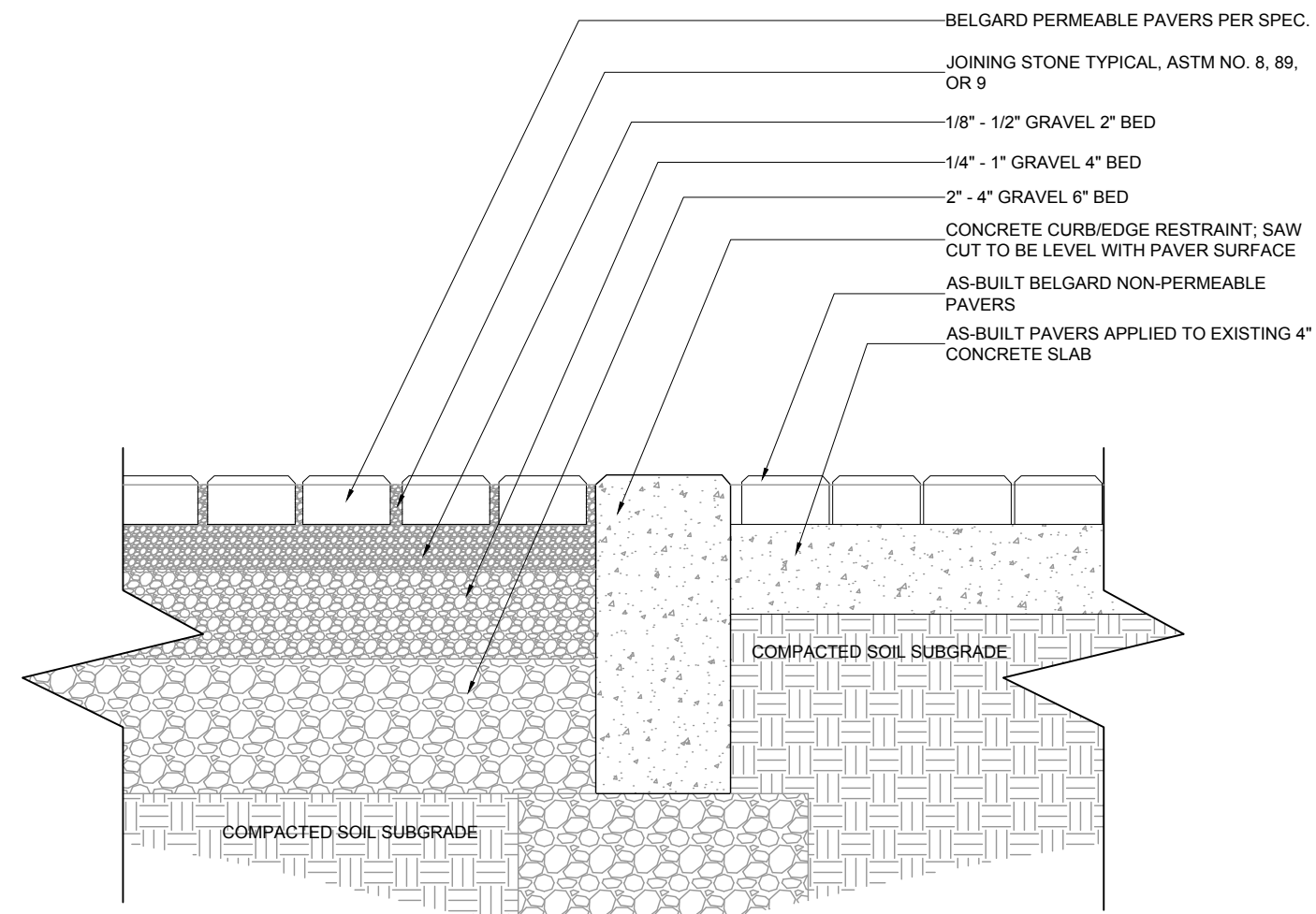


EXISTING/AS-BUILT FENCE ELEMENTS



Cedar Falls

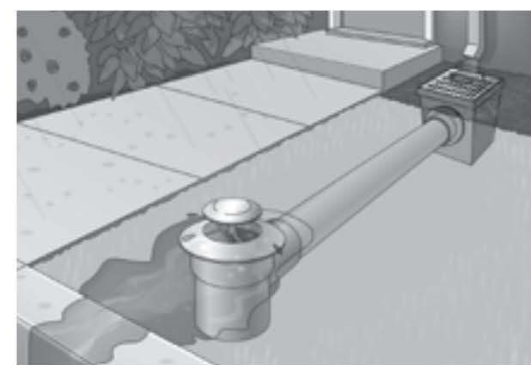
EXISTING/AS-BUILT ROOFING



PAVER CROSS SECTION
SCALE: 1.5" = 1'-0"

AS-BUILT PAVERS ARE BELGARD CATALINA GRANA IN THE VICTORIAN FINISH
PROPOSED PERMEABLE PAVERS ARE PERMEABLE AQUALINE SERIES BY BELGARD IN VICTORIAN FINISH
PAVERS SHALL MEET THE MINIMUM MATERIAL AND PHYSICAL PROPERTIES SET FORTH IN ASTM C 936:
1. MEASURED LENGTH OR WIDTH OF TEST SPECIMENS SHALL NOT DIFFER BY MORE THAN +/- 0.063 IN, WHILE MEASURED THICKNESS SHALL NOT DIFFER BY MORE THAN +/- 0.125 IN.
2. AVERAGE COMPRESSIVE STRENGTH OF NOT LESS THAN 8,000 PSI (55 MPA) WITH NO INDIVIDUAL UNIT UNDER 7,200 PSI (50 MPA) WHEN TESTED IN ACCORDANCE WITH ASTM C140.
3. AVERAGE ABSORPTION OF 5% OR LESS WITH NO UNIT GREATER THAN 7% WHEN TESTED IN ACCORDANCE WITH ASTM C140.
4. [FREEZE-THAW DURABLE AS TESTED IN ACCORDANCE WITH ASTM C1645. THE AVERAGE MASS LOSS OF ALL SPECIMENS TESTED SHALL NOT BE GREATER THAN (A) 225 G/M2 WHEN SUBJECT TO 28 FREEZE-THAW CYCLES, OR (B) 500 G/M2 WHEN SUBJECT TO 49 FREEZE-THAW CYCLES. TESTING SHALL BE CONDUCTED USING A 3% SALINE SOLUTION.]
5. EFFLORESCENCE SHALL NOT BE A CAUSE FOR REJECTION.
6. PIGMENT IN CONCRETE PAVERS SHALL CONFORM TO ASTM C979.

POP-UP DRAINAGE EMITTERS



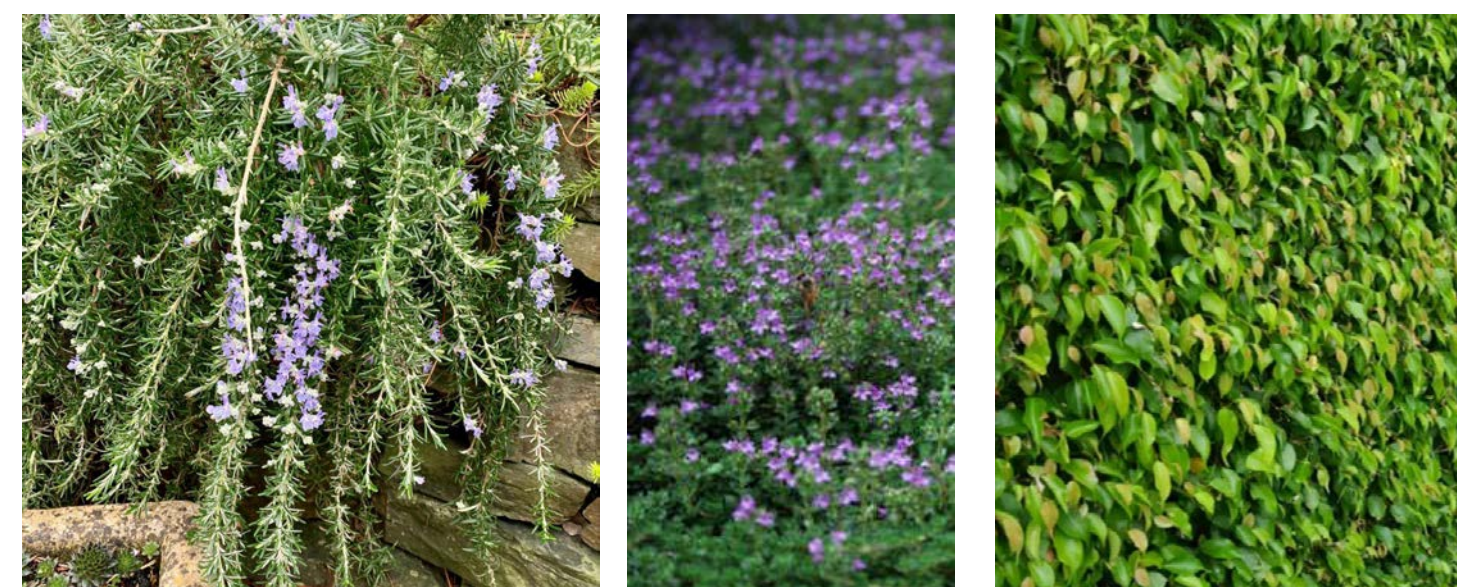
The Pop-up Drainage Emitter is an easy, safe and efficient solution that allows water to be diverted and released to water-safe areas away from structures, erosion-prone landscapes and poor drainage areas.

