

ORDINANCE NO. 6129

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SANTA BARBARA AMENDING SANTA BARBARA MUNICIPAL CODE SECTIONS 30.20.030, 30.25.030, 30.30.30, 30.140.220, 30.150.010, 30.150.040, AND 30.150.050 TO ELIMINATE THE EXPIRATION DATE FROM THE AVERAGE UNIT-SIZE DENSITY INCENTIVE PROGRAM

THE CITY COUNCIL OF THE CITY OF SANTA BARBARA DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 30.20.030 of Chapter 30.20 of Title 30 of the Santa Barbara Municipal Code is amended to read as follows:

30.20.030 Development Standards.

Tables 30.20.030A and 30.20.030B prescribe the development standards for Residential Zones. Section numbers refer to other sections of this title, while individual letters refer to subsections that directly follow the tables. Additional regulations that apply throughout the City are located in Division III, Citywide Regulations.

TABLE 30.20.030.A: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE UNIT ZONES						
<i>Zone</i>	<i>RS-1A</i>	<i>RS-25</i>	<i>RS-15</i>	<i>RS-10</i>	<i>RS-7.5</i>	<i>RS-6</i>
Lot Size and Street Frontage						
Minimum Net Lot Area for Newly Created Lots (sq. ft. unless noted)	See also Chapter <u>27.60</u> , Parcel Maps for Urban Lot Splits					
<i>Average Slope less than 10%, and all lots with frontage on the Pacific Ocean regardless of slope</i>	1 acre	25,000	15,000	10,000	7,500	6,000
<i>Average Slope 10% to 20%</i>	1.5 acre	37,500	22,500	15,000	11,250	9,000
<i>Average Slope over 20% to 30%</i>	2 acres	50,000	30,000	20,000	15,000	12,000
<i>Average Slope over 30%</i>	3 acres	75,000	45,000	30,000	22,500	18,000
Minimum Public Street Frontage (ft.)	100	100	90	75	60	60
	See also §30.140.180, Street Frontage and Access; and §30.140.120, Location of Lot Lines					
Maximum Base Residential Density						

TABLE 30.20.030.A: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE UNIT ZONES						
<i>Zone</i>	<i>RS-1A</i>	<i>RS-25</i>	<i>RS-15</i>	<i>RS-10</i>	<i>RS-7.5</i>	<i>RS-6</i>
Maximum Density (per lot)	1 unit	1 unit	1 unit	1 unit	1 unit	1 unit
Additional Residential Density Allowances						
All lots, in compliance with the applicable section	See §30.185.050, Additional Residential Unit					
	See §30.185.040, Accessory Dwelling Units					
	See Chapter 30.145, Affordable Housing and Density Bonus and Development Incentives					
Maximum Floor Area						
Maximum Floor Area (Floor to Lot Area Ratio) (sq. ft.)	Applicable only to lots developed, or proposed to be developed, with a building with two or more stories or 17 feet or more in height.					
<i>Less than 4,000 sq. ft. Net Lot Area</i>	2,200. See also A, Maximum Floor Area (Floor to Lot Area Ratio)					
<i>4,000 to 9,999 sq. ft. Net Lot Area</i>	1,200 + (0.25 multiplied by the net lot area) = Maximum Floor Area. See also (A), Maximum Floor Area (Floor to Lot Area Ratio)					
<i>10,000 to 14,999 sq. ft. Net Lot Area</i>	2,500 + (0.125 multiplied by the net lot area) = Maximum Floor Area. See also A, Maximum Floor Area (Floor to Lot Area Ratio)					
<i>15,000 and more sq. ft. Net Lot Area</i>	Not Applicable					
Structure Form and Location						
Minimum Residential Unit Size	Studio: 220 square feet;					
	All other units: 400 square feet					
Maximum Height (ft.)	See §30.140.150, Residential Unit					
Maximum Height (ft.)	30, except as further limited in accordance with §30.140.170, Solar Access Height Limitations					
Minimum Setbacks (ft.), Residential Structures	See also §30.140.090, Encroachments into Setbacks and Open Yards					
<i>Front</i>	35	30	30	25	20	Portions of structures 15 feet or less in height: 15; Portions of structures more than 15

TABLE 30.20.030.A: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE UNIT ZONES

