

928 GARDEN ST

928 GARDEN ST, SANTA BARBARA, CA

PROJECT DATA

SCOPE OF WORK -
CHANGE OF USE - CONVERT 4 OFFICE UNITS TO 3 SHORT TERM RENTAL UNITS. UPDATE ON SITE PARKING TO INCLUDE ACCESSIBLE SPACE FOR ACCESSIBLE SHORT TERM RENTAL UNIT.
REMOVE ALL UNPERMITTED AS-BUILT SITE WORK.
REQUEST FOR LANDSCAPE DESIGN WAIVER.
REQUEST FOR PARKING DESIGN WAIVER - MULTIPLE MANEUVERING.

LOCATION: 928 GARDEN ST

APN: 029-301-042

JURISDICTION: CITY OF SANTA BARBARA

LAND USE ZONE: C-G

LOT SIZE: 3,573 SF / 0.08 AC

AVERAGE SLOPE OF PROPERTY: 8 %

OCCUPANCY CLASSIFICATION (E): B

OCCUPANCY CLASSIFICATION (P): R-1

CONSTRUCTION TYPE: V-B

SPRINKLERS: YES

STORIES: 2

HEIGHT: 21'-6"

HIGH FIRE HAZARD AREA: NO

FLOOD ZONE: NO

WINDWARD

design services, llc

moving forward

1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
T: 805.845.6601
E: INFO@WINDWARDENG.COM

928 GARDEN ST

REMODEL & ADDITION

928 GARDEN ST
SANTA BARBARA, CA 93101

PROJECT NO: 4833

CLIENT

RAY MAHBOOB
P.O BOX 60521
SANTA BARBARA, CA 93160

G001	GENERAL
G002	PHOTO SURVEY
A101	AS-BUILT/DEMO SITE PLAN
A102	PROPOSED SITE PLAN
A103	TRAFFIC STUDY
A104	DEMO PLAN
A105	FLOOR PLAN
A201	(E) ELEVATIONS
A202	(P) ELEVATIONS
A601	SCHEDULES
A901	RENDERINGS

PARKING DATA/CALCULATION

EXISTING REQUIRED PARKING IS CALCULATED AT 1/250 SQ FT:
1803/250 = 7.2, ROUNDS DOWN TO 7. EXISTING PROVIDED IS 4;
RESULTING IN A 3 SPACE NONCONFORMING "CREDIT"

PROPOSED PARKING IS CALCULATED AT 1.5 PER UNIT* = 6. A
MINIMUM OF 3 SPACES IS REQUIRED TO MEET PARKING
REQUIREMENTS AND MAINTAIN THE SAME NONCONFORMITY

PROJECT STATISTICS

TYPE	STATUS	LEVEL	DESCRIPTION	GROSS BLD AREA	NET FLR AREA
RESIDENTIAL REMODEL					
New		1ST-FLR	SHORT TERM RENTAL UNIT 1	573	535
New		1ST-FLR	SHORT TERM RENTAL UNIT 2	507	474
New		2ND-FLR	SHORT TERM RENTAL UNIT 3	832	811
				-	-

GN- GENERAL NOTES

- 1.0 ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CBC, 2022 CRC, 2022 CMC, 2022 DEC, 2022 CPC, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 CFC, 2022 CA ENERGY COMMISSION STANDARDS & ALL CITY OF SANTA BARBARA AMENDMENTS AS ADOPTED IN SANTA BARBARA CITY ORDINANCE 6093
- 2.0 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 3.0 THESE DOCUMENTS CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
- 4.0 ALL WORK TO BE PERFORMED BY LICENSED & INSURED CONTRACTOR
- 5.0 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION
- 6.0 ALL OSHA REGULATIONS SHALL BE FOLLOWED. GENERAL CONTRACTOR & EACH SUB-CONTRACTOR RESPONSIBLE FOR JOB-SITE SAFETY
- 7.0 EACH SUBCONTRACTOR IS RESPONSIBLE FOR DEPOSITING DEBRIS RESULTING FROM THEIR WORK IN THE JOB-SITE CONTAINER
- 8.0 ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE TO FACE OF STUD, CONCRETE, OR MASONRY
- 9.0 SEE FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED/MANDATORY ENERGY FEATURES FOR: WALL/CEILING INSULATION, WINDOW AREAS AND TYPES, HVAC SYSTEMS AND EFFICIENCY, DUCT INSULATION AND TESTING, LIGHTING TYPE AND SWITCHING, AND PIPE/HEATER INSULATION. PROVIDE COMPLETED FORM CF-6R UPON FINAL INSTALLATION OF ALL ENERGY SYSTEMS
- 10.0 PROJECTS WITH ZONING MODIFICATION APPROVALS, WITHIN 12" OF A SETBACK, OR WHERE CONDITIONS WARRANT, MAY REQUIRE A SURVEY TO VERIFY PROPOSED FOOTPRINT OF THE STRUCTURE PRIOR TO FOOTING INSPECTION. PROVIDE SURVEYOR VERIFICATION TO INSPECTOR IF REQUESTED BY BUILDING OFFICIAL
- 11.0 UNO, ALL REFERENCED STRUCTURAL HARDWARE TO BE FROM SIMPSON STRONG-TIE (ESR-2523)
- 12.0 AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THE MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.410.1 [CGBSC 4.410]

BMP- STORMWATER BEST MANAGEMENT PRACTICES

- 1.0 DETAILED INFORMATION RELATING TO THE BEST MANAGEMENT PRACTICES SPECIFIED BELOW AND ELSEWHERE WITHIN THIS DOCUMENT CAN BE FOUND IN THE CALIFORNIA STORMWATER BMP HANDBOOK, AVAILABLE FOR DOWNLOAD AT WWW.CABMPHANDBOOKS.COM & HTTP://WWW.DOT.CA.GOV/HQ/CONSTRUCT/STORMWATER/MANUALS.HTM
- 2.0 GENERAL CONTRACTORS/CONTRACTORS AS APPLICABLE ARE RESPONSIBLE FOR THE TRAINING OF PERSONNEL IN THE PROPER DISPOSITION OF CONSTRUCTION WASTE & IMPLEMENTATION OF BMPs
- 3.0 ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- 4.0 STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- 5.0 FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- 6.0 EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- 7.0 TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- 8.0 SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- 9.0 ANY SLOPES WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER
- 10.0 PRESERVE EXISTING VEGETATION AT AREAS ON THE SITE WHERE NO CONSTRUCTION ACTIVITY IS PLANNED OR WILL OCCUR AT A LATER DATE
- 11.0 WATER USED DURING CONSTRUCTION ACTIVITIES IS TO BE USED IN A MANNER THAT AVOIDS CAUSING EROSION AND/OR THAT TRANSPORTS POLLUTANTS OFF SITE
- 12.0 DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN DESIGNATED AREA WHERE WASH WATER IS CONTAINED & TREATED

SPECIAL INSPECTION & OBSERVATIONS GENERAL REQUIREMENTS

NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD -

BY USING THIS PERMITTED CONSTRUCTION DRAWING SET FOR CONSTRUCTION OR INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER -

BY USING THIS PERMITTED CONSTRUCTION DRAWING SET FOR CONSTRUCTION OR INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES

THE SPECIAL INSPECTOR MUST BE RECOGNIZED BY THE CITY, IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION

THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE CITY FOR TESTING OF MATERIALS, SYSTEMS, COMPONENTS AND, EQUIPMENT

THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE, IN ADDITION TO, AND NOT A SUBSTITUTE FOR, THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY THE LOCAL AUTHORITY BUILDING INSPECTOR

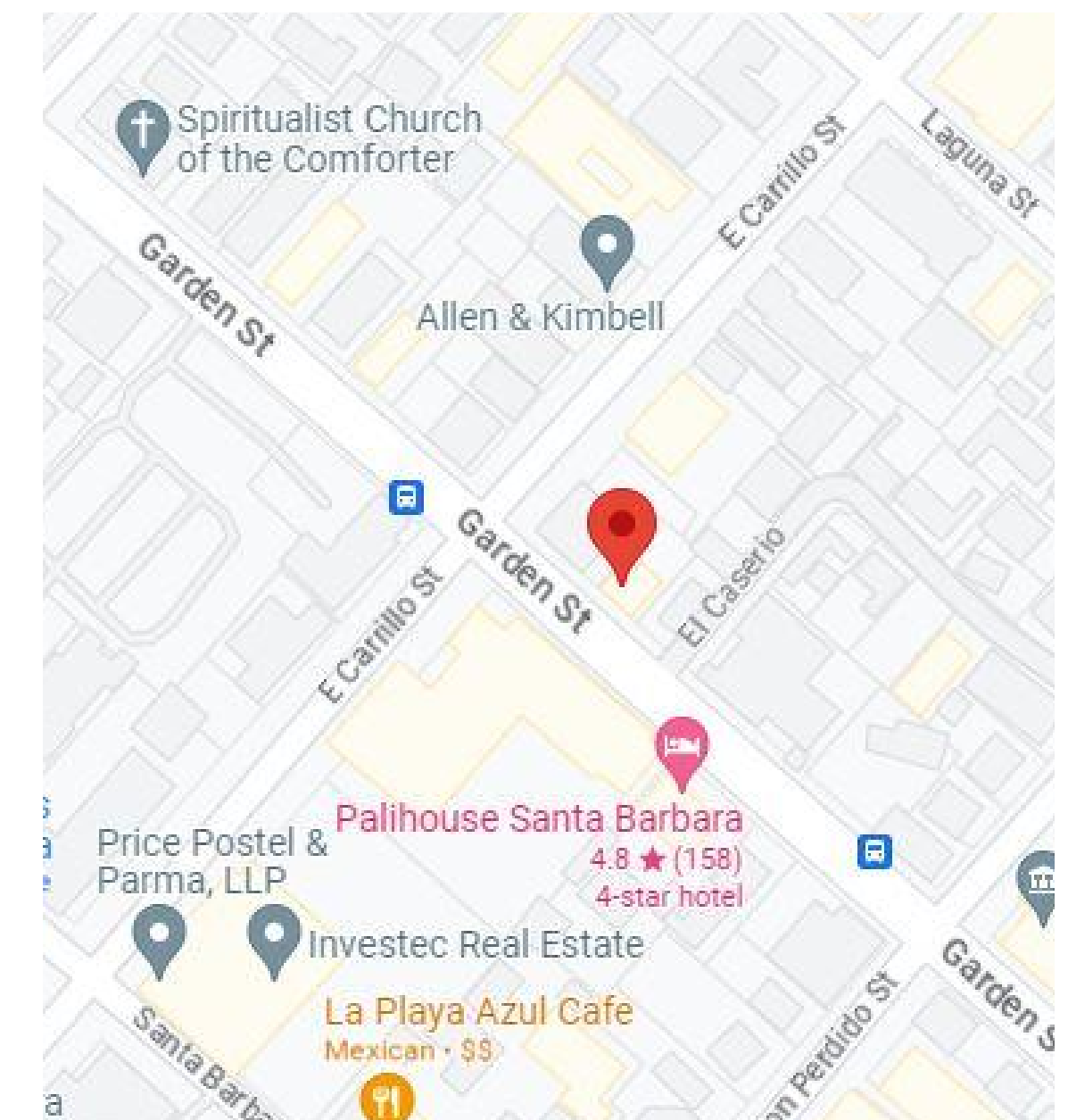
SI- SPECIAL INSPECTIONS & STRUCTURAL OBSERVATIONS