Pop-up Drainage Emitters allow water captured by grates, catch basins, channel drains, Flo-Well, EZflow, downspouts and roof gutter systems to flow through drainage pipe and away from structural foundations to safe or useful areas. For example, water can be routed from a low area next to a foundation to a water-safe area in the landscape, or a curbside drainage system where allowed. The emitter opens under minimal hydrostatic pressure from water through upstream drainage pipes; the emitter closes as flow diminishes. The special patented design allows the Emitter to open with even the smallest flows. Since the Emitter is closed during dry weather, debris and rodents cannot enter the drain pipes. Spring automatically retracts - closes and prevents damage from lawn mowers. It's flat profile blends discreetly into the surrounding landscapes.

PLANT PALETTE

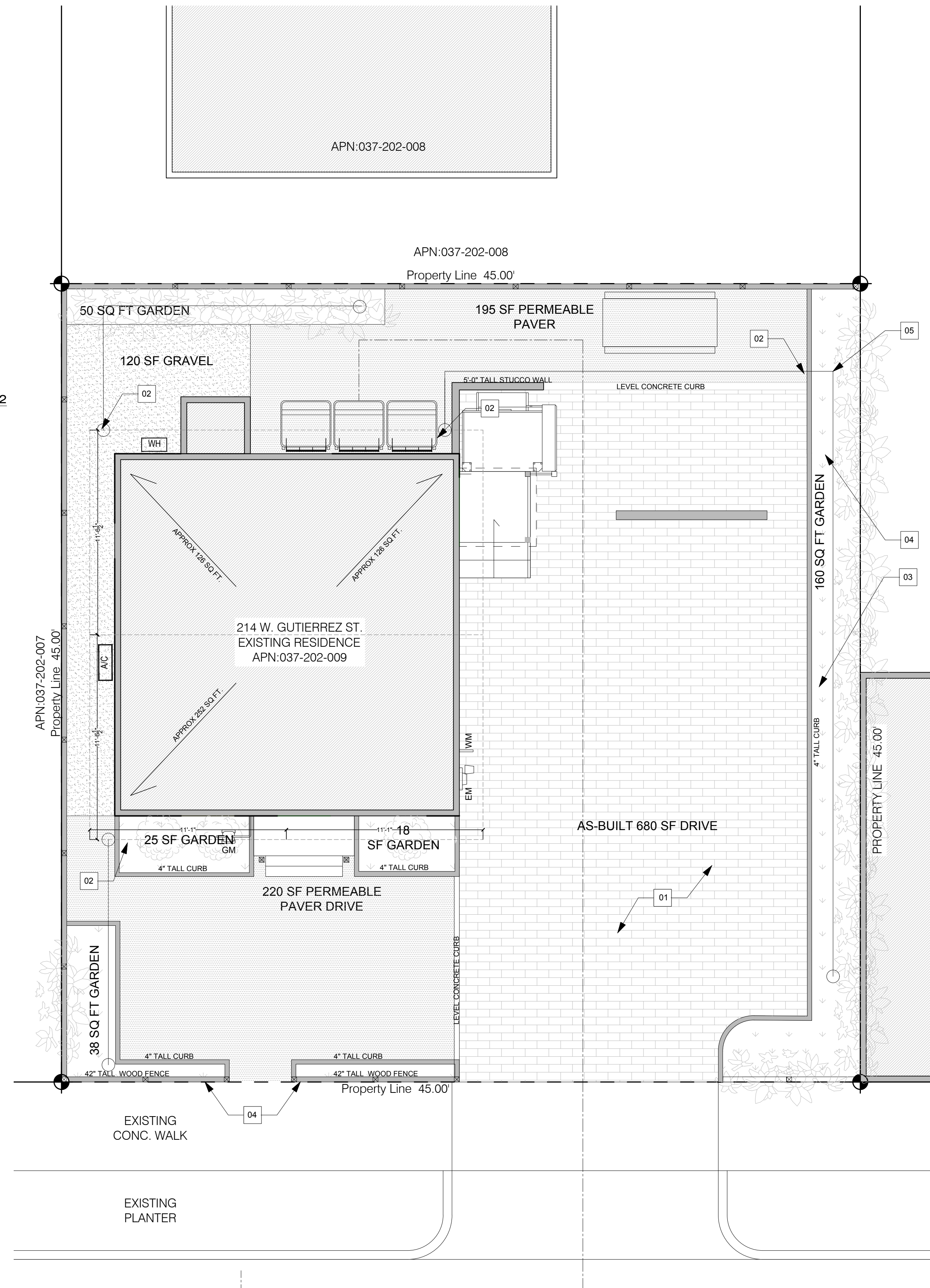


LAVENDER AND LUPIN SHRUBS AT ENTRY



CREEPING ROSEMARY AND THYME UNDER 6"

PERIMETER FIGUS HEDGE



AS-BUILT/PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

NOTES:

INFORMATION FOR THIS SITE PLAN HAS COME FROM MULTIPLE SOURCES. THIS DRAWING SHALL NOT BE CONSTRUED AS A SITE SURVEY DOCUMENT AND IS FOR REFERENCE PURPOSES ONLY.

- 01 AS-BUILT PAVERS INSTALLED ON TOP OF EXISTING CONCRETE SLAB
- 02 PROPOSED FLOW SPREADING FOR RAIN DRAINS ATTACHED TO DOWNSPOUTS.
- 03 2'-0" OF LOW GRADE CLEARANCE BEYOND CURB FOR CAR OVERHANG AS NEEDED PER SBMC.
- 04 REDUCED LANDSCAPE BUFFER SEEKING ABR WAIVER PER TIGHT SITE CONDITIONS.
- 05 PERFORATED 4" PIPE CONNECTED TO DRAIN EMITTER IN PLANTER FOR FLOW SPREADING AWAY FROM BUILDING FOOTINGS.

2018 AS-BUILT SWMP CALCULATIONS:

ADDED AS-BUILT IMPERVIOUS AREA
NONE

AS-BUILT REDEVELOPED IMPERVIOUS AREA

| | |
|--------------------|---------|
| FRONT DRIVE PAVERS | 680 SF |
| MAIN HOUSE/ROOF | 520 SF |
| UTILITY CLOSET | 30 SF |
| TOTAL | 1230 SF |

REMOVED AS-BUILT IMPERVIOUS AREA
NONE

ALTERED AS-BUILT IMPERVIOUS SURFACE:
1,230 SF

PER 2013 BMP GUIDANCE MANUAL--TIER 2 (500-4000 SQ FT) REQUIRES THE INSTALLATION OF (1) OR MORE BMPs FROM CHAPTER 5.4. THIS PROJECT RETROACTIVELY USES FLOW SPREADING WITH RAIN DRAINS ATTACHED TO DISCONNECTED DOWNSPOUTS.

