

PROJECT DATA:

APN: 031-163-014
 ADDRESS: 506 BRINKERHOFF
 GENERAL PLAN: C-MHRD
 ZONE: C-C (SINGLE AND MULTI-UNIT RESIDENTIAL ALLOWED)
 OCCUPANCY: B3 (SINGLE AND DUPLEX RESIDENTIAL)
 OVERLAYS: CENTRAL BUSINESS DISTRICT, BRINKERHOFF DISTRICT, FEMA FLOOD ZONE 2221.
 HISTORICAL: 3/23/1988, HISTORICALLY SIGNIFICANT, "FERRY HOUSE", DESIGNATED "STRUCTURE OF MERIT" BY H.L.C. STRUCTURE IS NOT A CITY LANDMARK.

"DEVELOPMENT STANDARDS"
 LOT AREA: 14 ACRES, 6,090 SF (SAME AS R-M)
 UNITS ALLOWED: 2 (3 IS NON-CONFORMING)
 SETBACK: FRONT: 10
 SETBACK INTERIOR: 6
 SETBACK INTERIOR AT GARAGE: NA
 (E) OPEN YARD: 1,250 SF, MIN 20X20

DEMOLITION REVIEW AREA: YES - NONE REQUIRED
 HIGH FIRE HAZARD: NO
 AVERAGE SLOPE: 4%
 HILLSIDE DESIGN DISTRICT: NO
 SPRINKLERS: NO
 DRIVEWAY SURFACE: NA

UTILITIES: ELECTRICAL - SCE
 YEAR BUILT: 1903
 (E) STORIES: 1
 (E) PARKING: 0
 (E) HEIGHT: NA
 GRADING: 0

PARKING CALCULATION:
 PER 30,175,040 REQUIRED PARKING: 2 SPACES PER UNIT
 PER 30,175,030; MIN. 1 COVERED PARKING PER UNIT
 PER 30,175,030; 0; NO GUEST PARKING REQUIRED UP TO 5 UNITS

REQUIRED:
 UNIT #506 (BACK): 1 COVERED, 1 UNCOVERED
 UNIT #508: 1 COVERED, 1 UNCOVERED
 UNIT #510: 1 COVERED, 1 UNCOVERED
 TOTALS: 3 COVERED, 3 UNCOVERED

EXISTING - NON CONFORMING
 UNIT #506 (BACK): 0 COVERED, 0 UNCOVERED
 UNIT #508: 0 COVERED, 0 UNCOVERED
 UNIT #510: 0 COVERED, 0 UNCOVERED
 TOTALS: 0 COVERED, 0 UNCOVERED

PROPOSED
 UNIT #506 (BACK): 0 COVERED, 1 UNCOVERED
 UNIT #508: 0 COVERED, 0 UNCOVERED
 UNIT #510: 0 COVERED, 0 UNCOVERED
 TOTALS: 0 COVERED, 1 UNCOVERED

BICYCLE PARKING:
 REQUIRED: 1
 EXISTING: 0
 PROPOSED: 1

CONTACTS
 DRAFTING / APPLICANT:
 MILLAR & ASSOCIATES
 BART MILLAR
 1460 CRESTLINE DR.
 SANTA BARBARA CA 93103
 EMAIL: BART@MACONSTRUCTION.US

OWNER:
 KENNETH STERLING
 133 E DE LA GUERRA ST.
 SANTA BARBARA, CA 93101
 805-245-4100

FLOOR AREA CALCULATIONS
 EXISTING FLOOR AREA:
 EXISTING 1-STORY RESIDENCE (506 BRINKERHOFF): 782 S.F. NET / 834 S.F. GROSS
 EXISTING 1-STORY RESIDENCE (510 BRINKERHOFF): 411 S.F. NET / 436 S.F. GROSS
 EXISTING 1-STORY DETACHED RESIDENCE (508 BRINKERHOFF): 447 S.F. NET / 542 S.F. GROSS
 TOTAL EXISTING FLOOR AREA: 1,640 S.F. NET / 1,812 S.F. GROSS

PROPOSED FLOOR AREA: (NO CHANGE)
 PROPOSED 1-STORY RESIDENCE (506 BRINKERHOFF): 782 S.F. NET / 834 S.F. GROSS
 PROPOSED 1-STORY RESIDENCE (510 BRINKERHOFF): 411 S.F. NET / 436 S.F. GROSS
 PROPOSED 1-STORY DETACHED RESIDENCE (508 BRINKERHOFF): 447 S.F. NET / 542 S.F. GROSS
 TOTAL PROPOSED FLOOR AREA: 1,640 S.F. NET / 1,812 S.F. GROSS
 TOTAL PROPOSED FLOOR AREA ON SITE: 1,640 S.F. NET / 1,812 S.F. GROSS (EXISTING + DEMOLITION + ADDITIONS = TOTAL PROPOSED)

UNIT BED/BATH
 UNIT #506: 2 BED, 1.5 BATH
 UNIT #510: 1 BED, 1 BATH
 UNIT #508: 1 BED, 1 BATH, 1 LAUNDRY RM.

SCOPE OF PROPOSED WORK:

THE SITE IS CURRENTLY DEVELOPED WITH 3 UNITS IN TWO BUILDINGS. THERE IS NO PROPOSED CHANGE TO EITHER THE USE OR THE FOOT PRINTS.

1. ABATE VIOLATIONS PER THE ATTACHED NOV:
 A. INSULATION: FILL CAVITIES IN THE EXTERIOR WALLS OR ROOFS, THAT ARE SUFFICIENTLY EXPOSED AS A RESULT OF DEMOLITION. REQUIRED FOR THE WORK OF THIS PERMIT, WITH FIBERGLASS BATT INSULATION.
 B. NEW CAN-STYLE LED CEILING LIGHT FIXTURES; TWO REPLACEMENT 100 AMP SUB-PANELS, ONE IN EACH BUILDING AND ELATED ELECTRICAL WIRING.

C. REPLACE TWO TANK NIP WATER HEATERS WITH ON-DEMAND NIP WATER HEATERS, ONE FOR EACH OF THE TWO BUILDINGS.
 D. NEW WALL HEATERS IN EACH LIVING UNIT, REPLACEMENT BATHROOM EXHAUST FANS, REPLACE KITCHEN EXHAUST, AND RELATED WORK.

E. REMODEL 2 KITCHENS, REPLACE FIXTURES AND FLOORING IN 2 BATHROOMS AND 1 POWDER ROOM.
 F. REPLACE 5 WHITE VINYL WINDOWS INSTALLED WITHOUT A PERMIT WITH WOOD WINDOWS TO MATCH THE CURRENT ORIGINAL, AND HISTORICAL, WINDOWS.
 2. NEW WOOD WINDOW IN POWDER ROOM WALL (HISTORIC)

3. REPLACE LIGHTS FIXTURES WITH LED FIXTURES THROUGHOUT (HISTORIC ON EXTERIOR).
 4. PAINT BOTH BUILDINGS INSIDE AND OUT - (HISTORIC)
 5. REMOVE THE GARDEN CANOPY (SHEET METAL) ROOF INSTALLED WITHOUT A PERMIT (NO ENF)
 6. PROVIDE ONE ON-SITE PARKING SPACE.
 7. REDUCE OPEN YARD REQUIREMENT TO 914 SF TO ALLOW FOR ONE ON-SITE PARKING SPACE. REQUEST ALTERNATE OPEN YARD DESIGN.

8. REMOVE ALL MID-YARD FENCING AND GATE. INSTALL NEW MID-YARD FENCES AND GATES AT PARKING AND EAST SIDE YARD.
 9. REMOVE HEDGE AT FRONT OF HOUSE.
 10. INSTALL A NEW HEDGE AT FRONT LOT LINE, MAXIMUM HEIGHT 42".

11. INSTALL ONE GATE ARBOR AND 2 NEW GATES AT FRONT SIDEWALK. GATE AT 42" TALL, BETWEEN THE NEW HEDGES
 12. REMOVE DECORATIVE CHIMNEY
 13. BLANK
 14. REPLACE EAST SIDE FENCE AND GATE WITH ARBOR AND HEDGE.
 15. 6" WOOD FENCE, AND GATE, AROUND PARKING AREA.
 16. ATTIC INSULATION-R14 BATT, ALL 3 UNITS
 17. INSTALL NEW DRIVEWAY SURFACE FOR PARKING SPACE

COMPLIANCE
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS
 2022 CALIFORNIA HISTORIC CODE
 AND
 ALL CONSTRUCTION SHALL COMPLY WITH ALL AMENDMENTS AS ADOPTED IN SANTA BARBARA CITY ORDINANCE 5414

DRAWING INDEX

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- G1 - GREEN BUILDING
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HISTORIC & LANDMARKS:

PURSUANT TO SBMC §22.22.130 A, NO STRUCTURE OR REAL PROPERTY IN EL FUEBLO VIEJO LANDMARK DISTRICT OR BRINKERHOFF AVENUE LANDMARK DISTRICTS SHALL BE CONSTRUCTED, DEMOLISHED, MOVED OR ALTERED ON ITS EXTERIOR WITHOUT THE APPROVAL OF THE HISTORIC LANDMARKS COMMISSION (HLC).

PREVIOUS USES OF THESE BUILDINGS INCLUDE: RESIDENTIAL, RELIGIOUS RETREAT, OFFICE, TEMPORARY HOUSING FOR VISITING CLERICS, AND ANTIQUE SALES.

LOT COVERAGE (SWMF):

LOT = 6,090
 BUILDING FOOTPRINT: EXISTING 1,812 SF 30%; PROPOSED 1,812 SF 30%
 HARDSCAPE: EXISTING 399 SF 15%; PROPOSED 384 SF 14%
 LANDSCAPE: EXISTING 3,307 SF 55%; 3,402 SF 56% (DRIVEWAY IS GRAVEL)
 TIER: 1

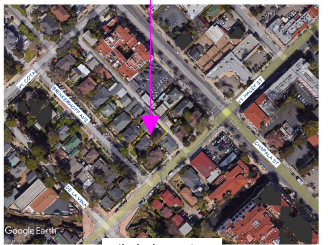
STORM WATER:

CONCRETE DRIVEWAY TO BE PAVED AT 325 SF
 REPLACE PAVEMENT AT BACK HOUSE, AND TRASH PAD AT 94 SF BIKE PAD BY WALKWAY AT FRONT HOUSE AT 56 SF
 TOTAL REDEVELOPED HARDSCAPE = 449 SF

THIS PROJECT REDEVELOPS ~ 500 SF OF IMPERVIOUS SURFACE WHICH REQUIRES A "TIER-1" INTERVENTION.

ACTION: DISCONNECT DOWNSPOUTS FROM STREET BOUND DRAINAGE SYSTEMS AND DIRECT THE STORM WATER TO EXISTING LANDSCAPING.

1. DO NOT DIRECT CONCENTRATED WATER ACROSS PROPERTY LINES.
2. DO NOT DIRECT STORM WATER UNDERNEATH BUILDINGS.
3. LANDSCAPING WITHIN 10' OF ANY BUILDING SHALL SLOPE AWAY FROM THE BUILDING WITH A MINIMUM OF DROP OF 6" IN 10'.
4. HARD SURFACES WITHIN 10' OF A BUILDING MUST SLOPE A MINIMUM OF 2% AWAY.
5. LOTS THAT ARE INTERCEPTED BY PROPERTY LINES SHALL DIRECT THE STORM WATER PARALLEL TO THE PROPERTY LINE BY USE OF SWALES OR OTHER.
6. DOWNSPOUTS SHALL SPILL TO SPLASH BLOCKS OR OTHER NON-EROSIVE SURFACES.



Bm

REVISION TABLE	REVIEW BY	DESCRIPTION
NUMBER	DATE	DATE
1	3/29/24	INITIAL
2	3/29/24	EDIT

EXISTING SITE PLAN & NOTES

506, 508, and 510 BRINKERHOFF SANTA BARBARA CA

DRAWINGS PROVIDED BY:
 MILLAR & ASSOCIATES
 1460 CRESTLINE DR.
 SANTA BARBARA, CA 93103
 805-245-4100

DATE:

6/28/23

SCALE:

SHEET:

A0.0

ELECTRICAL PLAN NOTES - For new work

- 1. ALL RECESSED LIGHT FIXTURES SHALL BE AIRTIGHT (AT) AND RATED FOR CONTACT WITH INSULATION (IC).
2. ALL SWITCH TYPES TO BE AS SHOWN ON PLAN. STACK TYPE SWITCHES MAY BE AS SHOWN WHERE AVAILABLE SPACE IS LIMITED. VERIFY STYLE AND COLOR WITH OWNER & DESIGNER.
3. VERIFY ALL LIGHT FIXTURE, SWITCH, AND OUTLET BOX LOCATIONS WITH THE OWNER AND DESIGNER.
4. VERIFY ALL FLOOR OUTLET LOCATIONS WITH THE OWNER & DESIGNER BEFORE PLACING CONCRETE SLABS.
5. PROVIDE 120V INTERCONNECTED SIGNAL WIRE SMOKE DETECTORS, WITH BATTERY BACKUP, IN ALL SLEEPING ROOMS; AND SMOKE/CARBON MONOXIDE DETECTORS IN ADJOINING HALLS.
6. SEE ELEVATIONS FOR UNSPECIFIED MOUNTING HEIGHTS. WHERE HORIZONTAL, OUTLETS ARE SHOWN ABOVE COUNTER TOPS, MOUNT THE OUTLETS IN THE CENTER OF THE SPLASH.
7. ALL NEW BRANCH CIRCUITS SERVING OUTLETS IN DWELLING ROOMS NOT REQUIRED TO BE PROTECTED BY GFCI DEVICES SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT-INTERRUPTER DEVICE LISTED TO PROVIDE PROTECTION ON THE ENTIRE BRANCH CIRCUIT.
8. EXTERIOR OUTLETS TO BE WATERPROOF GFCI TYPE.
9. DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT TYPE.
10. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, AND SIMILAR AREAS [210.11(C)(3) GEC].
11. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS [210.11(C)(2) GEC].
12. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. [210.11(C)(3) GEC].

