

## GENERAL NOTES

Remove and Replace existing mulch with large chip bark

## Prune existing trees

All curbs, gutters, sidewalks, benches, handrails, building improvements and similar items that are broken or damaged by Contractor during any work of this contract shall be reconstructed by the Contractor at no expense to the City. Reconstruction shall be of the same kind of material with the same finish and the same dimensions as the original work. All work shall match the appearance of the existing improvements as nearly as possible. All methods of repairs or restoration shall be pre-approved by the Parks Manager before any restoration or repair is performed. All work covered in this paragraph shall be done at the contractor's expense.



EXISTING SITE

## PAVING CALCULATION NOTE

Total Proposed Redeveloped Impervious Area 35 SF  
Total Proposed Removed Impervious Area 108 SF  
Total New and Redeveloped Impervious Area <500 SF  
Tier 1 Storm Water Compliance - 108 SF Impervious Area Added

## LEGEND

REMOVED IMPERVIOUS AREA 108 SF.

Roofline, above

Cover unplanted soil area with 4" mulch 356 SF

Existing Palm tree to remain Height 10'-12'.

Sandstone boulders  
Proposed Redeveloped Impervious Area 35 SF

Future Proposed multi use path boundary

Existing Kalanchoe beharensis to remain. Shall be pruned to remove old foliage and to height or 4'.

Existing Melaluca Nesophila to remain.  
Shall be rounded to remove old foliage and to height of 7'

Reposition and group Existing Blue Foxtail Agave Height - ground level -3'.

Existing Red PCC to be etched and re-stained in New Look- 'Beach House' 1,209 Sq.Ft.

Sawcut PCC to enlarge planter area

Maintenance of Impervious Area PCC to match adjacent stained 'Scofield Sombbrero Buff' 500 Sq.Ft.

ABR REVIEW COMMENT REV.	6.2023	LB
ABR REVIEW COMMENT REV.	7.2023	LB
FIRST BLD COMMENT REV.	10.2023	LB
DESCRIPTION	DATE	APPROVED
REVISIONS		

DRAFTER	LB
DESIGNER	LB
CHECKER	BA
PROJ. MNGR.	LB
DRAWING DATE	2/15/2023

LEADBETTER RESTROOM ADA RENOVATION PROJECT  
801 Shoreline Drive Santa Barbara CA93109  
LANDSCAPE PLAN

CITY OF SANTA BARBARA  
WATERFRONT DEPARTMENT- FACILITIES DIVISION

WATERFRONT FACILITIES MANAGER

SCALE: 1:5	PROJ. NO. ----
FACTOR: _____	SHT. 9 OF 10 SHTS.
VERT. _____	DWG. NO. 3030-002
HOR. _____	



# Leadbetter Restroom Renovation Project

## Construction Work Spring 2023

### ABOUT THE PROJECT

Posted: January 2023

#### SUBJECT: SANTA BARBARA WATERFRONT LEADBETTER RESTROOM RENOVATION

The restrooms at Leadbetter Beach were originally constructed in 1969. Various upgrades to the mechanical equipment have been performed throughout the years . This will be the first complete renovation since original construction.