- 1.0 ALL SPECIAL INSPECTIONS SHALL CONFORM TO CHAPTER 17 OF THE CALIFORNIA BUILDING CODE
- 3.0 CONTRACTOR TO OBTAIN APPROPRIATE SPECIAL INSPECTION/OBSERVATION REPORT DOCUMENTATION PRIOR TO REQUESTING AN INSPECTION BY THE LOCAL BUILDING AUTHORITY
- 4.0 WINDWARD TO OBSERVE REINFORCEMENT STEEL PRIOR TO CONCRETE PLACEMENT
- 5.0 WINDWARD TO OBSERVE FRAMING & SHEAR WALL NAILING AFTER PLUMBING, MECHANICAL & ELECTRICAL ROUGH-IN WORK HAS BEEN COMPLETED
- 6.0 EPOXY - UNO, PERIODIC INSPECTION REQUIRED FOR RETROFITTED ANCHOR BOLTS (13-S504 - CONC-EPOXY ANCHOR BOLT) OR DOWELS (14-S504 - CONC-DOWELS)
- 7.0 CALL 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS

PROJECT TEAM

CLIENT:
RAY MAHBOOB
P.O BOX 60521
SANTA BARBARA, CA 93160
EMAIL: RAYMAHBOOB@AOL.COM

DESIGN & ENGINEERING:
WINDWARD DESIGN SERVICES, LLC
1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
TEL: 805.845.6601
EMAIL: INFO@WINDWARDENG.COM