PROPOSED SWMP CALCULATIONS:

PROPOSED NEW IMPERVIOUS AREA
NONE

PROPOSED REDEVELOPED IMPERVIOUS AREA
NONE

PROPOSED REMOVED IMPERVIOUS AREA

| | |
|------------------|--------|
| DRIVE GARDEN | 160 SF |
| BACK PATIO | 215 SF |
| GRAVEL SIDE YARD | 118 SF |
| TOTAL | 493 SF |

NEW AND REPLACED IMPERVIOUS SURFACE:
-493 SF
NO BMPs REQUIRED.

| | | | |
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| C | | MM | - |
| B | | MM | - |
| A | ABR | MM | 07/01/2024 |
| REV: | DESCRIPTION: | BY: | DATE: |

STATUS: DRAWING SET

MCGUIRE PROJECT MANAGEMENT
604 E COTA ST. SANTA BARBARA
UNIT 306
805.501.8056

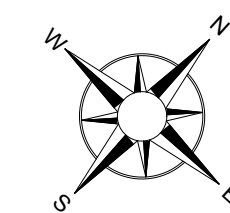
CLIENT: JUNJANLIN INC.
214 W. GUTIERREZ
SANTA BARBARA, CA
93101

DESIGNER: MICHAEL MCGUIRE
SANTA BARBARA
CALIFORNIA
93101

SITE: 214 W. GUTIERREZ
037-202-009

TITLE: SITE PLANS

| | | | |
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| SCALE AT A1: | DATE: | DRAWN: | CHECKED: |
| N/A | 6/30/2024 | MM | MM |
| PROJECT NO: | DRAWING NO: | REVISION: | |
| MPM02 | A-100 | 0 | |



AS-BUILT NOTES:

- 01 PROPOSED AS-BUILT KITCHEN, PER ENFORCEMENT APPLIANCES, SINK, AND LIGHTING WERE REPLACED.
- 02 PROPOSED AS-BUILT BATHROOM; PER ENFORCEMENT PLUMBING AND LIGHTING WERE REPLACED AND A FAN ADD.
- 03 PROPOSED AS-BUILT WINDOW CHANGES PER ENFORCEMENT. SEE A-001 FOR DOOR AND WINDOW SCHEDULE
- 04 SEE A-300 FOR AS-BUILT LOFT INFORMATION
- 05 PROPOSED AS-BUILT NEW EXTERIOR DOOR AND LANDING
- 06 PROPOSED AS-BUILT WASHER AND DRYER CLOSET.
- 07 PROPOSED AS BUILT ON DEMAND WATER HEATER LOCATION
- 08 PROPOSED AS-BUILT CONDENSER LOCATION SEEKING PLANNING AND ABR WAIVER TO BE WITHIN 5'-0" OF LOT LINE.
- 09 DEMOLISH WALL FOR LARGER OPENINGS
- 10 BLANK

PROPOSED NOTES:

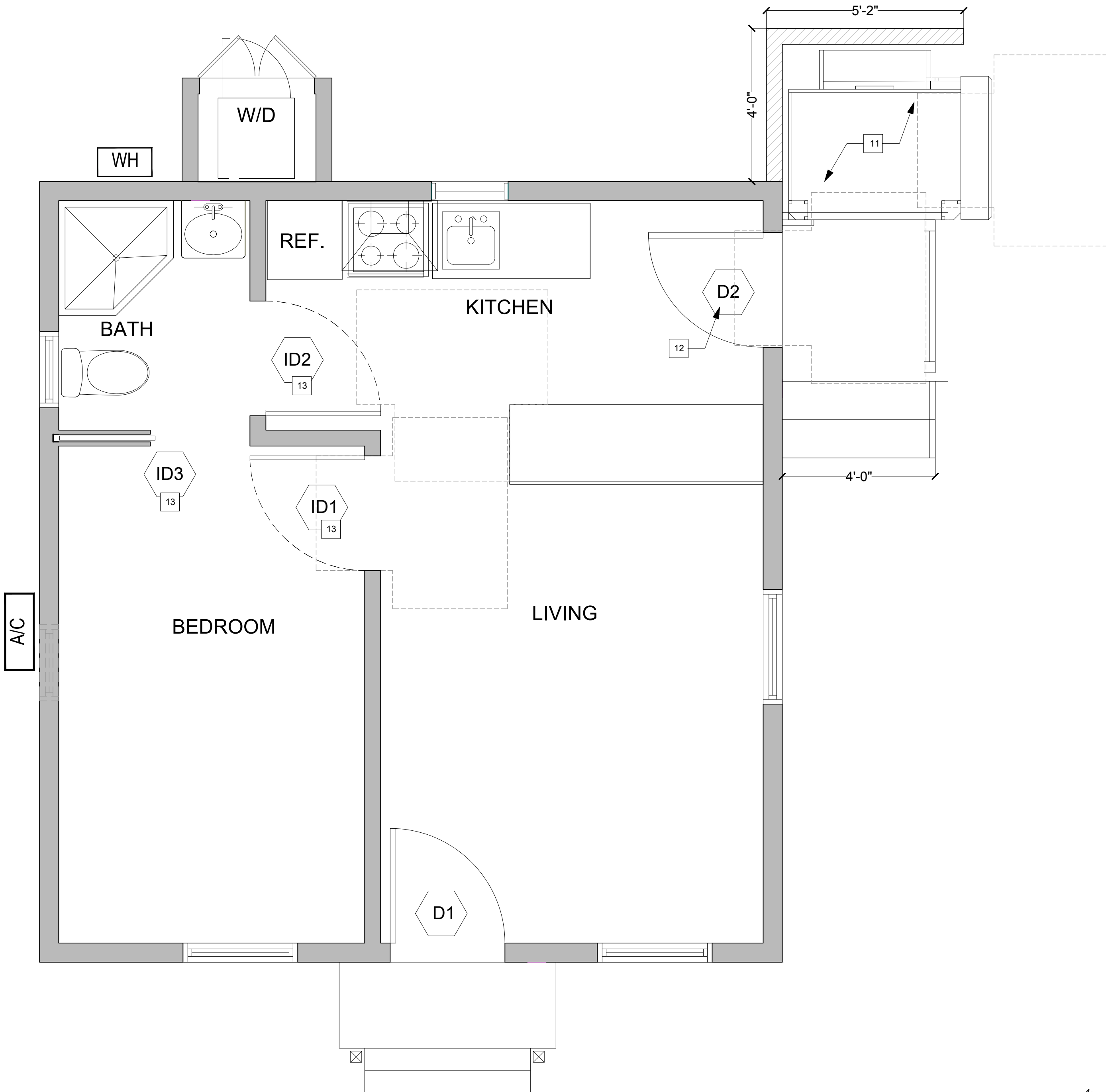
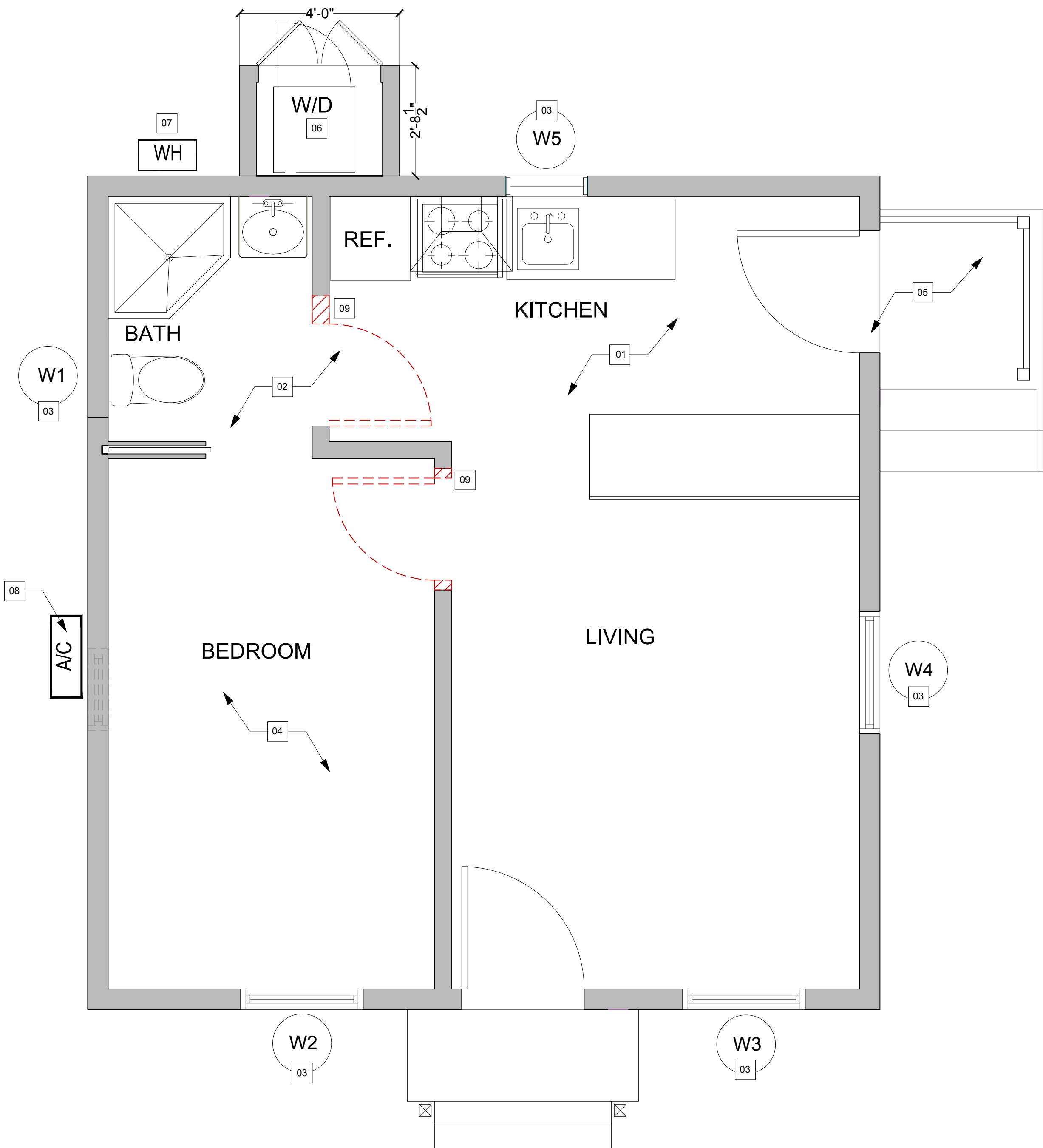
- 11 PROPOSED ACCESSIBILITY RELATED CHAIR LIFT. SEE A-001
- 12 PROPOSED NEW ACCESSIBILITY RELATED EXTERIOR DOORS. SEE A-001.
- 13 PROPOSED ACCESSIBILITY RELATED INTERIOR DOOR CHANGES. WIDEN DOORS TO 3'-0"