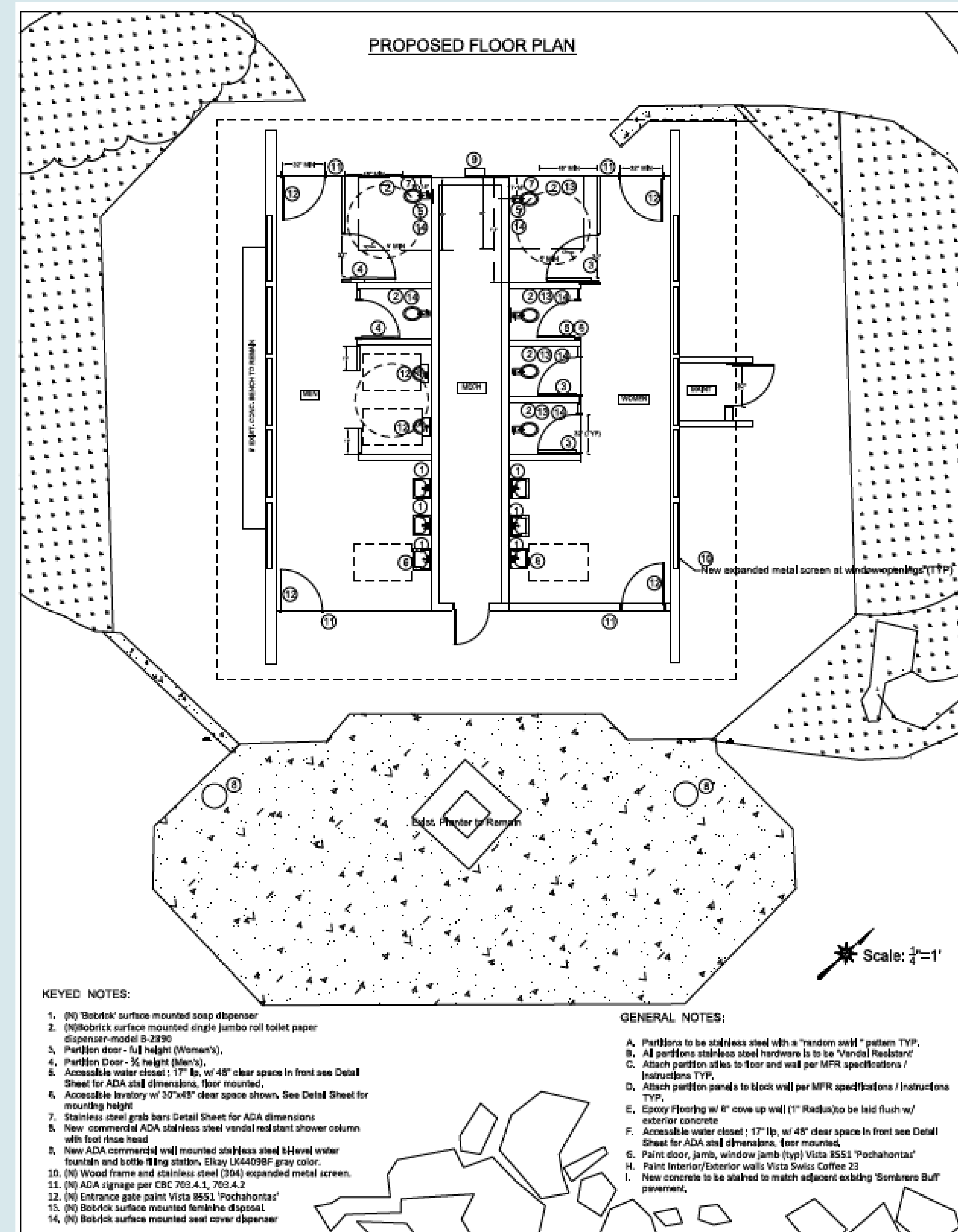
The City of Santa Barbara has a long-standing commitment to keeping facilities code compliant and current with ADA standards. This project will address outstanding accessibility requirements and upgrade finishes to be more comfortable and functional.

Please use the temporary facilities on site or the nearest facilities at the Harbor area during construction. The project will take approximately 12 weeks. The public is welcome to observe from a safe distance.