<i>Zone</i>	<i>RS-1A</i>	<i>RS-25</i>	<i>RS-15</i>	<i>RS-10</i>	<i>RS-7.5</i>	<i>RS-6</i>
						feet in height: 20; Street facing covered parking: 20
	See also B, Setback Reduction for Sloping Lots					
<i>Interior</i>	15	10	10	8	6	5
Minimum Setbacks (ft.), Nonresidential Structures	See also §30.140.090, Encroachments into Setbacks and Open Yards					
<i>Front</i>	Same as for Residential Structures					
<i>Interior (Conversion and Alterations)</i>	Conversions of existing residential structures to nonresidential structures, or alterations of existing structures that contain nonresidential uses, are subject to the setback requirements for residential structures.					
<i>Interior (New or Additions)</i>	30	20	20	12	12	10
	Exception: Community Gardens are subject to the setback requirements for residential structures.					
Minimum Setbacks, Mixed-Use	Portions of structures that contain residential uses are subject to the setback for residential structures, and portions of structures used for nonresidential uses are subject to the setback requirement for nonresidential structures. Portions of structures used by both the residential and nonresidential uses are subject to the setback requirement for nonresidential structures.					
Minimum Setbacks, Uncovered Parking	See §30.175.060, Location of Required Automobile and Bicycle Parking					
Materials	Roofing and siding materials shall be nonreflective. Shiny, mirror like, or glossy metallic finishes are prohibited.					
Open Yard						
Open Yards	See §30.140.140, Open Yards					

TABLE 30.20.030.B: DEVELOPMENT STANDARDS—TWO-UNIT AND MULTI-UNIT ZONES

<i>Zone</i>	<i>R-2</i>	<i>R-M</i>	<i>R-MH</i>
Lot Size and Street Frontage			
Minimum Net Lot Area for Newly Created Lots (sq. ft.)			
<i>Average Slope less than 10%</i>	7,000	14,000	14,000

TABLE 30.20.030.A: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE UNIT ZONES

Zone	RS-1A	RS-25	RS-15	RS-10	RS-7.5	RS-6
Average Slope 10% to 20%	10,500					
Average Slope over 20% to 30%	14,000					
Average Slope over 30%	21,000					
Minimum Public Street Frontage (ft.)	60		60			60
	See §30.140.180, Street Frontage and Access; and §30.140.120, Location of Lot Lines					
Maximum Base Residential Density						
Less than 5,000 sq. ft. Net Lot Area	1 unit					1 unit
5,000 to 5,999 sq. ft. Net Lot Area	1 unit					2 units
6,000 to 6,999 sq. ft. Net Lot Area	2 units if average slope less than 10%, 1 unit otherwise					2 units
7,000 and more sq. ft. Net Lot Area						
Average Slope less than 10%	1 unit/3,500 sq. ft. of net lot area					3 units, or 1 unit/3,500 sq. ft. of net lot area, whichever is greater
Average Slope 10% to 20%	1 unit/5,250 sq. ft. of net lot area					
Average Slope over 20% to 30%	1 unit/7,000 sq. ft. of net lot area					
Average Slope over 30%	1 unit/10,500 sq. ft. of net lot area					
Additional Residential Density Allowances						
All lots, in compliance with the applicable section	See §30.185.040, Accessory Dwelling Units					
	See Chapter 30.150, Average Unit-Size Density Incentive Program					
	See Chapter 30.145, Affordable Housing and Density Bonus and Development Incentives					
Structure Form and Location						
Minimum Residential Unit Size	See §30.140.150, Residential Unit					

TABLE 30.20.030.A: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE UNIT ZONES

Zone	RS-1A	RS-25	RS-15	RS-10	RS-7.5	RS-6
Maximum Height (ft.)	30	45	45	Except as further limited in accordance with §30.140.170, Solar Access Height Limitations		
Minimum Setbacks (ft.), Residential Structures	See also §30.140.090, Encroachments into Setbacks and Open Yards See Chapter 30.150, Average Unit-Size Density Incentive Program					
Front	Portions of structures 15 feet or less in height: 15;		1st and 2nd Stories: 10			
	Portions of structures more than 15 feet in height: 20;		Portions of structures above 2nd story: 20			
Interior	Street facing covered parking: 20		Covered parking: 10			
	See also (B), Setback Reduction for Sloping Lots		Covered parking, street-facing: 20			
Interior	Covered parking: 3		1st and 2 nd Stories: 6			
	Other structures: 6		Portions of structures above 2nd story: 10			
Minimum Setbacks (ft.), Nonresidential Structures	Covered parking: <ul style="list-style-type: none"> • Single-Unit Residential and Two-Unit Residential: 3 • Multi-Unit Residential: 6 except as provided in C, Interior Setback Reduction for Covered Parking on Lots 55 Feet or Less and D, Interior Setback for Covered Parking Opposite the Primary Front Lot Line See also §30.140.090, Encroachments into Setbacks and Open Yards					