GENERAL SYMBOLS

- DOOR
- WINDOW
- EXISTING WALL
- NEW WALL
- TO BE DEMO
- 1-HOUR FIRE RATED ASSEMBLY
- 2" ABS IN SLAB
- 1/2" PEX WATER LINE(S)

NOTES:

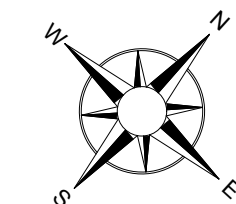
1. ALL DIMENSIONS ARE FROM FACE OF FINISH (FOF) TO FACE OF FINISH UNLESS NOTED OTHERWISE. 16. STUD WALL FRAMING IS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PLUMBING WALLS TO BE 2X6 OR GREATER AT 16" O.C. 17. DRYWALL SURFACES TO BE 5/8" TYPE 'X' GYPSUM BOARD, FINISHED TO BE SMOOTH WITHIN TOLERANCE OF 1/8" MAX. 18. NO TRENCHING OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
2. INSULATIONS IN NEW CONSTRUCTION TO BE R30 ROOF AND R11 WALLS AND SUB-FLOOR EXPOSED TO CRAWLSPACE. 20. NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PAVED IN BEAMS OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC.
4. ALL SHOWER ENCLOSURES, DOORS, AND PANELS TO BE OF AN APPROVED IMPACT RESISTANT MATERIAL AND SHALL BE OF A NONABSORBENT MATERIAL, MINIMUM 70" ABOVE FINISHED FLOOR.
5. ALL WATER CLOSET COMPARTMENTS TO HAVE A CLEARANCE WIDTH OF 30". 24. ALL TOILETS & SHOWERHEADS TO BE OF LOW WATER CONSUMPTION.
6. ALL WINDOWS AND DOORS TO BE DUAL GLAZED, U.N.I. ALL GLAZING WITHIN 18" OF ADJACENT FLOOR OR 36" FROM DOOR TO BE TEMPERED.
7. SEE STRUCTURAL NOTES FOR ADDITIONAL INFORMATION. WHERE QUESTIONS ARISE REGARDING STRUCTURAL MEMBER SIZES, PROCURE INFORMATION FROM THE STRUCTURAL ENGINEER PRIOR TO EXECUTION OF ANY RELATED WORK.
8. INSTALL EARTHQUAKE SHUTOFF VALVES ON ALL GAS LINES PER CITY REQUIREMENTS.
9. PLUMBING SCHEME SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR TO LAYOUT ALL SYSTEM REQUIREMENTS IN FIELD WITH OWNER APPROVAL INCLUDING RELATED TRADE COORDINATION AS NECESSARY.
10. ALL WORK SHALL COMPLY WITH THE LATEST COUNTY ADOPTED EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), AND ALL OTHER GOVERNMENTAL REGULATIONS, LAWS AND ORDINANCES.
11. ALL DRAIN, WASTE AND VENT PIPING SHALL BE A.B.S. WITH APPROPRIATE JOINT WELDING CEMENT. INSTALLATIONS SHALL CONFORM TO THE MINIMUM REQUIREMENTS SET FORTH IN CPC.
12. ALL WATER PIPING SHALL BE COPPER TYPE "L" WITH APPROPRIATE FITTINGS AND BRASS DOMESTIC VALVES. HOT WATER PIPING SHALL HAVE ONE INCH THERMAL INSULATION.
13. HOT WATER HEATER SHALL HAVE TYPE B DOUBLE WALL METAL DUCT. MAINTAIN 1" CLEARANCE FROM FLUE TO COMBUSTIBLES. TERMINATE FLUE W/ RAINCAP NO LESS THAN ONE FOOT FROM ROOF
14. PROVIDE COMBUSTION AIR TO WATER HEATER IN ACCORDANCE WITH THE CPC.
15. BATH EX. FANS TO PROVIDE FIVE AIR CHANGES PER HOUR MIN. & BE DUCTED DIRECTLY TO OUTSIDE OF BUILDING.
16. PLUMBING FIXTURES SHALL BE WATER EFFICIENT TYPE AS FOLLOWS:
 16.1. TANK-TYPE TOILETS SHALL HAVE A MAXIMUM FLUSH OF 1.28 GALLONS
 16.2. WATER SAVING SHOWER HEADS SHALL HAVE A MAXIMUM OF 2.0 GAL/MIN.
 16.3. WATER SAVING SINK AND LAVATORY FAUCETS SHALL HAVE A MAX FLOW RATE OF 1.2 GAL/MIN. @60 PSI AND MIN FLOW RATE OF 0.8 GAL/MIN @20 PSI
17. ALL HOSE BIBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW DEVICE
18. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GAL/MIN @ 60 PSI. FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 2.2 GAL/MIN @ 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GAL/MIN AT 60 PSI.
19. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GAL/MIN @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.