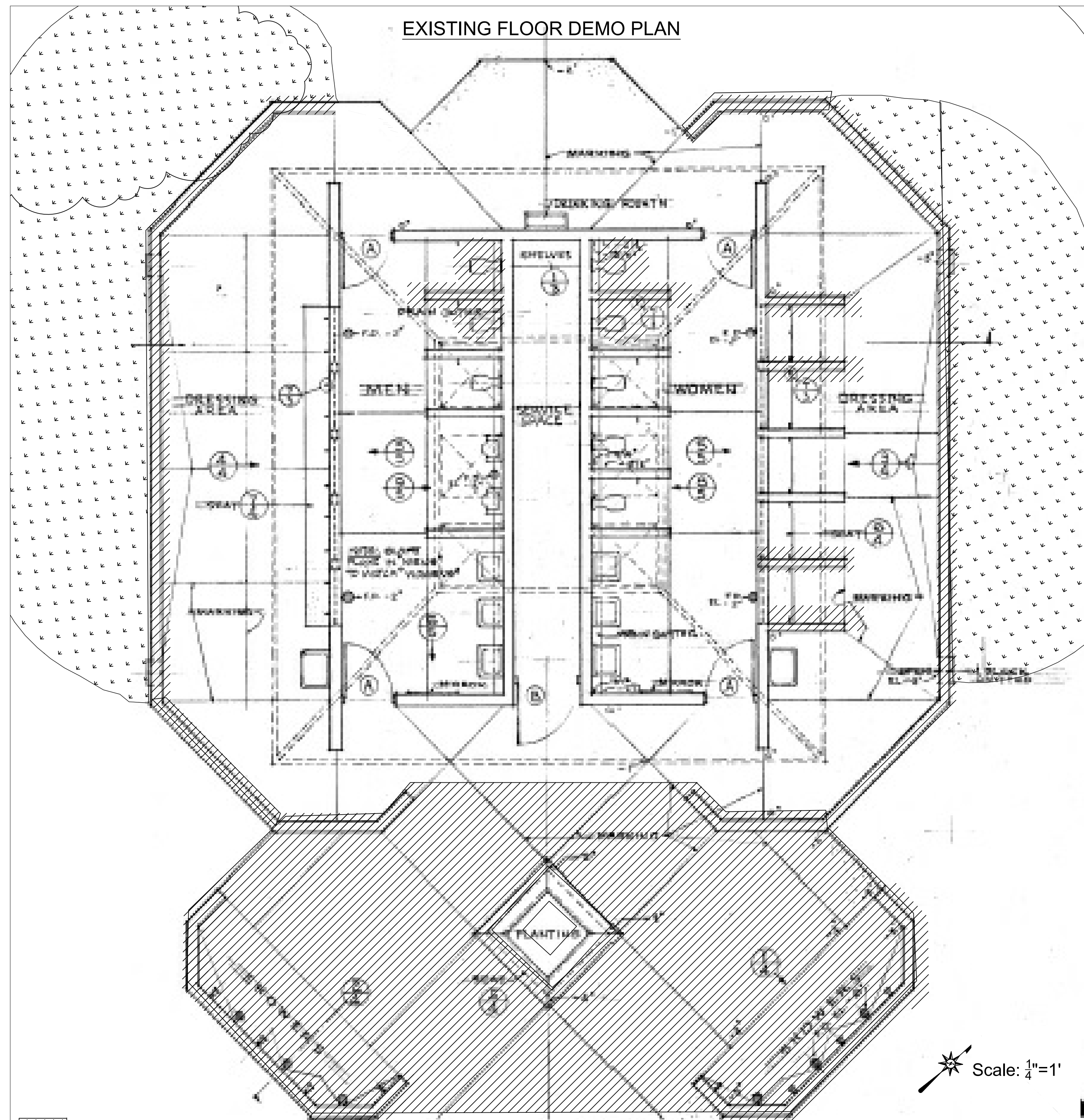
The Waterfront Department (WFD) is a self-supporting enterprise, owned and operated by the City of Santa Barbara. No tax dollars are used for Waterfront Improvement Projects.

Please contact  
Lyn Burich, Waterfront Project Engineer  
with any questions at (805) 897-1964.

City of Santa Barbara  
Waterfront Department  
132-A Harbor Way  
Santa Barbara, CA 93109