PLUMBING / MECHANICAL NOTES For new work

- 1. NEW PLUMBING FIXTURES SHALL MEET CURRENT REQUIREMENTS SET FORTH BY THE CALIFORNIA GREEN BUILDING CODE SECTION 4.503.
2. WATER CLOSETS SHALL HAVE CONSUMPTION OF NOT MORE THAN 1.286 GALLONS OF WATER PER FLUSH.
3. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM AT 60 PSI.
4. KITCHEN FAUCETS MAX 1.8 GPM AT 60 PSI.
5. SHOWER HEADS: MAX 1.8 GPM AT 80 PSI.
6. MULTIPLE SHOWER HEADS SERVING ONE SHOWER SHALL HAVE A MAXIMUM COMBINED FLOW RATE OF 2.0 GPM AT 80 PSI.
7. CONFIRM THAT THE BACK WATER VALVE EXISTS ON THE SITE.
8. HEATING: USE THE EXISTING HEATER.
9. COOLING: NONE.
10. SHOWERS AND SHOWER TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION [S408.3 GFC].
11. SHOWER THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 INCH DOOR. THE FINISHED FLOOR OF THE RECEPTOR SHALL SLOPE UNIFORMLY FORM THE SIDES TOWARDS THE DRAIN AT A MINIMUM OF 1/8"12 AND A MAXIMUM OF 1/4"12. [S408.5 GFC].

ALTERNATES

THE CONTRACTOR, WITH THE OWNERS APPROVAL, MAY SUBSTITUTE MATERIALS OR EQUIPMENT THAT IS SIMILAR OR BETTER IN QUALITY, LOOK, PERFORMANCE, ENERGY EFFICIENCY, AND WATER USE EFFICIENCY, AS THE SPECIFIED PRODUCTS.

REQUIRED NOTES

- BACKWATER VALVE: IF ONE DOES NOT ALREADY EXIST, INSTALL A BACKWATER VALVE IN THE DRAINAGE PIPING IF THE FLOOD LEVEL RIM OF THE LOWEST FIXTURE IS BELOW THE NEXT UPSTREAM MANHOLE COVER.
DRAINAGE FROM THE EXTERIOR STRUCTURE WALL THE GRADE MUST SLOPE DOWN AT A MINIMUM RATE OF 1/4"PER FOOT FOR THE FIRST 5 FEET.
STORM WATER: RUNOFF FROM ANY HARD SURFACE MUST BE DIRECT INTO A SEPARATE STORM SEWER SYSTEM AND MAY BE DIRECTED ONTO FLAT AREAS SUCH AS STREETS OR LAWNS WITH CONSIDERATION TO EROSION AND SLOPE AWAY FROM BUILDING.
DOOR & WINDOWS: FOR ALL NEW WINDOWS OR EXTERIOR DOORS THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS ANOR DOORS UNTIL FINAL INSPECTION.

ARCHAEOLOGICAL SIGNIFICANCE

PRIOR TO THE START OF ANY VEGETATION OR PAVING REMOVAL, DEMOLITION, TRENCHING OR GRADING, CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL BE ALERTED TO THE POSSIBILITY OF UNCOVERING UNANTICIPATED SUBSURFACE ARCHAEOLOGICAL FEATURES OR ARTIFACTS ASSOCIATED WITH PAST HUMAN OCCUPATION OF THE PARCEL.

IF SUCH ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED OR SUSPECTED, WORK SHALL BE HALTED IMMEDIATELY. THE CITY ENVIRONMENTAL ANALYST SHALL BE NOTIFIED AND AN ARCHAEOLOGIST FROM THE MOST CURRENT CITY QUALIFIED ARCHAEOLOGISTS LIST SHALL BE RETAINED BY THE APPLICANT. THE LATTER SHALL BE EMPLOYED TO ASSESS THE NATURE, EXTENT AND SIGNIFICANCE OF ANY DISCOVERIES AND TO DEVELOP APPROPRIATE MANAGEMENT RECOMMENDATIONS FOR ARCHAEOLOGICAL RESOURCE TREATMENT WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, REDIRECTION OF GRADING AND/OR EXCAVATION ACTIVITIES, CONSULTATION AND/OR MONITORING WITH A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST, ETC.

IF A DISCOVERY CONSISTS OF POSSIBLE HUMAN REMAINS, THE SANTA BARBARA COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY. IF THE CORONER DETERMINES THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION. A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.

IF A DISCOVERY CONSISTS OF POSSIBLE PREHISTORIC OR NATIVE AMERICAN ARTIFACTS OR MATERIALS, A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.

SMOKE & CO DETECTORS

CONFIRM EXISTING, OR INSTALL NEW, SMOKE DETECTORS AND CO DETECTORS PER CODE. IN ALL ROOMS OF THIS CONVERSION, AND THE ATTACHED UNITS, REGARDLESS OF WHETHER OTHER WORK IS PERFORMED IN SUCH ROOMS.

CERTIFICATE OF OCCUPANCY AND FINAL ZONING CLEARANCE ON THIS PERMIT WILL NOT BE ISSUED UNTIL THE PROPERTY OWNER EXECUTES AND RECORDS THE REQUIRED ADU COVENANT WITH THE COUNTY OF SANTA BARBARA.

LIGHTING For new work

- 1. BATHROOM LIGHTING: ALL LIGHTING SHALL BE HIGH EFFICACY AND AT LEAST ONE FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR. CALIFORNIA ENERGY CODE 150 (K)5.
2. LAUNDRY ROOM / CLOSET / UTILITY ROOM / GARAGE LIGHTING: ALL LIGHTING SHALL BE HIGH EFFICACY AND AT LEAST ONE LIGHT FIXTURE INSTALLED IN A LAUNDRY RM / CLOSET / UTILITY RM, OR GARAGE. SHALL BE CONTROLLED BY A VACANCY SENSOR. CALIFORNIA ENERGY CODE 150 (K)2 J.
3. OTHER ROOMS LIGHTING: PERMANENTLY INSTALLED LIGHTS IN ROOMS OTHER THAN RESTROOMS, GARAGES, LAUNDRY ROOM, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES. CALIFORNIA ENERGY CODE 150 (K)T.
4. ALL INSTALLED LIGHTING MUST BE HIGH EFFICACY PER TABLE 150.0-A. 2016 CALIFORNIA ENERGY CODE TABLE 150.0.
5. RECESSED LUMINAIRES IN INSULATED CEILINGS SHALL NOT CONTACT A SCREEN BASE SOCKET AND SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UL OR OTHER TESTING LAB RECOGNIZED BY BUILDING OFFICIALS, AND SHALL COVENANT AIRTIGHT TO SHOW AIR LEAKAGE LESS THAN 2.0 CFM AT 0.11 PSI IN ACCORDANCE WITH ASTM E239, AND SEALED WITH A GASKET OR CAULK BETWEEN HOUSING AND THE CEILING. CALIFORNIA ENERGY CODE 150 (K).
6. LUMINAIRES WITH SCREEN BASES SHALL MEET THE FOLLOWING REQUIREMENTS:
I. THE LUMINAIRE SHALL NOT BE A RECESSED DOWN-LIGHT IN A CEILING; AND
II. THE LUMINAIRE SHALL CONTAIN LAMPS THAT COMPLY WITH THE REFERENCE JOINT APPENDIX JAS; AND
III. THE INSTALLED LAMP SHALL BE MARKED WITH "JAS-2016".
OR JAS-2016-E" AS SPECIFIED IN THE REFERENCE JOINT APPENDIX JAS.
DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH THE REFERENCE JOINT APPENDIX JAS.
7. PERMANENTLY INSTALLED OUTDOOR LIGHTS ON BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY AND THEY SHALL BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL CERTIFIED TO COMPLY WITH THE 2019 CALIFORNIA ENERGY CODE. CALIFORNIA ENERGY CODE.

City of Santa Barbara Community Development Department www.SantaBarbaraCA.gov

NOTICE OF VIOLATION WARNING LETTER

BUILDING AND SAFETY

5/16/2023
Sterling, Kenneth W III, Lau, Samantha
133 E. De La Guerra St
Santa Barbara, CA 93101-2228

SUBJECT: 506 Brinkerhoff Ave. Santa Barbara CA 93101
APN: 037-163-014
ENFORCEMENT CASE NUMBER: ENF2023-00062

Dear Property Owner/Tenant:
Property records indicate that you are the owner(s) and/or tenants of the above referenced parcel. On 4/13/2023, I inspected the subject property as requested by a complaint received by me, witness, and observed several violation(s) of the Santa Barbara Municipal Code, described below.

The purpose of this notice is to inform you of the violation(s) on the subject property, to give you a reasonable timeframe to abate the violation(s), and to inform you of the consequences of not abating the violation(s) or repeating the violation(s).

DESCRIPTION, REMEDY & FINAL ABATEMENT DATE OF VIOLATION(S):
Please refer to the below items in violation of the Santa Barbara Municipal Code and/or the California Code(s): SBMC 22.04.030, CRC 105.1, CEMSGC 100.01(a), CRC Article 99.108-4.1, CPC 104.1, CMC 104.1, CRC R105.1, SBMC 22.04.020(B), SBMC 30.157.110(B)(2), CRC R105.1

- 1. Violation: No insulation in walls and under floors.
Corrective Actions and Abatement Date: Obtain a building permit to install insulation. Deadline to submit plans and a building permit application: June 16, 2023. Once the permit is issued, complete all work, and obtain an approved final inspection by the City's Building Department.
2. Violation: Installation of new electrical wiring, recessed can lighting, and panels without a building permit.

Corrective Actions and Abatement Date: Obtain a building permit to legalize or remove the electrical as listed above. Deadline to submit plans and a building permit application: June 16, 2023. Once the permit is issued, complete all work, and obtain an approved final inspection by the City's Building Department.

VIOLATION ABATEMENT AND CASE CLOSURE

Please advise me once you have abated the violation(s). Once we have verified that the violation(s) have been abated, we will close this enforcement case.

QUESTIONS & CONCERNS

The City's intent with enforcement is to achieve compliance with the Municipal Codes and Building Codes. As the Compliance Officer assigned to this case, I would like to assist you in resolving this matter. Please email me at EdJaramila@SantaBarbaraCA.gov, or call me directly at (805) 897-2267 (between the hours of 8:30 and 4:30 pm., Monday through Thursday and every other Friday. The City appreciates your cooperation.

ADDITIONAL CONTACT INFORMATION

Our offices are closed every Friday. Please go to www.SantaBarbaraCA.gov for further information on closure dates.
For plan submission and permit issuance requirements please call (805) 564-5485 between the hours of 7:30 and 4:30 pm., Monday through Friday (except on closed days). The Community Development public corners are located at 630 Garden Street.

Emil Dilanian
Community Compliance Supervisor

- 3. Violation: Installation of new plumbing including two (2) tankless water heaters, DWV (Drain, Waste, Vent) copper vent stacks, and stairs without a building permit.
Corrective Actions and Abatement Date: Obtain a building permit to legalize or remove the plumbing as listed above. Deadline to submit plans and a building permit application: June 16, 2023. Once the permit is issued, complete all work, and obtain an approved final inspection by the City's Building Department.
4. Violation: Installation of wall heaters, and kitchen and bath exhaust systems without a building permit.
Corrective Actions and Abatement Date: Obtain a building permit to legalize or remove the mechanical equipment as listed above. Deadline to submit plans and a building permit application: June 16, 2023. Once the permit is issued, complete all work, and obtain an approved final inspection by the City's Building Department.
5. Violation: Newly remodeled kitchens and bathrooms for both structures without a building permit.
Corrective Actions and Abatement Date: Obtain a building permit to legalize or remove the kitchen and bathroom remodel work as listed above. Deadline to submit plans and a building permit application: June 16, 2023. Once the permit is issued, complete all work, and obtain an approved final inspection by the City's Building Department.
6. Violation: New windows and doors installed without a building permit.
Corrective Actions and Abatement Date: Obtain a building permit to legalize or replace the windows and doors. (Historic Landmark Commission approval may be required). Deadline to submit plans and a building permit application: June 16, 2023. Once the permit is issued, complete all work, and obtain an approved final inspection by the City's Building Department.

Violations listed above shall be applied for under one building permit application.

Should you find the date to submit plans and a building permit application unreasonably, please contact me to discuss the date.

CONSEQUENCE FOR NOT ABATING BY THE FINAL DATE:
If the violation(s) are not corrected by the Abatement Date(s), the First Administrative Citation will be imposed. The amount of the Citation will be \$100 per violation that will occur when the abatement date. If the violation(s) continue, additional Administrative Citations will be imposed, with the fine amount increasing to a maximum of \$250 per violation per day, for as long as the violation(s) continue, with the possibility of referral to the City Attorney's Office for criminal prosecution.

For violations that require a building permit, please see below:

- 1. Consult with the Planning and Zoning to verify that alterations do not trigger design review of any kind. Contact Planning and Zoning Department by email at info@PlanningCenter@SantaBarbaraCA.gov or by phone at (805) 564-5578.
2. When approved by the Planning and zoning to proceed, prepare and submit a complete application for the building permit(s) that are required to legalize the violations found during the inspection. Applications for a building permit can be made online at <http://www.SantaBarbaraCA.gov/OnlineBuildingPermit>.

Tax Implications

Permit of California Revenue and Taxation Code sections 1724 and 20426.5. The City may forward information regarding you and any other owners of the above-referenced property to the State Franchise Tax Board for violation of State and City laws related to the health, safety, and building of the above listed property constitutes substandard housing. This action will prevent you, any other owners, or subsequent owners from receiving certain state, federal, or local tax benefits on the above-referenced property for the maximum term of 10 years. Therefore, this you must immediately comply with all State and City laws to abate all violations.

Appeal Rights

Any party aggrieved by this decision of the City's Chief Building Official including but not limited to decisions or determinations made relative to the application and interpretation of the technical code, and the refusal, suspension, voiding, or revocation of a license or permit, may appeal such decision to the Building and Fire Code Board of Appeals for obtaining an appeal under the on internet at <http://www.santabarbaraca.gov/buildingandfirecodeboardofappeals> or from the City Building & Safety Office. You are required to submit the appeal form within one (10) days from the date of the notice in order for your appeal to be heard by the Building and Fire Code Board of Appeals. The completed appeal form must be delivered, by hand or postage mail, to the City's Building & Safety office located at 630 Garden Street, Santa Barbara, CA 93101. The completion appeal form may also be delivered to the Building and Fire Code Board of Appeals. For information regarding the appeal process, please refer to Santa Barbara Municipal Code Section 22.04.020 and the Community Development Department at (805) 564-5502. For information on the Building and Fire Code Board of Appeals, please click on the following website: <http://www.santabarbaraca.gov/buildingandfirecodeboardofappeals>

Tenant Remediation Required (This is NOT an order to vacate)

Pursuant to Health and Safety Code section 17973, you are hereby notified as the owner of the subject property that you violate the subject property who is dependent on public or employment from a residential unit at the subject property as a result of the order requiring the vacation of a residential unit by the City of Santa Barbara Building & Safety Department as a result of the violations noted above being in violation of the applicable provisions, health and safety of the residential unit involved, that the remedy shall be limited to receive relocation benefits from the property owner. Pursuant to Health and Safety Code section 17973.1, the relocation benefits shall be paid by you, the owner or designated agent, to the tenant within 10 days if a Notice to Vacate is issued on the premises, or at least 20 days prior to the vacation date on both the Notice to Vacate, which may occur later. If there are more than 10 days between the date of this Notice to vacate and the vacation date, the relocation benefits shall be paid by you, the owner or designated agent, to the tenant within 30 days of the date of this Notice. The Notice has been given to the tenant in possession of the property. You cannot re-occupy the vacant premises until the tenant permits the City Code section 198.2. The relocation payment shall be made available by you, the owner or designated agent, to the tenant pursuant to Health and Safety Code section 17973.1.