VICINITY MAP

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DATES

11/10/2023 INITIAL

SCALE AS NOTED

CREATED BY: WDS

SHEET

GENERAL

G001

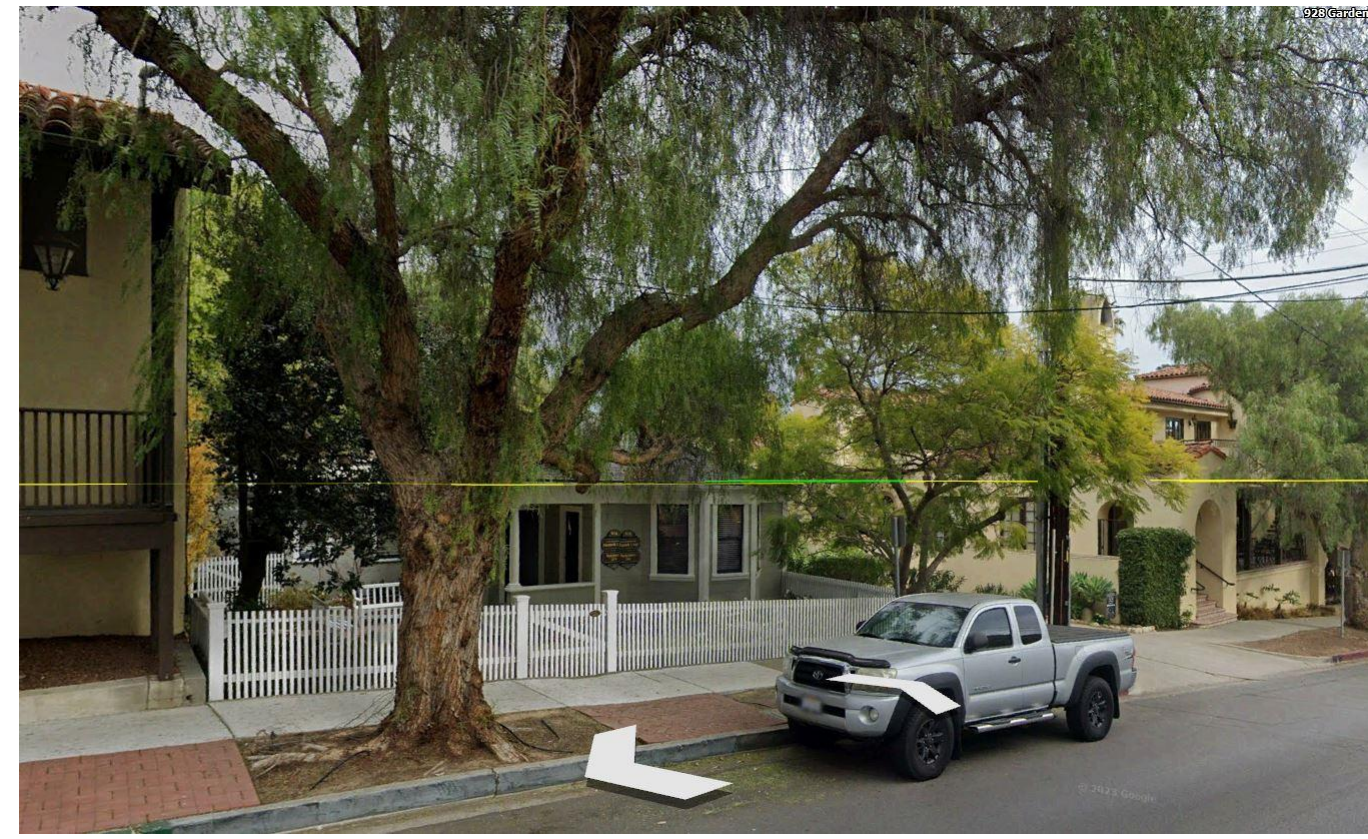
SHEET SIZE 24X36



1 308 E CARRILLO ST
NOT TO SCALE



2 928 GARDEN ST
NOT TO SCALE



3 926/920 GARDEN ST
NOT TO SCALE



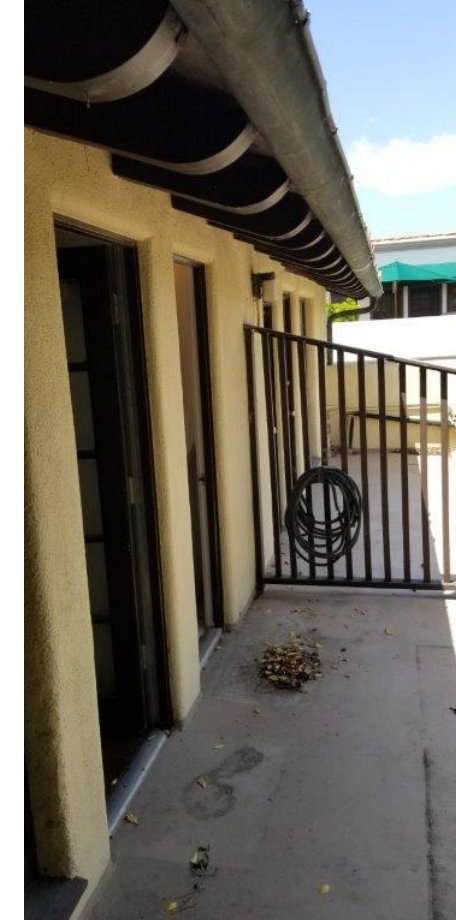
4 222 E CARRILLO ST
NOT TO SCALE



5 NORTH ELEVATION
NOT TO SCALE



6 NORTH ELEVATION
NOT TO SCALE



7 NORTH ELEVATION
NOT TO SCALE



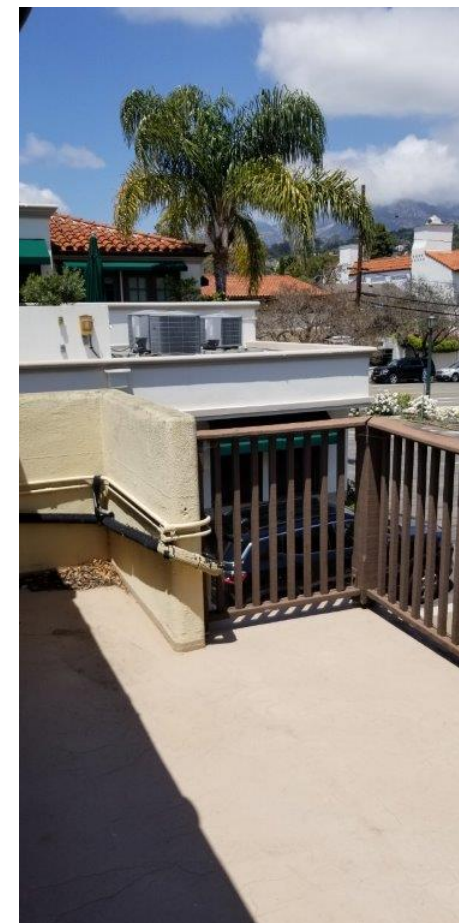
8 NORTH ELEVATION
NOT TO SCALE



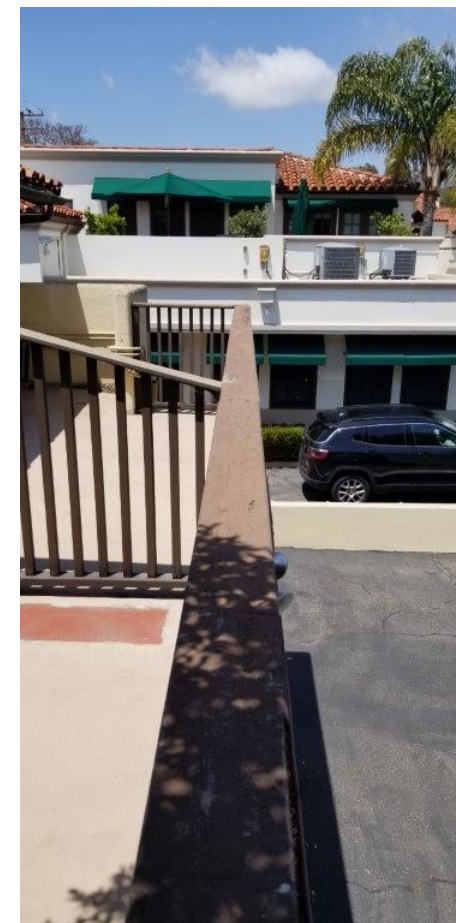
9 NORTH ELEVATION
NOT TO SCALE



9 NORTH ELEVATION
NOT TO SCALE



10 DECK
NOT TO SCALE



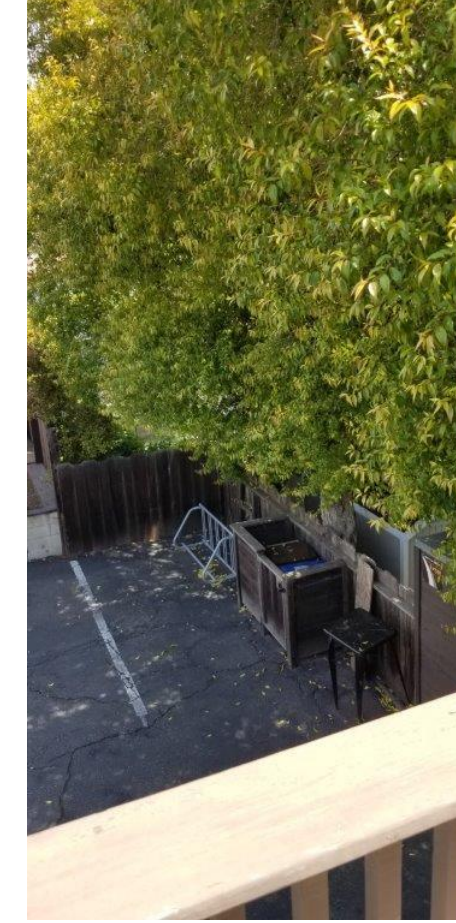
12 DRIVEWAY
NOT TO SCALE



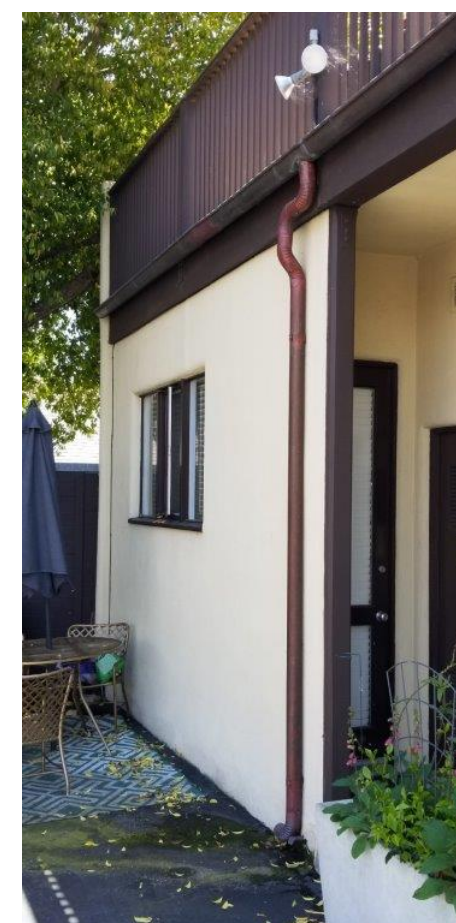
13 PARKING LOT
NOT TO SCALE



14 PARKING LOT
NOT TO SCALE



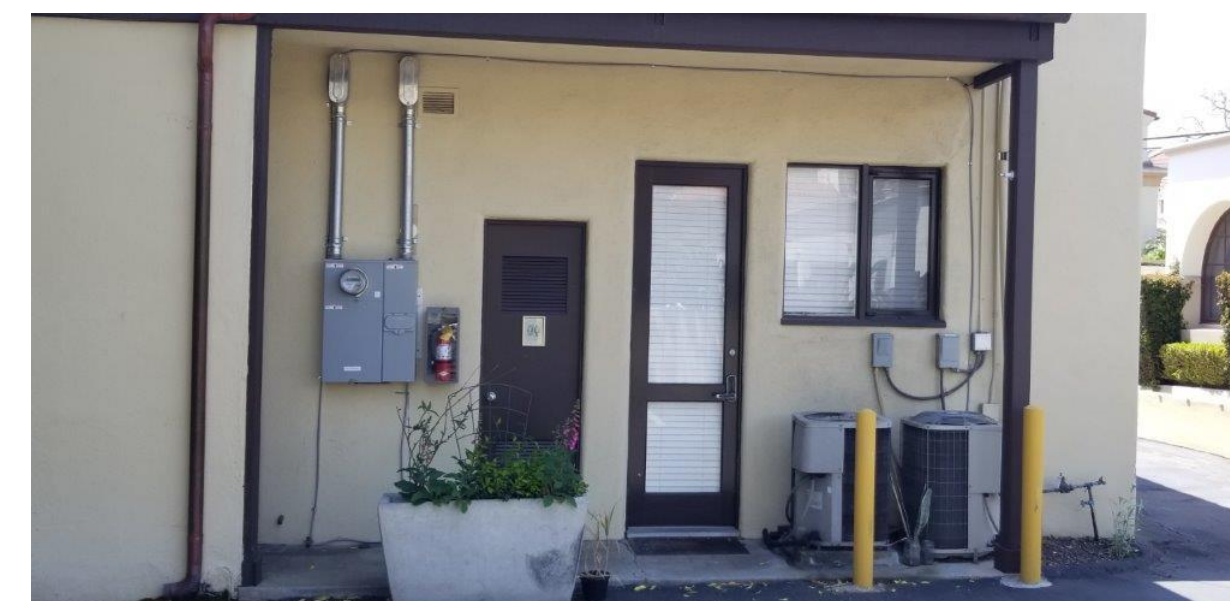
15 PARKING LOT
NOT TO SCALE



16 NORTH ELEVATION
NOT TO SCALE



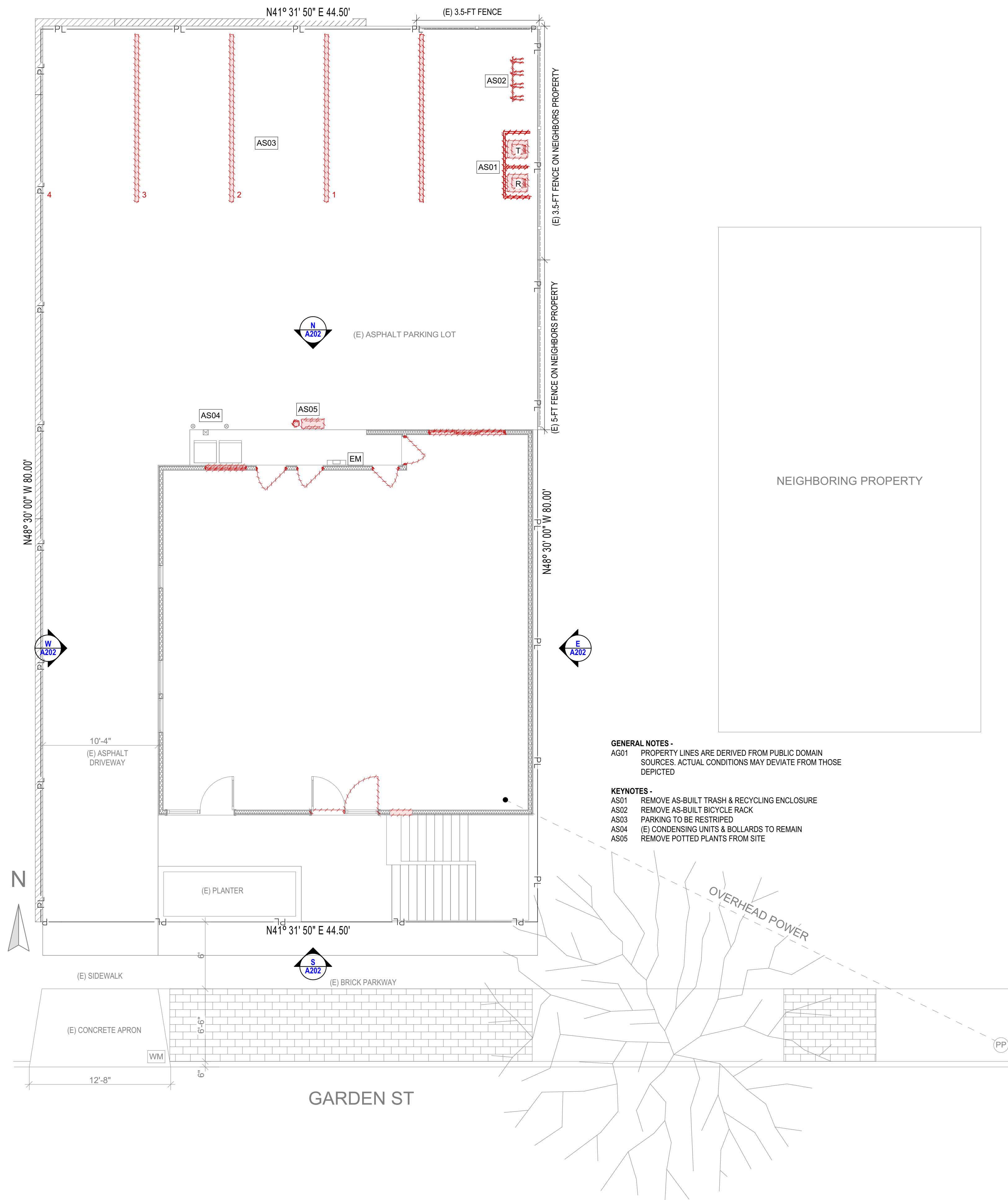
17 NORTH ELEVATION
NOT TO SCALE



18 NORTH ELEVATION
NOT TO SCALE

G001	GENERAL
G002	PHOTO SURVEY
A101	AS-BUILT/DEMO SITE PLAN
A102	PROPOSED SITE PLAN
A103	TRAFFIC STUDY
A104	DEMO PLAN
A105	FLOOR PLAN
A201	(E) ELEVATIONS
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GENERAL NOTES -
AG01 PROPERTY LINES ARE DERIVED FROM PUBLIC DOMAIN SOURCES. ACTUAL CONDITIONS MAY DEVIATE FROM THOSE DEPICTED

KEYNOTES -
AS01 REMOVE AS-BUILT TRASH & RECYCLING ENCLOSURE
AS02 REMOVE AS-BUILT BICYCLE RACK
AS03 PARKING TO BE RESTRIPTED
AS04 (E) CONDENSING UNITS & BOLLARDS TO REMAIN
AS05 REMOVE POTTED PLANTS FROM SITE