TABLE 30.20.030.A: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE UNIT ZONES						
<i>Zone</i>	<i>RS-1A</i>	<i>RS-25</i>	<i>RS-15</i>	<i>RS-10</i>	<i>RS-7.5</i>	<i>RS-6</i>
Front	Same as for Residential Structures					
Interior (Conversions and Alterations)	Conversions of existing residential structures to nonresidential structures, or alterations of existing structures that contain nonresidential uses, are subject to the setback requirements for residential structures.					
Interior (New or Additions)	12		<p>New nonresidential structures or additions to existing nonresidential structures are subject to the following interior setback:</p> <ul style="list-style-type: none"> • 1st and 2nd Stories: 12 • Portions of structures above 2nd story: 20 • Exception: Neighborhood Markets and Community Gardens are subject to the setback requirements for residential structures. 			
Minimum Setbacks, Mixed-Use	<p>Portions of structures that contain residential uses are subject to the setback for residential structures, and portions of structures used for nonresidential uses are subject to the setback requirement for nonresidential structures.</p> <p>Portions of structures used by both the residential and nonresidential uses are subject to the setback requirement for nonresidential structures.</p>					
Minimum Setbacks, Uncovered Parking	See §30.175.060, Location of Required Automobile and Bicycle Parking					
Open Yard						
Open Yards	<p>See §30.140.140, Open Yards</p> <p>See Chapter 30.150, Average Unit-Size Density Incentive Program</p>					

Additional Residential Zone Development Regulations

A. Maximum Floor Area (Floor to Lot Area Ratio).

1. **Floor Area, Precluded Development-RS Zones.** No application for a Building Permit may be approved for a project in an RS Zone that will: (1) result in an increase of the floor area on the lot; (2) change the location of any floor area on the

second or higher story of any structure on the lot; or (3) increase the height of any portion of a structure on the lot to 17 feet or higher if any of the following will occur:

a. The floor area will exceed the allowable maximum floor area for the lot; or

b. The floor area will exceed 85% of the allowable maximum floor area and any of the following apply:

i. The average slope of the lot or the building site is 30% or greater,

ii. The height of any structure on the lot is more than 25 feet, or

iii. The lot is located in the Hillside Design District and 500 or more cubic yards of grading is proposed to occur outside the footprint of the main or accessory buildings. Soil located within five feet of an exterior wall of a main or accessory building that is excavated and re compacted shall not be included in the calculation of the volume of grading outside the building footprint.

2. **Measuring Floor Area Pursuant to this Section.** In determining floor area pursuant to this section see Section 30.15.070, Measuring Floor Area, and the following:

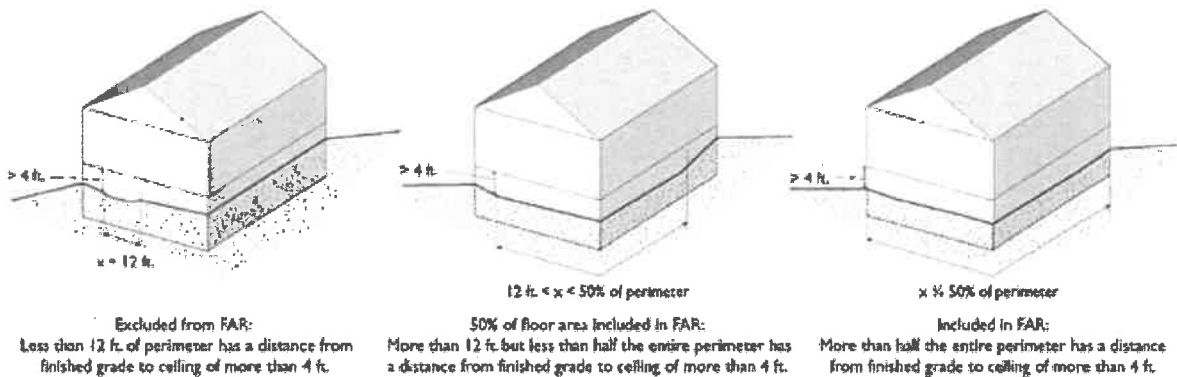
a. *Below Grade Excluded.* On any floor which is partly below and partly above grade, such as a basement, cellar, or understory, the total floor area of that floor may be excluded from the floor to lot area ratio (FAR) if no more than a cumulative total width of 12 feet per elevation has a distance from finished grade to ceiling greater than four feet.