REVISION TABLE
NUMBER DATE REVISION
VIOLATION WARNING GENERAL NOTES
506, 508, and 510 BRINKERHOFF SANTA BARBARA CA
DRAWINGS PROVIDED BY: MILLAR & ASSOCIATES 1460 CHESTNUT DR. SANTA BARBARA, CA 93105 805/225-9251
DATE: 6/28/23
SCALE:
SHEET: A0.1

Bm

REVISION TABLE	NUMBER	DATE	DESCRIPTION

PHOTOS - VIOLATIONS & PREVIOUS

506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
805-722-9251

DATE:
6/28/23

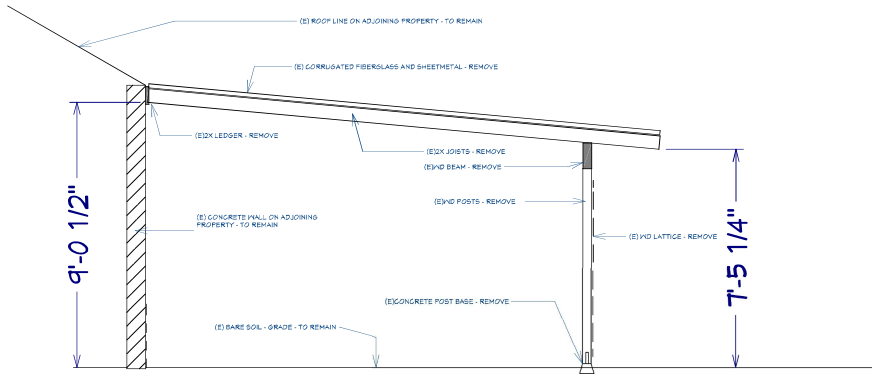
SCALE:

SHEET:

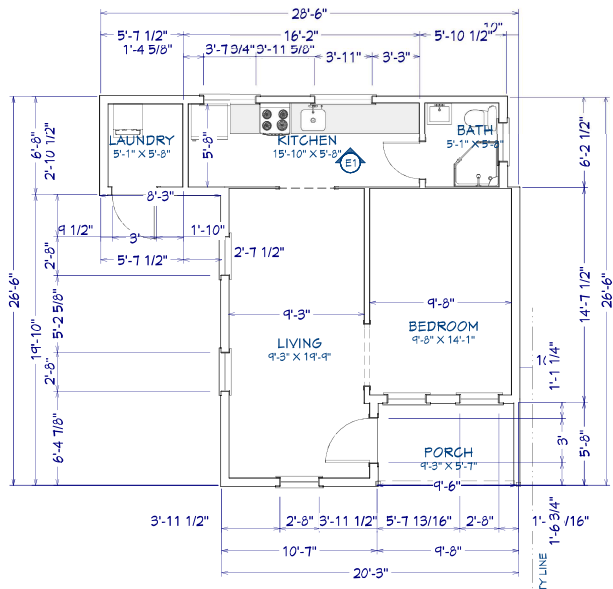
A0.2



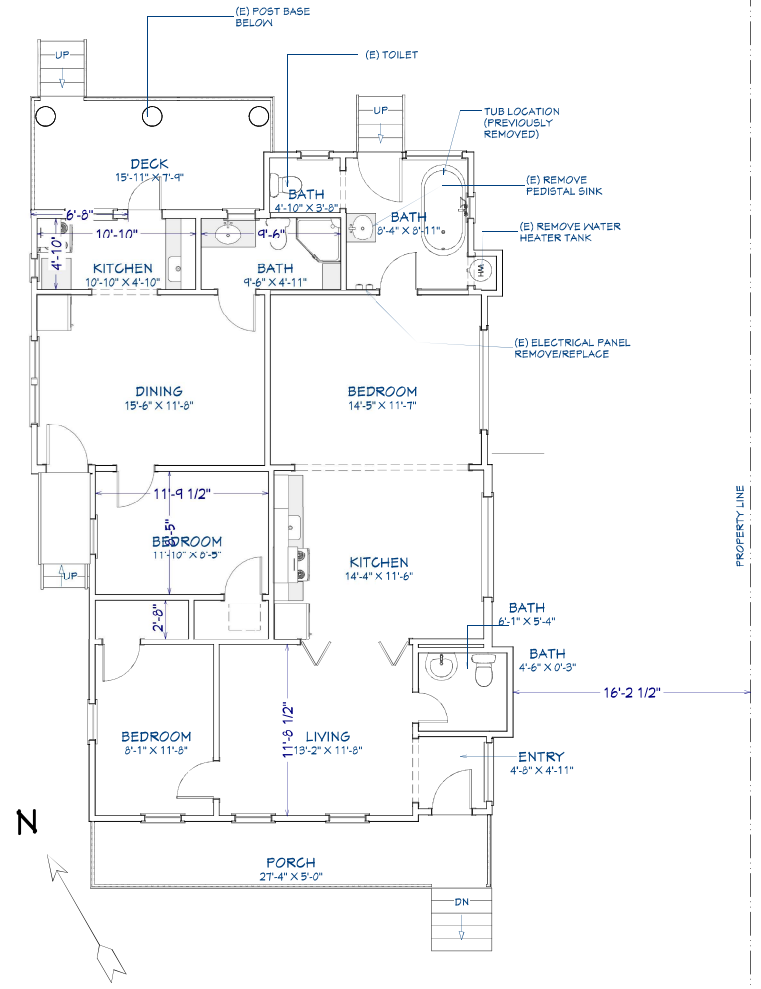
Photos NOV



A SECTION - GARDEN ROOF TO REMOVE
SCALE: 1/2" = 1'-0"



B EXISTING FLOOR PLAN
#506
SCALE: 1/4" = 1'-0"



C EXISTING FLOOR PLAN
#508 & #510
SCALE: 1/4" = 1'-0"

Bm

REVISION TABLE
NUMBER DATE REVISION DESCRIPTION

EXISTING BUILDING PLANS
EXISTING GARDEN
CANOPY SECTION

506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
(805) 225-0551

DATE:
6/28/23

SCALE:

SHEET:

A1.0

Bm

REVISION TABLE	REVISION NUMBER	REVISION DESCRIPTION	DATE
	01/20/23		

PROPOSED FLOOR PLANS

**506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA**

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1440 CRESTLINE DR.
SANTA BARBARA, CA 93105
805/712-9551

DATE:
6/28/23

SCALE:

SHEET:

A1.3

LEGEND

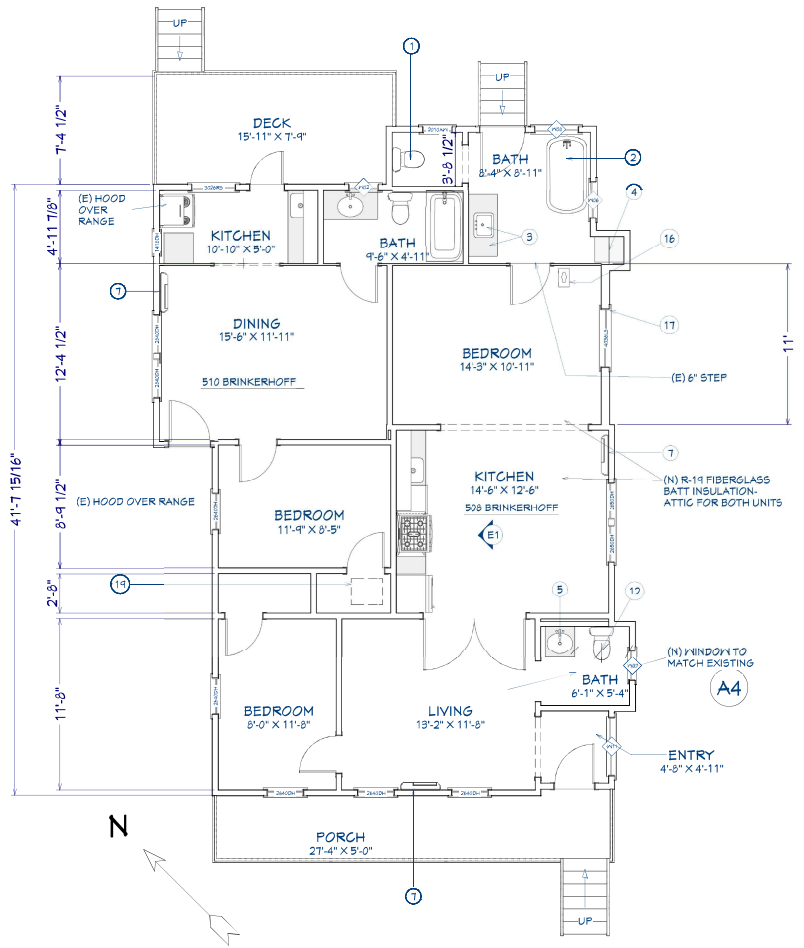
WALL SYMBOLS

- EXISTING WALL - UNCHANGED
- NEW WALL
- DEMOLISH WALL
- NEW WALL / AS BUILT

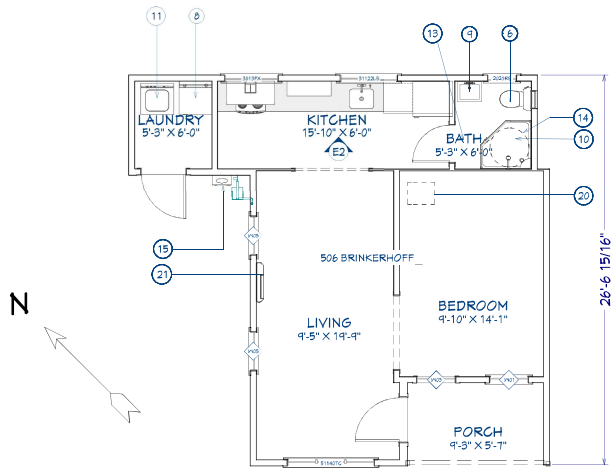
ABBREVIATIONS

- (E) = EXISTING
- BM = BEAM
- CL = CENTER LINE
- CONC. = CONCRETE
- D = DEDICATED CIRCUIT
- EQ = EQUAL
- GFI = GROUND FAULT INTERRUPT
- JB = JUNCTION BOX
- OC = ON CENTER
- PL = PROPERTY LINE
- SB = SET BACK
- STRUC. = STRUCTURAL DRAWINGS
- SF = SQUARE FOOT
- VIF = VERIFY IN FIELD
- WD = WOOD

NOTE SCHEDULE	
1	REPLACE TOILET - MIN. 15" EACH SIDE FROM CENTER TO WALL, MIN. 24" IN FRONT
2	REPLACE TUBE WITH FIBERGLASS TUB
3	REPLACE SINK, VANITY AND FAUCET
4	REMOVE WATER HEATER AND INSTALL SHELVING
5	REPLACE VANITY AND SINK
6	REPLACE TOILET - ROUND OR COMPACT ONLY, LESS THAN 24" IN FRONT NON-CONFORMING TO REMAIN
7	(N) NG WALL HEATER, 15,000 BTU (WILLIAMS, DIRECT VENT, MODEL #2209821, BTU OUT=16,462, THERMAL 70%, AFUE 87%, DIMS: 32 X 10 X 28)
8	REMOVE TANK WATER HEATER
9	REPLACE SINK
10	REPLACE SHOWER WITH FIBERGLASS ONE PIECE MIN 1,024 SF
11	LAUNDRY FUNCTION TO REMAIN
12	REPLACE TOILET - MIN. 15" CL TO WALL EACH SIDE, MIN. 24" IN FRONT
13	REPLACE TILE FLOOR
14	32" CIRCLE - MIN SHOWER TURN DIAMETER
15	(N) ON-DEMAND WATER HEATER - NATURAL GAS NAVIAN NPE-130 S2 NG. SEE ATTACHED SPEC.
16	(N) ON-DEMAND WATER HEATER, NATURAL GAS, NAVIAN NPE 24062-NS, 149K MBH TANKLESS
17	(E) UNDER FLOOR ACCESS
18	REPLACE CEILING EXHAUST FAN - PANSONIC FV-0510V51, 110 CFM, 4 SONE
19	(E) CEILING ACCESS
20	(E) ATTIC ACCESS
21	(N) NG DIRECT VENT WALL HEATER, 24,000 BTU (WILLIAMS 3009822, 21,000 BTU OUTPUT, THERMAL 70%, AFUE 86%, DIMS: 32 X 10 X 28)



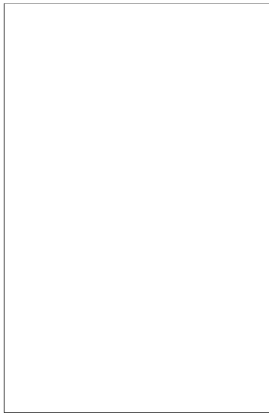
**EXISTING FLOOR PLAN
#508 & #510**
SCALE: 1/4" = 1'-0"



**EXISTING FLOOR PLAN
#506**
SCALE: 1/4" = 1'-0"

LEGEND	
WALL SYMBOLS	
	EXISTING WALL - UNCHANGED
	NEW WALL
	DEMOLISH WALL
	NEW WALL / AS BUILT
ABBREVIATIONS	
(E)	= EXISTING
(N)	= NEW
AFF = ABOVE FINISH FLOOR	
BM = BEAM	
CL = CENTER LINE	
CONC = CONCRETE	
D = DEDICATED CIRCUIT	
EQ = EQUAL	
GFI = GROUND FAULT INTERRUPT	
JB = JUNCTION BOX	
OC = ON CENTER	
PL = PROPERTY LINE	
SB = SET BACK	
STRUC. = STRUCTURAL DRAWINGS	
SF = SQUARE FOOT	
VIF = VERIFY IN FIELD	
V/D = V/DOOD	