## PROPOSED FLOOR PLAN

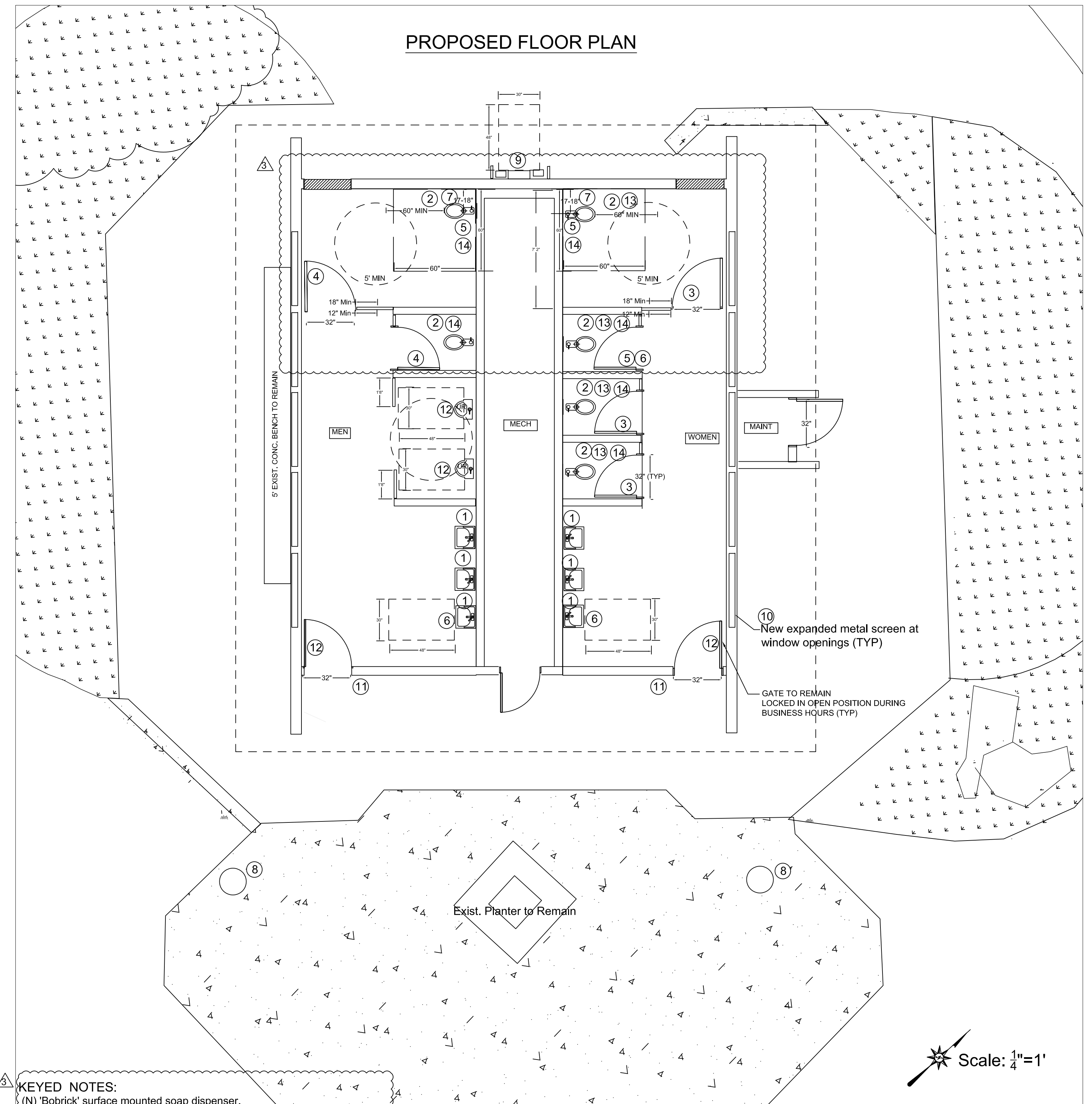


 Scale:  $\frac{1}{4}" = 1'$

 Demo Exterior and Interior partition walls  
Note 10.

DEMO NOTES:

- A. Remove and dispose of plumbing fixtures, protect water supply and drain line in place
- B. Remove and dispose partitions, and dispensers
- C. Remove and dispose of light fixtures, see electric plan for all locations and replacement type.
- D. Remove and dispose recessed soap dispenser
- E. Electric panel to remain
- F. Mech. Room Door to remain, protect in place.
- G. Remove, and replace window screens.
- H. Demolish exterior shower walls and dressing area walls to 6" below grade and refinish voids to match adjacent concrete.
- I. Saw cut, break and remove concrete to expose plumbing to be replaced. See Plumbing Plan.
- J. Remove block wall



Scale:  $\frac{1}{4}" = 1'$

3 KEYED NOTES:

- (N) Bobrick surface mounted soap dispenser.
- (N) Bobrick surface mounted single jumbo roll toilet paper dispenser-model B-2890.
- Partition door - full height (Women's) 12" clearance push side, 18" pull side.
- Partition Door - ¾ height (Men's) 12" clearance push side, 18" pull side.
- Accessible water closet : 17" lip, wall mounted w/ 30"x 48" clear space in front see Sheet 7 Detail 1-2 for ADA stall dimensions.
- Accessible lavatory w/ 30"x48" clear space shown. See Sheet 7, Detail 3 for mounting height.
- Stainless steel grab bars Sheet 7, Detail 4 for ADA dimensions.
- New commercial ADA stainless steel vandal resistant shower column with foot rinse head. Sheet 7, Detail 9.
- New ADA commercial wall mounted stainless steel bi-level water fountain and bottle filling station w/ 30"x48" clear space shown. ElKay LK4409BF gray color. Sheet 7, Detail 10.
- (N) Wood frame and stainless steel (304) expanded metal screen.
- (N) ADA signage per CBC 703.4.1, 703.4.2, 703.5, 703.6 Sheet 7, Detail 11.
- (N) Entrance gate paint Vista 8551 'Pochahontas'.
- (N) Bobrick surface mounted feminine disposal. Sheet 7 Detail 1-2.
- (N) Bobrick surface mounted seat cover dispenser Sheet 7 Detail 1-2.