AS-BUILT FLOOR PLAN
SCALE: 1/2" = 1'-0"

02 PROPOSED FLOOR PLAN
SCALE: 1/2" = 1'-0"

01



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| C | | MM | - |
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| A | ABR | MM | 07/01/2024 |
| REV: | DESCRIPTION: | BY: | DATE: |
| STATUS: DRAWING SET | | | |

MCGUIRE PROJECT MANAGEMENT
 604 E COTA ST. SANTA BARBARA
 UNIT 306
 805.501.8056

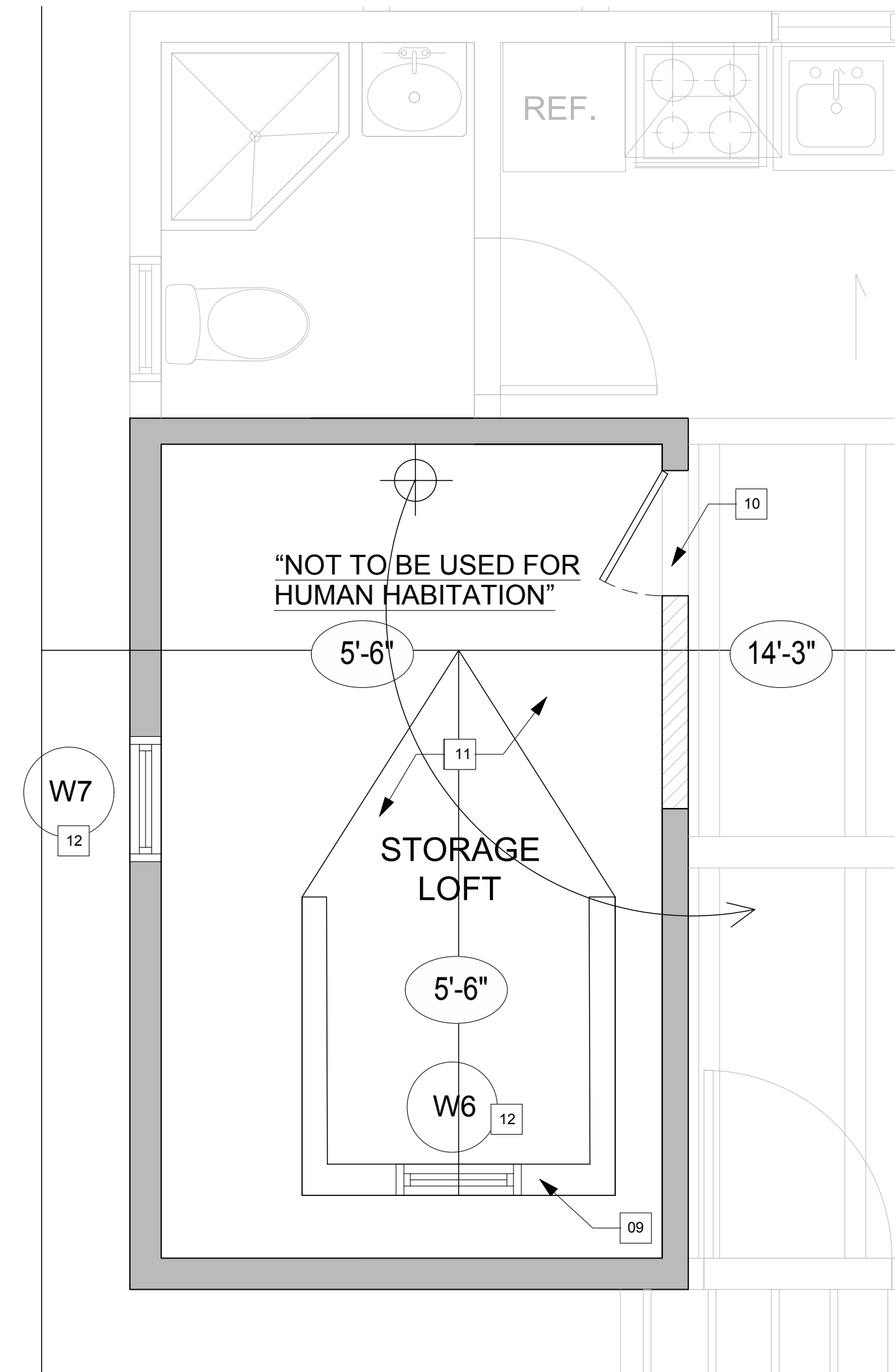
CLIENT: JUNJANLIN INC.
 214 W. GUTIERREZ
 SANTA BARBARA, CA
 93101

DESIGNER: MICHAEL MCGUIRE
 SANTA BARBARA
 CALIFORNIA
 93101

SITE: 214 W. GUTIERREZ
 037-202-009

TITLE: FLOOR PLANS

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| SCALE AT A1: N/A | DATE: 6/30/2024 | DRAWN: MM | CHECKED: MM |
| PROJECT NO: MPM02 | DRAWING NO: A-200 | REVISION: 0 | |



AS BUILT/PROPOSED RCP/ELECTRICAL LOFT
SCALE: 1/2" = 1'-0"

| RECEPTACLES | LIGHT FIXTURES |
|--|--|
| DUPLEX OUTLET - 120V | WALL MOUNTED FIXTURE, TYP. |
| QUADRUPLUX OUTLET | DECORATIVE CEILING FIXTURE |
| DEDICATED APPLIANCE OUTLET | RECESSED CEILING FIXTURE, X IN. DEEP, TYP. |
| DUPLEX OUTLET - HALF-SWITCHED | DIRECTIONAL CEILING FIXTURE |
| WP WATERPROOF GFCI DUPLEX OUTLET | UNDER-CABINET STRIP FIXTURE |
| DUPLEX FLOOR OUTLET | SURFACE MOUNTED FLUORESCENT STRIP FIXTURE |
| DUPLEX CEILING OUTLET | |
| DUPLEX OUTLET - 220V | |
| STANDARD SWITCH | |
| VACANCY SENSOR SWITCH - MANUAL ON / AUTO OFF | |
| 3-WAY SWITCH | |
| SWITCH WITH TIMER | |
| DIMMER SWITCH | |

EXTERIOR LIGHTING SPEC:

HUBBARDTON FORGE

Henry Small Dark Sky Friendly Outdoor Sconce

Base Item #: 302711

Selected Options

Lamping: Incandescent (CST)

Finish: Coastal Black (80)

Configured Item #: 302711-1000

Small Stocking: 302711-15K-80

Image shown may not correspond to selected options.

ROOFING NOTES:

- CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MEP, & STRUCTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS.
- ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THIS PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.
- GENERAL CONTRACTOR TO COORDINATE LOCATION AND ORIENTATION ON ROOF HATCH AND ACCESS LADDER, WHERE APPLICABLE.
- PROVIDE PERSONAL FALL ARREST SYSTEM PROTECTION PER OSHA FOR THE DURATION OF ROOF CONSTRUCTION.
- PROVIDE "WARNING LINE SYSTEM" WHICH SHALL CONSIST OF A COLORED ROPE ON STANCHION WHICH SHALL BE ERRECTED NOT LESS THAN 6 FEET FROM THE ROOF EDGE FOR THE DURATION OF ROOF CONSTRUCTION.
- UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- GENERAL CONTRACTOR AND STRUCTURAL ENGINEER TO INSPECT ROOF.
- HOLES AT VAULTED CEILINGS AND LOCATIONS WHERE CEILING MATERIAL IS APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS ARE TO BE 1/2" MAX IN DIAMETER, 1/2" FROM THE TOP OF RAFTER / BEAM WITHIN THE LAST 3' FROM BEARING POINTS.
- WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRE STOPPED WITH APPROVED MATERIALS, OR HAVE ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP-SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING.

LIGHTING NOTES:

- REFER TO SHEET G-001 AND G-002 FOR TITLE 24 ENERGY REQUIREMENTS
- PRIOR TO FIXTURES BEING ORDERED A SITE WALK SHALL OCCUR WITH ARCHITECT AND CLIENT TO INSURE LIGHTING QUANTITIES AND LOCATIONS.
- THE CONTRACTOR MUST PROVIDE THE HOME OWNER & ARCHITECT WITH A LUMINAIRE SCHEDULE FOR REVIEW & APPROVAL.
- ALL 15 & 20 AMP BRANCH CIRCUITS FEEDING OUTLETS IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT INTERRUPTER INCLUDING LIGHTS, SWITCHES, FANS, SMOKE DETECTORS, RECEPTACLES, ETC.
- ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, LAUNDRY AREAS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS AND AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT BRANCH CIRCUIT INTERRUPTER, COMBINATION TYPE, A BRANCH FEEDER TYPE, A LISTED SUPPLEMENTAL ARC PROTECTION CIRCUIT BREAKER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT, CEC 210.12 (A) (1) - (6).
- ALL INTERIOR LIGHTING IS TO BE HIGH EFFICACY.
 - THE FOLLOWING LIGHTING IS CONSIDERED HIGH EFFICACY:
 - PIN BASED LINEAR FLOURESCENTS, PIN BASED COMPACT FLOURESCENTS, PULSE-START METAL HALIDE, HIGH PRESSURE SODIUM, GU-24 (OTHER THAN LED'S), INSEPARABLE SOLID STATE LUMINAIRE'S (SSL'S) INSTALLED OUTDOORS OR INSEPARABLE SSL LUMINAIRE'S WITH COLORED LIGHT SOURCES FOR DECORATIVE LIGHTING PURPOSES.
 - THE FOLLOWING LAMPS AND LIGHT SOURCES ARE HIGH EFFICACY IF THEY ARE JOINT APPENDIX JAB-CERTIFIED, JAB-CERTIFIED LAMPS AND LIGHT SOURCES ARE MARKED AS "JAB-2016" OR "JAB-2016-E" THESE FIXTURES INCLUDE:
 - LED LUMINAIRE'S WITH INTEGRAL SOURCES THAT ARE CERTIFIED TO THE ENERGY COMMISSION, SCREW-BASED LED LAMPS (A, LAMPS, PAR LAMPS, ETC), PIN-BASED LED LAMPS (MR-16, AR-111, ETC), GU-24 BASED LED LIGHT SOURCES AND OTHER LUMINAIRE'S.
 - ADDITIONAL REQUIREMENTS FOR ANY RECESSED DOWNLIGHTS IN CEILINGS ARE AS FOLLOWS: THEY SHALL NOT HAVE SCREW BASED SOCKETS, SHALL CONTAIN JAB-CERTIFIED LIGHT SOURCES AND SHALL NOT CONTAIN LIGHT SOURCES THAT ARE LABELED "NOT FOR USE IN ENCLOSED FIXTURES" OR "NOT FOR USE IN RECESSED FIXTURES". THEY SHALL BE LISTED FOR ZERO CLEARANCE, HAVE A LABEL THAT CERTIFIES THE LUMINAIRE AS AIRTIGHT WHEN TESTED IN ACCORDANCE WITH EXISTING WITH THE EXCEPTION OF EXHAUST FAN HOUSINGS) AND BE READY ACCESSIBLE FOR BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT.
 - ALL RECESSED DOWNLIGHTS SHALL MEET PERFORMANCE REQUIREMENTS OF CEC SECTION 150.0(k)(1)(c).
 - LISTING OF CA CERTIFIED FIXTURES IS LOCATED ON THE CALIFORNIA ENERGY COMMISSION WEBSITE: <http://appliances.energy.ca.gov/advancedsearch.aspx>
 - LIGHTING INSTALLED IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS ARE TO BE HIGH EFFICACY LUMINAIRE'S AND AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A MANUAL ON/AUTOMATIC OFF VACANCY SENSOR.
 - EXCEPT FOR CLOSETS LESS THAN 70 SQUARE FEET AND HALLWAYS, ALL LUMINAIRE'S THAT ARE INSTALLED WITH JAB-CERTIFIED SOURCES ARE REQUIRED TO BE CONTROLLED BY EITHER A DIMMER OR VACANCY SENSOR.
 - OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A SINGLE FAMILY DWELLING OR OTHER BUILDINGS IN THE SAME LOT SHALL BE HIGH EFFICACY AND MUST BE CONTROLLED BY AN ON/OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE ITEMS LISTED BELOW. ALSO, THE LIGHTING MUST BE BY ONE OF THE FOLLOWING METHODS:
 - CONTROLLED BY PHOTOCELL AND MOTION SENSOR, CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS, OR
 - CONTROLLED BY ANY OF THE FOLLOWING:
 - PHOTOCELL AND AUTOMATIC TIME SWITCH CONTROL, CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURN THE PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS, OR
 - ASTRONOMICAL TIME CLOCK, CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURN THE ASTRONOMICAL TIME CLOCK TO ITS NORMAL OPERATION WITHIN 6 HOURS AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS, OR
 - ENERGY MANAGEMENT CONTROL SYSTEM WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS: AT A MINIMUM PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK IN ACCORDANCE WITH SECTION 110.9 OF THE STANDARDS; MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION 130.4 OF THE STANDARDS; MEETS THE REQUIREMENTS FOR AN EMCS IN SECTION 130.5 OF THE STANDARDS, DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON; AND, IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.
 - PROVIDE A SWITCH AT THE ATTIC ACCESS ENTRANCE THAT PROVIDE LIGHTS FOR SERVICE & MAINTENANCE OF MECHANICAL UNIT.
 - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND HAVE BATTERY BACK UP. ALARMS MAY BE SOLELY BATTERY OPERATED WHEN ALTERATIONS DO NOT REQUIRE THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES. EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT THAT CAN PROVIDE ACCESS FOR THE CONNECTION. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED THEY SHALL BE INTERCONNECTED. ALARMS MAY NOT REQUIRE INTERCONNECTION WHEN ALTERATIONS DO NOT REQUIRE THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES. EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT THAT CAN PROVIDE ACCESS FOR THE INTERCONNECTION.
 - CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND HAVE BATTERY BACK UP. CARBON MONOXIDE ALARMS CAN BE SOLELY BATTERY OPERATED WHEN ALTERATIONS DO NOT REQUIRE THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES, AND NO PRIOR INTERCONNECTION EXISTED ALARMS ARE NOT REQUIRED TO BE INTERCONNECTED.
 - WHERE MORE THAN ONE ALARM IS REQUIRED THEY MUST BE INTERCONNECTED. WHEN ALTERATIONS DO NOT REQUIRE THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES, AND NO PRIOR INTERCONNECTION EXISTED ALARMS ARE NOT REQUIRED TO BE INTERCONNECTED.
 - CALIFORNIA ENERGY COMMISSION'S APPROVAL LISTINGS OF ALL LIGHT FIXTURES ARE TO BE AVAILABLE ON THE JOB SITE AT TIME OF INSPECTION.

05 **USER'S MANUAL SMOKE & CARBON MONOXIDE ALARM**

First Alert

AC Powered Smoke & Carbon Monoxide Alarm

Features:
Two Latching Features
Smart Interconnect
Optipath 360 Technology™
Two Silence Features
Alkaline Battery Backup

CONFORMS TO
UL STD 217 &
UL STD 2034
Model SC7010B

Printed in Mexico
M08-0182-023 K1 04/14

AS-BUILT NOTES:

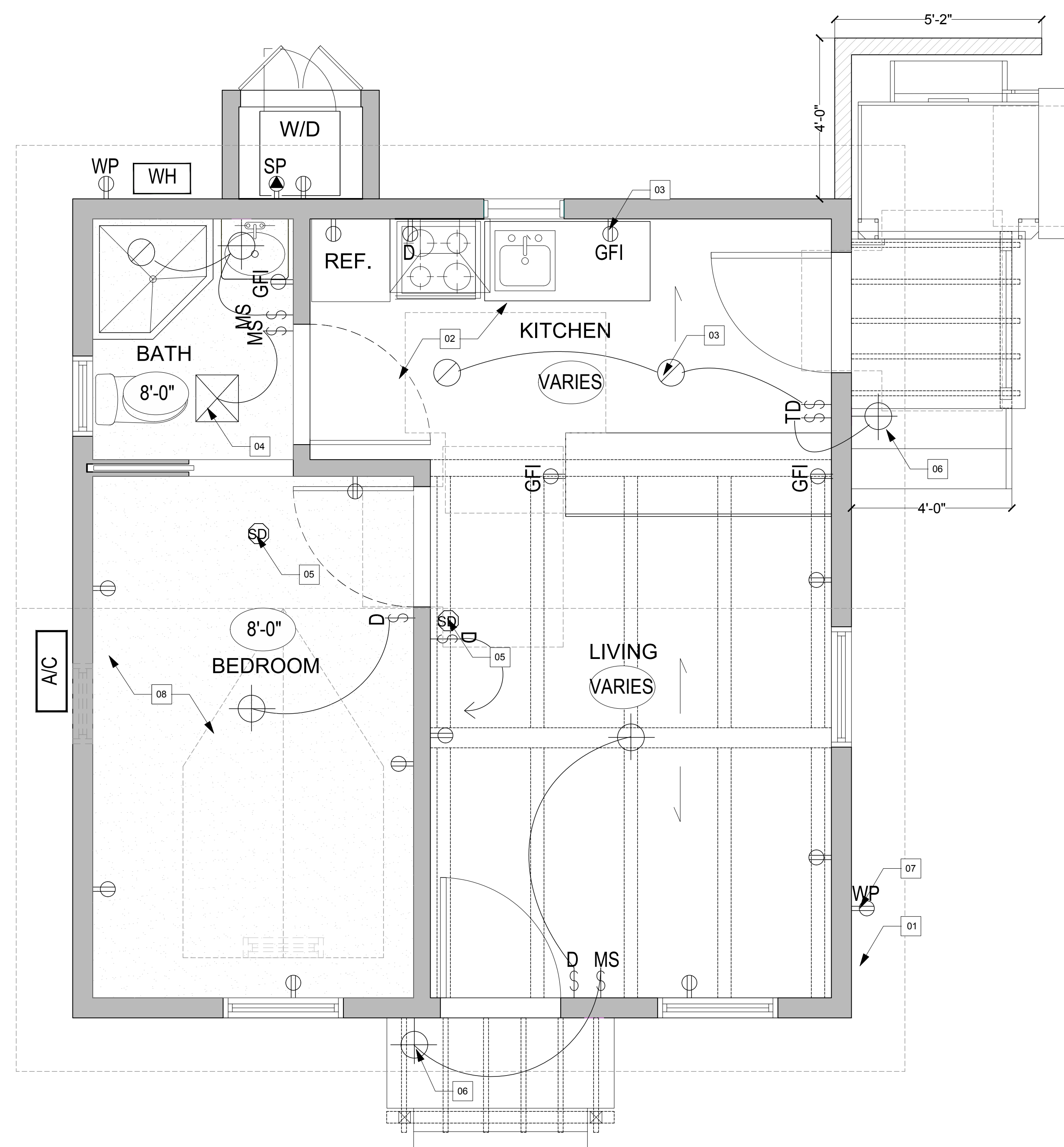
- EXISTING 100 AMP ELECTRICAL PANEL
- AS-BUILT LED AS-BUILT SURFACE MOUNTED LIGHTING IN KITCHEN
- AS-BUILT KITCHEN OUTLETS
- AS-BUILT VENT FAN LOCATIONS AND SWITCHING PER CBC
- AS-BUILT CODE COMPLAINT SMOKE/CARBON MONOXIDE ALARM
- AS-BUILT EXTERIOR LIGHTING DARK SKY COMPLIANT.
- AS-BUILT EXTERIOR OUTLETS (WATER RATED CONTAINER)
- AS-BUILT BEDROOM DROP GYP CEILING AND LIGHTING. NO ALTERATIONS TO BEDROOM
- AS-BUILT DORMER ADDITION/LOFT CONSTRUCTED WITHOUT PERMIT IN 2018 (PREVIOUS OWNER)

PROPOSED NOTES:

- ENCLOSE EXISTING DOOR WITH ACCESS PANEL
- CONVERT LOFT SPACE TO STORAGE SPACE. REMOVE EXISTING CARPET.
- AS-BUILT LOFT WINDOWS TO REMAIN. SEE DOOR AND WINDOW SCHEDULE

NOTES:

- REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL APPLIANCES. MANUFACTURER'S RECOMMENDATIONS OVERRIDE THESE PLANS WHEN CONFLICT EXISTS. NOTIFY ARCHITECT OF ANY CHANGES.
- REFER TO SHEET G-001 FOR TITLE 24 ENERGY REQUIREMENTS
- ALL 125 VOLT, SINGLE PHASE, 15 & 20 AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, LAUNDRY, UTILITY AND WET BARS AND BOAT HOUSES. SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION.
- ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS AND AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, A BRANCH FEEDER TYPE, A LISTED SUPPLEMENTAL ARC PROTECTION CIRCUIT BREAKER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT, CEC 210.12 (A) (1) - (6)
- BRANCH CIRCUITS SUPPLYING GARAGE RECEPTACLES SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE. CEC 210.52 G.1.
- PROVIDE AUTOMATIC VALVE SHUT OFF SYSTEM FOR WASHER WATER SUPPLY VALVES. DISCUSS OPTIONS WITH ARCHITECT PRIOR TO INSTALL.
- ALL RECEPTACLES LISTING IN CEC 210.52, 125 VOLT, 15 AND 20 AMP RECEPTACLE SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. CEC 406.11. EXCEPTIONS: RECEPTACLES MORE THAN 56" ABOVE F.F., RECEPTACLES PART OF A LUMINAIRE OR APPLIANCE, A SINGLE RECEPTACLE OR A DUPLEX FOR 2 APPLIANCES THAT ARE NOT EASILY MOVED OR IN A DEDICATED LOCATION AND ARE PLUG CONNECTED, NON GROUNDING RECEPTACLES USED FOR REPLACEMENTS AS PERMITTED IN CEC 406.4 D.2.a.
- BRANCH CIRCUITS:
 - SMALL-APPLIANCE BRANCH CIRCUITS. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION TWO OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS SPECIFIED BY 210.52(B).
 - LAUNDRY BRANCH CIRCUITS. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, AT LEAST ONE ADDITIONAL 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S) REQUIRED BY 210.52(F). THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
 - BATHROOM BRANCH CIRCUITS. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- WHERE BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED OR EXTENDED IN AREAS SPECIFIED IN CEC 210.12(A), THE BRANCH CIRCUIT SHALL BE PROTECTED BY EITHER A LISTED COMBINATION-TYPE AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT OR A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI LOCATED AT THE FIRST RECEPTACLE OF THE EXISTING BRANCH CIRCUIT.
- RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6 FT FROM A RECEPTACLE OUTLET.
- WALL COUNTER TOP RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE WALL LINE OF ANY WALL SPACE IS MORE THAN 2 FT FROM A RECEPTACLE OUTLET.
- MINIMUM OF 1 OUTLET TO BE PROVIDED AT BATHROOMS.
- R315.3 LOCATION. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS IN THE FOLLOWING LOCATIONS:
 - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, INCLUDING BASEMENTS.
 - WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE BEDROOM.



AS BUILT/PROPOSED RCP/ELECTRICAL
SCALE: 1/2" = 1'-0"

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STATUS: DRAWING SET

MCGUIRE PROJECT MANAGEMENT

604 E COTA ST. SANTA BARBARA
UNIT 306
805.501.8056

CLIENT: JUNJANLIN INC.
214 W. GUTIERREZ
SANTA BARBARA, CA
93101

DESIGNER: MICHAEL MCGUIRE
SANTA BARBARA
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SITE: 214 W. GUTIERREZ
037-202-009

TITLE: RCP/ELECTRICAL

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| SCALE AT A1: N/A | DATE: 6/30/2024 | DRAWN: MM | CHECKED: MM |
| PROJECT NO: MPM02 | DRAWING NO: A-300 | REVISION: 0 | |



STREET VIEW 2016



STREET VIEW 2018



STREET VIEW 2020

SUBSTANTIAL REDEVELOPMENT:

NOTE: DEMO PLAN NOT POSSIBLE AS EXISTING BUILDING WAS NOT DOCUMENTED. ONLY DOCUMENTATION AVAILABLE IS FROM GOOGLE MAPS AND REFERS TO THE PROJECT IN ELEVATION.