BASIC LEGEND

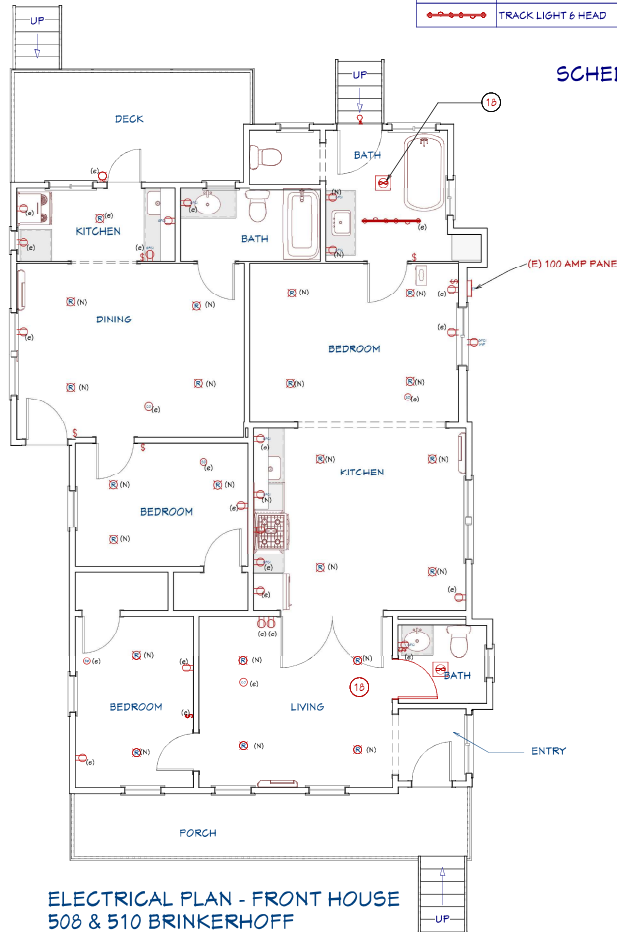


SINGLE LINE - TBD

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
	CO DETECTOR	
	DUPLEX	
	ELECTRICAL PANEL - SURFACE MOUNTED	
	EXHAUST	
	EXTERIOR LANTERN 1	
	GFCI	
	GFCI W/P	
	NARCISS SCENCE	
	RECESSED DOWN LIGHT 6	
	SINGLE POLE SWITCH	
	SMOKE DETECTOR 1	
	SPOTLIGHT 1	
	TRACK LIGHT 6 HEAD	

NOTE SCHEDULE		
NUMBER	DESCRIPTION	REVISION TABLE
1	REPLACE TOILET - MIN. 15" EACH SIDE FROM CENTER TO WALL, MIN. 24" IN FRONT	
2	REPLACE TUBE WITH FIBERGLASS TUB	
3	REPLACE SINK, VANITY AND FAUCET	
4	REMOVE WATER HEATER AND INSTALL SHELVEING	
5	REPLACE VANITY AND SINK	
6	REPLACE TOILET - ROUND OR COMPACT ONLY, LESS THAN 24" IN FRONT NON-CONFORMING TO REMAIN.	
7	(N) NG WALL HEATER, 15,000 BTU (WILLIAMS, DIRECT VENT MODEL#2203021, BTU OUTPUT: 16,462, THERMAL 75%, AFUE 67%, DIMS: 32 X 10 X 28)	
8	REMOVE TANK WATER HEATER	
9	REPLACE SINK	
10	REPLACE SHOWER WITH FIBERGLASS ONE PIECE, MIN. 1,024 SQ	
11	LAUNDRY FUNCTION TO REMAIN	
12	REPLACE TOILET - MIN. 15" CL TO WALL EACH SIDE, MIN. 24" IN FRONT	
13	REPLACE TILE FLOOR	
14	32" CIRCLE - MIN SHOWER TURN DIAMETER	
15	(N) ON DEMAND WATER HEATER - NATURAL GAS NAVIAN NPE-100 S2 NG. SEE ATTACHED SPEC	
16	(N) ON DEMAND WATER HEATER, NATURAL GAS, NAVIAN NPE 240B2-NG, 199K MBH TANKLESS	
17	(E) UNDER FLOOR ACCESS	
18	REPLACE CEILING EXHAUST FAN - PANSONIC, FV-0510VS1, 110 CFM, 4 SONE	
19	(E) CEILING ACCESS	
20	(E) ATTIC ACCESS	
21	(N) NG DIRECT VENT WALL HEATER, 24,000 BTU (WILLIAMS 3003922, 21,000 BTU OUTPUT, THERMAL 70%, AFUE 66%, DIMS: 32 X 10 X 28)	

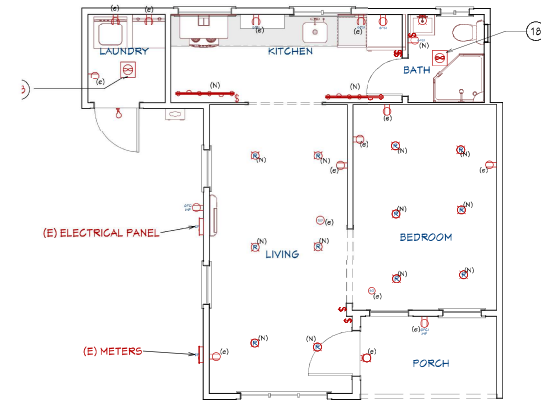
SCHEDULE: Electrical



**ELECTRICAL PLAN - FRONT HOUSE
508 & 510 BRINKERHOFF**

SCALE: 1/4" = 1'-0"

SCHEDULES



**ELECTRICAL PLAN - BACK HOUSE
506 BRINKERHOFF**

SCALE: 1/4" = 1'-0"

Bm

REVISION TABLE	DESCRIPTION
NUMBER	DATE

**PROPOSED FLOOR
PLANS - ELECTRICAL**

**506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA**

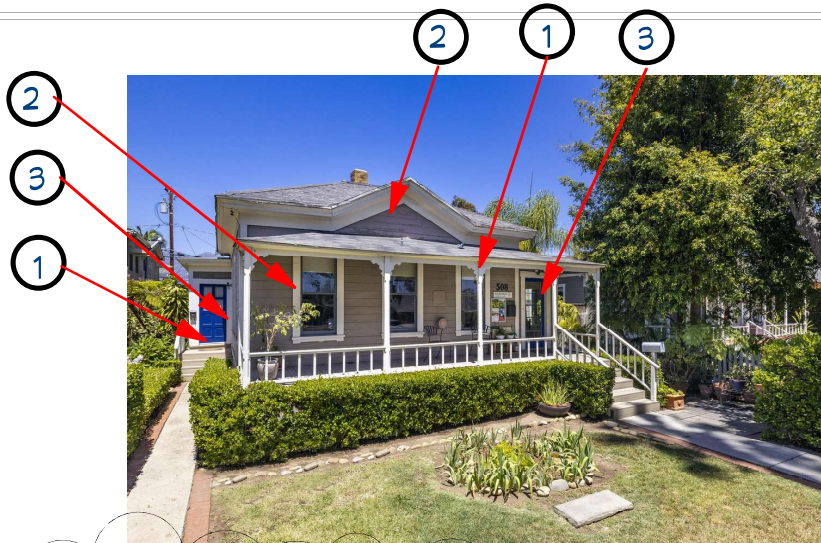
DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1440 CRESTLINE DR.
SANTA BARBARA, CA 93105
(805) 225-0551

DATE:
10/7/23

SCALE:

SHEET:

A1.4



COLORS:

PRIMARY HOUSE

1. TRIM - SW-0050 "CLASSIC WHITE BUFF"
- ALL THAT IS CURRENTLY WHITE: CASINGS, RAILS, WINDOWS, SILLS
2. FIELDS AND CLAPBOARD - SW-7613 "AQUA-SPHERE"
- ALL THINGS THAT ARE CURRENTLY BEIGE OR GREEN
3. ENTRY DOORS - SW-CHINES RED"
- OF WHICH THERE ARE THREE
4. DECK - SW-7624 "SLATE TILE"
5. GUTTERS & WINDOW MULLIONS - SW-6993 - "BLACK OF NIGHT"
- INCLUDING: DECK EDGE, CROWN, AND DOWN SPOUTS

COTTAGE IN BACK

1. FIELDS AND CLAPBOARD - SW-0050 "CLASSIC WHITE BUFF"
- INC. ALLEY FENCE
2. TRIM: "SW-7613 "AQUA-SPHERE"
- WINDOW AND DOOR CASING, NON-FRONT DOORS
3. ENTRY DOORS - SW-CHINES RED"
- OF WHICH THERE ARE THREE
4. DECK - SW-7624 "SLATE TILE"
5. GUTTERS & WINDOW MULLIONS - SW-6993 - "BLACK OF NIGHT"
- INCLUDING: DECK EDGE, CROWN, AND DOWN SPOUTS



PROPOSED

Bm

REVISION TABLE	REVIEW BY	DESCRIPTION
NUMBER	DATE	BY
1	10/02/23	Bm
2	3/25/24	Bm

PROPOSED COLORS & PHOTOS

506, 502, and 510
BRINKERHOFF
SANTA BARBARA CA

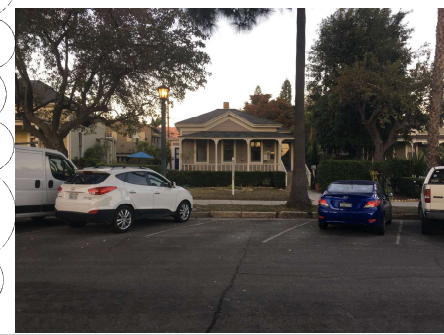
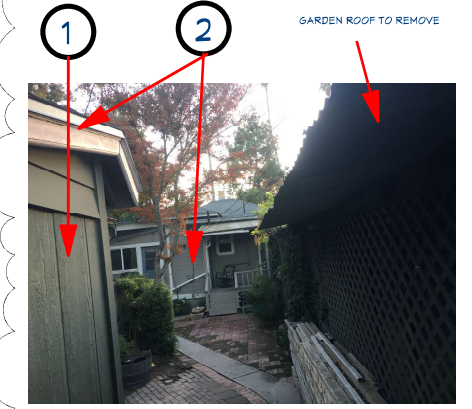
DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
805-722-9251

DATE:
6/28/23

SCALE:

SHEET:

A2.0





QUEEN ANN STYLE WITH COLORS SIMILAR TO THOSE PROPOSED FOR THE COTTAGE: -- FOR REFERENCE



FRONT HOUSE: COLORS IN THIS IMAGE TO REMAIN

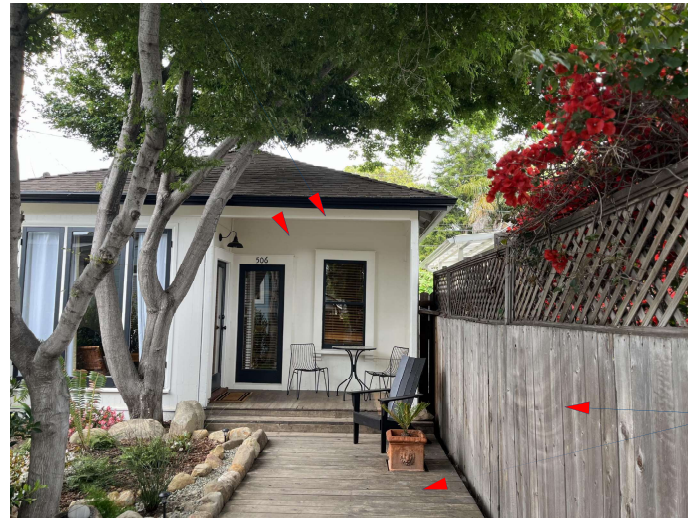
PROPOSED COLORS FOR COTTAGE: SAME AS THOSE FOR THE MAIN HOUSE, EXCEPT; THE COTTAGE TRIM COLOR WILL BE THE BLUE OF THE HOUSE FIELD COLOR, AND THE COTTAGE FIELD COLOR WILL BE THE SAME AS THE HOUSE TRIM COLOR.

THE COTTAGE DOOR WILL BE THE SAME RED AS THE HOUSE. THE COTTAGE WINDOW MULLIONS AND GUTTER WILL REMAIN BLACK AS THEY ARE NOW, AND WILL ALSO MATCH THE EXISTING HOUSE.



COTTAGE: 506 BRINKERHOFF ALLEY

FENCE TO REMAIN NATURAL RAL



COTTAGE: 506 BRINKERHOFF FACE TO STREET IN BACK YARD

FENCE AND DECK TO REMAIN NATURAL

Bm

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

COTTAGE COLOR

506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
805-722-9251

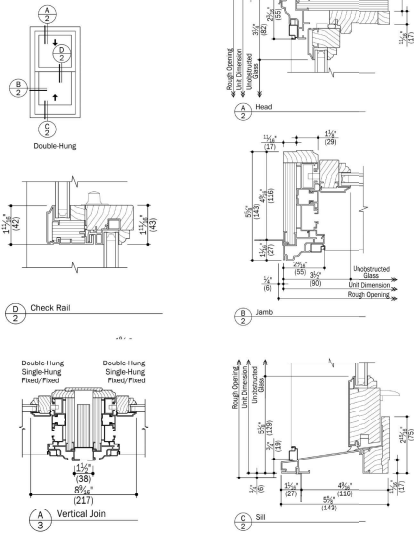
DATE:

3/25/24

SCALE:

SHEET:

A2.1

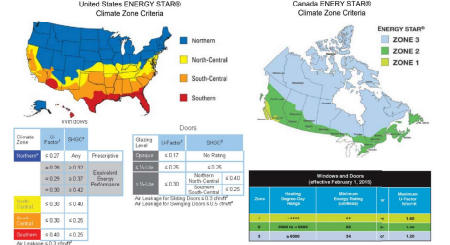


ANDERSEN® 400 SERIES WINDOW AND DOOR NFRC/ENERGY STAR® INFORMATION

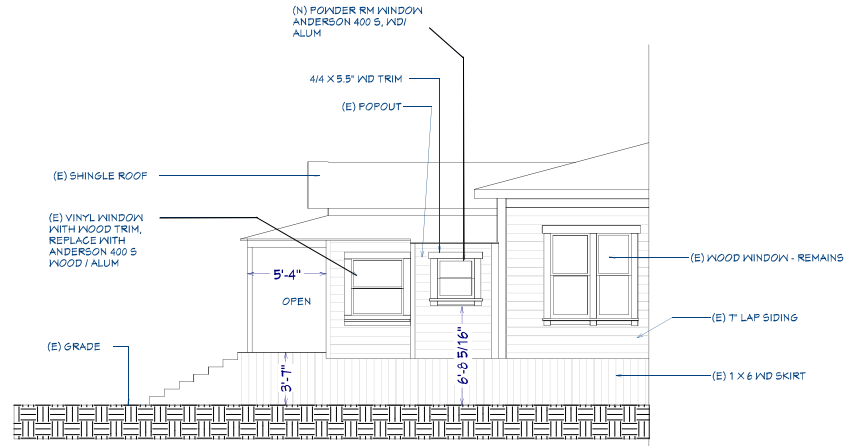
This document provides NFRC Certified U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Transmittance (VT) values for Andersen® products along with the corresponding ENERGY STAR® Version 6.0 (2015) climate zones in which the product and glass type are certified.