1 AS-BUILT/DEMO SITE PLAN
SCALE: 3/16" = 1'-0"

SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRO]	BIO RETENTION INVERT
[BRO]	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[CD]	CHANNEL/TRENCH DRAIN
[CO]	CLEANOUT
[CUT]	CUT
[DD]	DECK DRAIN
[DZ]	DETENTION ZONE (DZ)
[DZI]	DETENTION ZONE INVERT
[DS]	DOWNSPOUT
[DS]	DRAINAGE SLOPE
[EM]	ELECTRIC METER
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[+]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
[FH]	FIRE HYDRANT
[FB]	FREEBOARD
[GM]	GAS METER
[GV]	GROUND VAULT
[HH]	HANDHOLE
[OVRI]	OVERFLOW INVERT
[OVRHD]	OVERHEAD WIRES
[PAP]	PER ARCH PLAN
[PLP]	PER LANDSCAPE PLAN
[PI]	PIPE INVERT
[PP]	POWER POLE
[PL]	PROPERTY LINE
[RP]	REDUCED PRESSURE
[RPBP]	REDUCED PRESSURE / BACKFLOW
[RC]	RIP-RAP TO PREVENT EROSION
[RC]	ROOF CHAIN
[RD]	ROOF DRAIN
[RG]	ROUGH GRADE ELEVATION
[SCPR]	SCUPPER
[SR]	SELF RETAINING
[ST]	SELF TREATING
[SB]	SETBACK
[SMH]	SEWER MANHOLE
[SV]	SHUTOFF VALVE
[SLT]	SILT FENCE
[SLOPE]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
[SDMH]	STORM DRAIN MANHOLE
[SG]	SUBGRADE
[TOC]	TOP OF CURB
[TOD]	TOP OF DECK
[TOF]	TOP OF FENCE
[TOG]	TOP OF GRATE
[TOP]	TOP OF PAVEMENT (CONC, ETC)
[TORB]	TOP OF ROAD BASE
[TOW]	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
[UNO]	UNLESS NOTED OTHERWISE
[WM]	WATER METER
[WD 4.00]	WALL DRAIN, 4"
[WH]	WALL HEIGHT
[WI]	WETTED INVERT

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11/10/2023 INITIAL

SCALE AS NOTED
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SHEET
AS-BUILT/DEMO SITE PLAN

A101

1-Loop Wave Style Bike Rack - 3 Bike Capacity, Black



Upscale stylish look for downtown shopping and business districts.

- For stadiums, parks and athletic fields.
- 10-gauge steel with attractive powder coating.
- 2 3/8" diameter bar.
- Mounting hardware included.

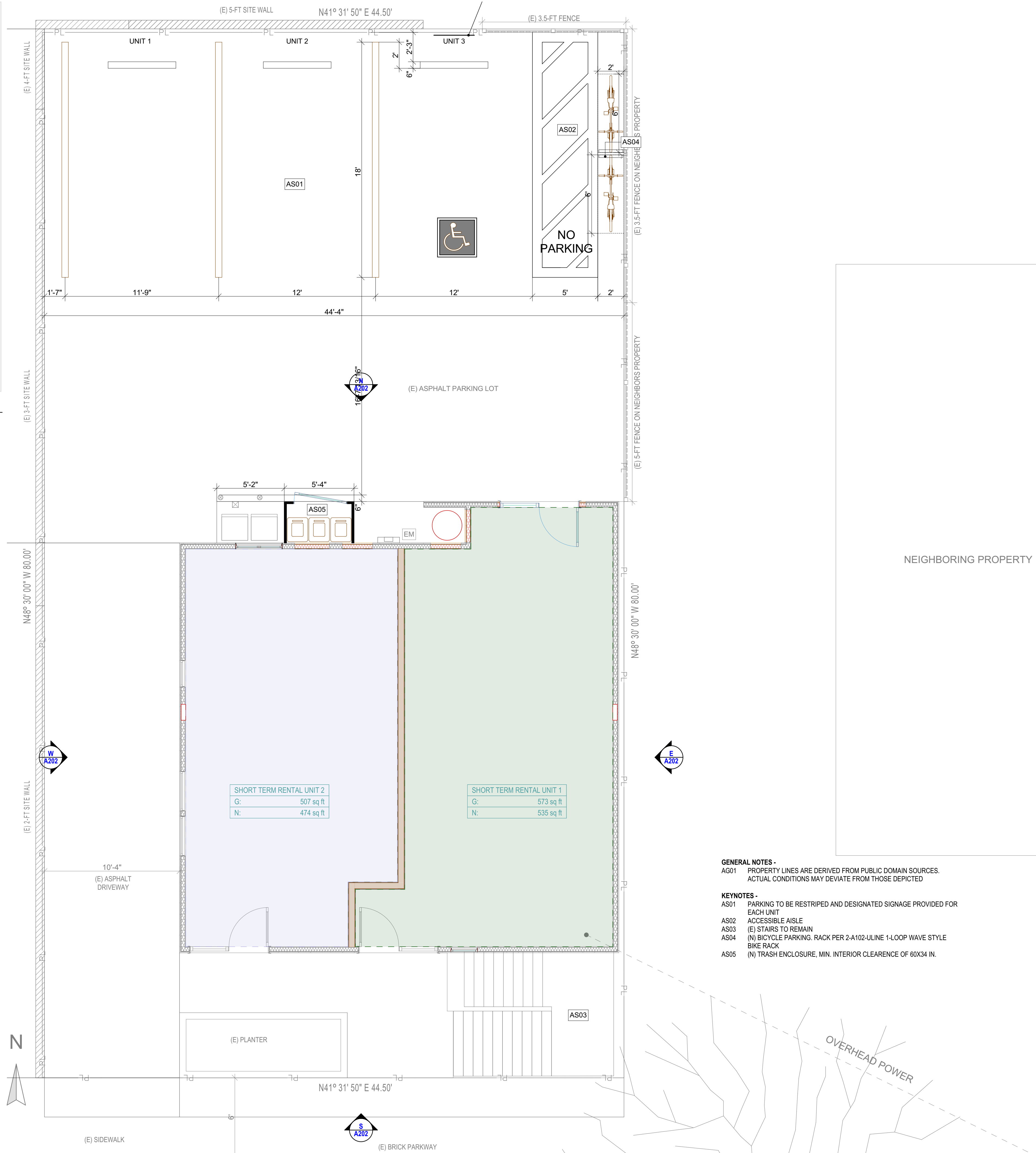
[More Images](#)

SPECIFY COLOR:

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)	PRICE EACH		COLOR	IN STOCK SHIPS TODAY
					1	3+		
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27	\$230	\$220	Black	1 <input type="button" value="ADD"/>

[Additional Info](#) [Parts](#) [Shopping Lists](#) [Request a Catalog](#)

2 ULINE 1-LOOP WAVE STYLE BIKE RACK



1 PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"

SITE PLAN LEGEND	
AD	AREA DRAIN
BP	BACKFLOW PREVENTION
BV	BALL VALVE
BRT	BIO RETENTION BASIN
BRI	BIO RETENTION INVERT
BRO	BIO RETENTION OVERFLOW
CB	CATCH BASIN
CD	CHANNEL/TRENCH DRAIN
CO	CLEANOUT
CUT	CUT
DD	DECK DRAIN
DZ	DETENTION ZONE (DZ)
DZI	DETENTION ZONE INVERT
DS	DOWNSPOUT
DS	DRAINAGE SLOPE
EM	ELECTRIC METER
XXX	ELEVATION (DEMO)
XXX	ELEVATION (E)
XXX	ELEVATION (N)
E&C	EXCAVATE & COMPACT (E&C)
ED	EXCAVATION DEPTH
FR 12.0	FIBER ROLL
+	FILL
FF	FINISHED FLOOR ELEVATION
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FH	FIRE HYDRANT
FB	FREEBOARD
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SLT	SILT FENCE
---	SLOPE OF GRADE 5% MIN FOR 10-FT
SI	SPILLWAY INVERT
SE XXX	SPOT ELEVATION (E)
SE XXX	SPOT ELEVATION (N)
SDMH	STORM DRAIN MANHOLE
SG	SUBGRADE
TOC	TOP OF CURB
TOD	TOP OF DECK
TOF	TOP OF FENCE
TOG	TOP OF GRATE
TOP	TOP OF PAVEMENT (CONC, ETC)
TORB	TOP OF ROAD BASE
TOW	TOP OF WALL
UDS	UPPER DOWNSPOUT
UNO	UNLESS NOTED OTHERWISE
WM	WATER METER
WD 4.00	WALL DRAIN, 4"
WH	WALL HEIGHT
WI	WETTED INVERT

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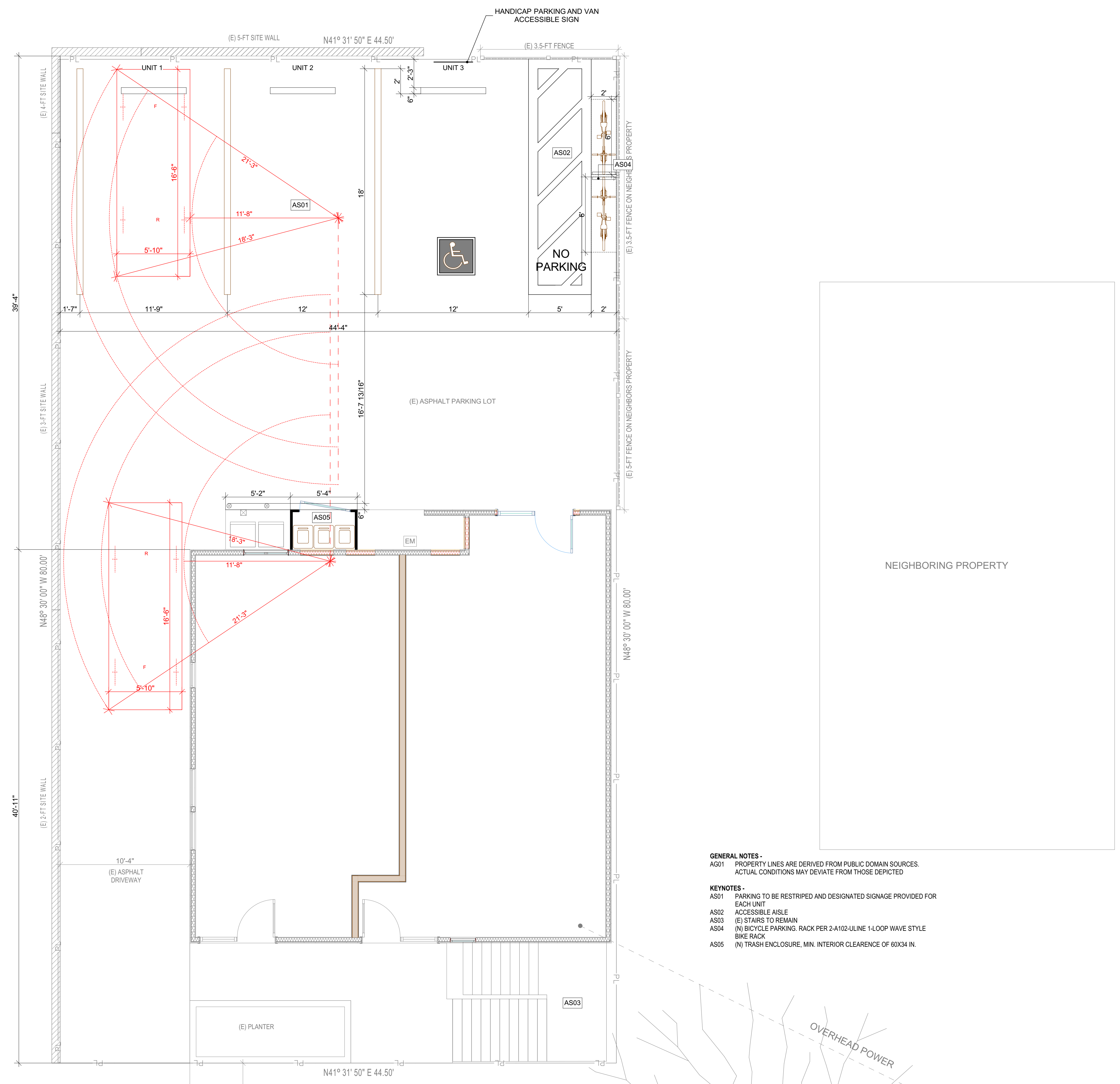
SHEET
PROPOSED SITE PLAN