A SUBSTANTIAL REDEVELOPMENT OCCURS WHEN A STRUCTURE IS EITHER COMPLETELY DEMOLISHED OR AT LEAST TWO OF THE THREE CONDITIONS BELOW ARE COMPLETED WITHIN ANY FIVE-YEAR PERIOD:

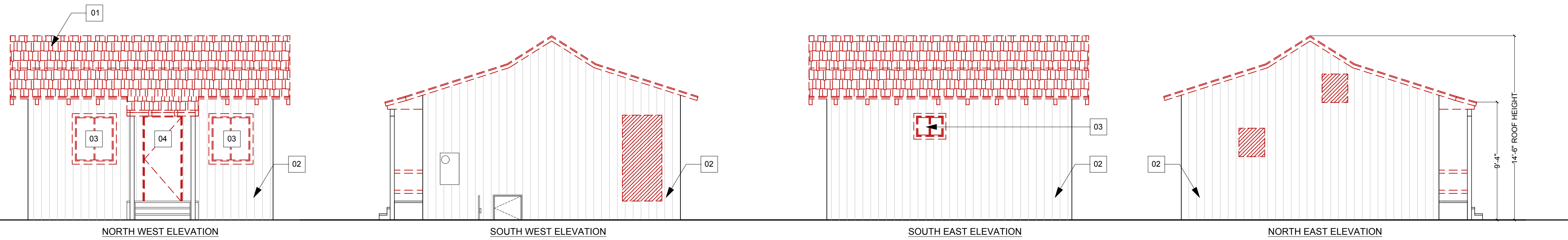
1. MORE THAN 50% OF THE STRUCTURAL ELEMENTS OF THE ROOF OR ROOF FRAMING IS REMOVED.
 - 1.1. THIS LOOKS TO HAVE OCCURRED IN 2018 BASED ON GOGGLE STREET VIEW. ORIGINAL, EXISTING, ROOF LINE NOT DOCUMENTED. DRAWING BELOW IS AN ESTIMATION.
2. MORE THAN 50% OF THE STRUCTURAL EXTERIOR WALLS ARE REMOVED OR ARE NO LONGER A NECESSARY AND INTEGRAL STRUCTURAL COMPONENT OF THE BUILDING.
 - 2.1. ONLY STRUCTURAL WALLS REMOVED WERE BASED ON NEW OPENINGS. SEE LINEAR FOOTAGE CALCULATION BELOW.
3. MORE THAN 50% OF THE FOUNDATION SYSTEM IS REMOVED OR IS NO LONGER A NECESSARY AND INTEGRAL STRUCTURAL COMPONENT OF THE STRUCTURE.
- 3.1. THERE IS NO EVIDENCE ANY OF THE FOUNDATION WAS REMOVED. ALL PLUMBING REMAINED IN EXISTING LOCATIONS.
4. **ONLY (1) OF THE ABOVE CONDITIONS IS MET WITHIN 5 YEARS**

DEMO NOTES:

ROOF AREA:
TO BE DEMOLISHED: 550 SQ FT. (100%)

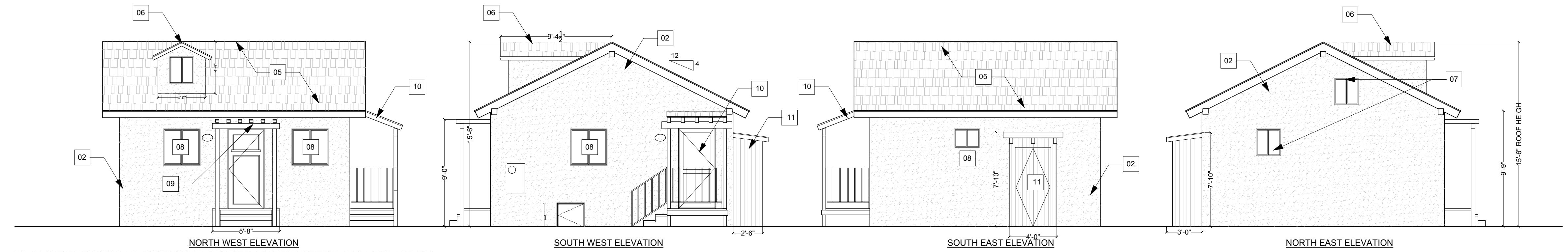
WALLS:
TO BE DEMOLISHED: 30 SQ FT. (4%)
TO REMAIN: 800 SQ FT. (96%)
TOTAL: 830 SQ FT.

NO CHANGE TO FOUNDATION



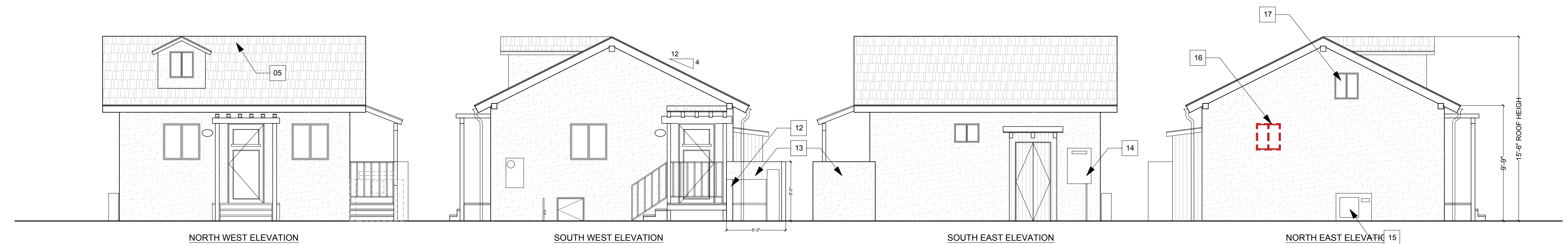
ESTIMATED EXISTING ELEVATIONS (BEFORE 2018 REMODEL)
SCALE: 3/16" = 1'-0"

01



AS-BUILT ELEVATIONS (PREVIOUS OWNER UNPERMITTED 2018 REMODEL)
SCALE: 3/16" = 1'-0"

02



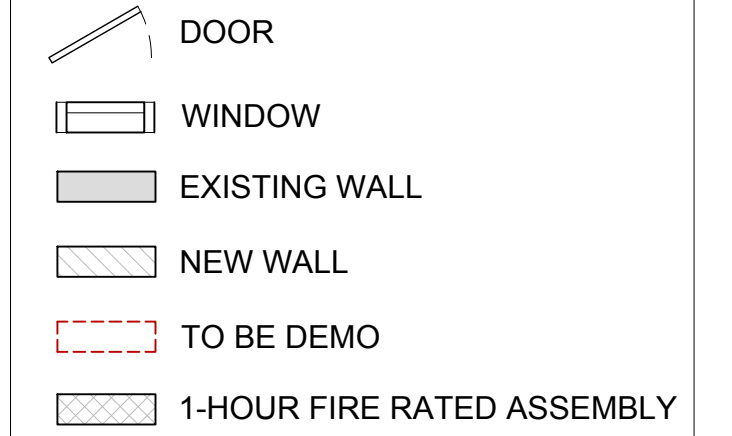
PROPOSED EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"

03

NOTES:

- 01 ROOF REMOVED AND RAISED IN 2018.
- 02 EXISTING EXTERIOR SIDING COVERED WITH AS-BUILT SMOOTH PLASTER IN 2018.
- 03 EXISTING WINDOWS REPLACED WITH AS-BUILT WINDOWS IN SMALLER OPENINGS IN 2018
- 04 EXISTING DOOR REPLACED WITH AS-BUILT WOOD DOOR IN 2018
- 05 RAISED ROOF RECLAD IN 2018.
- 06 AS-BUILT DORMER ADDED IN 2018.
- 07 AS-BUILT WINDOWS REPLACED IN 2018.
- 08 AS-BUILT WINDOWS ADDED IN 2018.
- 09 AS-BUILT PERGOLA ADDED OVER ENTRY TO REPLACE EXISTING DEMOLISHED ROOF.
- 10 AS-BUILT DOOR AND LANDING ADDED IN 2018.
- 11 AS-BUILT UTILITY CLOSET ADDED IN 2006
- 12 PROPOSED ACCESSIBLE CHAIR LIFT
- 13 PROPOSED STUCCO WALL TO WRAP CHAIR LIFT. TO MATCH HOUSE FINISHES.
- 14 AS-BUILT, PROPOSED ON DEMAND WATER HEATER
- 15 AS-BUILT, PROPOSED A/C CONDENSER. SEE A-002 FOR SPECS.
- 16 AS-BUILT WINDOW TO BE REMOVED AS IT SITS CLOSER THAN 5'-0" TO INTERIOR LOT LINE ON THE FIRST FLOOR.
- 17 SECOND FLOOR WINDOW CAN RESIDE 5'-0" OR CLOSER TO LOT LINE AS THERE IS NO SETBACK IN THE C-G ZONE.

GENERAL SYMBOLS



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| C | | MM | - |
| B | | MM | - |
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DESIGNER: MICHAEL MCGUIRE
SANTA BARBARA
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93101

SITE: 214 W. GUTIERREZ
037-202-009

TITLE: EXTERIOR ELEVATIONS

| | | | |
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| SCALE AT A1: | DATE: | DRAWN: | CHECKED: |
| N/A | 6/30/2024 | MM | MM |
| PROJECT NO: | DRAWING NO: | REVISION: | |
| MPM02 | A-400 | 0 | |