These products rated, certified and labeled by National Fenestration Rating Council® (NFRC) - a non-profit organization that provides fair, accurate and credible energy performance ratings for windows and doors.

Many of our products exceed the stringent energy efficiency certification criteria set by the U.S. Environmental Protection Agency and the U.S. Department of Energy. The certification criteria is based on the heat gain and loss of each product in various regions of the country. Check the Andersen product performance analyzer at www.andersenwindows.com for units that are ENERGY STAR certified.



For NFRC certified unit performance for units with optional features, please refer to the high altitude information section for each unit.
 U-Factor defines the amount of heat loss through the unit and is U(1/U) in SI units. The lower the value, the less heat is lost through the entire product.
 Solar Heat Gain Coefficient (SHGC) defines the fraction of solar radiation admitted through the glass both directly transmitted and absorbed and subsequently re-radiated inward. The lower the value, the less heat is transmitted through the product.
 Visible Transmittance (VT) measures how much light comes through a product (glass and frame). The higher the value, the more daylight the product lets in over the product's total area. Visible Transmittance is measured over the NFRC 50% average visible light spectrum.
 NFRC ratings are based on modeling by a third party agency as validated by an independent test lab in compliance with NFRC labeling and product requirements.
 This data is accurate as of December 11, 2014. Due to ongoing product changes, updated test results or new industry standards or requirements, this data may change from time to time. Andersen is a dealer and distributor. Andersen hereby disclaims any warranty on the information provided herein. © 2014 Andersen Windows and Doors. All rights reserved. For specific unit performance information, please contact your dealer or Andersen Sales Representative.



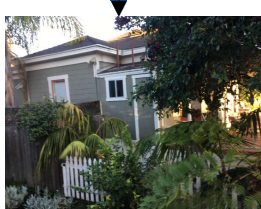
E WINDOWS NEW & EXISTING
SCALE: 1/4" = 1'-0"

Window Specs

FRONT WINDOW - ORIGINAL CONSTRUCTION



NEIGHBORS WINDOW ACROSS FENCE



VINYL TO REPLACE



LOCATION OF PROPOSED WINDOW

EXISTING TO REMAIN

(E) ADJACENT WD WINDOW



Window Photos

Bm

REVISION TABLE	
NUMBER DATE REVISION DESCRIPTION	

NEW WINDOW WINDOW DETAILS

**506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA**

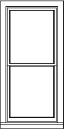
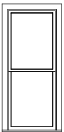
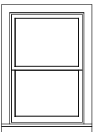
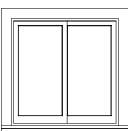
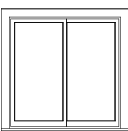
DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1440 CRESTLINE DR.
SANTA BARBARA, CA 93105
805-722-0251

DATE:
6/28/23

SCALE:

SHEET:

A3.0

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	SIZE	EGRESS	WINDOW SCHEDULE		MANUFACTURER	COMMENTS
						DESCRIPTION	CODE		
	W01	2860DH	1	2860DH		DOUBLE HUNG	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	REPLACE VINYL WINDOW WITH WND / ALUM - RETROFIT
	W02	2026DH	1	2026DH		DOUBLE HUNG	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	REPLACE VINYL WINDOW WITH WND / ALUM - RETROFIT
	W03	2868DH	1	2868DH		DOUBLE HUNG	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	REPLACE VINYL WINDOW WITH WND / ALUM - RETROFIT
	W05	2840DH	2	2840DH		DOUBLE HUNG	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	REPLACE VINYL WINDOW WITH WND / ALUM - RETROFIT
	W06	2620RS	1	2620RS		RIGHT SLIDING	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	REPLACE VINYL WINDOW WITH WND / ALUM - RETROFIT
	W07	2028DH	1	2028DH		DOUBLE HUNG	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	NEW WINDOW, NEW OPENING
	W08	3030RS	1	3030RS		RIGHT SLIDING	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	REPLACE VINYL WINDOW WITH WND / ALUM - RETROFIT
	W11	4040RS	1	4040RS		RIGHT SLIDING	SHG 25; UF 30	ANDERSEN WINDOW-SERIES 400	REPLACE VINYL WINDOW WITH WND / ALUM - RETROFIT

Schedule Window

Bm

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

WINDOW SCHEDULE

506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1440 CRESTLINE DR.
SANTA BARBARA, CA 93105
(805)722-0951

DATE:
6/28/23

SCALE:

SHEET:

A3.1

Bm

REVISION TABLE	REVISION TABLE
NUMBER	DATE

KITCHEN ELEVATIONS

506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA

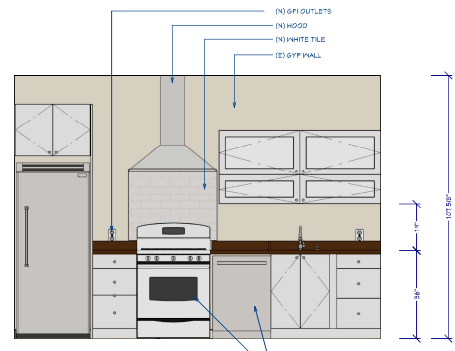
DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
(805) 226-0951

DATE:
10/7/23

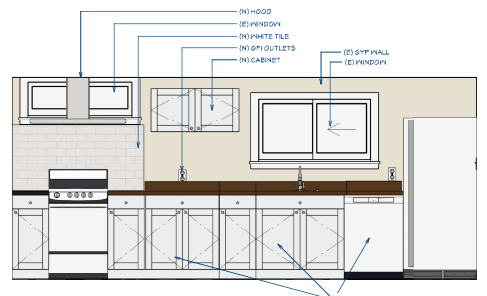
SCALE:

SHEET:

A4.0



E1 KITCHEN ELEVATION - 508 BRINKERHOFF
SCALE: 1/2" = 1'-0"



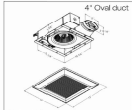
E2 KITCHEN ELEVATIONS - # 506
SCALE: 1/2" = 1'-0"

WhisperValue DC

Specification Submittal Data

Parasitic Ventilation Fan
Description:
 WhisperValue DC is a Low Noise ceiling or wall mount fan used for continuous parasitic fan shall be ENERGY STAR rated and certified by the Home Ventilation Institute (HVI). Evaluated by Underwriters Laboratories and conform to both UL and ILL safety standards.
Motor/Blower:
 • Enclosed DC brushless ECM motor technology used for continuous run.
 • Fan ventilation rates shall be manually adjustable for on/off/low/med.
 • Power rating shall be 120 watts and 60 Hz.
 • Fan shall be UL and ILL listed for bathroom enclosures when EFCF protected and used in enclosed ceiling (FCI) ILL.
 • PCB board equipped with thermal-cutoff fuse.
 • Removable with permanently lubricated plug-in motor.
Hoisting:
 • 28 gauge galvanized steel body.
 • Built-in 4" oval duct collar. Also compatible with 4" round duct.
 • Optional 24 gauge steel, fire code rated 4" oval to 2" round duct adaptor sold separately (Model # PV-4516).
 • Built-in metal flange provides blocking for penetrations through crown as an Air Barrier, and assists with the protection of leakage in the ceiling envelope during ceiling cover hoisting.
 • Unique L-shaped bracket simplifies installation and provides strong support.

FV-0510VS1

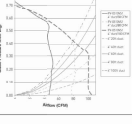


120/60Hz, Duct diameter shall be no less than 4". Optional 24 gauge steel, fire code rated 4" oval to 2" round duct adaptor sold separately. Model # PV-4516. Fan can be used to comply with ASHRAE 62.2, LEED, GreenStar, California Title-24 and VAV Ventilation Code.

WhisperValue Contractor Pack[®]
 The Contractor Pack includes fan complete form. The housing and motor/cable are packaged separately for flexibility during installation.

Rating On	Assembly	Complete	Hoist Pack
1	2	3	4

Performance Curve 4" Oval duct



Specifications: **WhisperValueDC FV-0510VS1**

	4" Oval	4" Oval	4" Oval
static pressure in inches w.g.	0.1	0.1	0.1
Airflow CFM	100	80	70
Noise (sones)	0.9	1.3	0.8
Power Consumption (watts)	11.5	16.0	12.2
Energy Efficiency (CFM/Watt)	82	44	114
Speed (RPM)	800	1000	800
Control Panel	Yes	Yes	Yes
Max. Current (amps)	0.50	0.63	0.48
Power Rating (Watts)	120	120	120
ENERGY STAR rated	Yes	Yes	Yes

For complete installation instructions visit us.panasonic.com/ventfans

Model	Quantity	Comments	Project
Location: Architect: Engineer: Contractor: Commissioned by: Date:			

Parasitic Box Solutions North America
 New Product Division
 30 Corporate Blvd.
 Newark, NJ 07102
us.panasonic.com/ventfans

Panasonic

Certificate of Product Ratings

Eligible for Federal Tax Credit

AHRI Certified Reference Number: 200363832 Date: 02-28-2022 Model Status: Active

Brand Name: NAVIEN
 Model Number: NPE-2405Z

Rated as follows in accordance with Department of Energy (DOE) Water Heater test procedures as published in the latest edition of the Code of Federal Regulations, 10 CFR Part 430 Subpart B Appendix E and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Max GPM: 5.8
 Uniform Energy Factor: 0.96

The following data is for reference only and is not certified by AHRI

Energy Source: Both Natural Gas and Propane Gas
 Heater Type: Instantaneous
 Usage Bin: High Usage
 Nominal Capacity (gal): 0
 DOE Rated Storage Volume (gal): 1
 Input (MBtu/h): 199.0
 Recovery Efficiency (%): 90

CERTIFICATE NO.: 12009021165734990

Certificate of Product Ratings

Eligible for Federal Tax Credit

AHRI Certified Reference Number: 200363830 Date: 02-28-2022 Model Status: Active

Brand Name: NAVIEN
 Model Number: NPE-1905Z

Rated as follows in accordance with Department of Energy (DOE) Water Heater test procedures as published in the latest edition of the Code of Federal Regulations, 10 CFR Part 430 Subpart B Appendix E and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Max GPM: 4.4
 Uniform Energy Factor: 0.96

The following data is for reference only and is not certified by AHRI

Energy Source: Both Natural Gas and Propane Gas
 Heater Type: Instantaneous
 Usage Bin: High Usage
 Nominal Capacity (gal): 0
 DOE Rated Storage Volume (gal): 1
 Input (MBtu/h): 150.0
 Recovery Efficiency (%): 90

CERTIFICATE NO.: 12009021164049091

Bm

REVISION TABLE	
NUMBER DATE REVISION DESCRIPTION	

EQUIPMENT SPECS

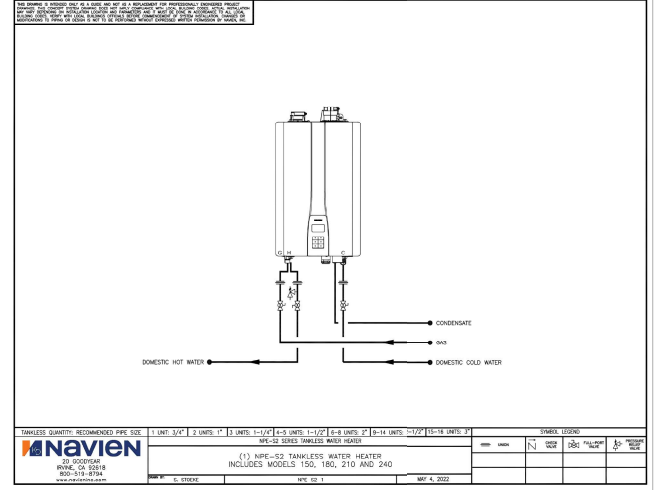
506, 508, and 510
 BRINKERHOFF
 SANTA BARBARA CA

DRAWINGS PROVIDED BY:
 MILLAR & ASSOCIATES
 1440 CRESTLINE DR.
 SANTA BARBARA, CA 93105
 805-222-9251

DATE:
 6/28/23

SCALE:
 SHEET:
 A6.0

Bath Fan Spec sheet



UNLESS OTHERWISE SPECIFIED	UNIT: A/C	2. UNITS: 1	3. UNITS: 1-1/2	4. UNITS: 2	5. UNITS: 2 1/2	6. UNITS: 3	7. UNITS: 4	8. UNITS: 5	9. UNITS: 6	10. UNITS: 8	11. UNITS: 10	12. UNITS: 12	13. UNITS: 15	14. UNITS: 20	15. UNITS: 24	16. UNITS: 30	17. UNITS: 36	18. UNITS: 42	19. UNITS: 48	20. UNITS: 54	21. UNITS: 60
NAVIEN 30 Corporate Blvd. Irvine, CA 92618 949.433.2100																					
(1) NPE-5Z TANKLESS WATER HEATER INCLUDES MODELS 160, 180, 210 AND 240																					
© 2022 Navien Heating, Ventilation and Refrigeration Institute																					