b. *Partially Below Grade Reduced.* On any floor which is partly below and partly above grade, such as a basement, cellar or understory, the total floor area of that floor may be reduced by 50% from the floor to lot area ratio (FAR) if more than 12 feet, but less than one half the entire length of the perimeter has a distance from grade to ceiling greater than four feet.

c. *All Other Floor Area Included.* If more than one half the entire length of the perimeter of any floor has a distance from grade to ceiling greater than four feet, it is included in the floor to lot area ratio (FAR).

d. *Accessory Dwelling Unit and Junior Accessory Dwelling Unit Included.* Floor area within a portion of a structure designed and permitted as an accessory dwelling unit or junior accessory dwelling unit is included.

FIGURE 30.20.030.A.2: MEASURING FLOOR AREA



B. Setback Reduction for Sloping Lots.

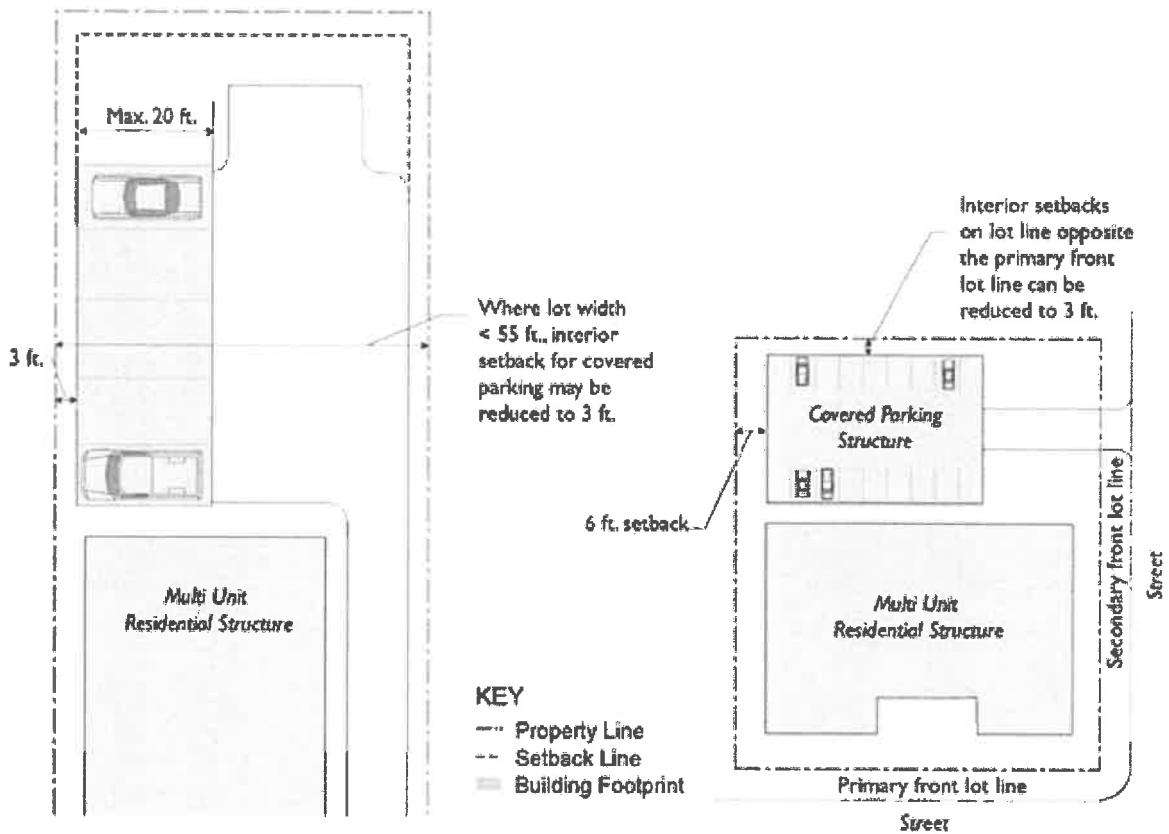
1. **Residential Single Unit Zones.** In Residential Single Unit zones, where the average natural slope of the area within 50 feet of the front lot line is more than 20%, the required front setback for all stories is reduced by five feet.