GENERAL NOTES:

- A. Partitions to be stainless steel with a "random swirl" pattern TYP.
- B. All partitions stainless steel hardware is to be 'Vandal Resistant'
- C. Attach partition stiles to floor and wall per MFR specifications / instructions TYP.
- D. Attach partition panels to block wall per MFR specifications / instructions TYP.
- E. Epoxy Flooring w/ 6" cove up wall (1" Radius)to be laid flush w/ exterior concrete
- F. Accessible water closet ; 17" lip, w/ 48" clear space in front see Detail Sheet for ADA stall dimensions, floor mounted.
- G. Paint door, jamb, window jamb (typ) Vista 8551 'Pochahontas'
- H. Paint Interior/Exterior walls Vista Swiss Coffee 23
- I. New concrete to be stained to match adjacent existing 'Sombbrero Buff' pavement.

3	FIRST_BLD_CORRECTIONS	11.2023	LB	
				DRAFTER LB
				DESIGNER LB
				CHECKER BA
				PROJ. MNGR. LB
	DESCRIPTION	DATE	APPROVED	DRAWING DATE 2/15/2023
	REVISIONS			

LEADBETTER RESTROOM ADA RENOVATION PROJECT  
801 Shoreline Drive Santa Barbara CA 93109  
LAYOUT PLAN

CITY OF SANTA BARBARA  
WATERFRONT DEPARTMENT- FACILITIES DIVISION

---

**WATERFRONT FACILITIES MANAGER**

SCALE: NOTED

FACTOR:

VERT. NOTED

HOR. NOTED

PROJ.NO. \_\_\_\_\_

SHT. 2 OF 10 SHTS.

DWG NO. 3030-002





- A. Repair window sill(s).
- B. Replace Ornamental metal window treatment in (N) Wood Window Frame
- C. (E) Meleluca and Fantail Palm Trees to remain, protect in place.
- D. Remove Exterior Partition wall(s).
- E. Paint walls with exterior grade, Vista Paint ACRIBOND 3000 Swiss Coffee 23.
- F. Paint Entry Gates, Doors, Jamb, Window Trim, and Fascia Vista Paint 8551 Pocahontas.
- G. Replace (E) knob, Install (N) door handle and deadbolt,w/ (N) Schlage Falcon B series I.C. lever handle. Must comply with CBC 118-309.
- H. (N)ADA restroom signage
- I. Replace Exterior LED light fixtures with Dark-sky compliant, Low profile, Bronze finish. Min. 8,000 lumens, Max. Kelvin 4,000.
- J. Halsey Taylor HTHB-OVLER-I OVL-II Drinking Fountain with integral HydoBoost (non-refridgerated)
- K. All masonry tie-rods and extra grout from partition walls shall be removed. Holes to be re-grouted. Extraneous surface grout to be hand chiseled or ground to match surrounding block wall.
- L. Existing Red concrete flatwork to be etched and re-sealed with Scoffield Revive Exterior Stain 'Sombrero Buff' .

1. New commercial ADA stainless steel vandal resistant shower column with foot rinse head
2. New commercial wall mounted stainless steel water fountain and bottle filling station.
3. (N) Wood frame and stainless steel (304) expanded metal screen.
4. (N) ADA signage per CBC 703.4.1, 703.4.2, 703.5, 703.6 See Sheet 7 Detail 11.
5. (N) Entrance gate paint Vista 8551 'Pochahontas'
6. ADA wing wall grab bar type fixture - stainless steel (304) See Sheet 7 Detail 12.

A	FIRST_BLD_CORRECTIONS	11.2023	LB	
				DRAFTER _____ LB
				DESIGNER _____ LB
				CHECKER _____ BA
	DESCRIPTION	DATE	APPROVED	PROJ. MNGR. _____ LB
			DRAWING DATE	2/15/2023

LEADBETTER RESTROOM ADA RENOVATION PROJECT  
801 Shoreline Drive Santa Barbara CA93109  
PROPOSED ELEVATIONS

**CITY OF SANTA BARBARA**  
WATERFRONT DEPARTMENT- FACILITIES DIVISION

---

WATERFRONT FACILITIES MANAGER

SCALE: <u>1/2"=1'</u>	PROJ.NO. _____
FACTOR:	SHT. <u>4</u> OF <u>10</u> SHTS.
VERT. <u>NA</u>	DWG NO. <u>3030-002</u>
HOR. <u>NA</u>	