A102
SHEET SIZE 24X36

GENERAL NOTES -
AG01 PROPERTY LINES ARE DERIVED FROM PUBLIC DOMAIN SOURCES. ACTUAL CONDITIONS MAY DEVIATE FROM THOSE DEPICTED

KEYNOTES -
AS01 PARKING TO BE RESTRIPTED AND DESIGNATED SIGNAGE PROVIDED FOR EACH UNIT
AS02 ACCESSIBLE AISLE
AS03 (E) STAIRS TO REMAIN
AS04 (N) BICYCLE PARKING. RACK PER 2-A102-ULINE 1-LOOP WAVE STYLE BIKE RACK
AS05 (N) TRASH ENCLOSURE. MIN. INTERIOR CLEARANCE OF 60X34 IN.

G001	GENERAL
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AS04 (N) BICYCLE PARKING, RACK PER 2-A102-ULINE 1-LOOP WAVE STYLE BIKE RACK
AS05 (N) TRASH ENCLOSURE, MIN. INTERIOR CLEARANCE OF 60X34 IN.

WALL LEGEND		
SYMBOL	TYPE	DESCRIPTION
	Existing	WALL STUCCO PLY 24 R15 GYP
	Existing	WALL STUCCO
	New	WALL GYP 24 GYP
	New	WALL GYP 26 GYP

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GENERAL NOTES -

- AG01 DEMOLISH WALLS, DOORS, & WINDOWS AS INDICATED
- AG02 PROVIDE TEMPORARY SHORING AS REQUIRED IF LOAD-BEARING WALL OR SUPPORT BEING REMOVED

KEYNOTES -

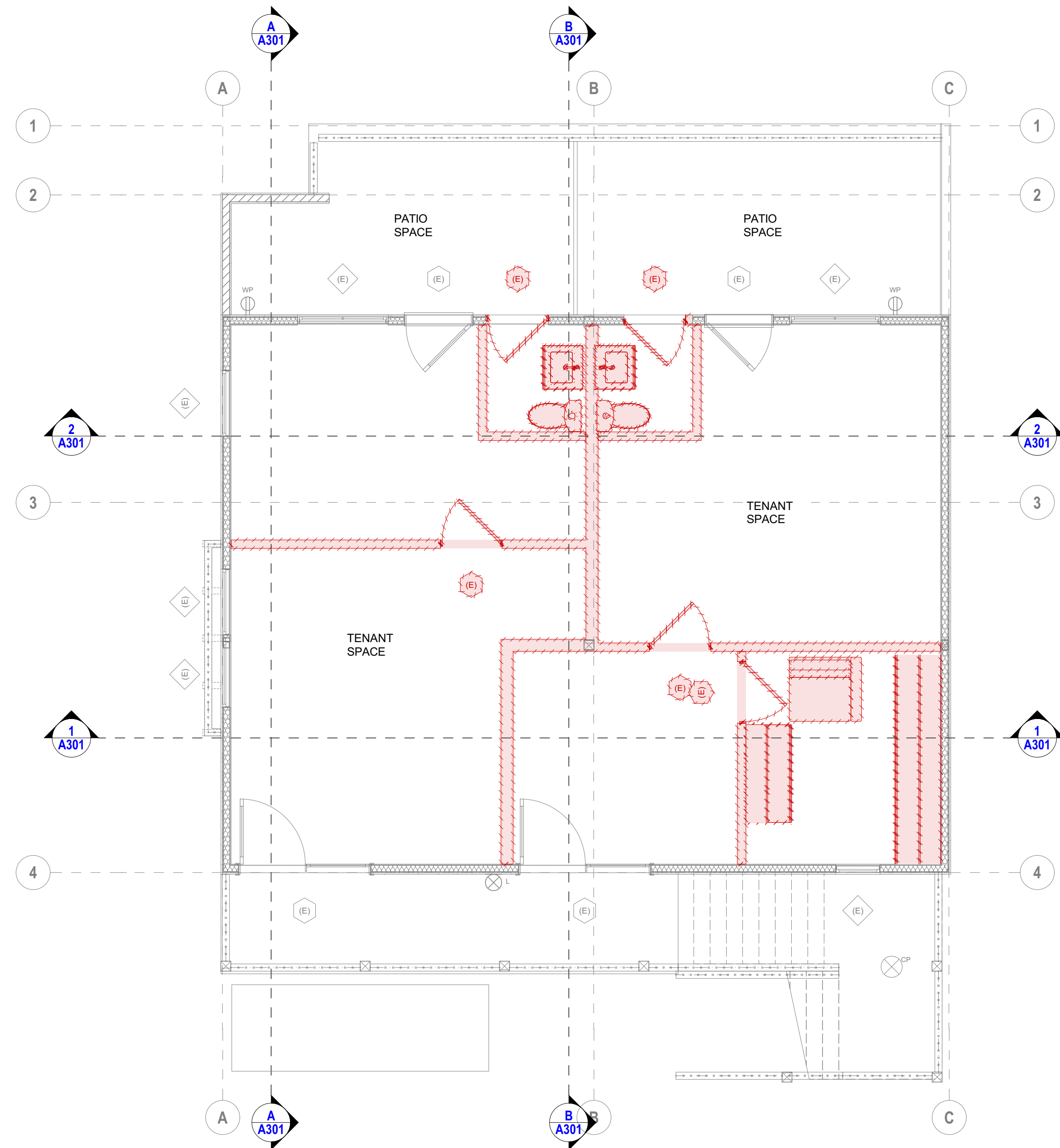
A01

GENERAL NOTES -

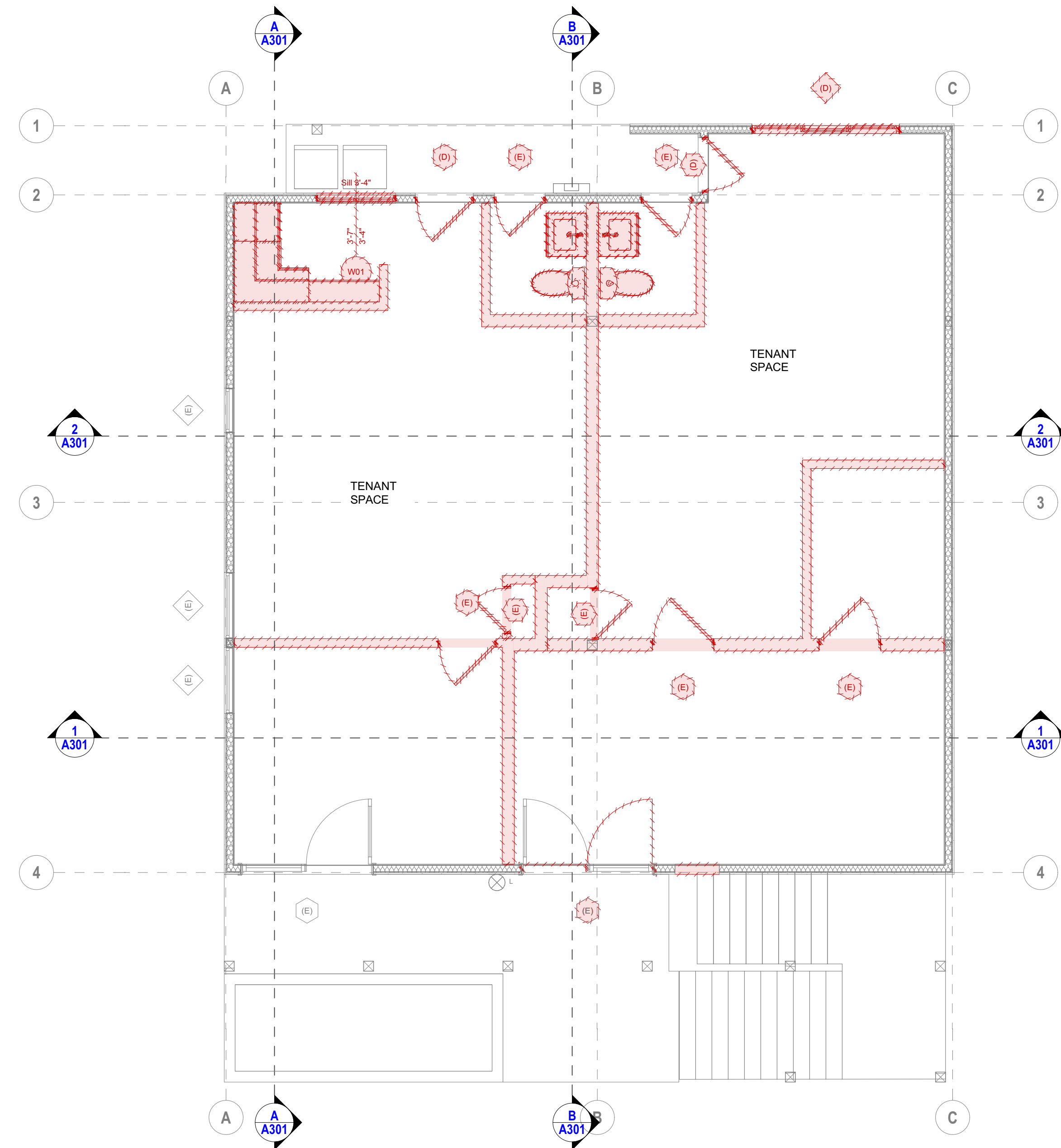
- AG01 DEMOLISH WALLS, DOORS, & WINDOWS AS INDICATED
- AG02 PROVIDE TEMPORARY SHORING AS REQUIRED IF LOAD-BEARING WALL OR SUPPORT BEING REMOVED