2. **R-2 Zone.** In the R-2 Zone, where the average natural slope of the area within 50 feet of the front lot line is more than 20%, the required front setback for all stories is reduced to 10 feet.

C. Interior Setback Reduction for Covered Parking on Lots 55 Feet or Less. The required interior setback for covered parking on lots in the R-M or R-MH zone less than 55 feet in width, measured at the location of the covered parking structure, and developed with multi-unit residential may be reduced to three feet by the appropriate Design Review body provided the covered parking opening does not face a street or alley and the interior depth of the covered parking structure does not exceed 20 feet.

D. Interior Setback Reduction for Covered Parking Opposite the Primary Front Lot Line. The required interior setback for covered parking on lots in the R-M or R-MH zone developed with multi-unit residential may be reduced to three feet on the lot line opposite the primary front lot line. In the event of two or more front lot lines, the setback of only one opposite lot line may be reduced to three feet.

FIGURE 30.20.030.C AND D: INTERIOR SETBACK REDUCTION FOR COVERED PARKING



SECTION 2. Section 30.25.030 of Chapter 30.25 of Title 30 of the Santa Barbara Municipal Code is amended to read as follows:

30.25.03 Development Standards.

Table 30.25.030 prescribes the development standards for Commercial and Office Zones. Section numbers refer to other sections of this Title, while individual letters refer to subsections that directly follow the table. Additional regulations that apply throughout the City are located in Division III, Citywide Regulations.

TABLE 30.25.030: DEVELOPMENT STANDARDS--COMMERCIAL AND OFFICE ZONES				
<i>Zone</i>	<i>O-R</i>	<i>O-M</i>	<i>C-R</i>	<i>C-G</i>
Lot Size and Street Frontage				
Minimum Net Lot Area for Newly Created Lots (sq. ft.)	None; except 3,500 sq. ft. of net lot area is required for lots that include residential uses			
Minimum Public Street Frontage (ft.)	None, See §30.140.180, Street Frontage and Access; and §30.140.120, Location of Lot Lines			
Maximum Base Residential Density				
Less than 5,000 sq. ft. Net Lot Area	1 unit			

TABLE 30.25.030: DEVELOPMENT STANDARDS—COMMERCIAL AND OFFICE ZONES				
<i>Zone</i>	<i>O-R</i>	<i>O-M</i>	<i>C-R</i>	<i>C-G</i>
5,000 to 6,999 sq. ft. Net Lot Area	2 units			
7,000 and more sq. ft. Net Lot Area	3 units, or 1 unit/3,500 sq. ft. of net lot area, whichever is greater			
Additional Residential Density Allowances				
All lots, in compliance with the applicable section	See §30.185.040, Accessory Dwelling Units			
	See Chapter 30.150, Average Unit-Size Density Incentive Program			
	See Chapter 30.145, Affordable Housing and Density Bonus and Development Incentives			
Structure Form and Location				
Minimum Residential Unit Size	Studio: 220 square feet; All other units: 400 square feet See §30.140.150, Residential Unit			
Maximum Height (ft.)	45	45	45	45; 60 for Community Benefit Project or Community Benefit Housing Project (§30.140.100.B) See also A, Theater Additions
Additional Height Limitations Adjacent to all Residential Zones	Height is further limited in accordance with §30.140.170, Solar Access Height Limitations			
Minimum Setbacks (ft.)	See also §30.140.090, Encroachments into Setbacks and Open Yards See Chapter 30.150, Average Unit-Size Density Incentive Program			
Front	Residential only development: Same as R-M Zone Nonresidential and mixed-use development:			Residential only development: Same as R-M Zone