NPE 2 Series Tankless Water Heaters

Specification Sheet

- Premium Condensing Tankless Gas Water Heater**
- Certified according to ANSI Z37.3-2013 CSA 4.3 listed for use in both listed or unlisted installations (with optional Vent Kit)
- Compatible with 1/2" gas pipe up to a length of 24" (See Installation Manual for gas pipe restrictions)
- Compatible with 3" PVC venting up to 55' and 4" PVC venting up to 45' (See Installation Manual)
- Designed for use in Residential and Commercial applications (See Installation Manual)
- Available in 5, 8, 10, 12, 15, 18, 21, 24, 30, 36, 42, and 48 GPM models
- Hot Water Flow Rate Capacity (measured at 70°F temperature)
 - NPE-18A02/5Z - 150,000 to 18,000 BTU/h
 - NPE-21A02/5Z - 150,000 to 22,000 BTU/h
 - NPE-24A02/5Z - 175,000 to 13,000 BTU/h
 - NPE-30Z - 250,000 to 18,000 BTU/h
- Hot Water Flow Rate Capacity (measured at 120°F temperature)
 - NPE-18A02/5Z - 181 GPM
 - NPE-21A02/5Z - 132 GPM
 - NPE-24A02/5Z - 84 GPM
 - NPE-30Z - 115 GPM
- 100% True Flow Recirculation
- Dual Primary and Secondary Stainless Steel Heat Exchangers for optimum efficiency and durability
- Built-In Advanced Multi-Line Control Panel with keypad and digital display of temperature settings and display of operating status and codes
- SmartFlow™ Technology - no venting system included with built-in 0.5 gallon Buffer Tank and Recirculation Pump to provide instant-on water
- INTELLIGENT rebathing - recognizes hot water usage patterns to intelligently pre-heat water to avoid repeated re-heating
- Temperature Options - available temperature settings for residential applications range from 99°F to 140°F or 120°F with high-temperature Commercial mode capable of up to 185°F
- Ready-Link Cascade Compatible for up to 32 units for increased hot water production
- Common Vent Compatible - allows for cascade systems to use a single exhaust and vent pipe for up to 32 units with the use of the Common-Vent Backflow Damper (Call us for details)
- Compatible with Navien's EFCF (Enclosure) for use in enclosed ceiling applications
- Freeze Protection - maintains normal operation during freezing ambient temperatures down to -9°F (standard on all models)
- Uniform Energy Factor Rating: NPE-18A02/5Z, NPE-21A02/5Z, NPE-24A02/5Z, NPE-30Z - 0.96 EEF
- Compatible with Natural Gas and Propane (EPC) with new burner
- Approved for installation on Manufactured Homes
- Optional NAVIEN Expansion Valve Compatible
- Certified to CSA B141.5 - ANSI APPROVED Low Leak, 40gpm (3/16" 2402 Type I - Complies with 14 gpm) or 28 gpm (3/8" 2402 Type II) with 1/2" (3/4" for 2402) 1/2" NPT gas and 1/2" NPT vent (3/4" for 2402) 1/2" NPT gas and 1/2" NPT vent (3/4" for 2402) 1/2" NPT gas and 1/2" NPT vent (3/4" for 2402) 1/2" NPT gas and 1/2" NPT vent (3/4" for 2402) 1/2" NPT gas and 1/2" NPT vent (3/4" for 2402)
- Optional accessories are available (see below)

Recirculation Pump (Optional)

Expansion Valve (Optional)

Vent Kit (Optional)

Common-Vent Backflow Damper (Optional)

EFCF Enclosure (Optional)

Job Name: _____
 Location: _____
 Engineer: _____
 Installer: _____
 Model No: _____
 Submitted for: _____

1/2023-0811.1

Water Heaters

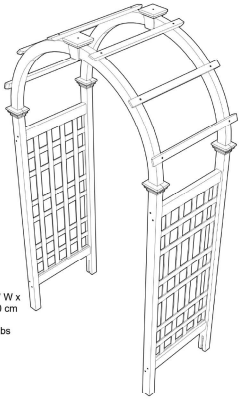


ASSEMBLY GUIDE

Rosewood Arbor

VA68894

CUSTOMER TO PAINT WHITE IN FILED



hello@wearevita.com
1-800-282-9346
Monday - Friday
8am - 5pm ET

211 Campbell St.
Sarna, ON
Canada
N7T 2G6

Features

- Material: Cedar
- Lattice detail to support your climbing plants and flowers
- Color: Golden Brown
- Natural Wood Grain)

- Specifications**
- Dimensions: 47" L x 24" W x 88.7" H (119.4 cm L x 61.0 cm W x 225.3 cm H)
 - Assembled Weight: 45 lbs (30.4 kg)
 - Posts: 2" x 2.5"

VER 1.9 Aug 5-2021



1-800-282-9346



hello@wearevita.com

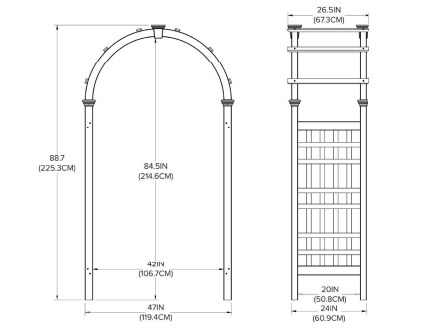


8:00 AM - 5:00 PM EST

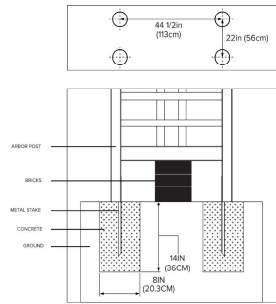
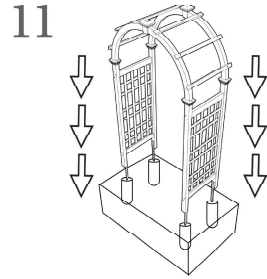


wearevita.com

PRODUCT DIMENSIONS



5



(B)

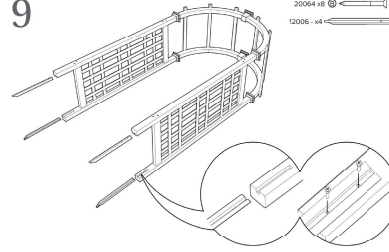
Permanent Installation

For a permanent installation, measure four 8in (20.3cm) holes in diameter, 44 1/2in (113cm) apart by 22in apart (56cm), from center to center. Dig each hole 14in (36cm) deep.

Fill excavated holes with mixed concrete and carefully lift arbor into place. Plumb and level the arbor. The posts should not be set in the concrete.

Make sure to support bottom part of you lattice with bricks until concrete has set. This will stop your arbor from sinking.

8



GATE POST CAP

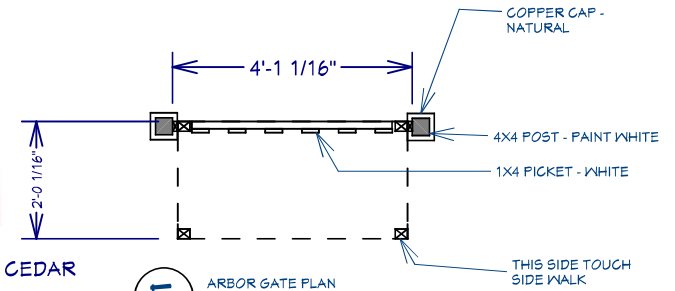


GOthic PICKET TOP - CEDAR

(E)

ARBOR GATE PLAN

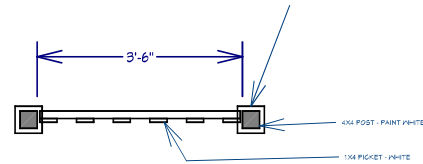
SCALE: 1" = 1'-0"



(C)

GATE PLAN

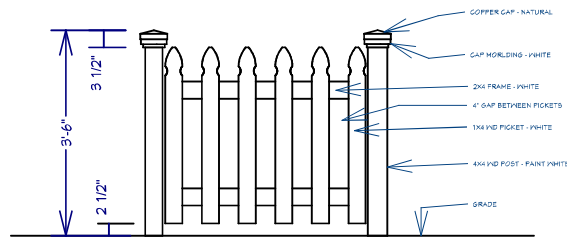
SCALE: 1" = 1'-0"



(D)

GATE ELEVATION

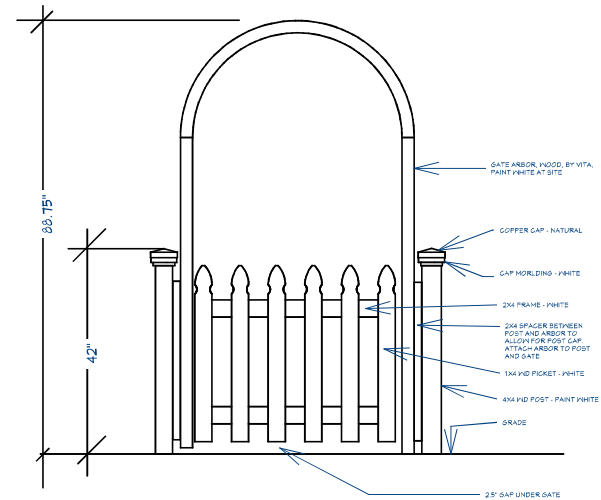
SCALE: 1" = 1'-0"



(F)

ARBOR GATE ELEVATION

SCALE: 1" = 1'-0"



Bm

REVISION TABLE			
NUMBER DATE REVISION BY DESCRIPTION			

DETAILS
Gate & Arbor

506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
(805) 225-0251

DATE:

6/28/23

SCALE:

SHEET:

A7.0

Bm

REVISION TABLE	REVISION DESCRIPTION	DATE
NUMBER	DATE	DESCRIPTION
1	10/12/23	REV
2		
3		
4		
5		

PARKING REQUEST
REDUCED OPEN YARD

506, 502, and 510
BRINKERHOFF
SANTA BARBARA CA

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1440 CRESTLINE DR.
SANTA BARBARA, CA 93105
805/722-9251

DATE:
6/28/23

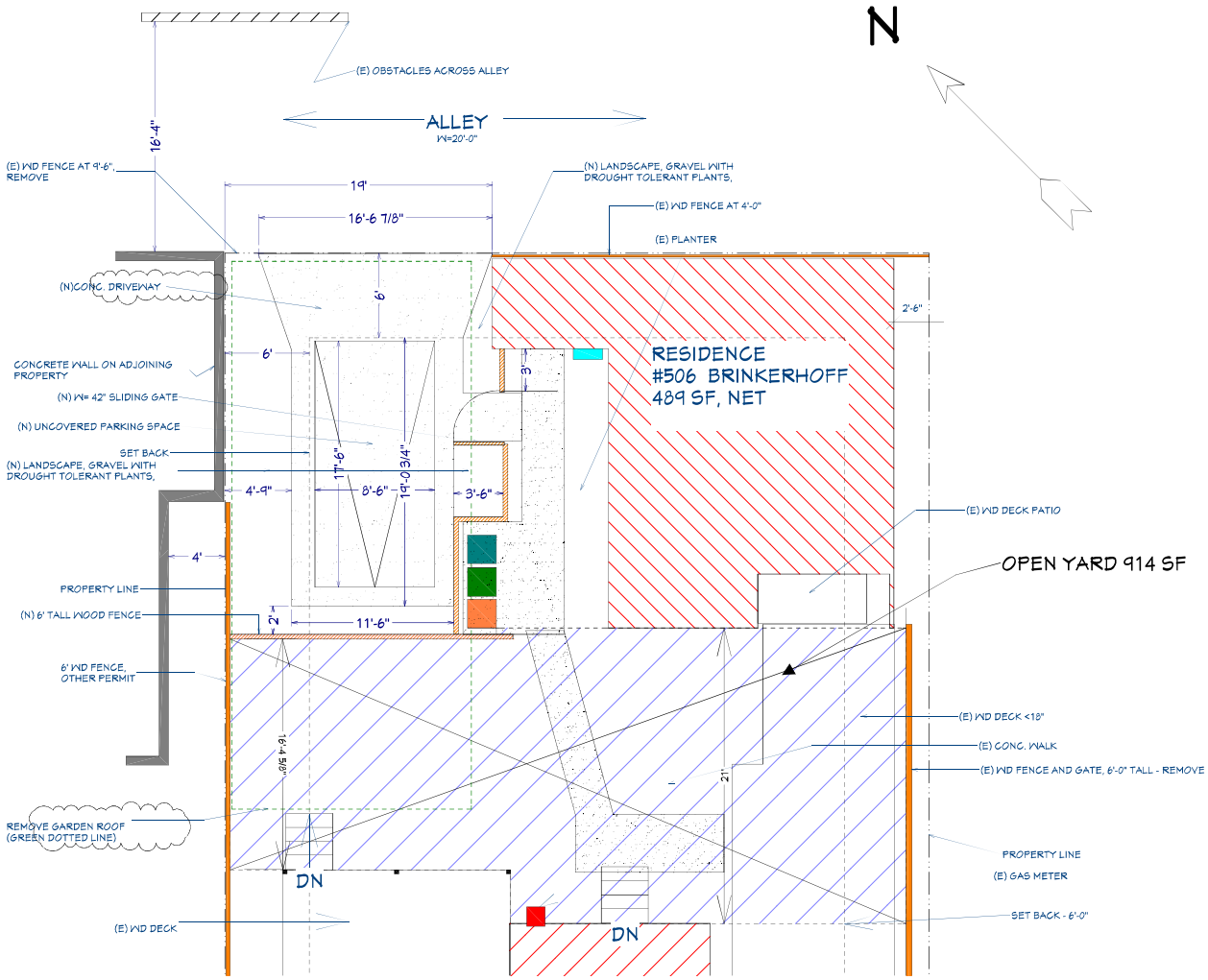
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SHEET:
A7.1

PARKING REQUEST LETTER:

1. NO GARAGE CURRENTLY EXISTS ON THE SITE AND THERE ARE NO COVERED, OR UNCOVERED, PARKING SPACES.
 2. THERE IS NO ROOM ON THE SITE FOR PARKING GIVEN THE EXISTING CONSTRUCTION ALONG WITH SETBACKS AND OPEN-YARD REQUIREMENTS.
 3. STREET FILE RECORDS SHOW PAST ENFORCEMENT CASES THAT REFER TO THE EXISTENCE OF A GARAGE THAT WAS DEEMED A SAFETY HAZARD. HOWEVER, THERE IS NO RECORD THAT SHOWS EITHER A LOCATION OR SIZE OF ANY SUCH GARAGE.
 4. THERE IS NO PERMIT DOCUMENT IN THE STREET FILE FOR BUILDING A GARAGE.
 5. THEREFOR, GIVEN THE ABOVE, THIS PROJECT, WHICH HAS THREE UNITS, HAS NO PARKING.
- THE OWNER WOULD LIKE TO ADD ONE UNCOVERED PARKING SPACE, 8'5" X 20', AND HERE REQUESTS A REDUCTION IN SITE ORGANIZATION WHILE STILL MEETING THE PURPOSE OF THE REQUIRED OPEN YARD.
- 15% X 6,048 SF = 914 SF INSTEAD OF 1,250 SF

CODE EXCERPT - OPEN YARD ALTERNATIVE 30.140.140.F

- F. Alternative Open Yard Design. An application to replace or reduce the private open yards with a common area on multi-unit residential or mixed-use development may be approved by the appropriate Design Review body, or other Review Authority if another discretionary approval is required, provided that all of the following standards are met and findings made:
1. **Minimum Area:** 15% of the net lot area;
 2. **Minimum Dimensions:** 10 feet long and 10 feet wide, unless reduced or waived by the Review Authority;
 3. **Standards and Location:** Except those for private open yards, all open yard standards and location requirements are met; and
 4. **Common Open Yard Area:** At least one area with a minimum dimension of 20 feet long and 20 feet wide, located on the ground or on decks of any height, or on any floor of the structure, that is accessible to all units for use as a common open yard area is provided;
 5. **Findings:** Approval may only be granted if the Review Authority finds that:
 - a. The alternative open yard design is necessary to provide flexibility in architectural style or site organization, such as the preservation of natural features, enhanced circulation, shared amenities, or the protection/creation of scenic views; and
 - b. Approval of the alternative open yard design will meet the purpose of the required open yard, as described in this section.