KEYNOTES -

A01



2 2ND-FLR DEMO PLAN
SCALE: 1/4" = 1'-0"



1 1ST-FLR DEMO PLAN
SCALE: 1/4" = 1'-0"

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SHEET
DEMO PLAN

A104

SHEET SIZE 24X36

WALL LEGEND		
SYMBOL	TYPE	DESCRIPTION
	Existing	WALL STUCCO PLY 24 R15 GYP
	Existing	WALL STUCCO
	New	WALL GYP 24 GYP
	New	WALL GYP 26 GYP

CLIENT

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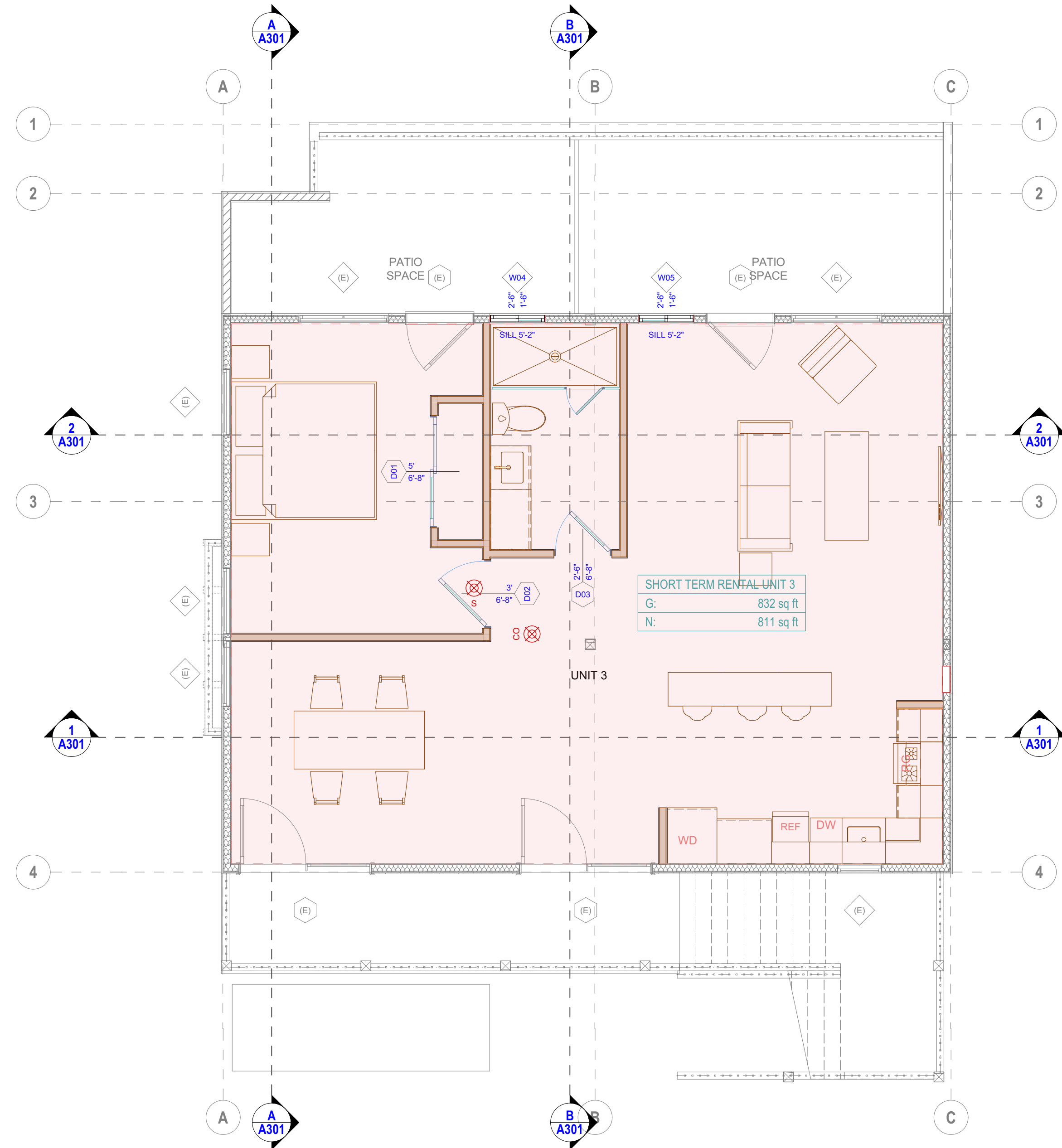
G001	GENERAL
G002	PHOTO SURVEY
A101	AS-BUILT/DEMO SITE PLAN
A102	PROPOSED SITE PLAN
A103	TRAFFIC STUDY
A104	DEMO PLAN
A105	FLOOR PLAN
A201	(E) ELEVATIONS
A202	(P) ELEVATIONS
A601	SCHEDULES
A901	RENDERINGS

GENERAL NOTES -

- AG01 RESIDENTIAL CONSTRUCTION NOTES PER -A001
- AG02 GENERAL PLUMBING NOTES PER P-P001
- AG03 GENERAL MECHANICAL NOTES PER M-M001
- AG04 GENERAL ELECTRICAL NOTES PER E-E001
- AG05 UNO GENERAL ATTIC VENTILATION REQUIREMENTS PER 7-A501-ROOF-ATTIC VENTILATION
- AG06 GENERAL CODE REQUIREMENTS FOR RESIDENTIAL STAIRS & GUARDS PER 5-A501-CONS-STAIR & GUARD RESIDENTIAL
- AG07 UNO EXTERIOR FINISHES @ GRADE PER 8-A501-EXTERIOR FINISHES
- AG08 UNO, WOOD SIDING EXTERIOR WALLS TO BE PER 5-A504-EXTERIOR MANUFACTURED SIDING @ GRADE
- AG09 UNO, STUCCO EXTERIOR WALLS TO BE PER 6-A504-EXTERIOR STUCCO @ GRADE

- AC01 GENERAL CONSTRUCTION NOTES PER C-A002
- AC02 GENERAL CODE REQUIREMENTS FOR COMMERCIAL STAIRS & GUARDS PER 13-A502-CONS-STAIR & GUARD COMMERCIAL

KEYNOTES -
A01



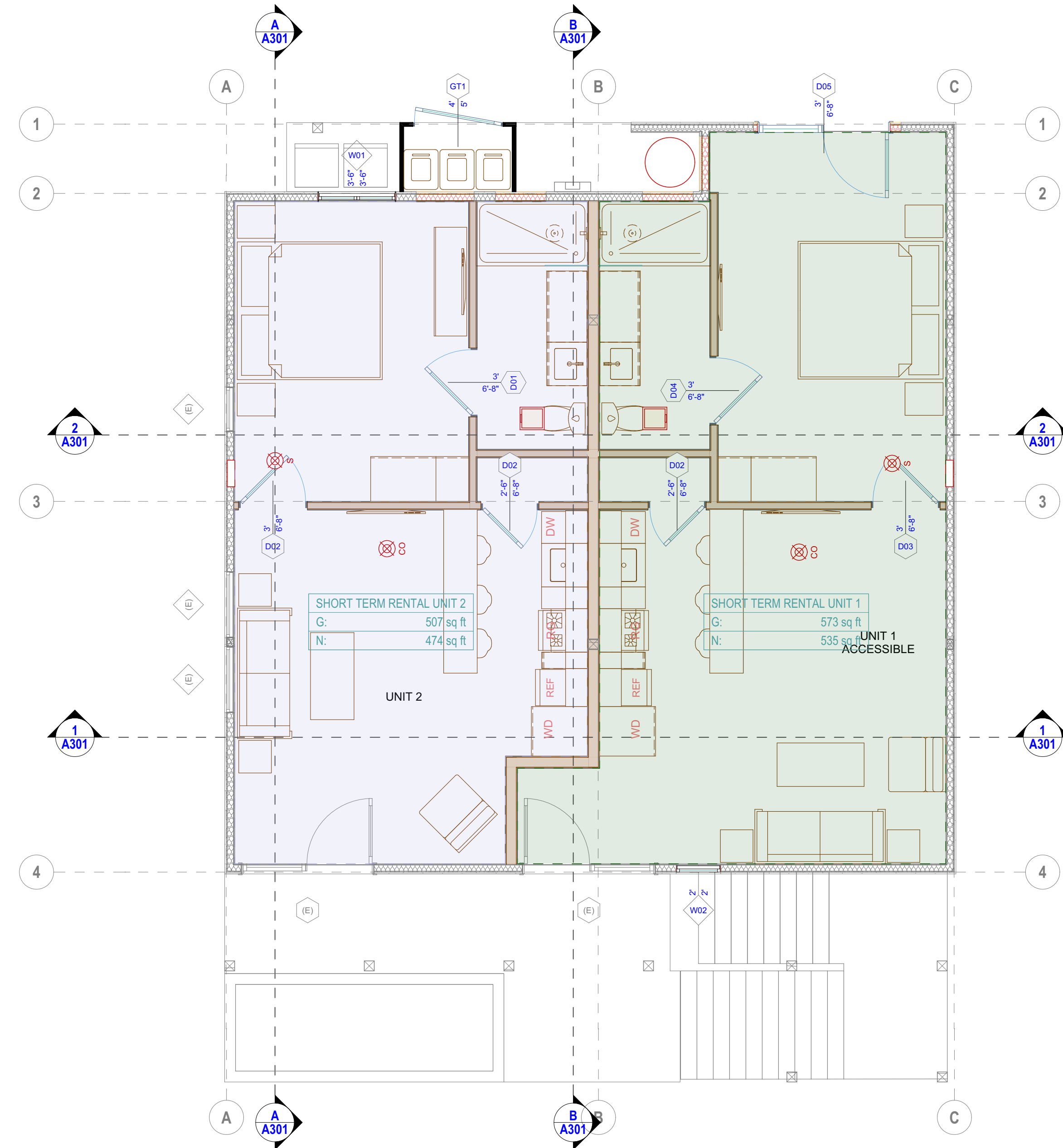
3 2ND-FLR FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES -

- AG01 RESIDENTIAL CONSTRUCTION NOTES PER -A001
- AG02 GENERAL PLUMBING NOTES PER P-P001
- AG03 GENERAL MECHANICAL NOTES PER M-M001
- AG04 GENERAL ELECTRICAL NOTES PER E-E001
- AG05 UNO GENERAL ATTIC VENTILATION REQUIREMENTS PER 7-A501-ROOF-ATTIC VENTILATION
- AG06 GENERAL CODE REQUIREMENTS FOR RESIDENTIAL STAIRS & GUARDS PER 5-A501-CONS-STAIR & GUARD RESIDENTIAL
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- AG09 UNO, STUCCO EXTERIOR WALLS TO BE PER 6-A504-EXTERIOR STUCCO @ GRADE

- AC01 GENERAL CONSTRUCTION NOTES PER C-A002
- AC02 GENERAL CODE REQUIREMENTS FOR COMMERCIAL STAIRS & GUARDS PER 13-A502-CONS-STAIR & GUARD COMMERCIAL

KEYNOTES -
A01



1 1ST-FLR FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SHEET
FLOOR PLAN

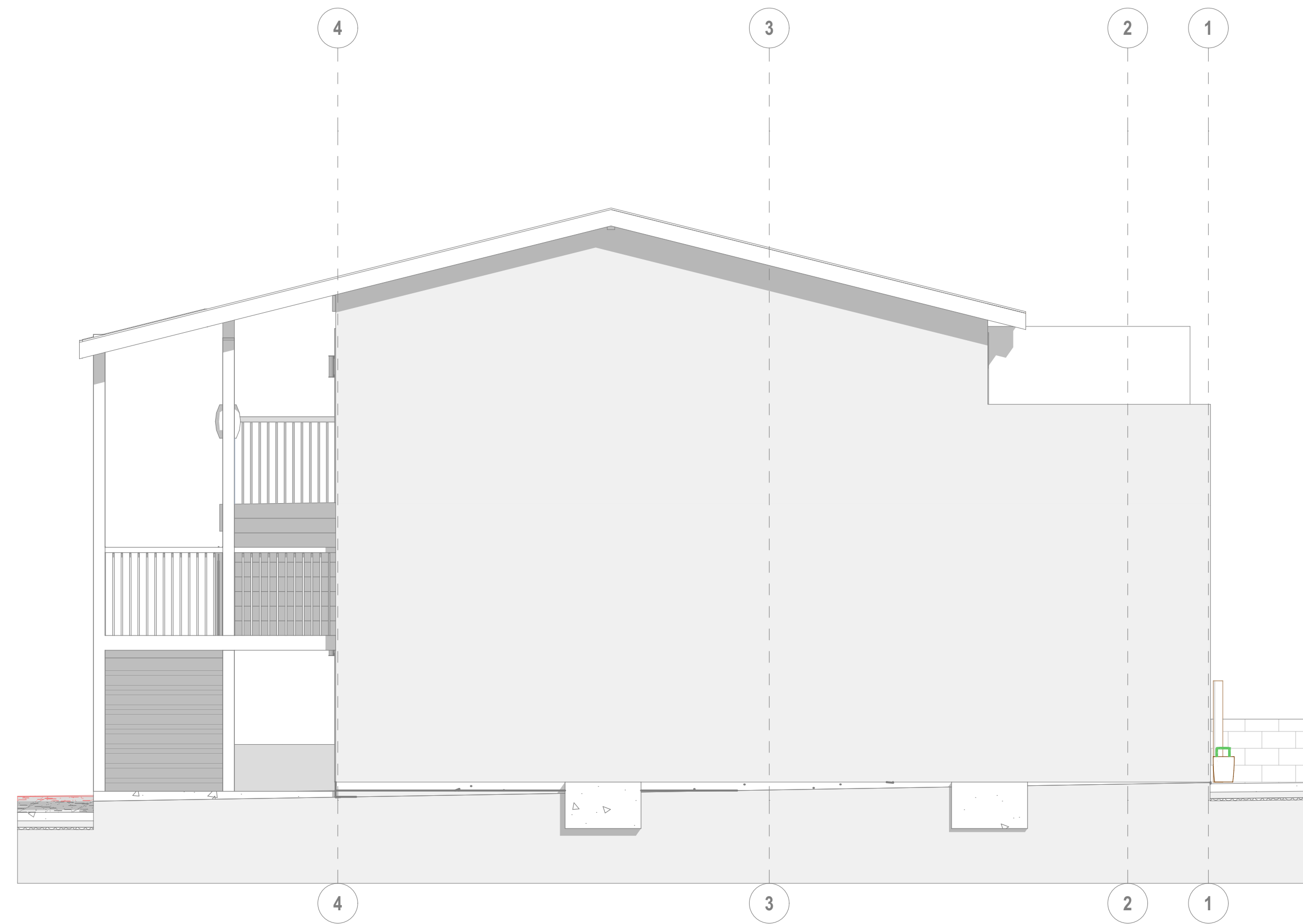
A105

SHEET SIZE 24X36

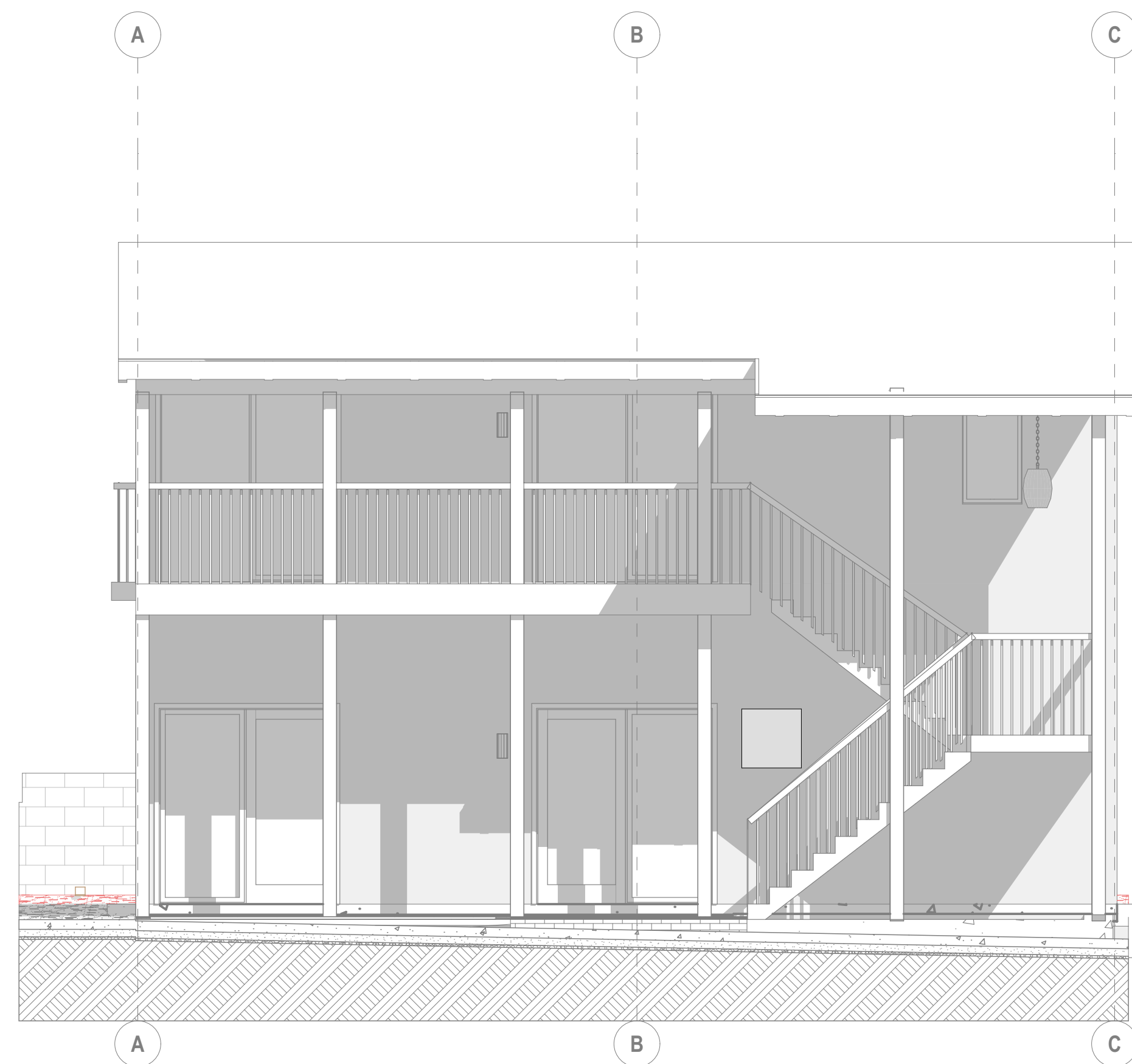
G001	GENERAL
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N ELEVATION (E) NORTH
SCALE: 1/4" = 1'-0"



E ELEVATION (E) EAST
SCALE: 1/4" = 1'-0"



S ELEVATION (E) SOUTH
SCALE: 1/4" = 1'-0"



W ELEVATION (E) WEST
SCALE: 1/4" = 1'-0"