TABLE 30.25.030: DEVELOPMENT STANDARDS—COMMERCIAL AND OFFICE ZONES

Zone	O-R	O-M	C-R	C-G
	<ul style="list-style-type: none"> • 1st and 2nd Stories: 10 • Portions of structure above 2nd story: 20 			Nonresidential and mixed-use development: 0
Interior, Adjacent to a Nonresidential Zone	Residential only development: Same as R-M Zone Nonresidential and mixed-use development: <ul style="list-style-type: none"> • 1st and 2nd Stories: 6 • Portions of structure above 2nd story: 10 		Residential only development: Same as R-M Zone Nonresidential and mixed-use development: 0	
Interior, Adjacent to a Residential Zone	Residential structures, and the residential portion of any mixed-use development: Same as R-M Zone Nonresidential structures, and the nonresidential portion of any structure in a mixed-use development, 30 feet or less in height: 15 Nonresidential structures, and the nonresidential portion of any structure in a mixed-use development, more than 30 feet in height: 20 Portions of structures used by both the residential and nonresidential uses are subject to the setback requirement for nonresidential structures.			
Uncovered Parking	See §30.175.060, Location of Required Automobile and Bicycle Parking			
Open Yard				
Open Yards	Any lot developed with residential uses shall provide open yard pursuant to §30.140.140, Open Yards. See Chapter 30.150, Average Unit-Size Density Incentive Program			

Additional Commercial and Office Zone Development Regulations

A. Theater Additions. A stage addition to a live performance theater shall not be considered as part of the height of the structure under the following circumstances:

1. The stage addition is devoted solely to rigging fly systems,
2. The addition is made to a theater that existed as of December 31, 2003, and
3. The stage addition does not exceed the height of the theater as such theater existed on December 31, 2003.

SECTION 3. Section 30.30.030 of Chapter 30.30 of Title 30 of the Santa Barbara Municipal Code is amended to read as follows:

30.30.030 Development Standards.

Table 30.30.030 prescribes the development standards for Manufacturing Zones. Section numbers refer to other sections of this Title. Additional regulations that apply throughout the City are located in Division III, Citywide Regulations.

TABLE 30.30.030: DEVELOPMENT STANDARDS—MANUFACTURING ZONES		
<i>Zone</i>	<i>M-C</i>	<i>M-I</i>
Lot Size and Street Frontage		
Minimum Net Lot Area for Newly Created Lots (sq. ft.)	None; except 3,500 sq. ft. of net lot area is required for lots that include residential uses	
Minimum Public Street Frontage (ft.)	None, See §30.140.180, Street Frontage and Access; and §30.140.120, Location of Lot Lines	
Maximum Base Residential Density		
Less than 5,000 sq. ft. Net Lot Area	1 unit	One Caretaker Unit See §30.185.120, Caretaker Unit
5,000 to 6,999 sq. ft. Net Lot Area	2 units	
7,000 and more sq. ft. Net Lot Area	3 units, or 1 unit/3,500 sq. ft. of net lot area, whichever is greater	
Additional Residential Density Allowances		
All lots, in compliance with the applicable section	See §30.185.040, Accessory Dwelling Units See Chapter 30.150, Average Unit-Size Density Incentive Program See Chapter 30.145, Affordable Housing and Density Bonus and Development Incentives	None applicable
Structure Form and Location		
Minimum Residential Unit Size	Studio: 220 square feet;	

TABLE 30.30.030: DEVELOPMENT STANDARDS—MANUFACTURING ZONES		
<i>Zone</i>	<i>M-C</i>	<i>M-I</i>
	All other units: 400 square feet	
	See §30.140.150, Residential Unit	
Maximum Height (ft.)	45; 60 for Community Benefit Project or Community Benefit Housing Project (§30.140.100.B)	
Additional Height Limitations Adjacent to all Residential Zones	Height is further limited in accordance with §30.140.170, Solar Access Height Limitations	
Minimum Setbacks (ft.)	See also §30.140.090, Encroachments into Setbacks and Open Yards See Chapter 30.150, Average Unit-Size Density Incentive Program	
Front	Residential only structures: Same as R-M Zone Nonresidential and mixed-use development: 0	
Interior, Adjacent to a Nonresidential Zone	Residential only structures: Same as R-M Zone Nonresidential and mixed-use development: 0	
Interior, Adjacent to a Residential Zone	Residential structures and the residential portion of any mixed-use development: Same as R-M Zone Nonresidential, and the nonresidential portion of any structure in a mixed-use development, 30 feet in height or less: 15 Nonresidential structures, and the nonresidential portion of any structure in a mixed-use development, more than 30 feet in height: 20 Portions of structures used by both the residential and nonresidential uses are subject to the setback requirement for nonresidential structures.	
Uncovered Parking	See §30.175.060, Location of Required Automobile and Bicycle Parking	
Open Yard		
Open Yards	Any lot developed with residential use shall provide open yard pursuant to §30.140.140, Open Yards. See Chapter 30.150, Average Unit-Size Density Incentive Program	

SECTION 4. Section 30.140.220 of Chapter 30.140 of Title 30 of the Santa Barbara Municipal Code is deleted in its entirety.