A PROPOSED OPEN YARD REDUCTION PLAN W/ PARKING
SCALE: 1/4" = 1'-0"



1



2



3

508



4

508 BRINKERHOFF
PROPOSED COLORS
AND HEDGE



5

508



SITE



6



7



8

Bm

REVISION TABLE	REVISION NUMBER	DESCRIPTION

HEDGE AT SIDE WALK

506, 502, and 510
BRINKERHOFF
SANTA BARBARA CA

DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
805-722-9251

DATE:
3/25/2024

SCALE:

SHEET:

A8.1



1



508

2



508

3



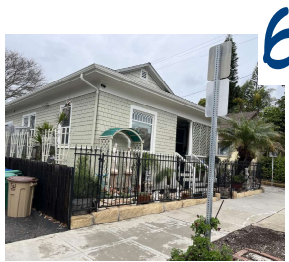
508

4



508

5



6

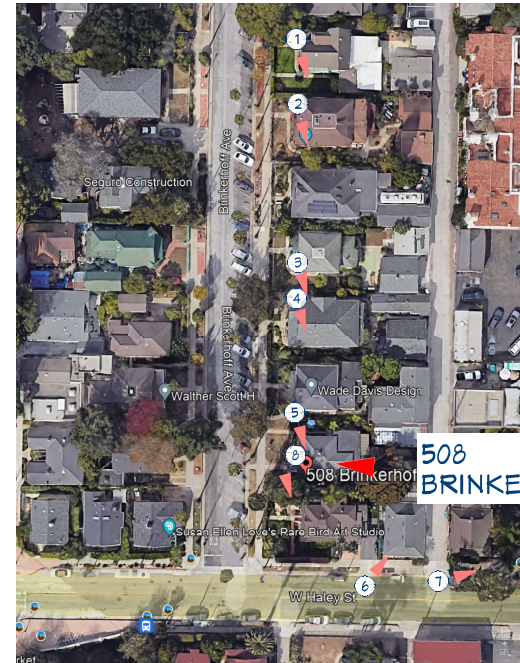


7



508

8



508 BRINKERHOFF

Bm

NUMBER	DATE	REVISION TABLE	DESCRIPTION

HEDGE AT SIDE WALK

506, 508, and 510
BRINKERHOFF
SANTA BARBARA CA

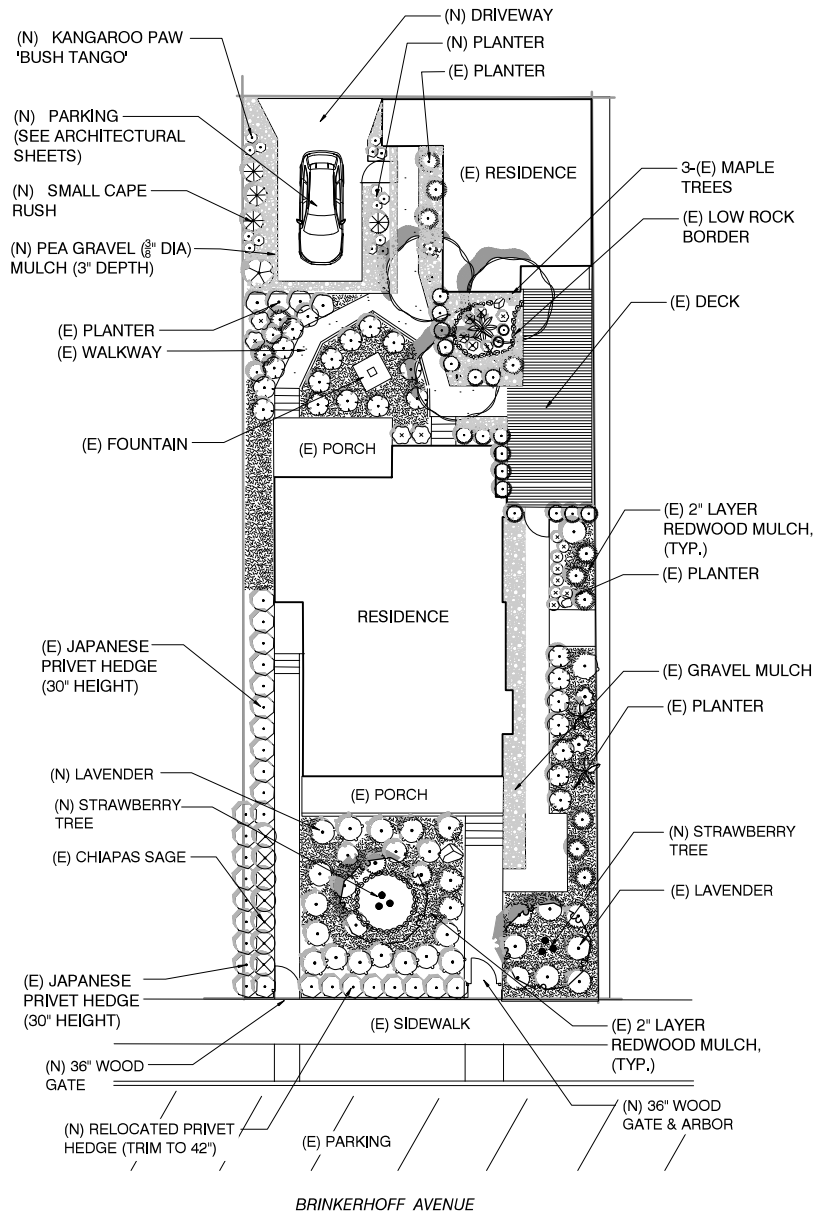
DRAWINGS PROVIDED BY:
MILLAR & ASSOCIATES
1460 CRESTLINE DR.
SANTA BARBARA, CA 93105
805-722-0251

DATE:
3/25/2024

SCALE:

SHEET:
A8.2

LANDSCAPE: Hedge photos



PLANT_SCHEDULE_PLAN

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	ACE QIR	Acer circinatum / Vine Maple	Existing	Existing	3
	ARB TRE	Arbutus unedo / Strawberry Tree Multi-Trunk	24" Box	Box	2
SHRUBS					
	ALO ARB	Aloe arborescens / Torch Aloe	Existing	Pot	1
	BUX SEM	Buxus sempervirens / Common Boxwood	Existing	Existing	4
	CAM SAS	Cornelia sasanqua / Sasanqua Camellia	Existing	Existing	1
	CHO TE2	Chondropetalum tectorum / Small Cape Rush	1 gal.	Pot	4
	CHO TEC	Chondropetalum tectorum / Small Cape Rush	Existing	Existing	12
	CDR GIG	Coreopsis gigantea / Giant Coreopsis	Existing	Existing	4
	DIC ANT	Dicksonia antarctica / Tasmanian Tree Fern	Existing	Existing	2
	EUG MYR	Eugenia myrsinifolia / Brush Cherry	Existing	Existing	17
	HYD XDO	Hydrangea x 4-bot 15-087-017 / Double Dutch™ Alkmaar Hydrangea	Existing	Existing	2
	JUN JUN	Juniperus communis / Common Juniper	Existing	Existing	1
	LAV DEN	Lavandula dentata / French Lavender	Existing	Existing	28
	LAV HET	Lavandula x heterophylla / Lavender	Existing	Existing	23
	LIQ TEX	Ligustrum japonicum 'Faxanum' / Texas Japanese Privet	Existing	Existing	29
	PIT VAR	Pittosporum tobira 'Variegata' / Variegated Japanese Pittosporum	Existing	Existing	3
	POL MUN	Polystichum munitum / Western Sword Fern	Existing	Existing	1
	SAL CHI	Salvia chiapensis / Chiapas Sage	Existing	Existing	7
	SAL WVN	Salvia clevelandii 'Winnifred Gilman' / Winnifred Gilman Cleveland Sage	1 gal.	Pot	1
	SAL LIP	Salvia greggii 'Hot Lips' / Hot Lips Autumn Sage	Existing	Existing	2
	SAL PL4	Salvia x 'Purple Majesty' / Purple Majesty Sage	Existing	Existing	2
PERENNIALS					
	ANI BTN	Anigozanthos x 'Bush Tango' / Bush Tango Kangaroo Paw	1 gal.	Pot	15
	BEG ENK	Begonia x 'Pink' / Bada Boom! Pink Begonia	Existing	Existing	2
	CLV MIN	Clivia miniata / Bush Lily	Existing	Existing	4
	MIC STR	Microlepia stitigosa / Lace Fern	Existing	Existing	2
SUCCULENTS					
	AEO ARB	Aeonium arboreum / Tree Aeonium	Existing	Existing	8

Plantings on this Landscape Plan replaced previous lawn and other higher water use plants. The existing and proposed plantings are low water and drought tolerant per WUCOLS standards. All plantings shall be irrigated with a drip irrigation system adapted to accommodate all plantings.

LANDSCAPE PLAN (AS-BUILT)

Project:
508 Brinkerhoff Ave
Santa Barbara, CA 93101

DATE: 2/27/24

L-1

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2020, Includes August 2019 Supplement)

Instructions:
This checklist is to be used on an individual project basis and may be modified by the applicant to meet the needs of their specific project. The applicant shall strike out those sections that are not applicable to their project and indicate the location of where this information is located. The applicant and property owner assume all responsibility associated with the use of this document.