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SHEET
(E) ELEVATIONS

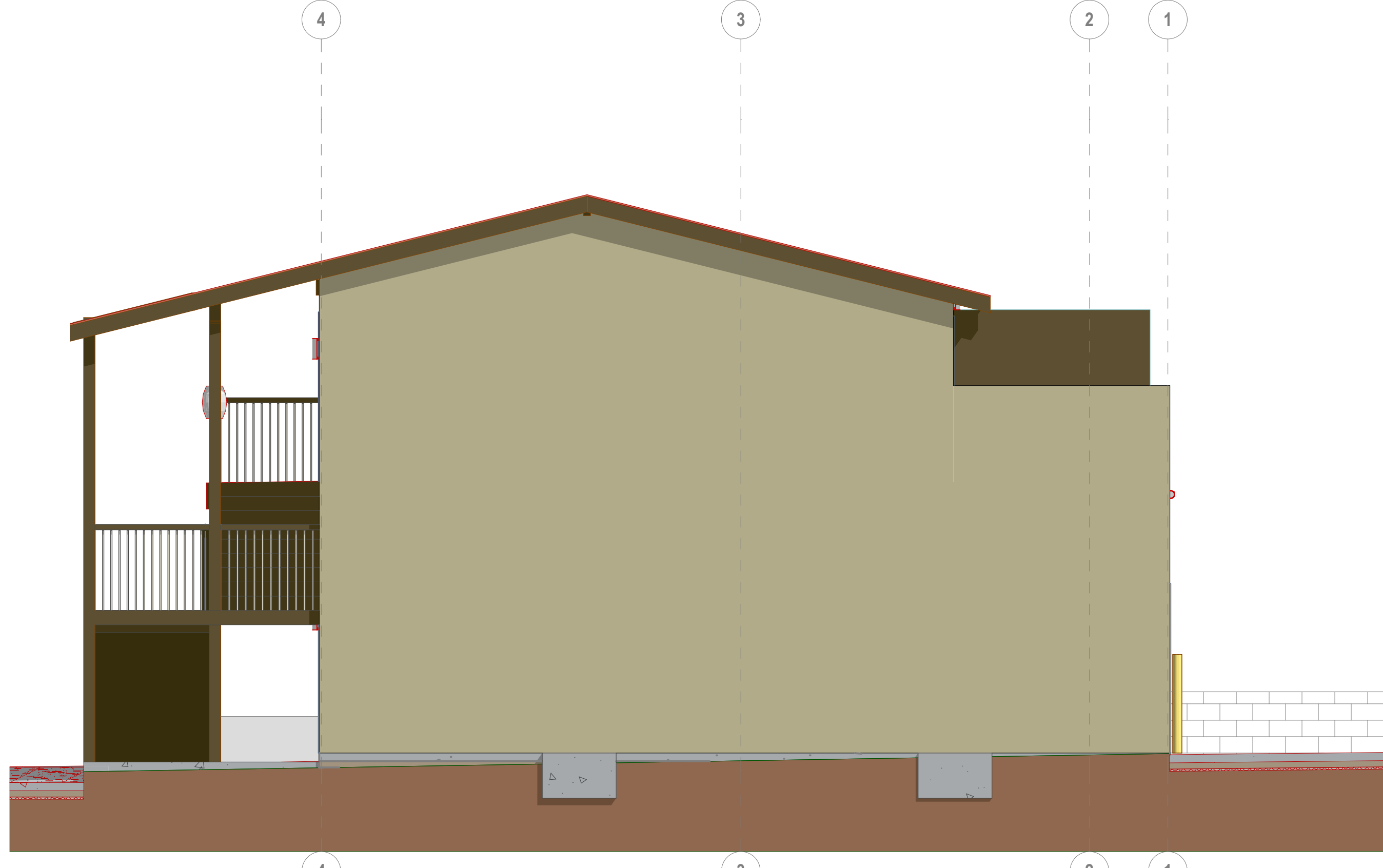
A201

SHEET SIZE 24X36

G001	GENERAL
G002	PHOTO SURVEY
A101	AS-BUILT/DEMO SITE PLAN
A102	PROPOSED SITE PLAN
A103	TRAFFIC STUDY
A104	DEMO PLAN
A105	FLOOR PLAN
A201	(E) ELEVATIONS
A202	(P) ELEVATIONS
A601	SCHEDULES
A901	RENDERINGS



(P) ELEVATION NORTH
SCALE: 1/4" = 1'-0"



(P) ELEVATION EAST
SCALE: 1/4" = 1'-0"



(P) ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



(P) ELEVATION WEST
SCALE: 1/4" = 1'-0"

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SHEET
(P) ELEVATIONS

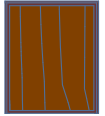
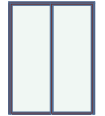
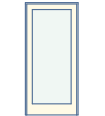
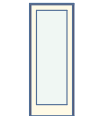
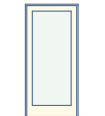
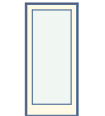
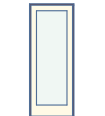
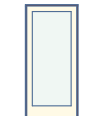
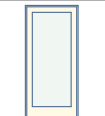

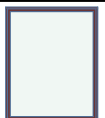
A202





SHEET SIZE 24X36

CLIENT

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G002	PHOTO SURVEY
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A202	(P) ELEVATIONS
A601	SCHEDULES
A901	RENDERINGS

DOOR SCHEDULE														
ID	LOCATION	ELEVATION	WIDTH	HT	THCK	QTY	DESCRIPTION	GLZ	TEMP	HINGES	LOCKSET	U-FACTOR	SHGC	COMMENTS
D01			4'	4'-11"	1 3/4"	1								
D01			5'	6'-8"	1 3/4"	1								
D01	INTERIOR UNIT 2		3'	6'-8"	1 3/4"	1	1-LITE SHAKER BATHROOM DOOR	DUAL	YES	OIL RUBBED BRONZE	PRIVACY			
D02			2'-6"	6'-8"	3 1/2"	2		DUAL		OIL RUBBED BRONZE	DUMMY			
D02			3'	6'-8"	1 3/4"	1		DUAL		OIL RUBBED BRONZE	DUMMY			
D02	INTERIOR UNIT 2		3'	6'-8"	1 3/4"	1	1-LITE SHAKER BEDROOM DOOR	DUAL	YES	OIL RUBBED BRONZE	DUMMY			
D03			2'-6"	6'-8"	1 3/4"	1		DUAL		OIL RUBBED BRONZE	DUMMY			
D03	INTERIOR UNIT 1		3'	6'-8"	1 3/4"	1	1-LITE SHAKER BEDROOM DOOR	DUAL	YES	OIL RUBBED BRONZE	DUMMY			
D04	INTERIOR UNIT 1		3'	6'-8"	1 3/4"	1	1-LITE SHAKER BATHROOM DOOR	DUAL	YES	OIL RUBBED BRONZE	PRIVACY			
D05	EXTERIOR UNIT 1		3'	6'-8"	1 3/4"	1	EXT BEDROOM DOOR FOR ACCESSIBLE UNIT 1	DUAL	YES	OIL RUBBED BRONZE	LATCH & KEYE	0.30	0.23	
GT1			4'	5'	1 3/4"	1								

WINDOW SCHEDULE													
ID	ELEVATION	WIDTH	HT	HEAD HT	TYPE	DESCRIPTION	GLZ	U-FACTOR	SHGC	TEMP	EGRESS	HARDWARE	NOTES
W01		3'-6"	3'-6"	6'-8"	DOUBLE HUNG	ALUMINUM CLAD W/STAIN GRADE INTERIOR	DUAL	0.32	0.25	NA	NO	OIL RUBBED BRONZE	
W02		2'	2'	6'-8"			DUAL	0.32	0.25			OIL RUBBED BRONZE	
W04		2'-6"	1'-6"	6'-8"	SLIDER	ALUMINUM CLAD W/STAIN GRADE INTERIOR	DUAL	0.30	0.23	NA	NA	OIL RUBBED BRONZE	
W05		2'-6"	1'-6"	6'-8"	SLIDER	ALUMINUM CLAD W/STAIN GRADE INTERIOR	DUAL	0.30	0.23	NA	NA	OIL RUBBED BRONZE	

THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS AND DOORS UNTIL FINAL INSPECTION

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SHEET
SCHEDULES

A601

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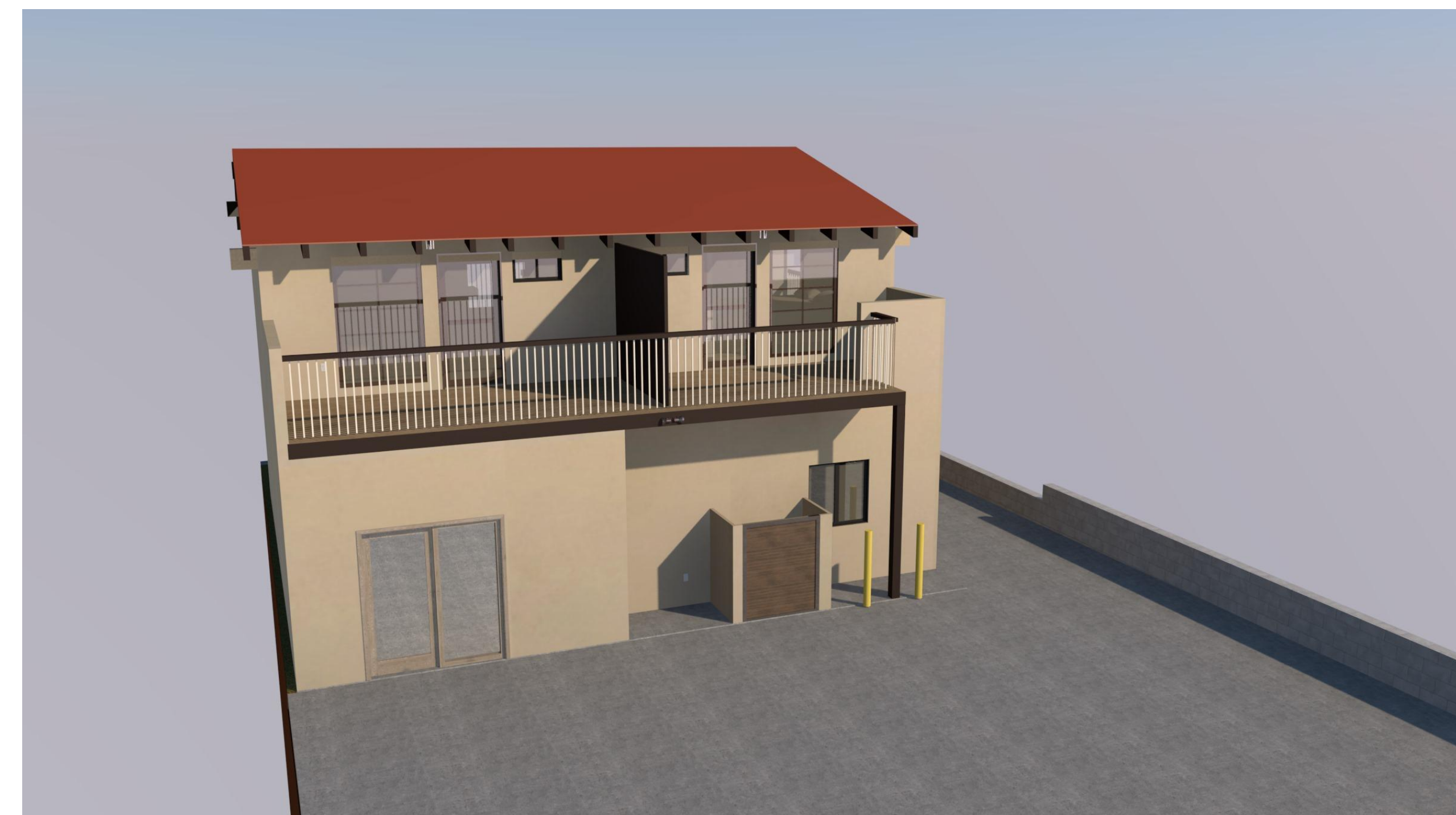
FRONT LEFT VIEW
SCALE: 1:0.45



FRONT RIGHT VIEW
SCALE: 1:0.45



REAR RIGHT VIEW
SCALE: 1:0.46



REAR LEFT VIEW
SCALE: 1:0.46

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SHEET
RENDERINGS

A901

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