SECTION 5. Section 30.150.010 of Chapter 30.150 of Title 30 of the Santa Barbara Municipal Code is amended to read as follows:

30.150.010 Purpose.

The Average Unit-Size Density Incentive Program carries out a key program directed by the 2011 General Plan. The Program facilitates the construction of smaller housing units by allowing increased density and development standard incentives in selected areas of the City. Housing types that provide housing opportunities to the City's workforce are encouraged and facilitated by the program.

SECTION 6. Section 30.150.040 of Chapter 30.150 of Title 30 of the Santa Barbara Municipal Code is deleted in its entirety as follows:

SECTION 7. Section 30.150.050 of Chapter 30.150 of Title 30 of the Santa Barbara Municipal Code is amended to read as follows:

30.150.050 Status of R-M and R-MH Residential Density.

Notwithstanding the provisions of Chapter 30.20, Residential Zones, the following incentive program is available regarding the residential density of new development projects in zones of the City which otherwise would apply the R-M residential density:

A. **Average Unit-Size Density Incentive Program.** Projects developed in accordance with the provisions of the Average Unit-Size Density Incentive Program established in Section 30.150.070, Average Unit-Size Density Incentives, hereof are exempt from the standard R-M residential density provisions specified in Table 30.20.030.B, Development Standards—Two-Unit and Multi-Unit Zones.

B. **Development of Affordable Housing.** Projects that meet the affordability criteria of the State Density Bonus Law or the City's Affordable Housing Policies and Procedures may continue to propose development pursuant to the density incentives established in Chapter 30.145, Affordable Housing and Density Bonus and Development Incentives.

SECTION 8. Elimination of the program expiration date is categorically exempt from the California Environmental Quality Act under Section 15305 of the CEQA Guidelines [Minor Alterations in Land Use Limitations] and Santa Barbara Municipal Code (SBMC) section 22.100.070.C.5 Minor Alterations in Land Use Limitations. SBMC Section 22.100.070.C.5(c) specifies that that categorical exemptions in this class include "Adoption or amendment of land use or development ordinances, regulations, standards, or guidelines that substantially maintain existing land use intensity or density". In addition, SBMC Section 22.100.070.C.5(g) specifies that exemptions include "Extension of time

limits on approved projects where circumstances have not changed.” Eliminating the Average Unit-Size Density Incentive Program expiration date continues a program that was previously analyzed without changes, and maintains existing land use intensity or density.

ORDINANCE NO. 6129

STATE OF CALIFORNIA)
)
COUNTY OF SANTA BARBARA) ss.
)
CITY OF SANTA BARBARA)

I HEREBY CERTIFY that the foregoing ordinance was introduced on November 7, 2023 and adopted by the Council of the City of Santa Barbara at a meeting held on December 5, 2023, by the following roll call vote:

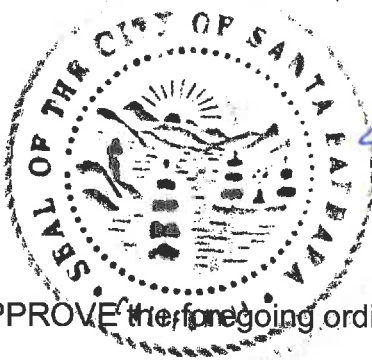
- AYES: Councilmembers Eric Friedman Alejandra Gutierrez, Oscar Gutierrez, Meagan Harmon, Mike Jordan, Mayor Randy Rowse

- NOES: Councilmember Kristen W. Sneddon

- ABSENT: None

- ABSTENTIONS: None

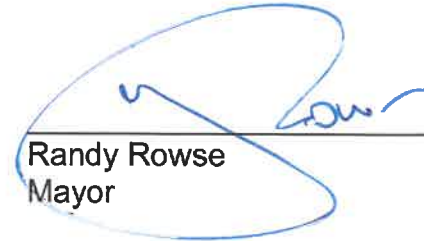
IN WITNESS WHEREOF, I have hereto set my hand and affixed the official seal of the City of Santa Barbara on December 5, 2023.





Sarah Gorman, MMC
City Clerk Services Manager

I HEREBY APPROVE the foregoing ordinance on December 5, 2023.



Randy Rowse
Mayor