NO.	SECTION PART	Y. OR. REGION PART																														
	<p>MAXIMUM INCREMENTAL REACTIVITY (MIR): The maximum change in weight of ozone formed by adding a compound to the "Base Reactant Organic Gas (ROG)" (Meq/yr) per weight of compound added, expressed as hundredths of a gram (g) O₃/GOC.</p> <p>Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.</p> <p>MOISTURE WEIGHT: The weight of the water in wood expressed as percentage of the weight of the oven-dry wood.</p> <p>SUBJECT TO WEIGHTED MIR (PWMI): The sum of all weighted-MIR for all ingredients in a product subjected to this article. The PWMI is the total product reactivity expressed in grams of ozone formed per gram of product (excluding containers and packaging).</p> <p>Note: PWMI is calculated according to equations found in CCR, Title 17, Section 94854(a).</p> <p>REACTIVE ORGANIC COMPOUND (ROG): Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.</p> <p>VOC: A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR, Title 17, Section 94800(a).</p> <p>4.503 FIREPLACES 4.503.1 GENERAL: Any installed gas fireplace shall be a direct-vent combustion-type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.</p> <p>4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION: At the time of rough installation, during storage or at the construction site and until the start-up of the heating, cooling and ventilating equipment, all duct and other related air distribution component coatings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.</p> <p>4.504.2 FINISH MATERIAL, POLLUTANT CONTROL: Finish materials shall comply with this section.</p> <p>4.504.2.1 Adhesives, Sealants and Caulks: Adhesives, sealants and caulk used on the project shall meet the requirements of the following standards unless more stringent state or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAG/AD Rule 1186 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall comply with the Table 1186 prohibition on the use of certain toxic compounds (Chlorinated, ethylene dichloride, methylene chloride, pentachlorophenol and isopentylalcohol), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, comma 94857. 4.504.2.2 Paints and Coatings: Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measures, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content of paints and coatings that do not meet the attributes of the currently existing category listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss Coating, based on the gloss defined in subsections 4.21, 4.30, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measures, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.</p> <p>4.504.2.3 Aerosol Paints and Coatings: Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROG in Section 94854(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and certain odorizing additives, in Sections 94854(a)(1) and 94857 of the California Code of Regulations, Title 17, comma 94857, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 6, Rule 49.</p> <p>4.504.2.4 Verification: Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specifications. 2. Third-party verification of on-site product containers.</p>																															
	<p>TABLE 4.504.1 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)</p> <table border="1"> <thead> <tr> <th>SEALANTS</th> <th>VOC LIMIT</th> </tr> </thead> <tbody> <tr> <td>ARCHITECTURAL</td> <td>250</td> </tr> <tr> <td>MARINE DECK</td> <td>700</td> </tr> <tr> <td>NONMEMBRANE ROOF</td> <td>300</td> </tr> <tr> <td>ROADWAY</td> <td>450</td> </tr> <tr> <td>SINGLE-PLY RUBBER MEMBRANE</td> <td>250</td> </tr> <tr> <td>OTHER</td> <td>425</td> </tr> </tbody> </table> <p>SEALANT PRIMERS ARCHITECTURAL</p>	SEALANTS	VOC LIMIT	ARCHITECTURAL	250	MARINE DECK	700	NONMEMBRANE ROOF	300	ROADWAY	450	SINGLE-PLY RUBBER MEMBRANE	250	OTHER	425																	
SEALANTS	VOC LIMIT																															
ARCHITECTURAL	250																															
MARINE DECK	700																															
NONMEMBRANE ROOF	300																															
ROADWAY	450																															
SINGLE-PLY RUBBER MEMBRANE	250																															
OTHER	425																															
	<p>TABLE 4.504.2 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (Less Water and Less Exempt Compounds)</p> <table border="1"> <thead> <tr> <th>COATING CATEGORY</th> <th>VOC LIMIT</th> </tr> </thead> <tbody> <tr> <td>FLAT COATINGS</td> <td>50</td> </tr> <tr> <td>NON-FLAT COATINGS</td> <td>100</td> </tr> <tr> <td>NONFLAT-HIGH GLOSS COATINGS</td> <td>150</td> </tr> </tbody> </table> <p>SPECIALTY COATINGS ALUMINUM ROOF COATINGS</p>	COATING CATEGORY	VOC LIMIT	FLAT COATINGS	50	NON-FLAT COATINGS	100	NONFLAT-HIGH GLOSS COATINGS	150																							
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	<p>TABLE 4.504.3 - ADHESIVE VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)</p> <table border="1"> <thead> <tr> <th>ADHESIVE APPLICATIONS</th> <th>VOC LIMIT</th> </tr> </thead> <tbody> <tr> <td>INDOOR CARPET ADHESIVES</td> <td>50</td> </tr> <tr> <td>CARPET PAD ADHESIVES</td> <td>50</td> </tr> <tr> <td>OUTDOOR CARPET ADHESIVES</td> <td>150</td> </tr> <tr> <td>WOOD FLOORING ADHESIVES</td> <td>100</td> </tr> <tr> <td>RUBBER FLOOR ADHESIVES</td> <td>60</td> </tr> <tr> <td>EPIFLOOR ADHESIVES</td> <td>50</td> </tr> <tr> <td>CERAMIC TILE ADHESIVES</td> <td>65</td> </tr> <tr> <td>VCT & ASPHALT TILE ADHESIVES</td> <td>50</td> </tr> <tr> <td>DRYWALL & PANEL ADHESIVES</td> <td>50</td> </tr> <tr> <td>COVER BASE ADHESIVES</td> <td>70</td> </tr> <tr> <td>MULTIPURPOSE CONSTRUCTION ADHESIVE</td> <td>50</td> </tr> <tr> <td>STRUCTURAL GLAZING ADHESIVES</td> <td>100</td> </tr> <tr> <td>SINGLE-PLY ROOF MEMBRANE ADHESIVES</td> <td>250</td> </tr> <tr> <td>OTHER ADHESIVES NOT LISTED</td> <td>50</td> </tr> </tbody> </table> <p>SPECIALTY APPLICATIONS PVC WELDING</p>	ADHESIVE APPLICATIONS	VOC LIMIT	INDOOR CARPET ADHESIVES	50	CARPET PAD ADHESIVES	50	OUTDOOR CARPET ADHESIVES	150	WOOD FLOORING ADHESIVES	100	RUBBER FLOOR ADHESIVES	60	EPIFLOOR ADHESIVES	50	CERAMIC TILE ADHESIVES	65	VCT & ASPHALT TILE ADHESIVES	50	DRYWALL & PANEL ADHESIVES	50	COVER BASE ADHESIVES	70	MULTIPURPOSE CONSTRUCTION ADHESIVE	50	STRUCTURAL GLAZING ADHESIVES	100	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250	OTHER ADHESIVES NOT LISTED	50	
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	<p>TABLE 4.504.4 - FORMALDEHYDE LIMITS (MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION PRODUCT CURRENT LIMIT)</p> <table border="1"> <thead> <tr> <th>PRODUCT</th> <th>CURRENT LIMIT</th> </tr> </thead> <tbody> <tr> <td>HARDWOOD PLYWOOD VENEER CORE</td> <td>0.05</td> </tr> <tr> <td>HARDWOOD PLYWOOD COMPOSITE CORE</td> <td>0.05</td> </tr> <tr> <td>PARTICLE BOARD</td> <td>0.09</td> </tr> <tr> <td>MEDIUM DENSITY FIBERBOARD</td> <td>0.11</td> </tr> <tr> <td>(HIGH MELT/MELTBLIND)</td> <td>0.13</td> </tr> </tbody> </table> <p>1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1303, FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93202.12. 2. THIS MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8MM).</p> <p>DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.503.3 CARPET SYSTEMS: All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01505). 3. NSF International's Green Choice. 4. Scientific Certification Systems Indoor Advantagemark Gold.</p> <p>4.504.3.1 Carpet cushion: All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.</p> <p>4.504.3.2 Carpet adhesive: All carpet adhesive used shall meet the requirements of Table 4.504.1.</p> <p>4.504.4 RESILIENT FLOORING SYSTEMS: Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01505), certified as a CPHS Low-Emission Material. 2. Products certified as "High Performance Products (HPP)" by the High Performance Products Association. 3. Certification under the Resilient Floor Covering Institute (RFICI) Environmental Program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01505).</p> <p>4.504.5 COMPOSITE WOOD PRODUCTS: Hardwood plywood, particleboard and medium density fiberboard composite wood products used in the interior or exterior of the building shall meet the requirements for Formaldehyde as specified in ASHRAE Air Toxics Control Measures for Composite Wood (7/ CCR 93120) as well as by the date of specification in those sections, as shown in Table 4.504.5.</p> <p>4.504.6 Documentation: Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Product labels and invoices meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). 4. Interior grade products marked as meeting the PSI- or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2280, European EN 338 standards, and Canadian CSA 0101, CSA 1101, CSA 1153 or ISO 13057 standards. 5. Other methods acceptable to the enforcing agency.</p> <p>4.505 INTERIOR MOISTURE CONTROL 4.505.1 General: Building shall be constructed in accordance with the California Building Standards Code.</p> <p>4.505.2 CONCRETE SLAB FOUNDATIONS: Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 2, shall also comply with this section.</p> <p>4.505.3 Capillary break: A capillary break shall be installed in compliance with at least one of the following: 1. A 4 inch (101.6 mm) thick base of 1/2 inch (12.7 mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete top design which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 308.2R-08. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.</p> <p>4.505.4 MOISTURE CONTENT OF BUILDING MATERIALS: Building materials with visible signs of water damage shall not be installed. Walls and floor framing shall not be enclosed when the framing members exceed 18 percent moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalently moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 1913 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) by 4 feet (1219 mm) from the grade stamped end of each wall member. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose wall and floor framing. Insulator products which are wetly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.</p> <p>4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom Exhaust Fans: Exhaust fans shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole-house ventilation system, fans may be controlled by a humidity control. 3. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 60% to a maximum of 80% RH. A humidity control may allow manual or automatic means of adjustment. 4. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).</p> <p>Notes: 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or built-in combination. 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.</p> <p>4.507 ENVIRONMENTAL COMFORT 4.507.1 HEATING AND AIR-CONDITIONING SYSTEM DESIGN: Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J, 2011 (Residential Load Calculation), ASHRAE handbooks or other relevant design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D-2014 (Residential Duct Systems), ASHRAE handbooks or other relevant design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 (Residential Equipment Sizing) or other relevant design software or methods.</p> <p>Example: Use of alternate design temperatures necessary to ensure the system functions are acceptable.</p>	PRODUCT	CURRENT LIMIT	HARDWOOD PLYWOOD VENEER CORE	0.05	HARDWOOD PLYWOOD COMPOSITE CORE	0.05	PARTICLE BOARD	0.09	MEDIUM DENSITY FIBERBOARD	0.11	(HIGH MELT/MELTBLIND)	0.13																			
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	<p>CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS 702.1 INSTALLER TRAINING: HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Untrained persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs. 2. Accredited training programs. 3. Training programs sponsored by trade, labor or statewide energy conserving or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.</p> <p>702.2 SPECIAL INSPECTOR (HSI): When required by the enforcing agency, the owner or the responsible entity acting as the owner-agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education are considered by the enforcing agency when evaluating the qualifications of a special inspector: 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy conserving or verification organization, such as HERS retires, building performance contractors, or home energy auditors. 3. Successful completion of a three party apprenticeship training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.</p> <p>Notes: 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS retires are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). [BSG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.</p> <p>Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.</p> <p>703 VERIFICATIONS 703.1 DOCUMENTATION: Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial compliance. Where specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checked.</p>																															

2019 CALIFORNIA GREEN BUILDING STANDARDS	ADU Conversion 320 W. Mission St. Santa Barbara CA	DRAWINGS PROVIDED BY: DLP MANAGEMENT Drafting - Millar and Associates Bart - 805-722-8531	REVISION TABLE <table border="1" style="width: 100%; height: 100%; border-collapse: collapse;"> <thead> <tr> <th style="writing-mode: vertical-rl; transform: rotate(180deg);">REVISION NUMBER</th> <th style="writing-mode: vertical-rl; transform: rotate(180deg);">DATE</th> <th style="writing-mode: vertical-rl; transform: rotate(180deg);">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISION NUMBER	DATE	DESCRIPTION			
REVISION NUMBER	DATE	DESCRIPTION							
DATE: 11/20/21			SCALE: 1/4" = 1'-0"						
SHEET: 92									

Temporary Silt Fence

SC-1



Standard Symbol

BMP Objective	
Soil Stabilization	<input type="checkbox"/>
Sediment Control	<input checked="" type="checkbox"/>
Tracking Control	<input type="checkbox"/>
Wind Erosion Control	<input type="checkbox"/>
Non-Stormwater Management	<input type="checkbox"/>
Wastewater Management	<input type="checkbox"/>

Definition and Purpose

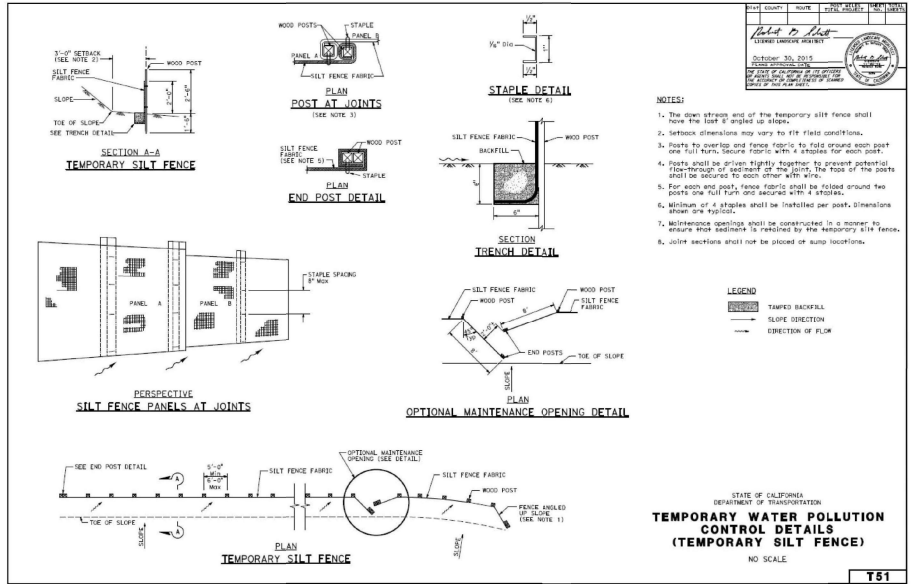
A silt fence is a temporary linear sediment barrier of permeable fabric designed to intercept and slow the flow of sediment-laden sheet flow runoff. Silt fences allow sediment to settle from runoff before water leaves the construction site.

Appropriate Applications

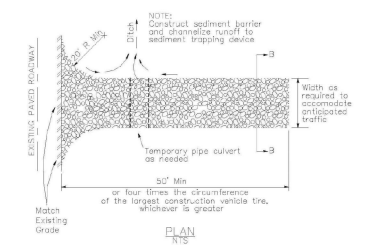
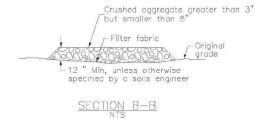
- Below the toe of exposed and erodible slopes.
- Down-slope of exposed soil areas.
- Around temporary stockpiles.
- Along streams and channels.
- Along the perimeter of a project.

Limitations

- Not effective unless trenched and keyed in.
- Not intended for use as mid-slope protection on slopes greater than 4:1 (H:V).
- Must be maintained.
- Must be removed and disposed of.
- Don't use below slopes subject to creep, slumping, or landslides.

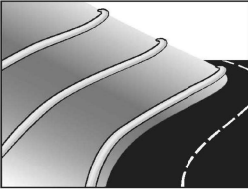


Stabilized Construction Entrance/Exit TC-1



Fiber Rolls

SE-5



Categories	
TC Erosion Control	<input checked="" type="checkbox"/>
SE Sediment Control	<input checked="" type="checkbox"/>
TC Tracking Control	<input type="checkbox"/>
WE Wind Erosion Control	<input type="checkbox"/>
NS Non-Stormwater Management Control	<input type="checkbox"/>
WM Waste Management and Materials Pollution Control	<input type="checkbox"/>

Legend:
 Primary Category
 Secondary Category

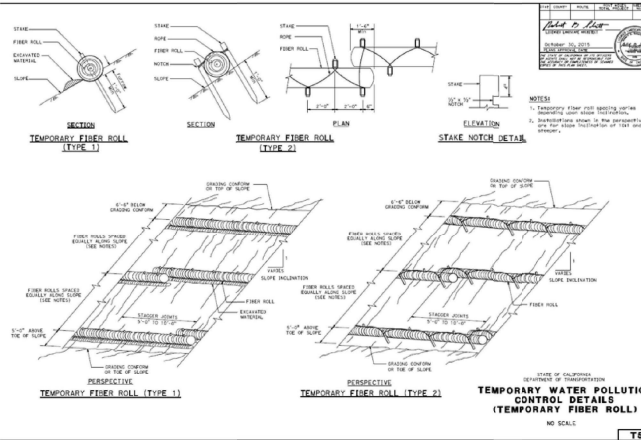
Description and Purpose

A fiber roll consists of straw, coir, or other biodegradable materials bound into a tight tubular roll wrapped by netting which can be photodegradable or natural. Additionally, gravel core fiber rolls are available, which contain an imbedded gravel material such as gravel or sand for additional weight when staking the rolls are not feasible (such as use as inlet protection). When fiber rolls are placed at the toe and on the face of slopes along the contours, they intercept runoff, reduce its flow velocity, release the runoff as sheet flow, and provide removal of sediment from the runoff (through sedimentation). By interrupting the length of a slope, fiber rolls can also reduce sheet and rill erosion until vegetation is established.

Suitable Applications

- Along the toe, top, face, and at grade breaks of exposed and erodible slopes to shorten slope lengths and spread runoff as sheet flow.
- At the end of a downward slope where it transitions to a steeper slope.
- Along the perimeter of a project.
- As check dams in unlined ditches with minimal grade.
- Down-slope of exposed soil areas.
- At operational storm drains as a form of inlet protection.

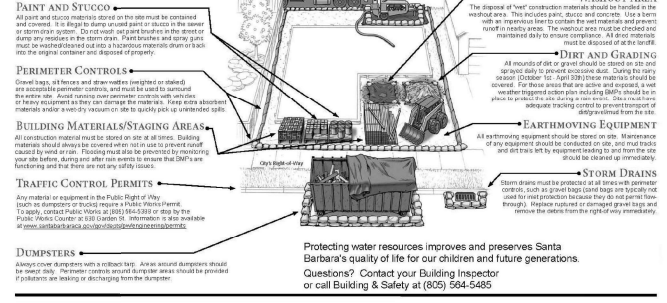
Fiber Rolls



CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES IN THE CITY TO PROTECT STORM DRAINS AND MINIMIZE POLLUTION

The City of Santa Barbara Building & Safety Division Erosion/Sedimentation Control Program SBMC 22.65.020 and SBMC 16.15.010 prohibit pollutant discharges at work sites from flowing into storm drains and polluting local creeks, water courses and the ocean. To stay in compliance and keep your project on schedule, make sure BMPs are in place and functioning. Sites must be checked and maintained daily.



City of Santa Barbara
EROSION / SEDIMENTATION CONTROL AND
STORMWATER QUALITY MANAGEMENT PROGRAM

Simple
BMP-1